

SMALL ALLOTMENT SETBACKS								
	Cottage Allotments		Villa Allotments		Courtyard Allotments		Traditional Allotments	
	10.0 - 12.49m Width		12.5 - 14.9m Width		15.0 - 19.9m Width		20m + Width	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Setback								
Living Area	3.0m	3.0m	3.0m	3.0m	4.0m	4.0m	4.5m	4.5m
Garage	5.5m	3.0m	5.5m	3.0m	5.5m	4.0m	5.5m	4.5m
Corner Allotments								
Secondary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Rear Setback								
General Allotments	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	QDC	
Laneway Allotments	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	n/a	
Side Boundary								
Built to Boundary Wall	0.0m (Mandatory)	1.5m	0.0m (Mandatory)	1.5m	0.0m (Nominal)	1.5m	n/a	
Non Built to Boundary Wall	1.0m	1.0m	1.0m	1.5m	2.0m		QDC	
Garage Location	Garages to be located along built to boundary wall where appropriate		Garages to be located along built to boundary wall where appropriate		Garages to be located along built to boundary wall where appropriate		QDC	
On Site Parking Requirements	2 spaces to be covered and enclosed		3 spaces to be covered and enclosed		3 spaces to be covered and enclosed		QDC	
	Two storey dwellings are permitted to include a double garage. In this case 3 on site parking spaces are required		Laneway Allotments only require 2 on site parking space		Laneway Allotments only require 2 on site parking space			
Site Cover	50%		50%		50%		QDC	

Development Statistics			
	Stage 11A	Stage 11B	
Stage Area	1.650 ha	9.180 ha	
Saleable Area			
Single Family Allotments	1.289 ha	0.784 ha	
Total Area of Allotments	1.289 ha	0.784 ha	
Open Space			
Pedestrian Linkage / Road Reserve	—	0.006 ha	
Regional Open Space	—	7.724 ha	
Total Open Space	—	7.730 ha	
Area of New Road	0.361 ha	0.666 ha	
Residential Allotments			
30m Deep Allotments	Size	Lots	Lots
Cottage Allotment	10.7m x 30m	11	4
Villa Allotment	12.5m x 30m	7	3
Courtyard Allotment	15m x 30m	9	5
Traditional Allotment	20m x 30m	4	4
Sub-Total 30m Deep Allotments		31	16
Total Residential Allotments		31	16
Length of New Road			
14.0m Wide New Road	208m	88m	
16.0m Wide New Road	—	311m	
16.5m Wide New Road	—	59m	
Total Length of New Road	208m	458m	

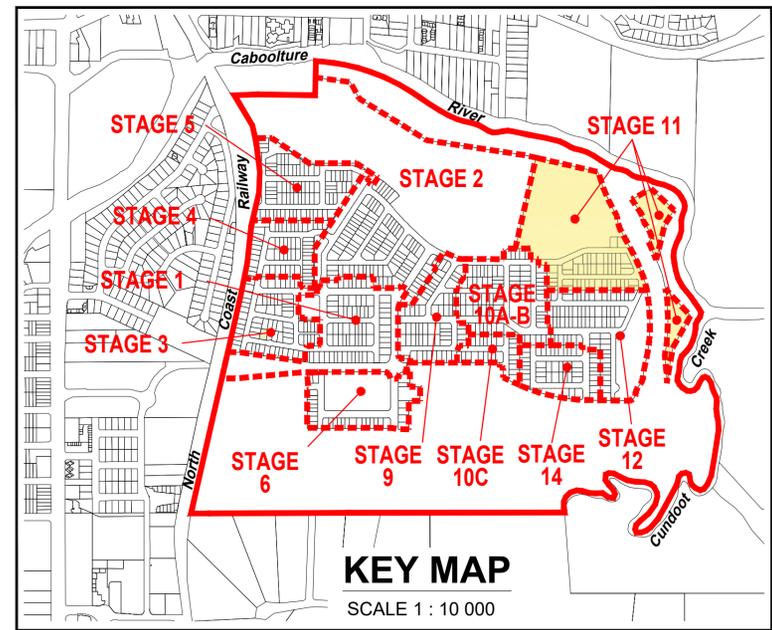
Residential Allotments Running Total (Stages 1-6 & 9-14)

Residential Allotments	Size	Lots	Percentage
30m Deep Allotments			
Cottage Allotment	10.7m x 30m	82	11%
Villa Allotment	12.5m x 30m	81	11%
Courtyard Allotment	15m x 30m	127	17%
Traditional Allotment	20m x 30m	46	6%
Sub-Total 30m Deep Allotments		336	45%
32m Deep Allotments			
Cottage Allotment	10m x 32m	126	17%
Villa Allotment	12.5m x 32m	124	17%
Courtyard Allotment	15m x 32m	102	14%
Traditional Allotment	20m x 32m	52	7%
Sub-Total 32m Deep Allotments		404	55%
Total Residential Allotments		740	100%

Note
All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
All building setbacks other than those noted on the face of the plan are to be in accordance with the Preliminary Approval Codes.

Notes Applicable to Small Lots

- General**
- Small Lot Housing is to be undertaken in accordance with this Building Envelope Plan and the Dwelling House Code of the Caboolture Shire Plan. Where a conflict exists between the approved Building Envelope Plan and the Dwelling House Code the Building Envelope Plan prevails.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services or trees identified for retention.
 - Development on laneway lots is to accord with the Preliminary Approval.
- Built to Boundary Walls**
- Built to the boundary walls are mandatory where the road frontage widths are less than 15.0m.
 - Where two storey buildings are proposed, the Dwelling House does not have to be built to the mandatory zero lot line boundary as indicated on the Building Envelope Plan. Where two storey Dwelling Houses are not built on the zero lot line, the Dwelling Houses shall be built in accordance with the non built to the boundary setbacks.
 - Built to boundary walls shall be built with a maximum length of 15.0m and a maximum height of 3.5m.
- Private Open Space**
- The private open space is:
 - at least 80m² in size;
 - all dimensions are greater than 2.5m;
 - able to fully contain a circle with a diameter of 5.0m.
- Building Design**
- The maximum height of buildings shall not exceed two (2) storeys and 8.5m.
 - The building must have a window or balcony from a habitable room that facing the street.
- Setbacks**
- Minimum road frontage boundary setbacks shall be as per the setback table, unless otherwise dimensioned. All garages must be set back a minimum of 5.5m from the front boundary for non Laneway Lots, and 1.0m from the rear boundary for Laneway Lots.
 - Front porticos may be located closer to the front property boundary than stated, provided that the portico is located not less than 3.0m from the front property boundary, the height of the portico does not exceed 4.5m, the portico remains open and not enclosed and the width of the portico is limited to the front entry area only.
 - Setbacks (other than mandatory built to the boundary walls) are measured to the wall of the building or structure. Cottage and Villa allotments must have a minimum side boundary clearance to eaves of 550mm. Courtyard or larger allotments must have a side boundary clearance to eaves of 900mm.
 - Minimum Rear boundary setbacks shall be as per the setback table.
 - Rear patios may be located closer to the rear property boundary than stated, provided that the patio is located not less than 1.5m from the rear property boundary and the patio remains open and not enclosed.
- Garages and Carports**
- Where the lot frontage is less than 12.5m, garages or carports with openings of greater than 4.5m in width are not permitted, unless the Dwelling House is two storeys or a Laneway Lot.
- Bin Storage**
- Where the lot frontage is less than 15.0m, the design shall incorporate a fully screened bin enclosure accessed from the front of the Dwelling House, OR the garage shall incorporate a door in its back wall giving access to the rear of the Detached House.
- Site Coverage**
- Site coverage shall not exceed 50% with an additional 10% allowable for additional open structures such as patios, verandahs and porticos.



Legend

- Subject Site
- Stage Boundary
- THG Q5
- THG Q20
- Indicative Basin Location
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- Preferred Driveway Location
- Preferred Bin Collection Zone (for lots 578-579 & 604)
- Private Open Space
- Indicative On-Street Parking
- Existing Easement
- Existing Rising Main
- Indicative On-Street Pedestrian/Cycle Path
- 1.5m Pathway
- Energex Easement
- Existing Overhead Electrical Line

Parking Breakdown

Total On-Street Parking Spaces Required	24
Total On-Street Parking Spaces Provided	29



PEET Moreton Bay Regional Council
RPS
SCALE 1 : 750 @ A1
DATE : 8 February 2021 DWG NAME : 7025-MASTER DWG # : 7025 - 179G

PRELIMINARY

Approved Subject to Conditions of Decision Notice DA/2021/0364

RIVERBANK
STAGE 11 PROPOSED SUBDIVISION
RIVERBANK, CABOOLTURE
8/04/2021