

# DISCLOSURE PLAN

For Proposed Lot 1475  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Mandatory Zero Lot Line Boundary
	Nominal Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by developer)

- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 17-12-2021.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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  - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



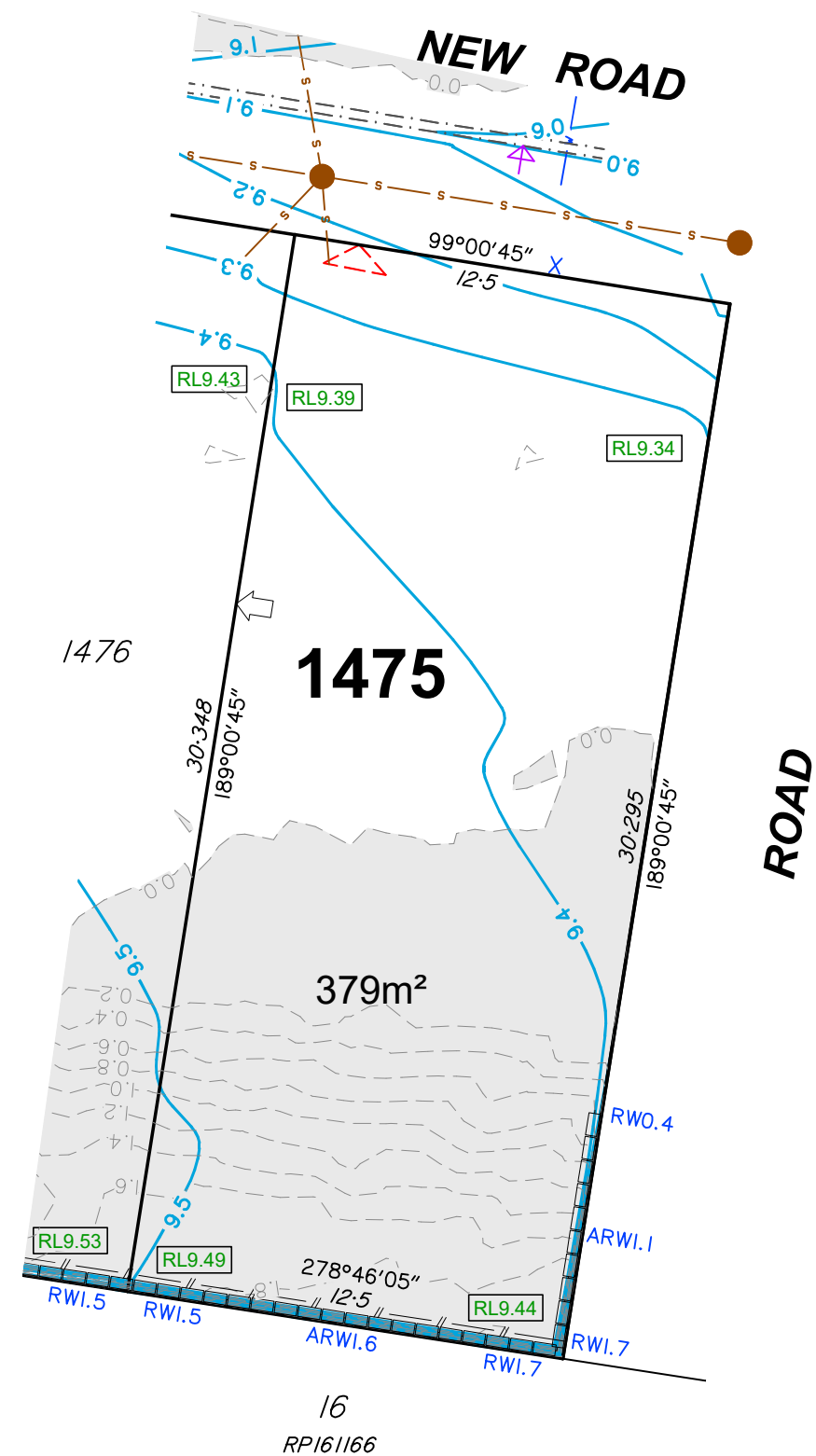
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.






DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1475 VERSION C



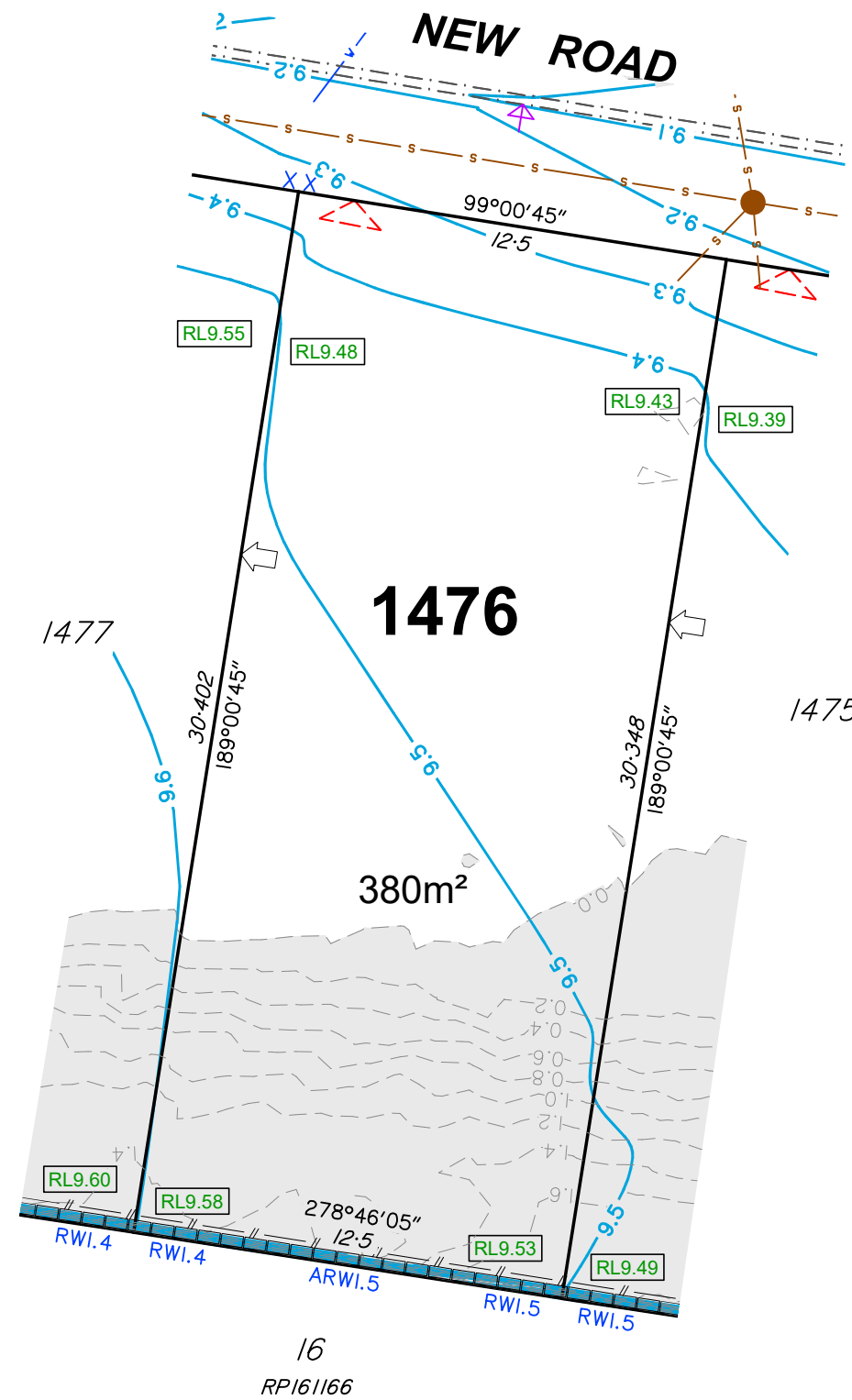
# DISCLOSURE PLAN

For Proposed Lot 1476  
Riverbank - Stage 21

Currently Described As  
RPD: Part of Lot 1028 on SP321913  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater
  -  Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  -  Proposed Driveway
  -  Mandatory Zero Lot Line Boundary
  -  Nominal Zero Lot Line Boundary
  - // // 1.8m High Timber Fence (Installed by  
developer)

- Notes:**
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  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



# RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023  
DRAWING NO. SB3594\_21-01-1476  
VERSION C

16  
RPI61166

# DISCLOSURE PLAN

For Proposed Lot 1477  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Mandatory Zero Lot Line Boundary
	Nominal Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by developer)

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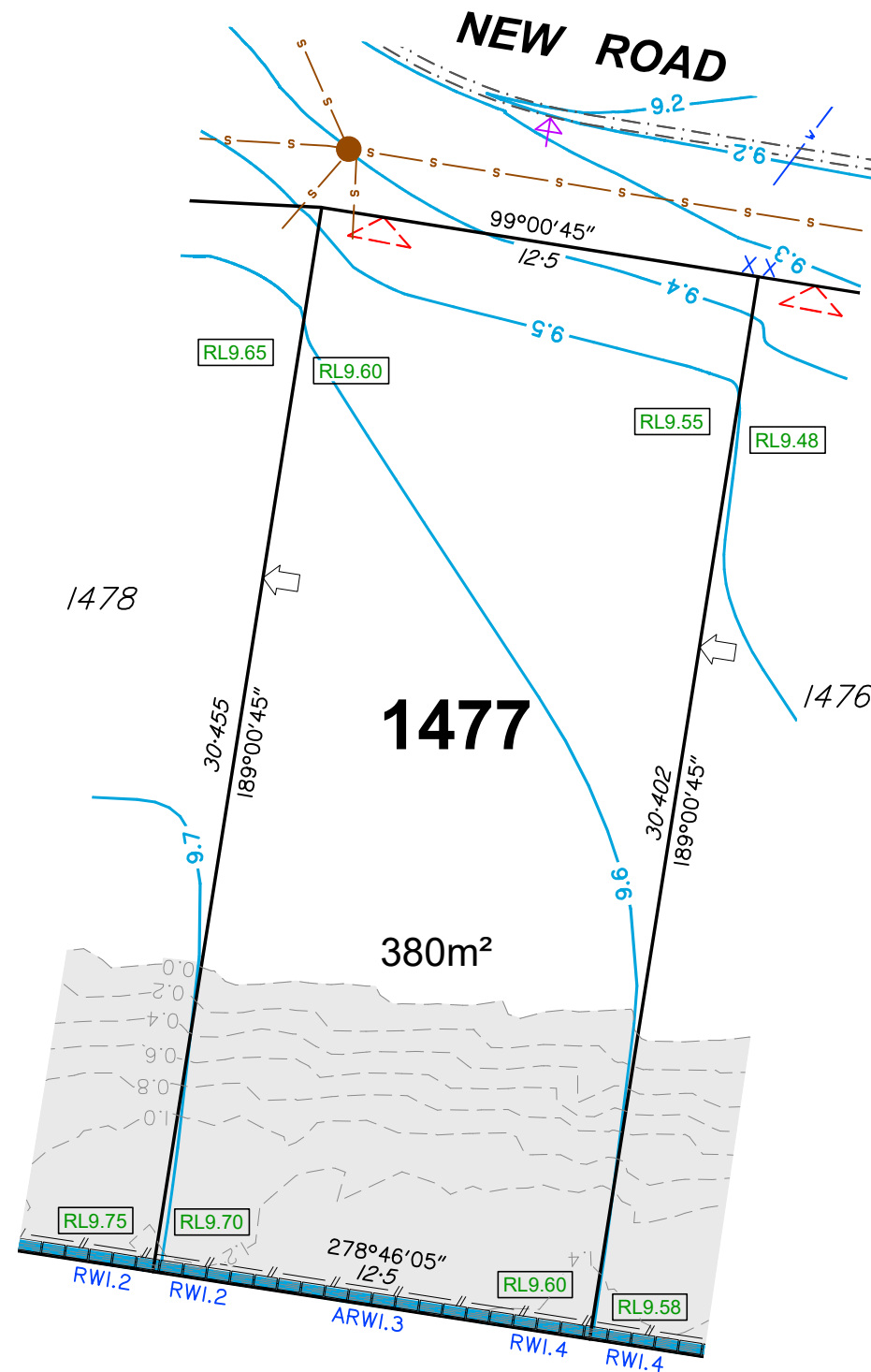
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1477 VERSION C



16  
RPI6/1166

# DISCLOSURE PLAN

For Proposed Lot 1478  
Riverbank - Stage 2 1

Currently Described As  
RPD: Part of Lot 1028 on SP321913  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Mandatory Zero Lot Line Boundary
	Nominal Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by developer)

- Notes:**
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  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 17-12-2021.
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# RIVERBANK



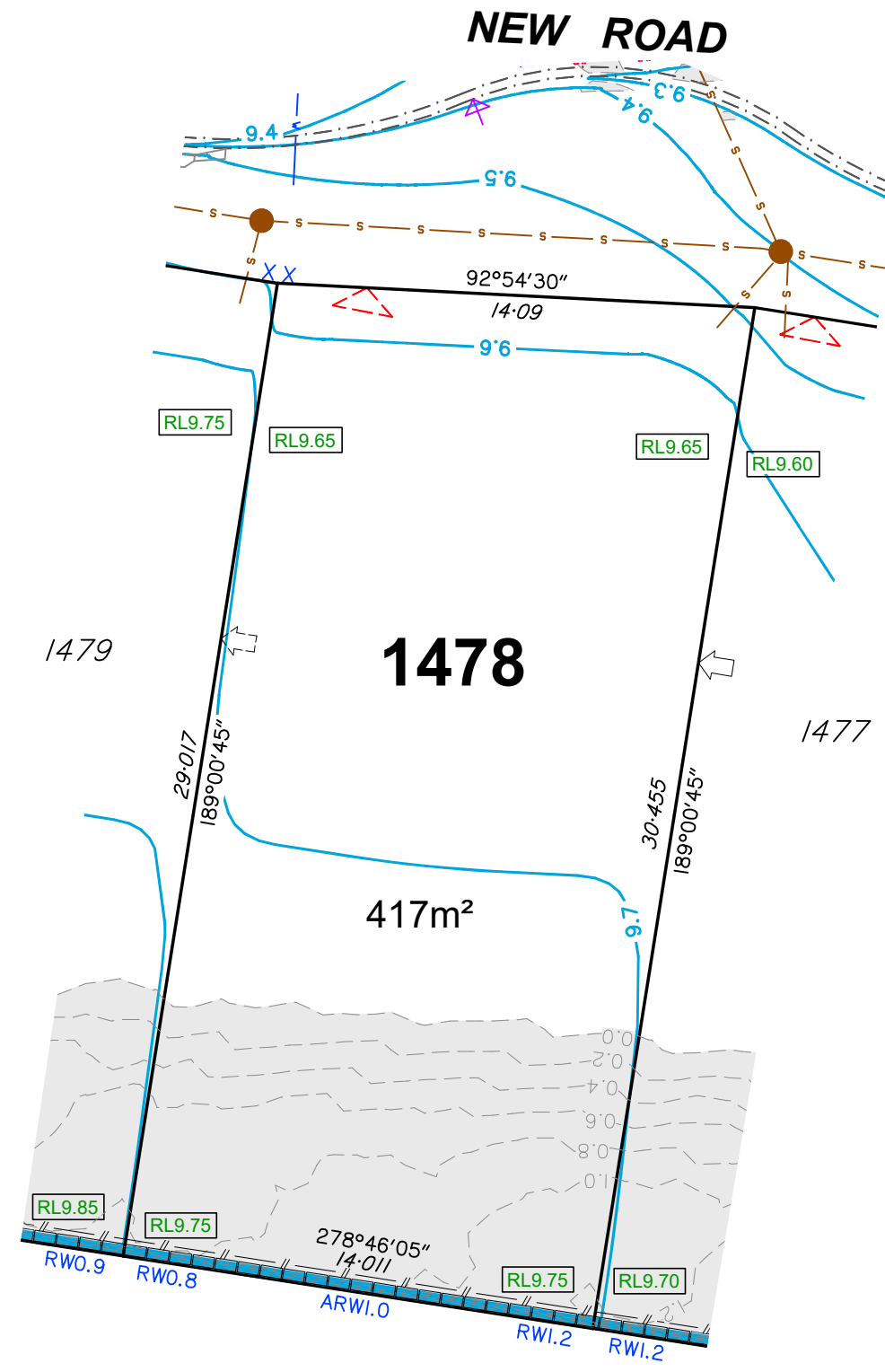
Planning 
 Urban Design 
 Landscape 
 Environment 
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1478 VERSION C



16  
RPI161166

# DISCLOSURE PLAN

For Proposed Lot 1479  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
 RPD: Caboolture South  
 Locality: Caboolture South  
 Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Mandatory Zero Lot Line Boundary
	Nominal Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by developer)

- Notes:**
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# RIVERBANK



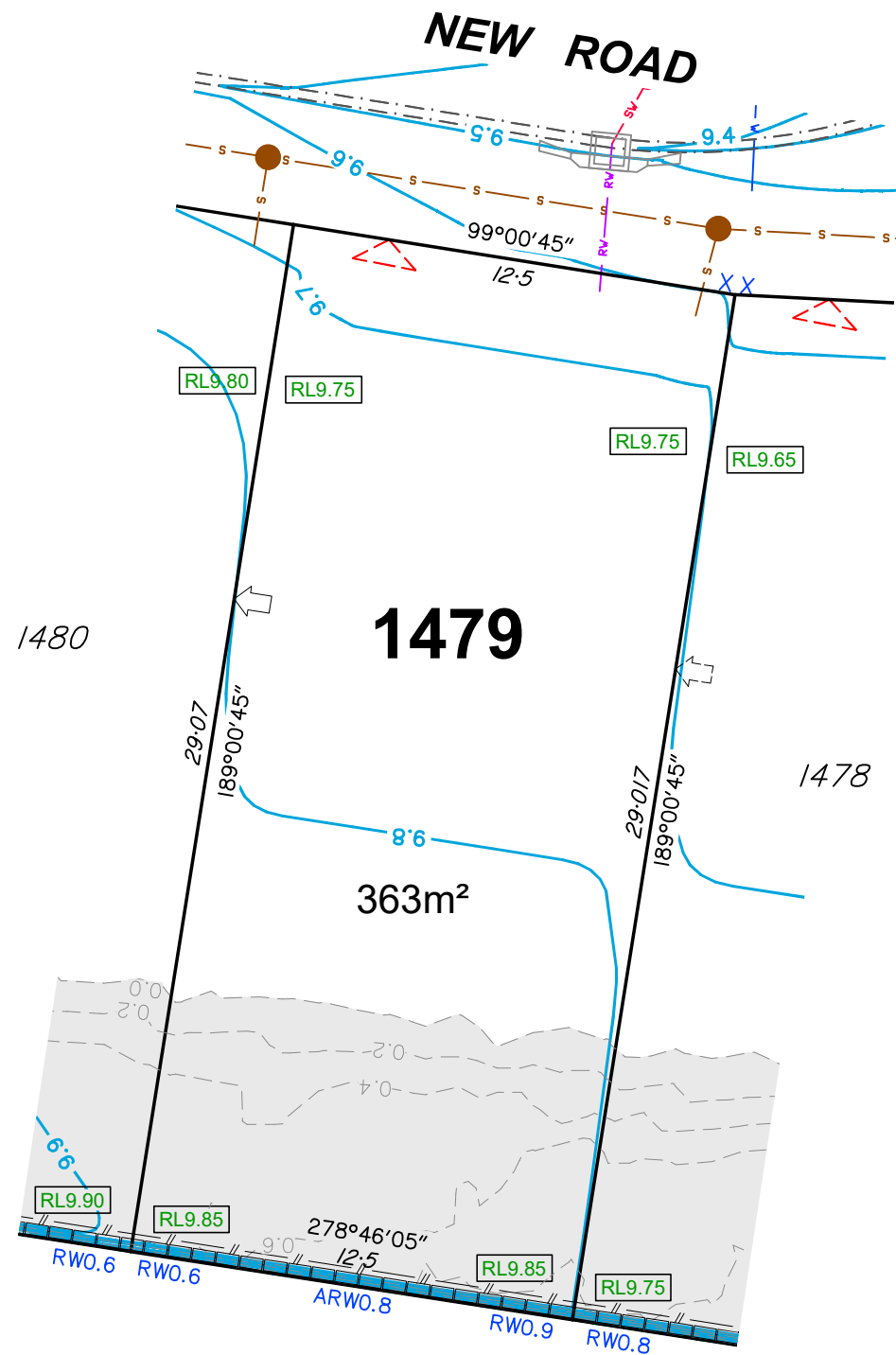
Planning
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 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1479 VERSION C



16  
RPI161166

# DISCLOSURE PLAN

For Proposed Lot 1480  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Mandatory Zero Lot Line Boundary
	Nominal Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by developer)

- Notes:**
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# RIVERBANK



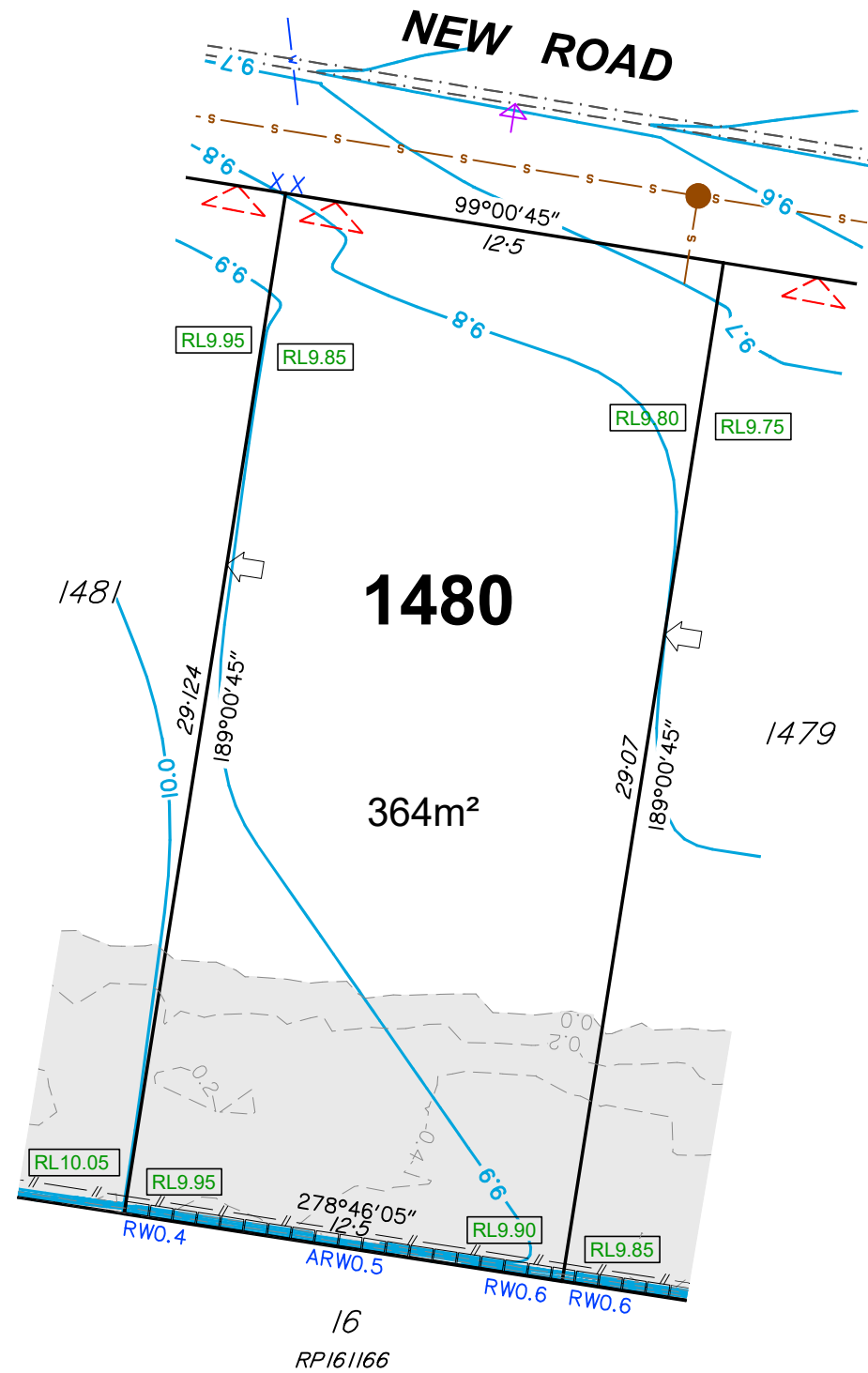
Planning
 Urban Design
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 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1480 VERSION C



# DISCLOSURE PLAN

For Proposed Lot 1481  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Mandatory Zero Lot Line Boundary
	Nominal Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by developer)

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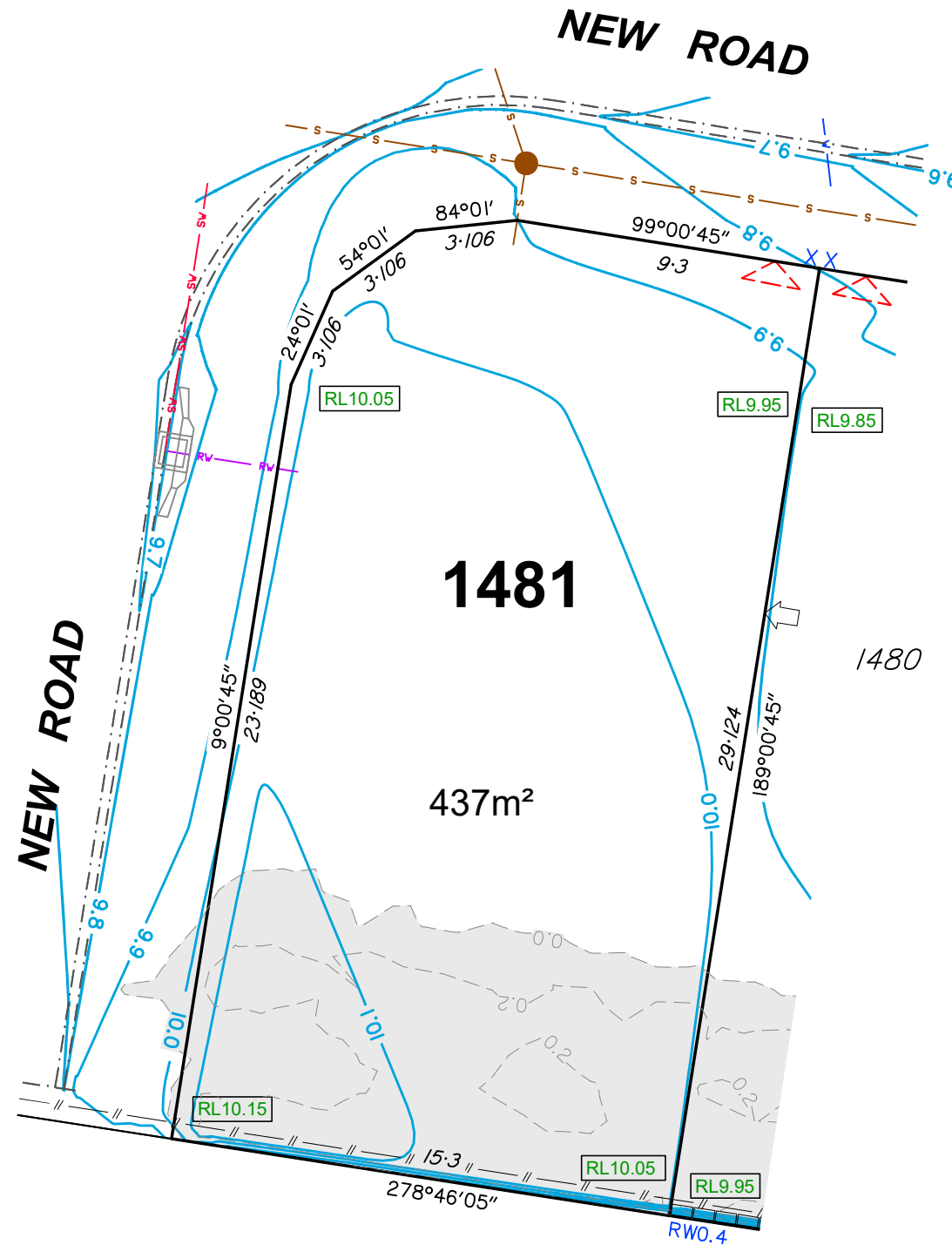
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1481 VERSION C





16  
RP/161166

# DISCLOSURE PLAN

For Proposed Lot 1482  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s - s - Sewer/Sewer Manhole
  - sv - sv - Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv - rv - Roofwater
  -  Kerb Adapter
  - v - v - Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - <img alt="Proposed Driveway symbol" data-bbox="790 425 815 445"/> Proposed Driveway
  - <img alt="Mandatory Zero Lot Line Boundary symbol" data-bbox="795 445 810 465"/> Mandatory Zero Lot Line Boundary
  - <img alt="Nominal Zero Lot Line Boundary symbol" data-bbox="795 465 810 485"/> Nominal Zero Lot Line Boundary
  - - - - - 1.8m High Timber Fence (Installed by developer)

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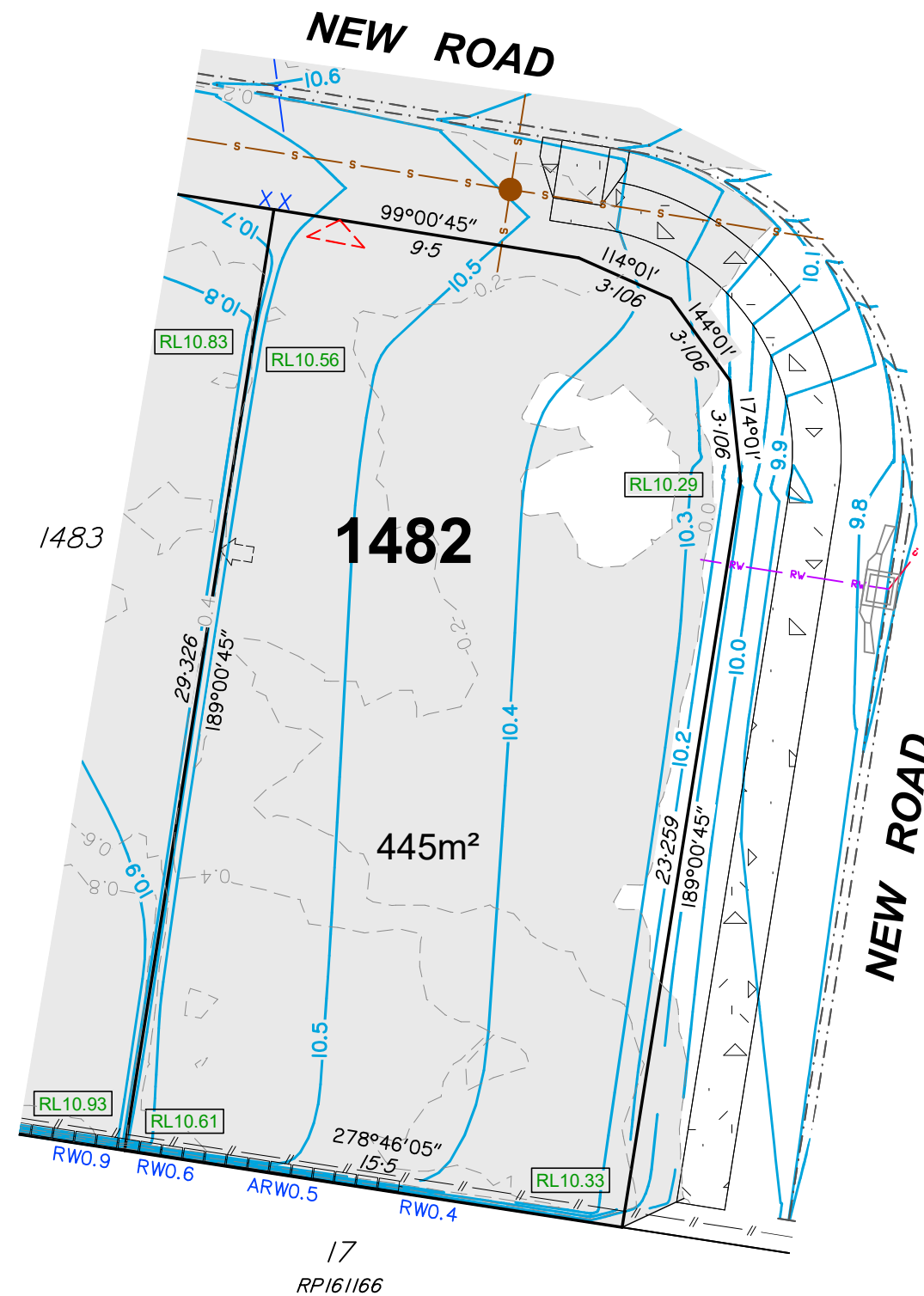
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HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1482 VERSION C







# DISCLOSURE PLAN

For Proposed Lot 1483  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater
  -  Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - <img alt="Proposed Driveway symbol" data-bbox="790 430 815 445"/> Proposed Driveway
  - <img alt="Mandatory Zero Lot Line Boundary symbol" data-bbox="795 450 810 465"/> Mandatory Zero Lot Line Boundary
  - <img alt="Nominal Zero Lot Line Boundary symbol" data-bbox="795 465 810 480"/> Nominal Zero Lot Line Boundary
  - // // 1.8m High Timber Fence (Installed by developer)

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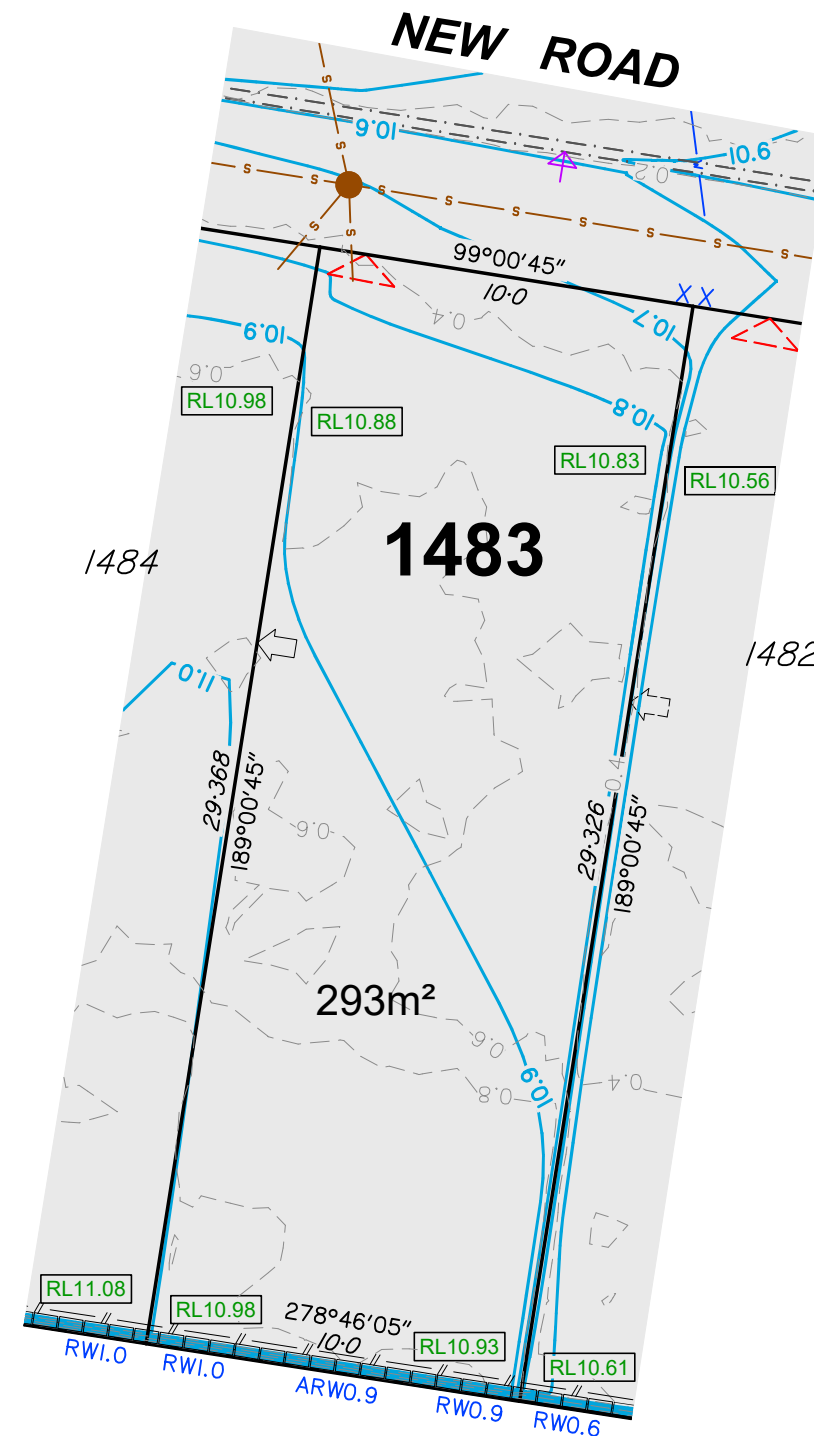
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 <img alt="Environment icon" data-bbox="888 848 901 861"/> Environment
 <img alt="Surveying icon" data-bbox="938 848 951 861"/> Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1483 VERSION C



17  
RP161166

# DISCLOSURE PLAN

For Proposed Lot 1484  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Mandatory Zero Lot Line Boundary
	Nominal Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by developer)

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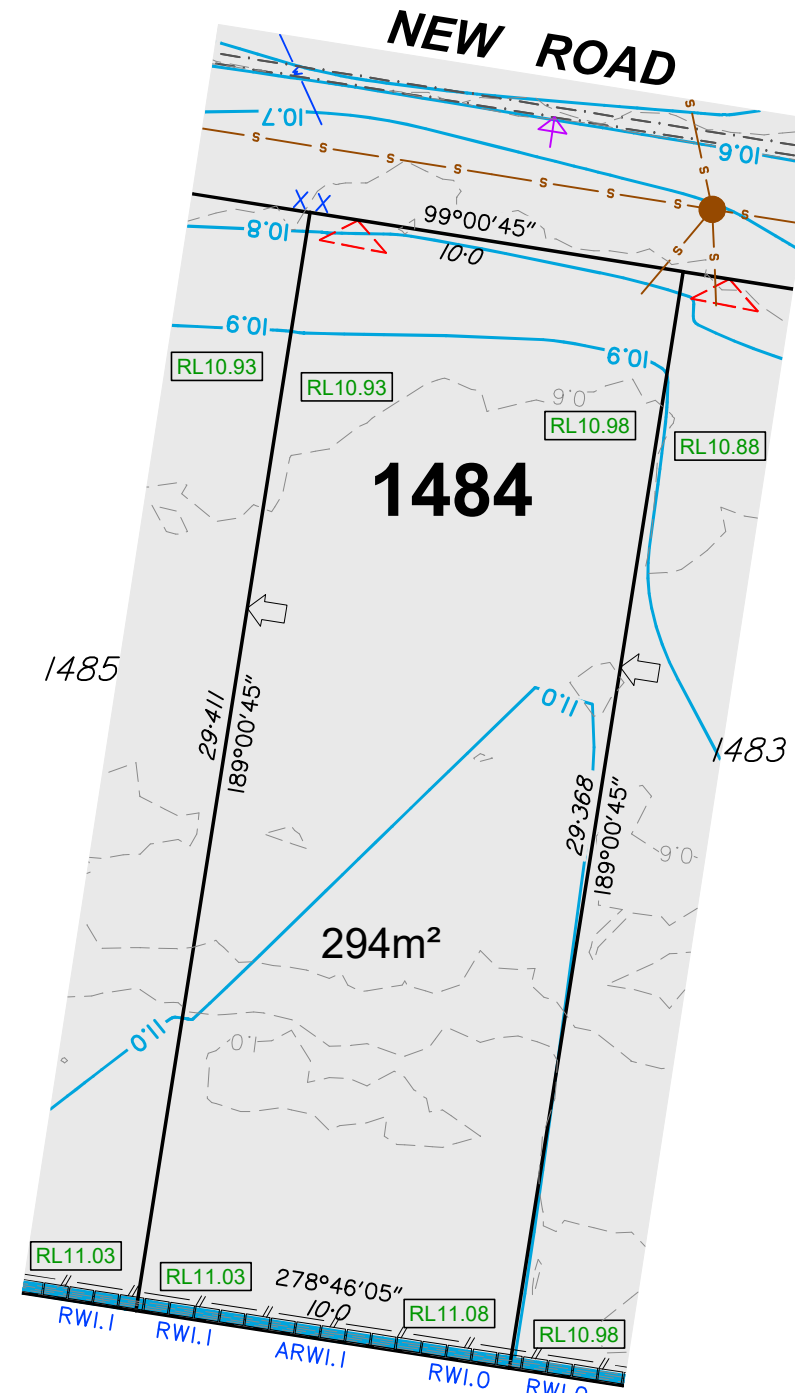
Planning
 Urban Design
 Landscape
 Environment
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HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1484 VERSION C








17  
RP161166

# DISCLOSURE PLAN

For Proposed Lot 1485  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - — — — — Easement Boundary
  - — — — — Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RV — RV — Roofwater
  -  Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  -  Proposed Driveway
  -  Mandatory Zero Lot Line Boundary
  -  Nominal Zero Lot Line Boundary
  - // // 1.8m High Timber Fence (Installed by  
developer)

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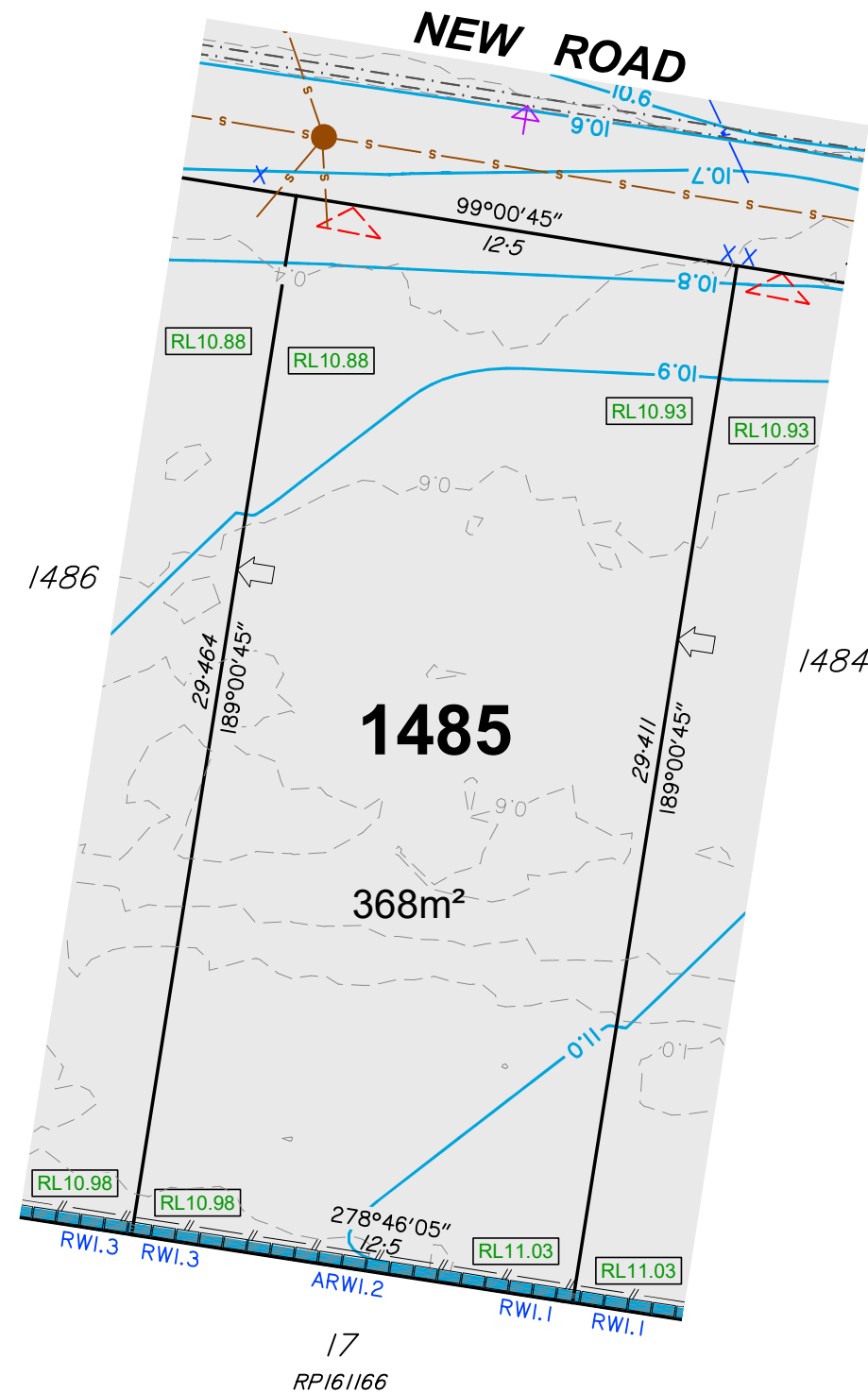
■ Planning 
 ■ Urban Design 
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 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023  
DRAWING NO. SB3594\_21-01-1485  
VERSION C



# DISCLOSURE PLAN

For Proposed Lot 1486  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Mandatory Zero Lot Line Boundary
	Nominal Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by developer)

- Notes:**
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  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 17-12-2021.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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  - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



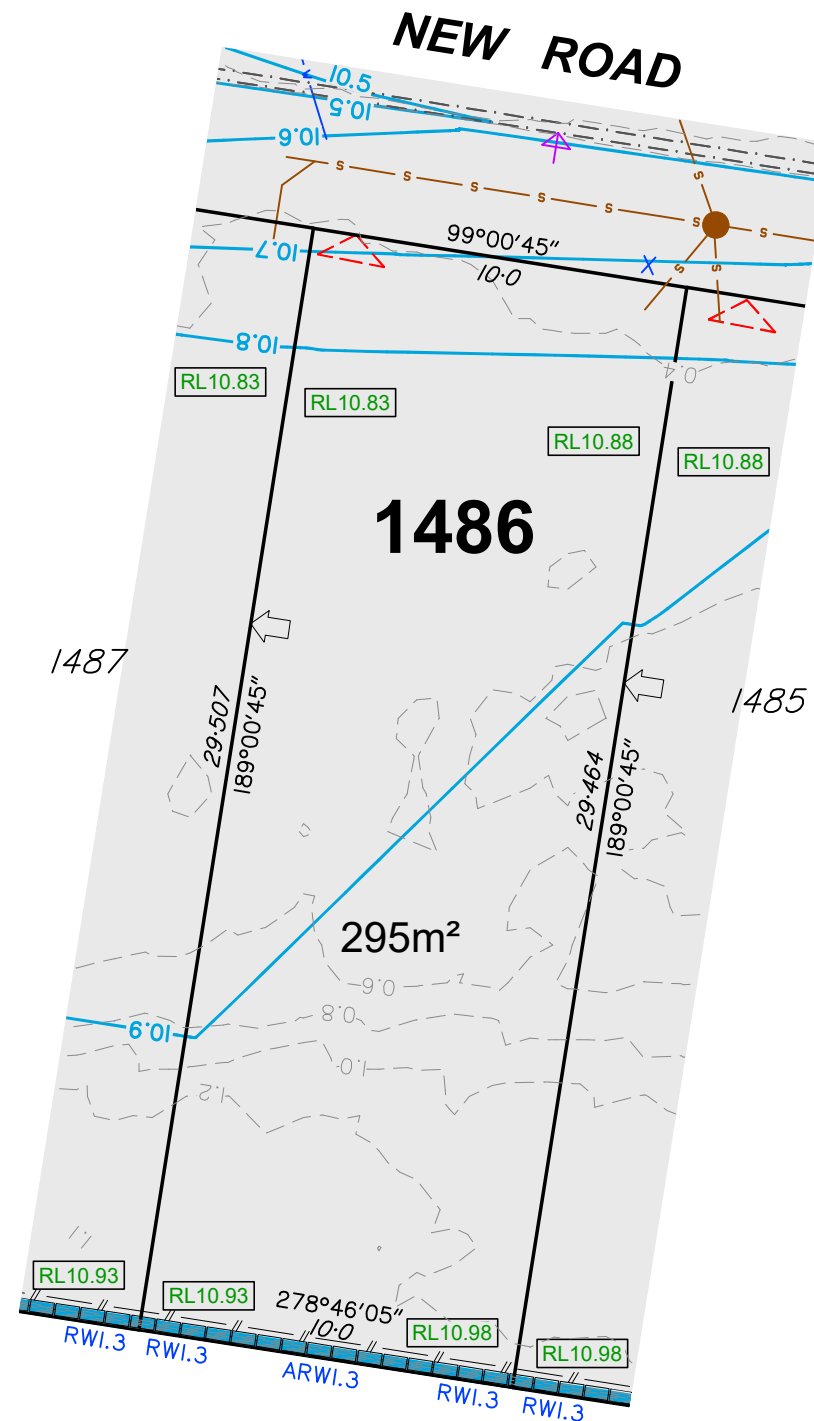
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1486 VERSION C



17  
RP161166

# DISCLOSURE PLAN

For Proposed Lot 1487  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Mandatory Zero Lot Line Boundary
	Nominal Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by developer)

- Notes:**
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# RIVERBANK



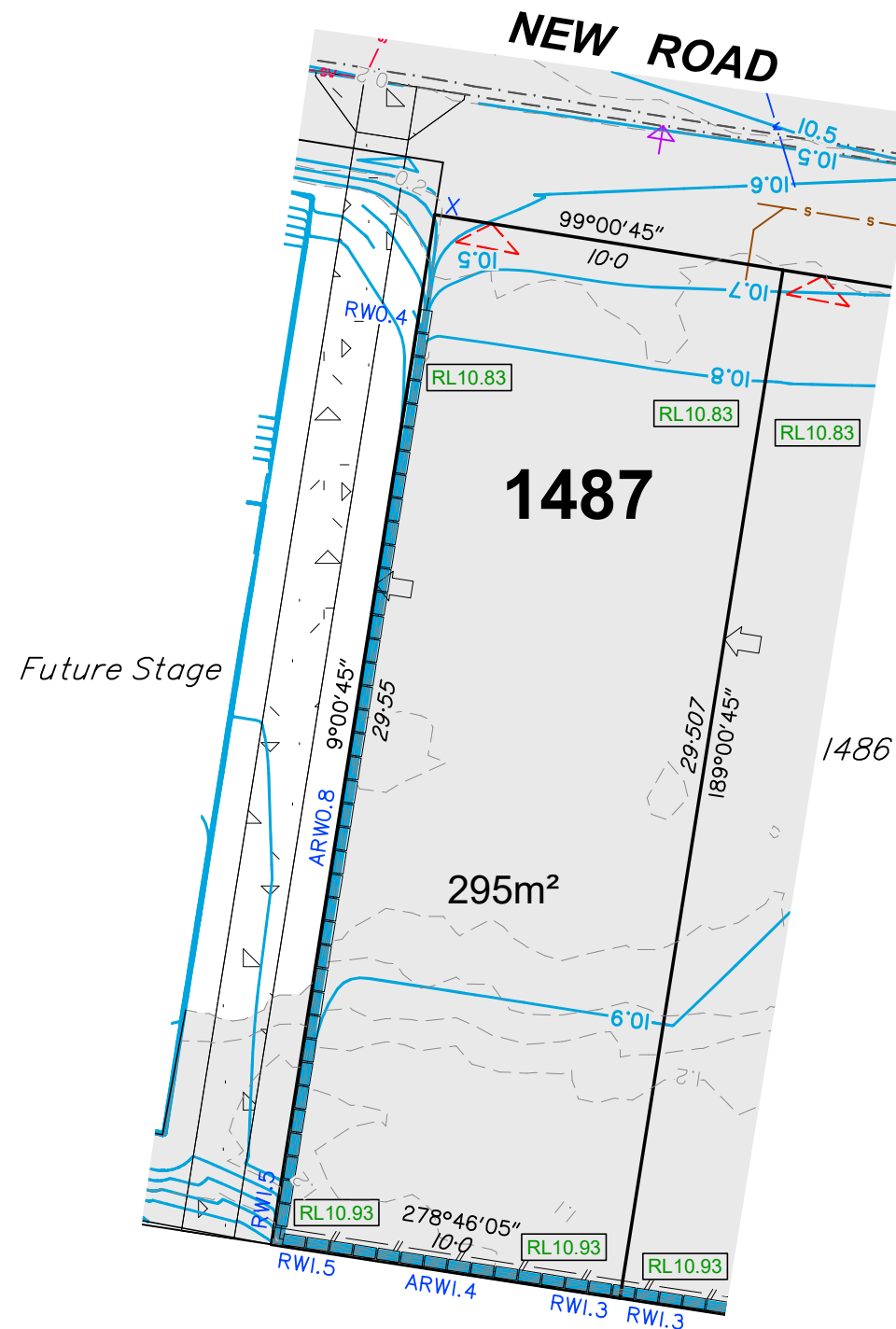
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1487 VERSION C



17  
RPI61166

# DISCLOSURE PLAN

For Proposed Lot 1488  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - v — v — Water/Water Fitting
  - Water Meter
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - < Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
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# RIVERBANK



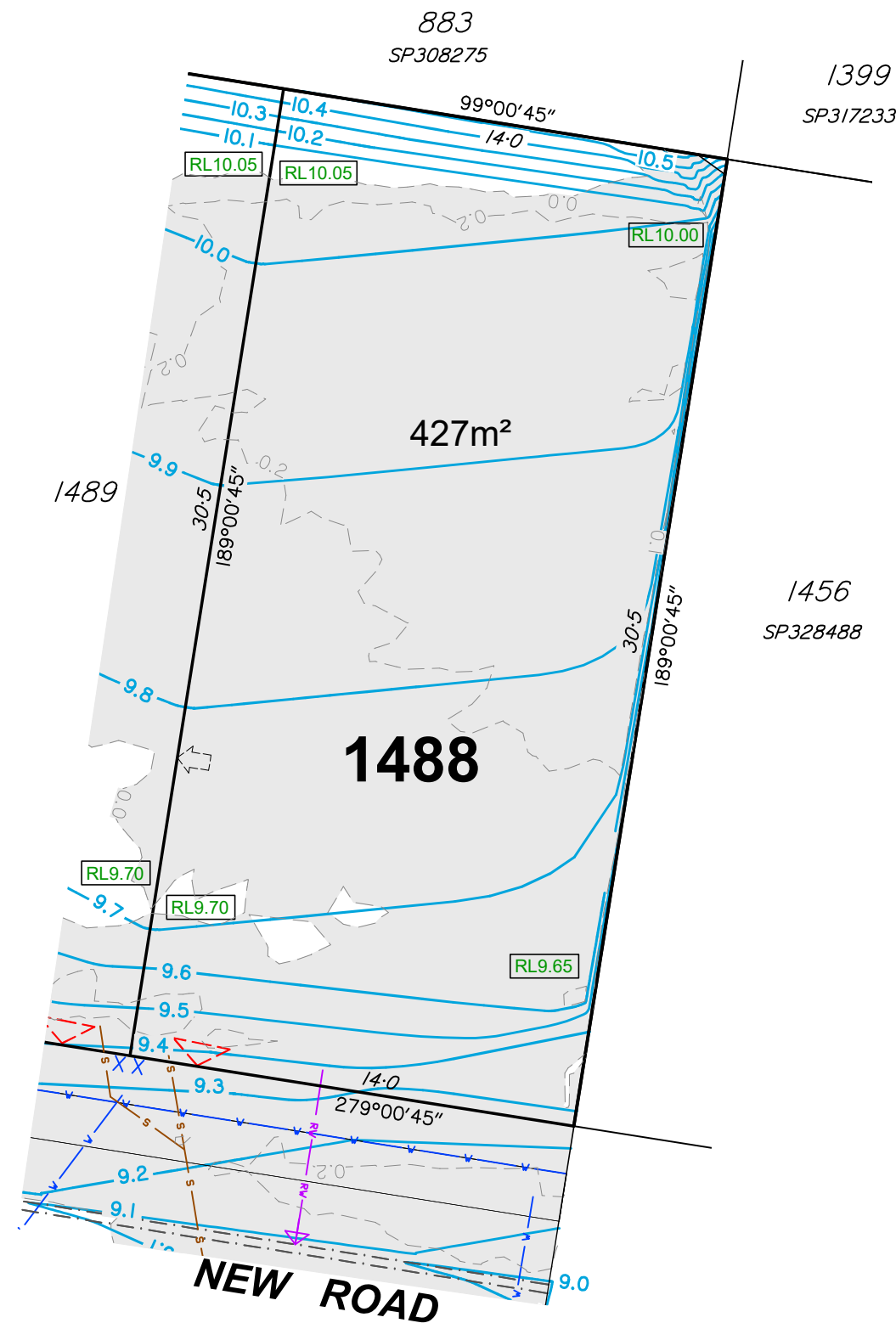
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023      DRAWING NO. SB3594\_21-01-1488      VERSION C



# DISCLOSURE PLAN

For Proposed Lot 1489  
Riverbank - Stage 21

Currently Described As  
RPD: Part of Lot 1028 on SP321913  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - > Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
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## RIVERBANK



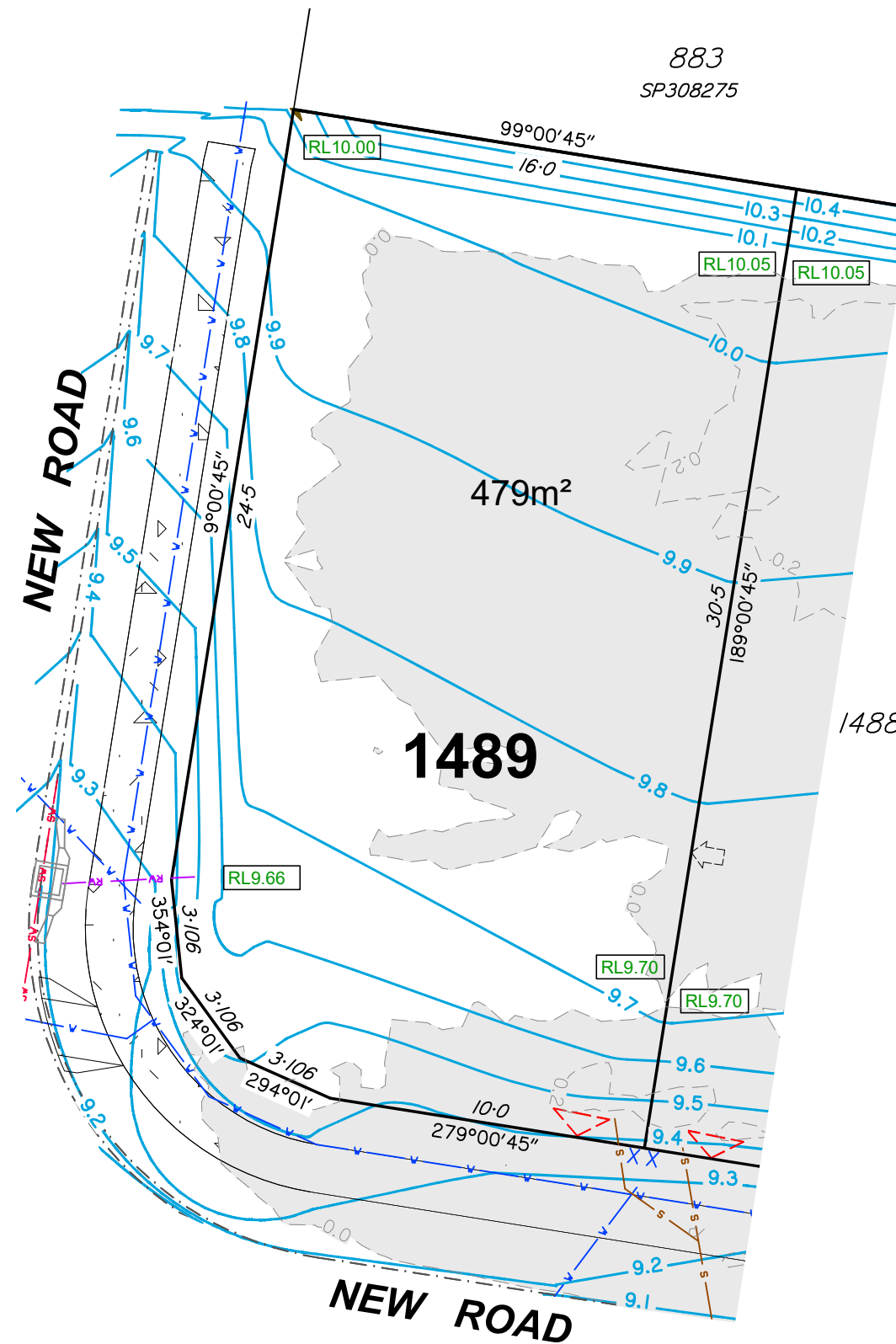
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023      DRAWING NO. SB3594\_21-01-1489      VERSION C



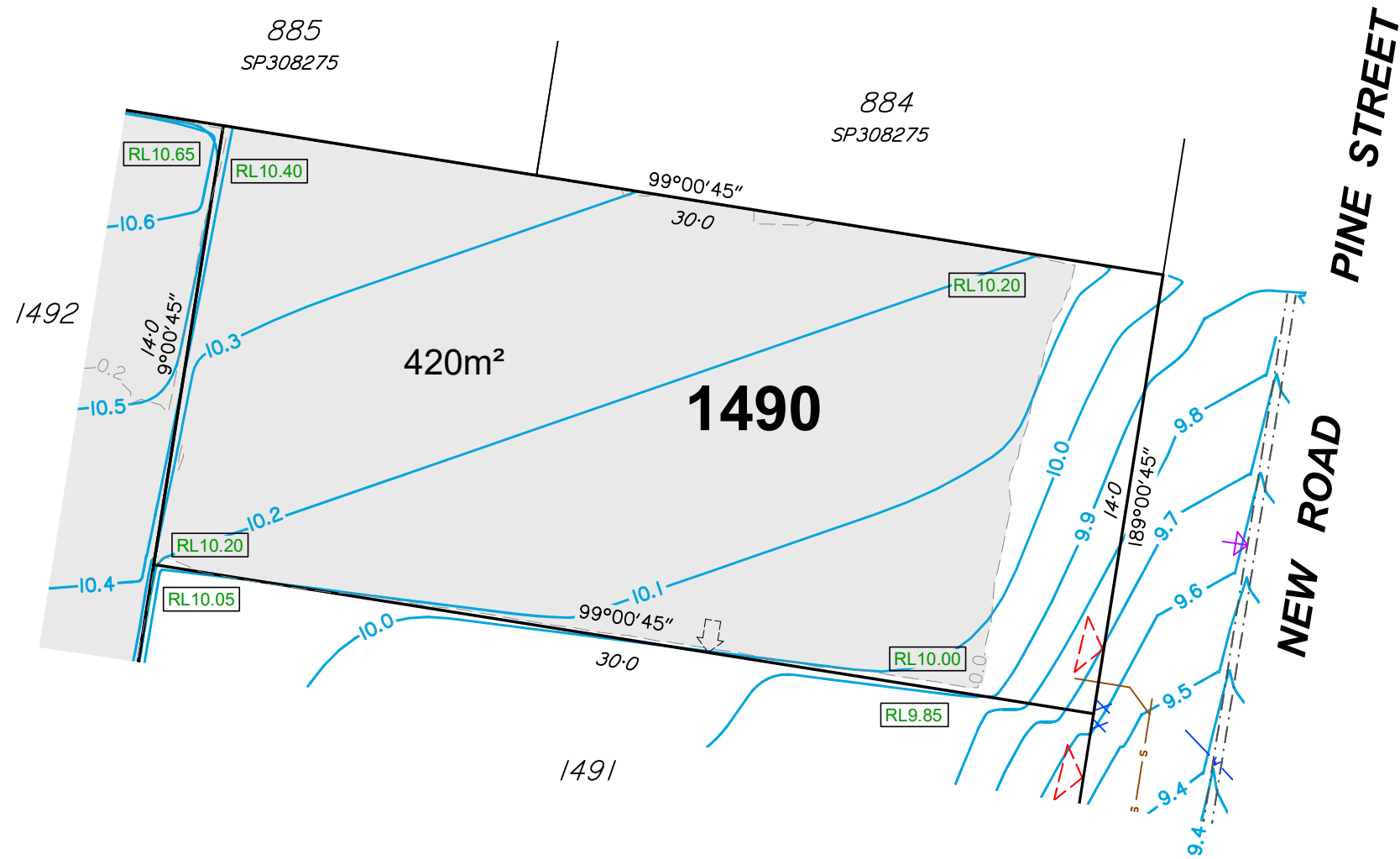
# DISCLOSURE PLAN

For Proposed Lot 1490  
Riverbank - Stage 2 1

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Mandatory Zero Lot Line Boundary
	Nominal Zero Lot Line Boundary



- Notes:**
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# RIVERBANK



Planning
 Urban Design
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 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1490 VERSION C

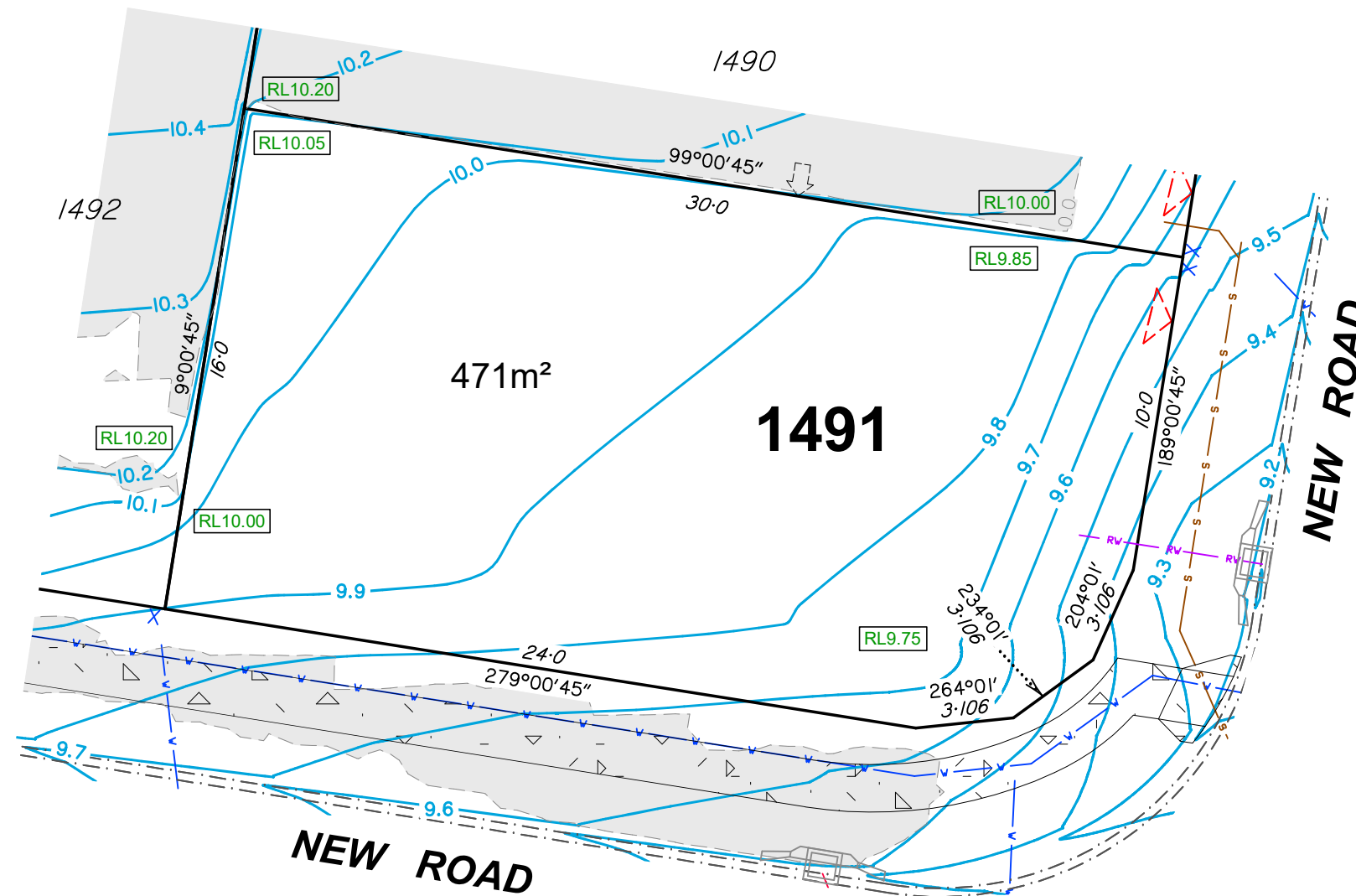


# DISCLOSURE PLAN

For Proposed Lot 1491  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - △ Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary



- Notes:**
1. This note is an integral part of this plan.
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  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK



□ Planning 
 □ Urban Design 
 □ Landscape 
 □ Environment 
 □ Surveying

HORIZONTAL MERIDIAN MGA  
Scale 1:200 @A3  
LEVEL DATUM AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1491 VERSION C

# DISCLOSURE PLAN

For Proposed Lot 1492  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - v — v — Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - > Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary

- Notes:**
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# RIVERBANK



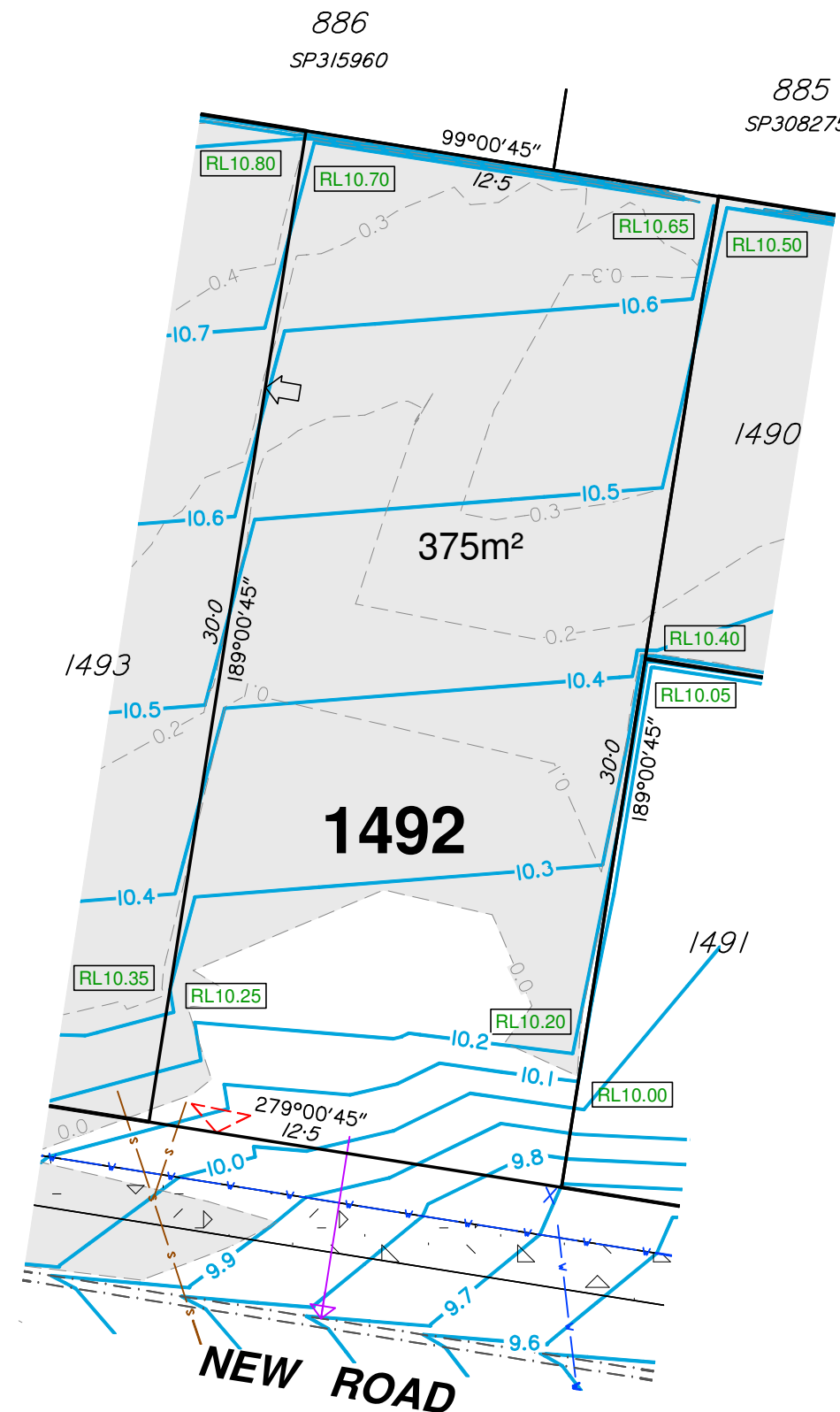
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 26-07-2022 DRAWING NO. SB3594\_21-01-1492 VERSION B



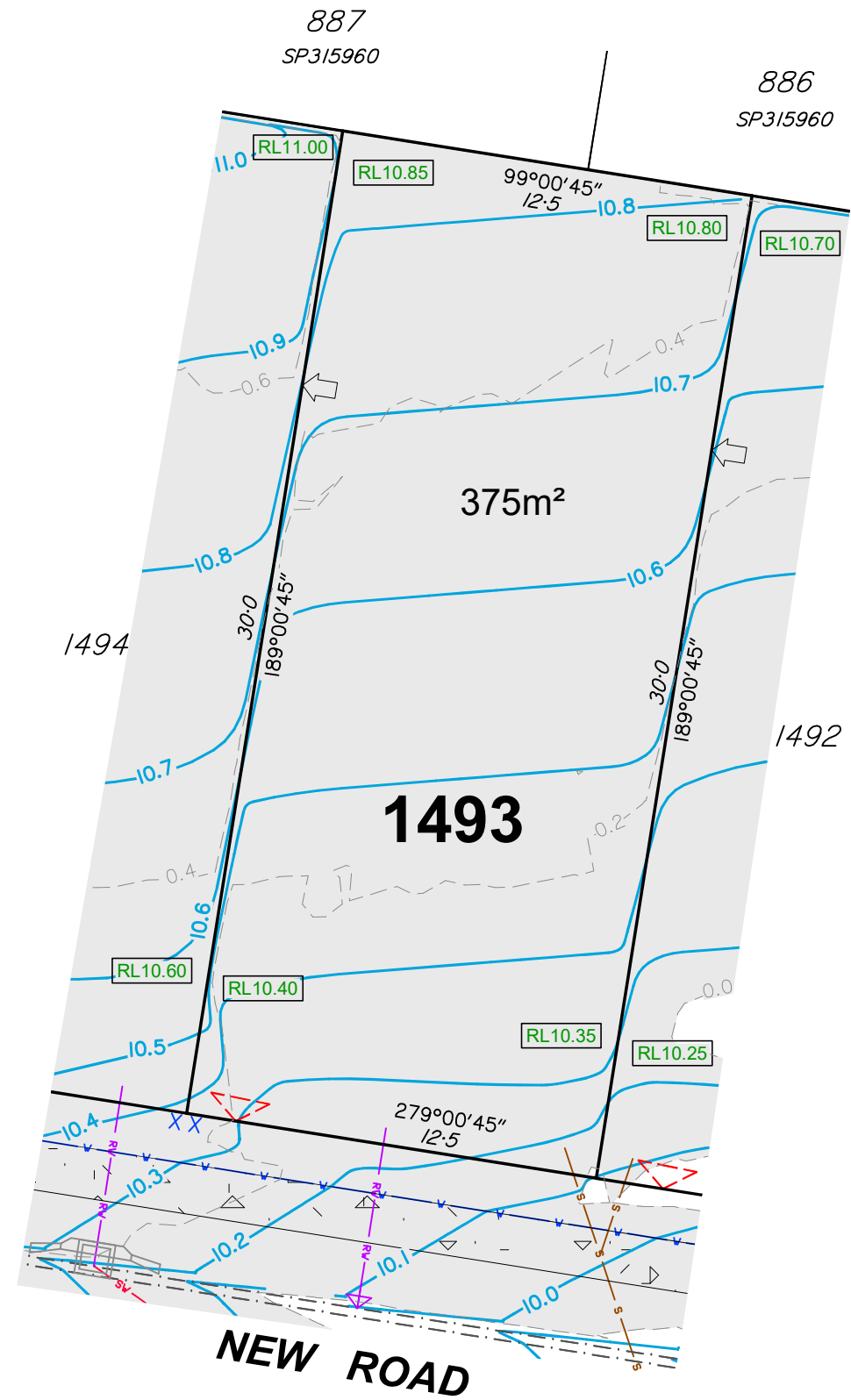
# DISCLOSURE PLAN

For Proposed Lot 1493  
Riverbank - Stage 2 1

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - v — v — Water/Water Fitting
  - Water Meter
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - △ Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary

- Notes:**
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## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN MGA  
 Scale 1:200 @A3  
 LEVEL DATUM AHD.

DATE DRAWN 31-08-2023  
 DRAWING NO. SB3594\_21-01-1493  
 VERSION C

# DISCLOSURE PLAN

For Proposed Lot 1494  
Riverbank - Stage 2 1

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - v — v — Water/Water Fitting
  - Water Meter
  - RL57.32 Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - <img alt="Proposed Driveway symbol" style="width: 20px; height: 20px; vertical-align: middle;"/> Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary

- Notes:**
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# RIVERBANK



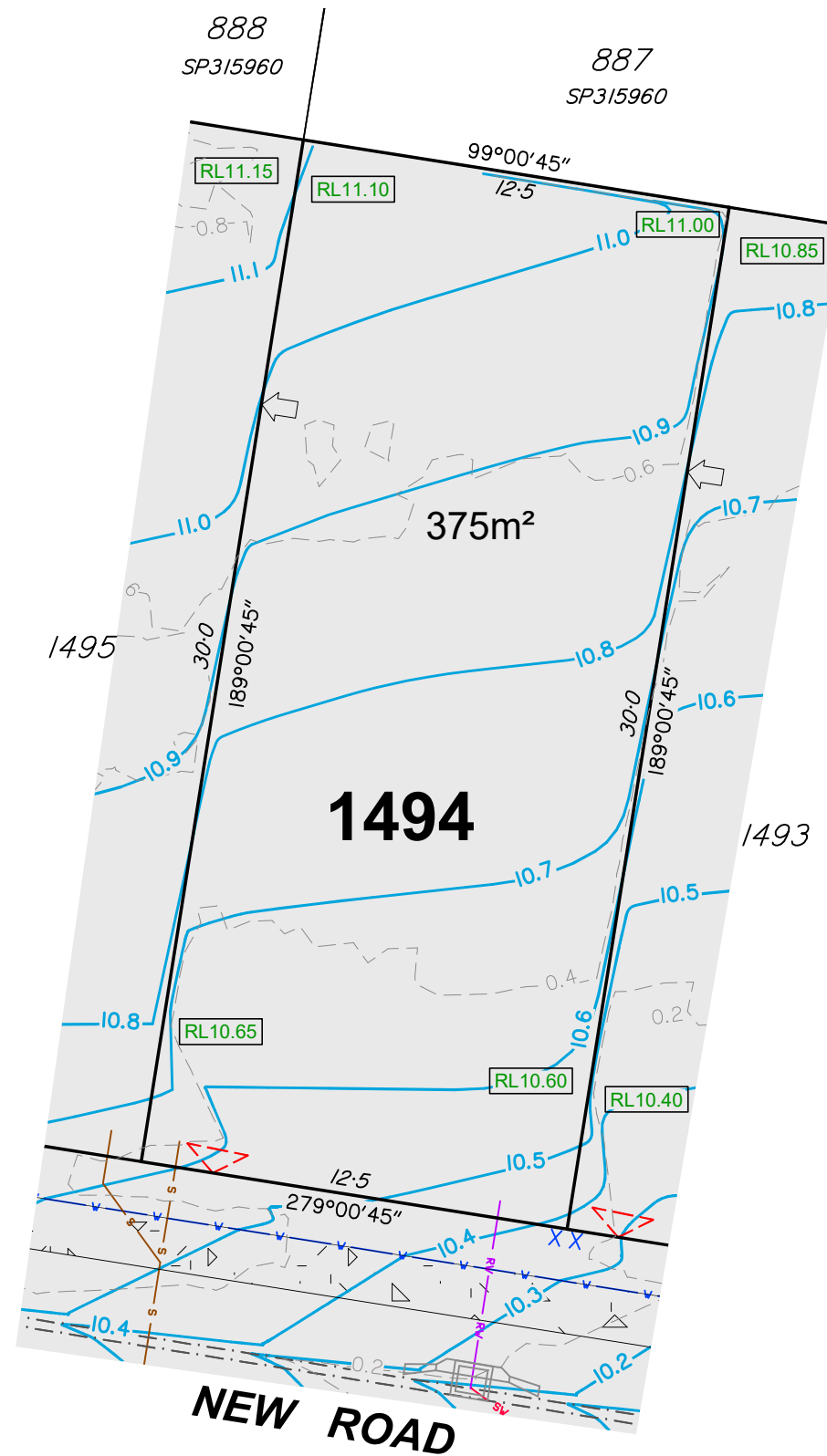
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1494 VERSION C



# DISCLOSURE PLAN

For Proposed Lot 1495  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - △ Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary

- Notes:**
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# RIVERBANK



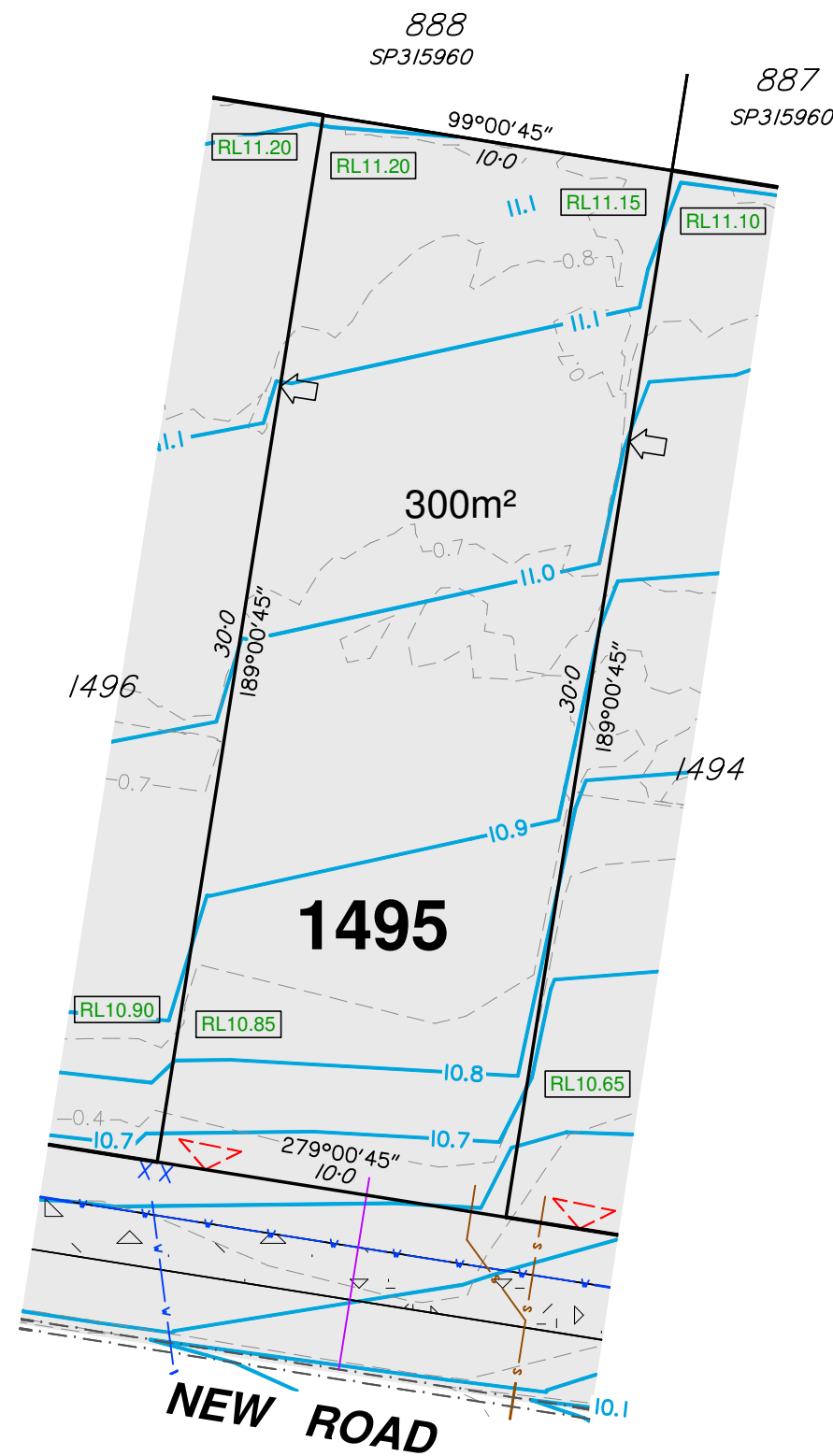
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 26-07-2022 DRAWING NO. SB3594\_21-01-1495 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 1496  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - v — v — Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - <img alt="Proposed Driveway symbol" style="vertical-align: middle;"/> Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary

- Notes:**
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# RIVERBANK

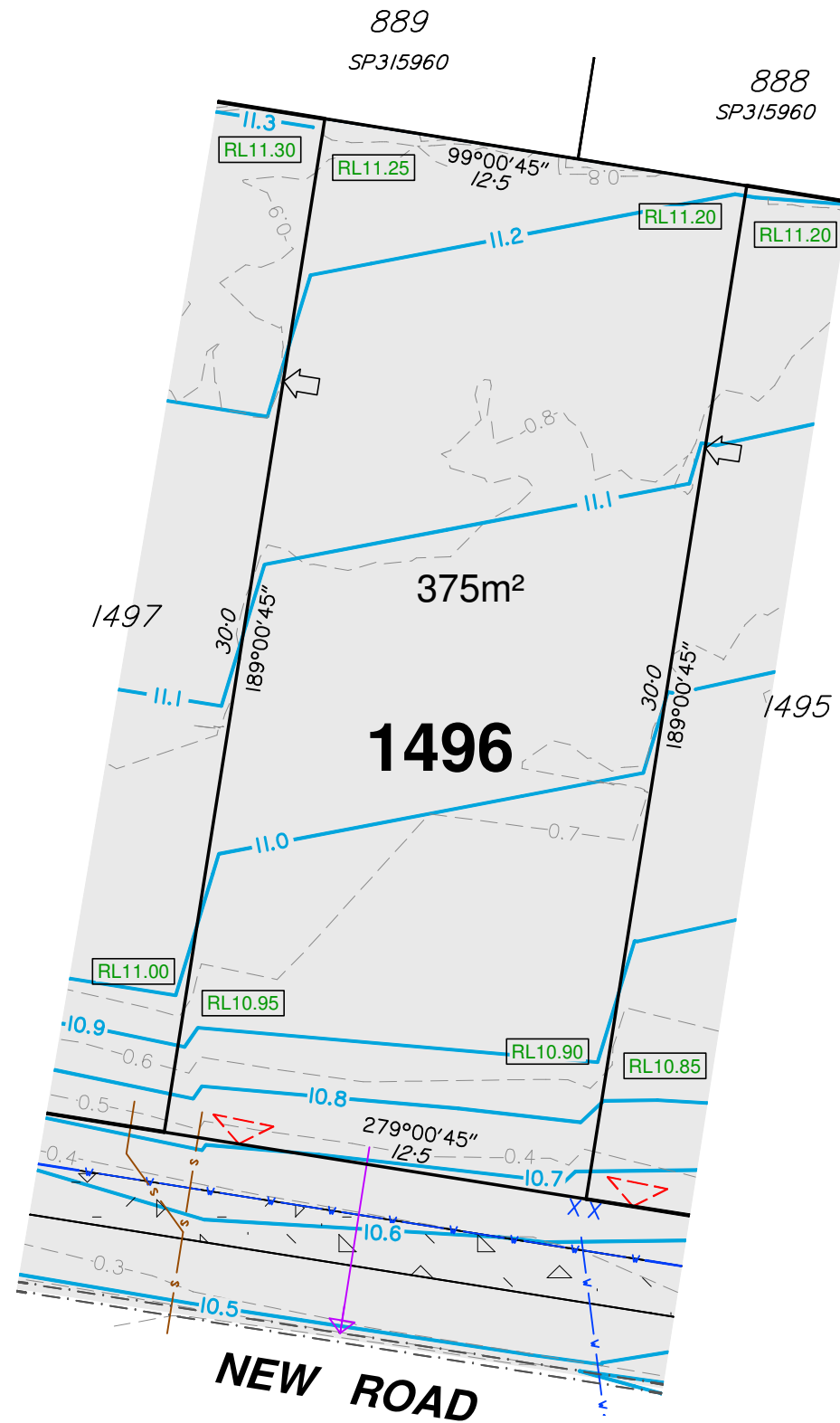


■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

LEVEL DATUM  
AHD.

DATE DRAWN 26-07-2022      DRAWING NO. SB3594\_21-01-1496      VERSION B



# DISCLOSURE PLAN

For Proposed Lot 1497  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - v — v — Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - < Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary

- Notes:**
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  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



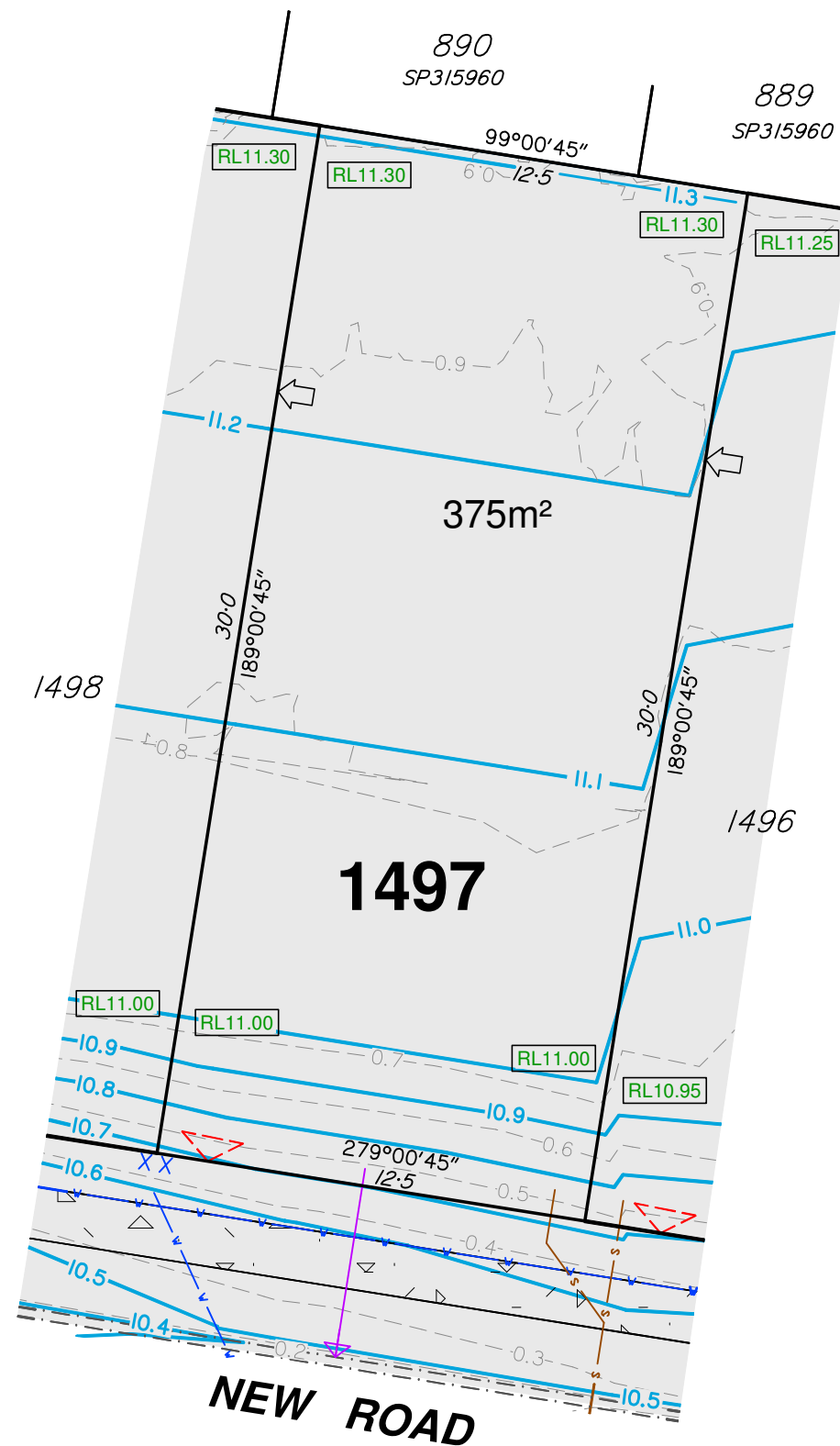
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 26-07-2022      DRAWING NO. SB3594\_21-01-1497      VERSION B

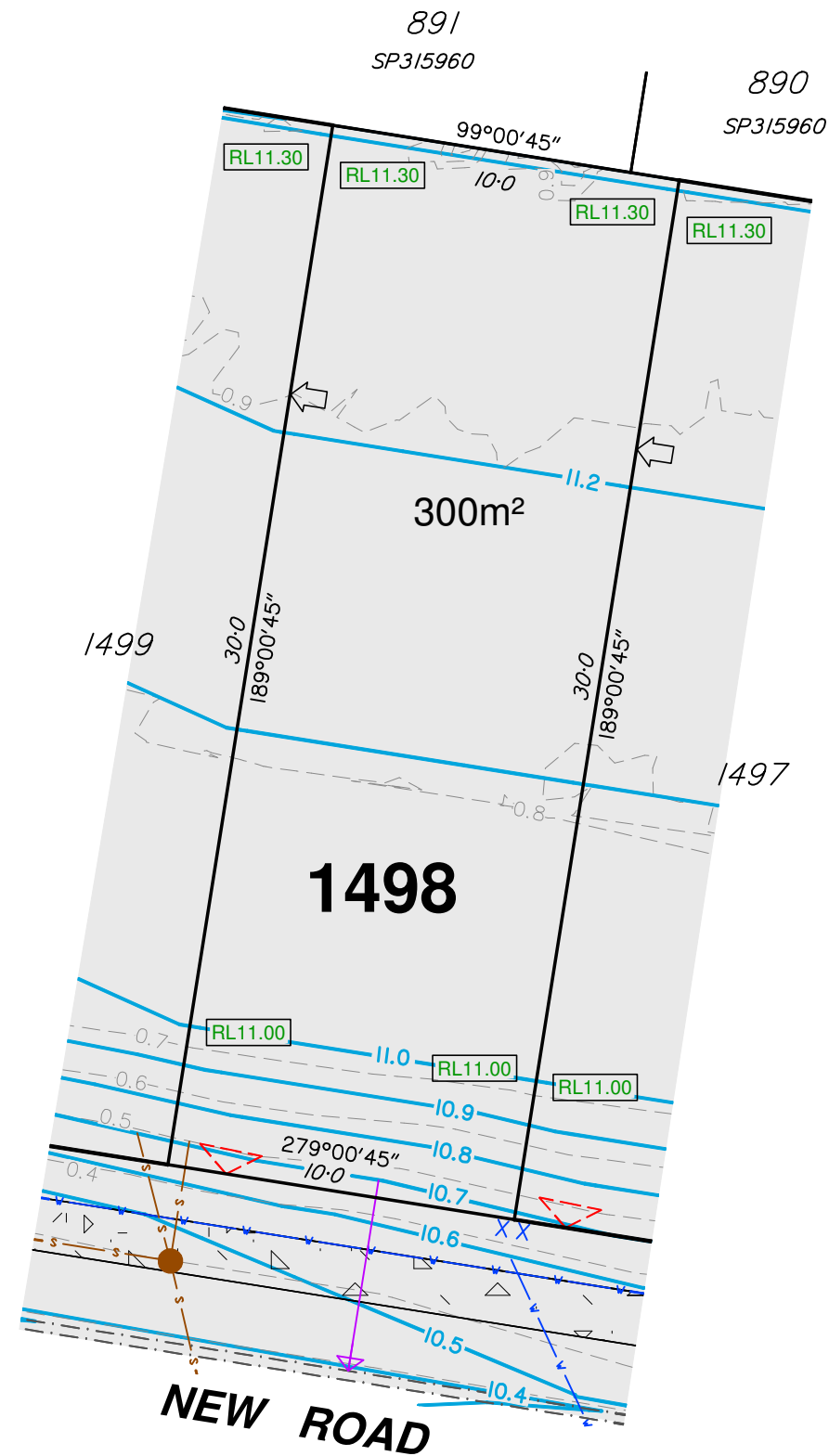


# DISCLOSURE PLAN

For Proposed Lot 1498  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
 RPD: Caboolture South  
 Locality: Caboolture South  
 Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - v — v — Water/Water Fitting
  - Water Meter
  - RL57.32 Area to be Filled
  - RL11.30 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - > Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 17-12-2021.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 26-07-2022 DRAWING NO. SB3594\_21-01-1498 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 1499  
Riverbank - Stage 2 1

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - v — v — Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - △ Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 17-12-2021.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



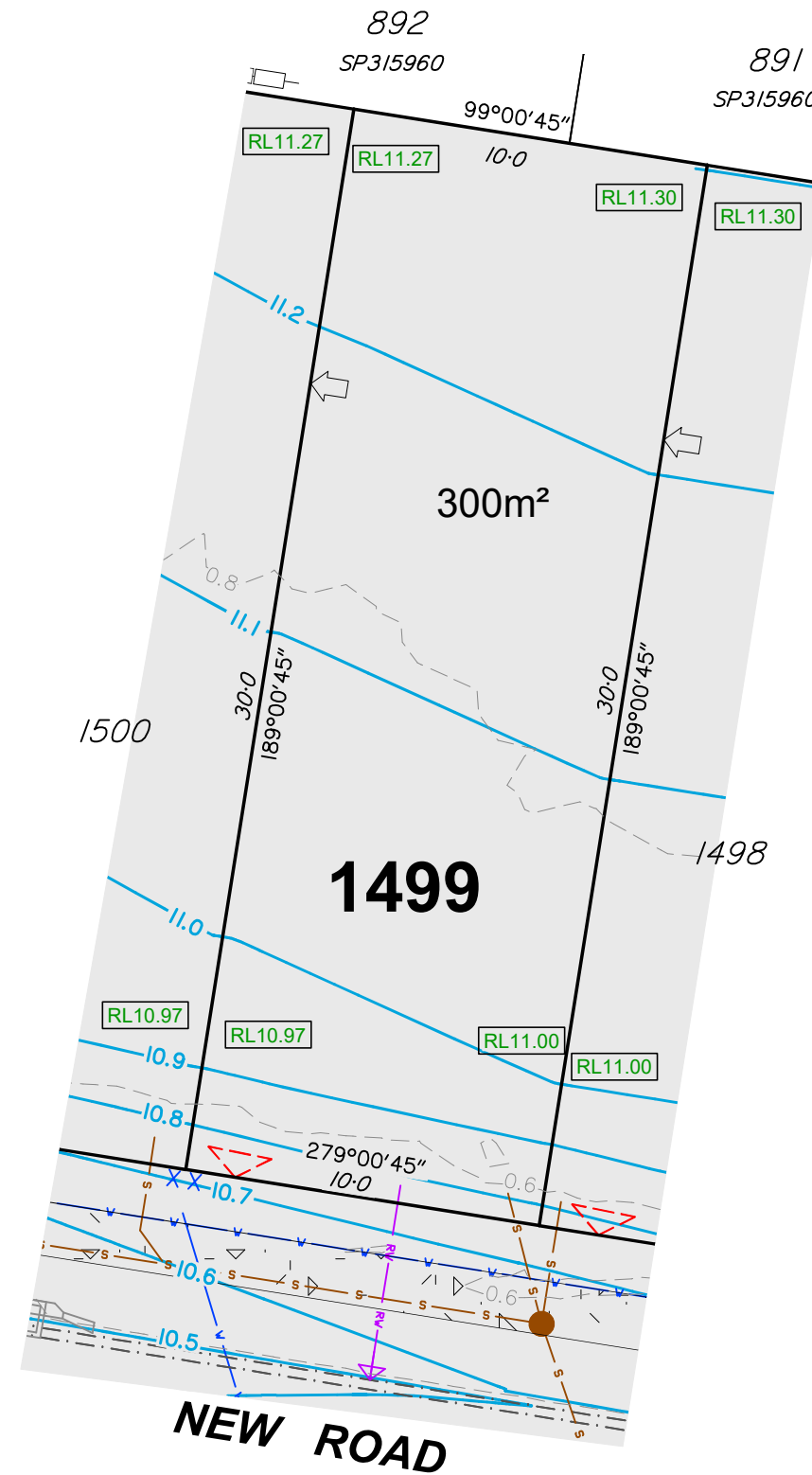
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

LEVEL DATUM  
AHD.

Scale 1:200 @A3

DATE DRAWN 31-08-2023      DRAWING NO. SB3594\_21-01-1499      VERSION C



# DISCLOSURE PLAN

For Proposed Lot 1500  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - v — v — Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - < Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 17-12-2021.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



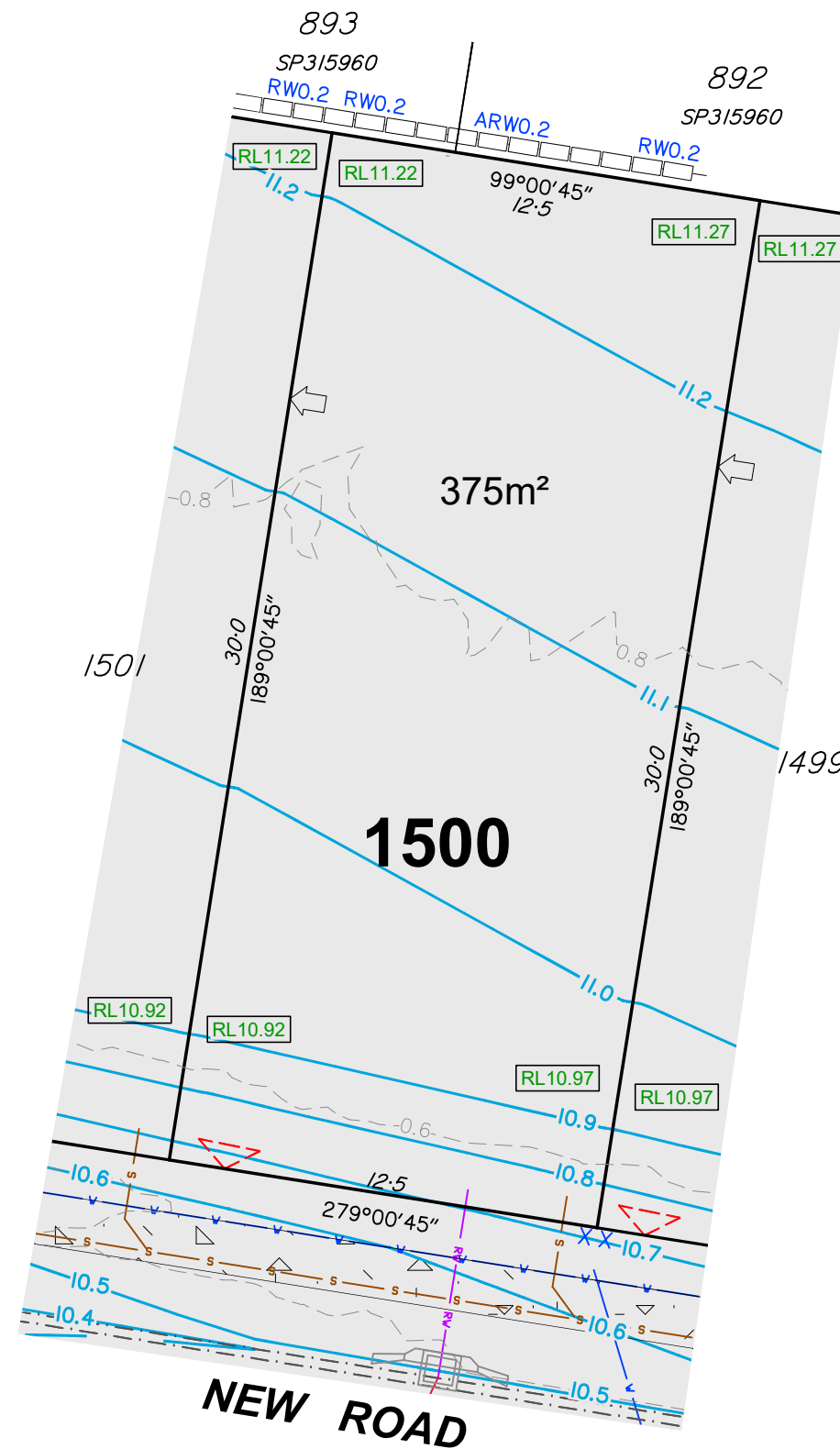
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1500 VERSION C



# DISCLOSURE PLAN

For Proposed Lot 1501  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
 RPD: Caboolture South  
 Locality: Caboolture South  
 Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - v — v — Water/Water Fitting
  - Water Meter
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - <img alt="Proposed Driveway symbol" style="vertical-align: middle;"/> Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 17-12-2021.
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  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



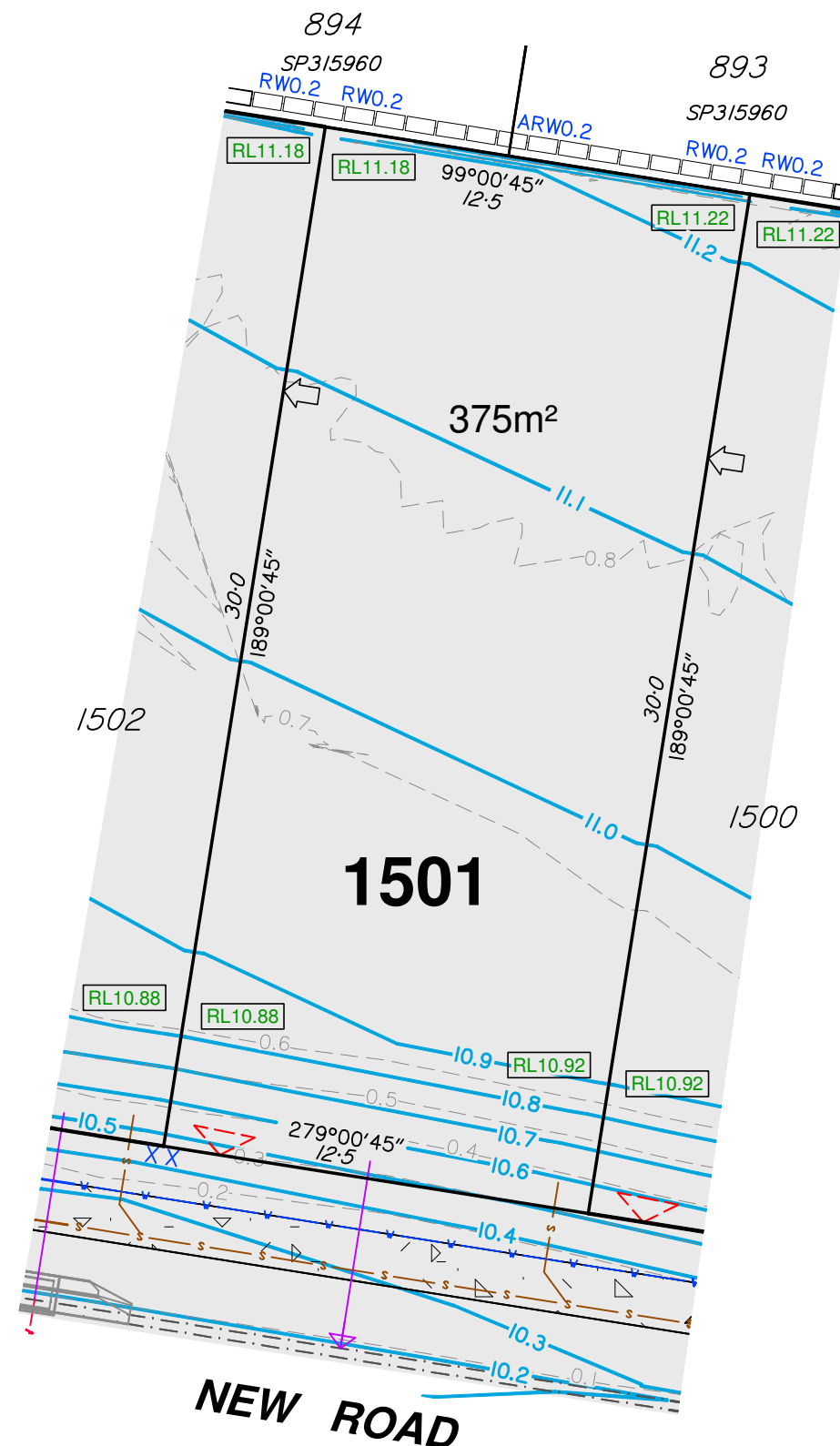
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 26-07-2022      DRAWING NO. SB3594\_21-01-1501      VERSION B



# DISCLOSURE PLAN

For Proposed Lot 1502  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - v — v — Water/Water Fitting
  - Water Meter
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - < Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 17-12-2021.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



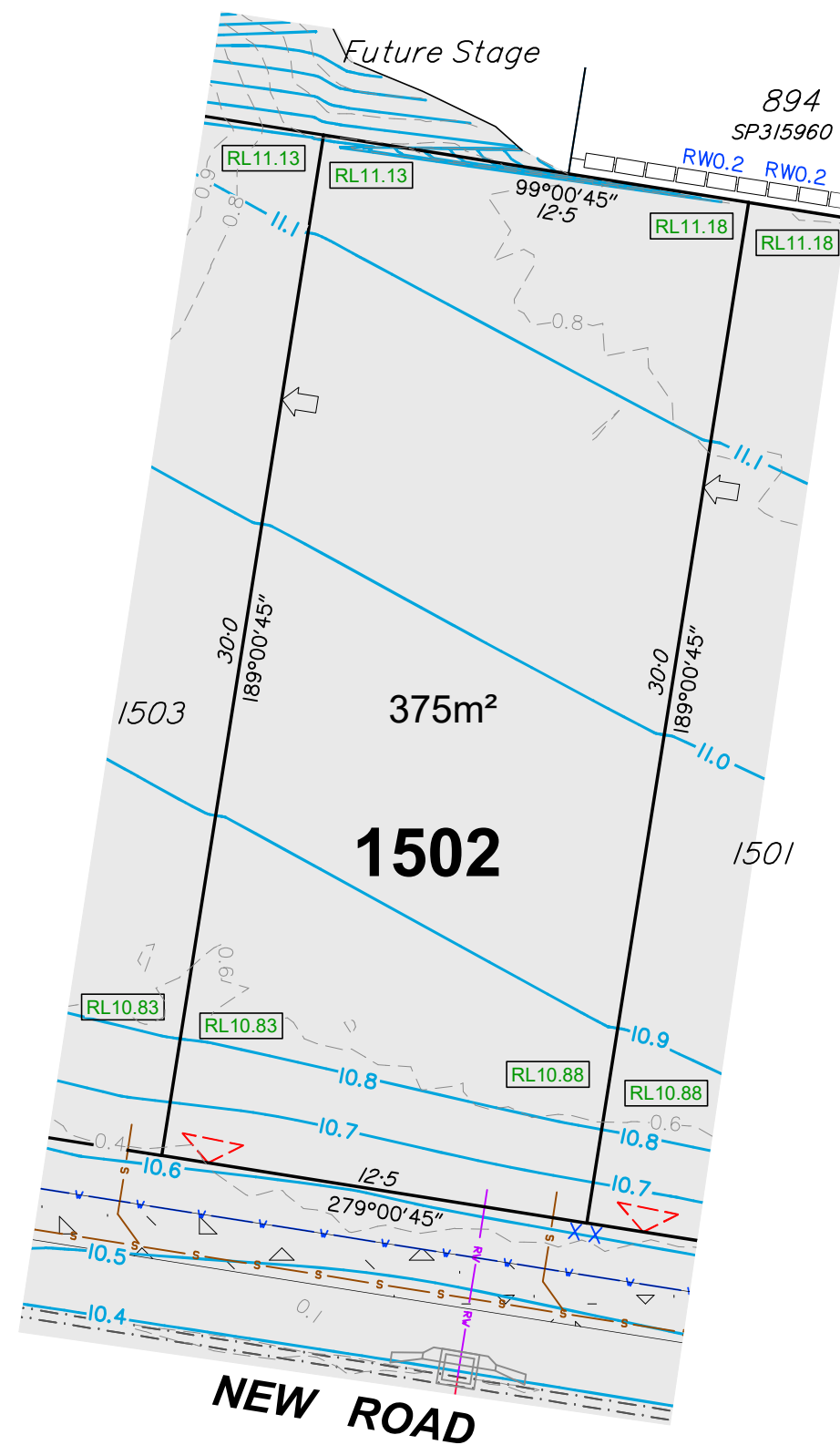
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1502 VERSION C

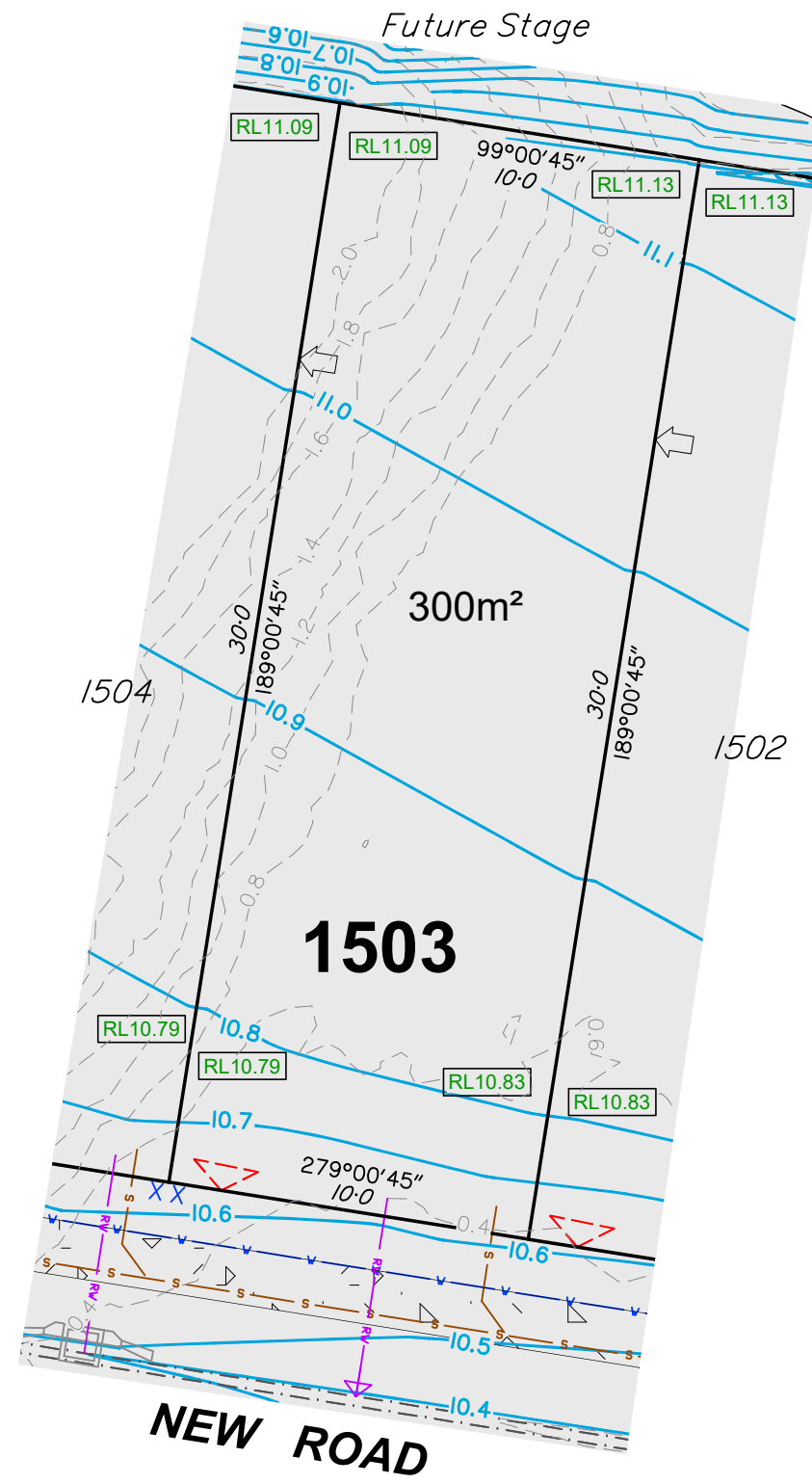


# DISCLOSURE PLAN

For Proposed Lot 1503  
Riverbank - Stage 21

Currently Described As Part of Lot 1028 on SP321913  
 RPD: Caboolture South  
 Locality: Caboolture South  
 Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - - - 1.0 Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s Sewer/Sewer Manhole
  - sv — sv Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv Roofwater
  - Kerb Adapter
  - v — v Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - < Proposed Driveway
  - ← Mandatory Zero Lot Line Boundary
  - ← Nominal Zero Lot Line Boundary



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 17-12-2021.
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## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN MGA  
 Scale 1:200 @A3  
 LEVEL DATUM AHD.

DATE DRAWN 31-08-2023  
 DRAWING NO. SB3594\_21-01-1503  
 VERSION C

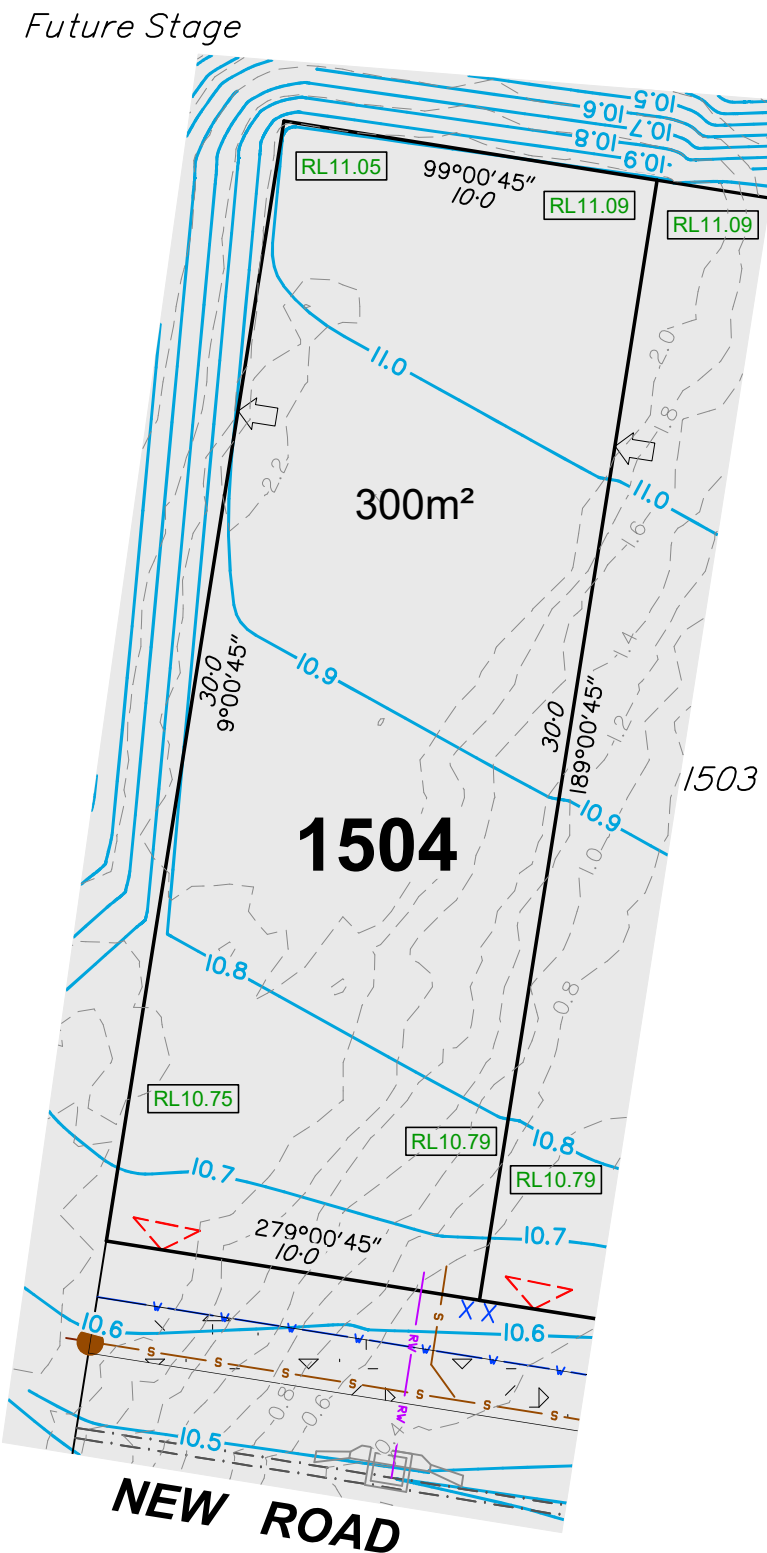
# DISCLOSURE PLAN

For Proposed Lot 1504  
Riverbank - Stage 21

Currently Described As  
RPD: Part of Lot 1028 on SP321913  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Mandatory Zero Lot Line Boundary
	Nominal Zero Lot Line Boundary



- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 17-12-2021.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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  - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 31-08-2023 DRAWING NO. SB3594\_21-01-1504 VERSION C