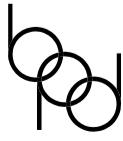
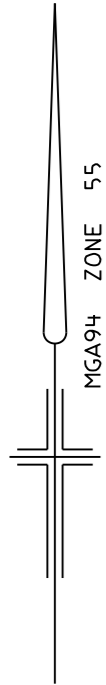
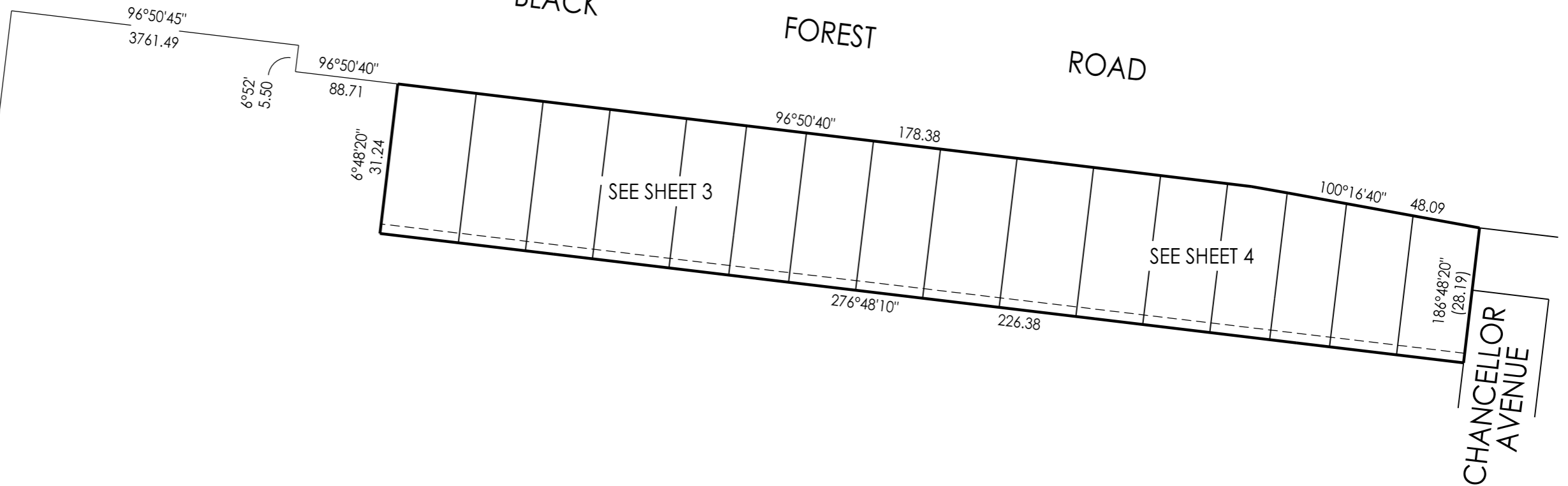


PLAN OF SUBDIVISION		LRS USE ONLY EDITION	PLAN NUMBER PS 817631J	
LOCATION OF LAND PARISH: MAMBOURIN TOWNSHIP: ----- SECTION: 15 CROWN ALLOTMENT: 2 (PART) CROWN PORTION: ----- TITLE REFERENCES: VOL. FOL. LAST PLAN REFERENCE: LOT A PS817660B POSTAL ADDRESS: BLACK FOREST ROAD (at time of subdivision) WERRIBEE 3030 MGA 94 CO-ORDINATES: E: 288 550 ZONE: 55 (of approx. centre of plan) N: 5 802 760 DATUM: GDA94		COUNCIL NAME: WYNDHAM CITY COUNCIL		
VESTING OF ROADS OR RESERVES		NOTATIONS		
IDENTIFIER	COUNCIL/BODY/PERSON	THIS IS A SPEAR PLAN LOTS 1 TO 1500 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN		
NIL				
NOTATIONS				
DEPTH LIMITATION DOES NOT APPLY				
SURVEY: THIS PLAN IS BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARK No. 64 LAND NOT IN PROCLAIMED SURVEY AREA . STAGING THIS IS NOT A STAGED SUBDIVISION PLANNING PERMIT No. WYP7570/14				
ESTATE: CORNERSTONE 15		AREA: 6983m ²	No. OF LOTS: 16	MELWAY: 204:E:7
EASEMENT INFORMATION				
LEGEND: A - APPURTENANT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)				
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED OR IN FAVOUR OF
(E-1)	DRAINAGE	SEE PLAN	THIS PLAN	WYNDHAM CITY COUNCIL
 Breese Pitt Dixon Pty Ltd 1/19 Cato Street Hawthorn East Vic 3123 Ph: 8823 2300 Fax: 8823 2310 www.bpd.com.au info@bpd.com.au		REF: 8890/15 VERSION: 5 LICENSED SURVEYOR: SIMON P. COX		ORIGINAL SHEET SIZE A3 SHEET 1 OF 5 SHEETS
CHECKED L.W.	DATE: 16/11/18			



UNMADE
GOVERNMENT ROAD

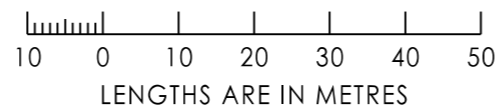
BLACK
FOREST
ROAD



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Hawthorn East Vic 3123
Ph: 8823 2300 Fax: 8823 2310
www.bpd.com.au info@bpd.com.au

SCALE

1:1000



REF: 8890/15

VERSION: 5

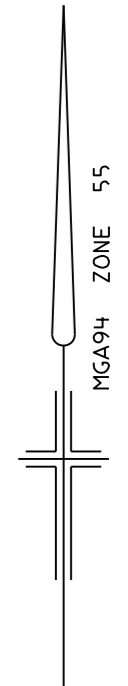
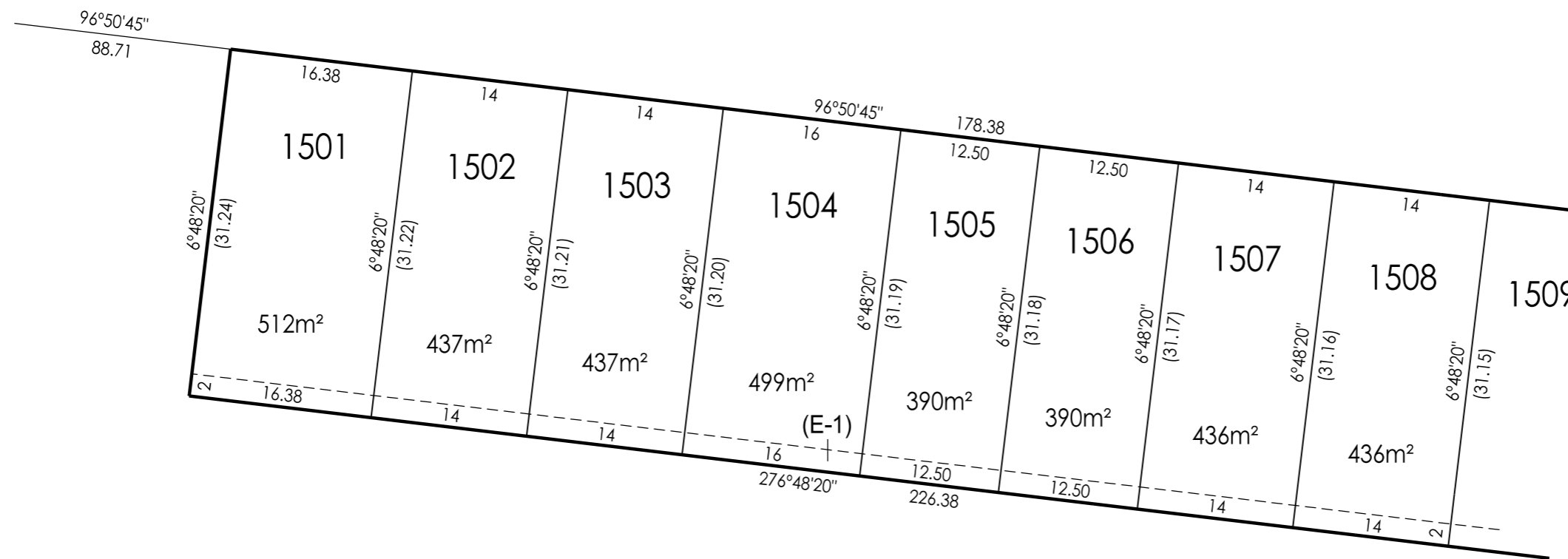
LICENSED SURVEYOR: SIMON P. COX

ORIGINAL
SHEET SIZE A3

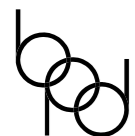
SHEET 2

PLAN OF SUBDIVISION

PLAN NUMBER
PS 817631J



SEE SHEET 4



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SCALE

1:500



REF: 8890/15

VERSION: 5

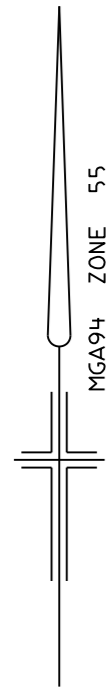
LICENSED SURVEYOR: SIMON P. COX

ORIGINAL SHEET SIZE A3

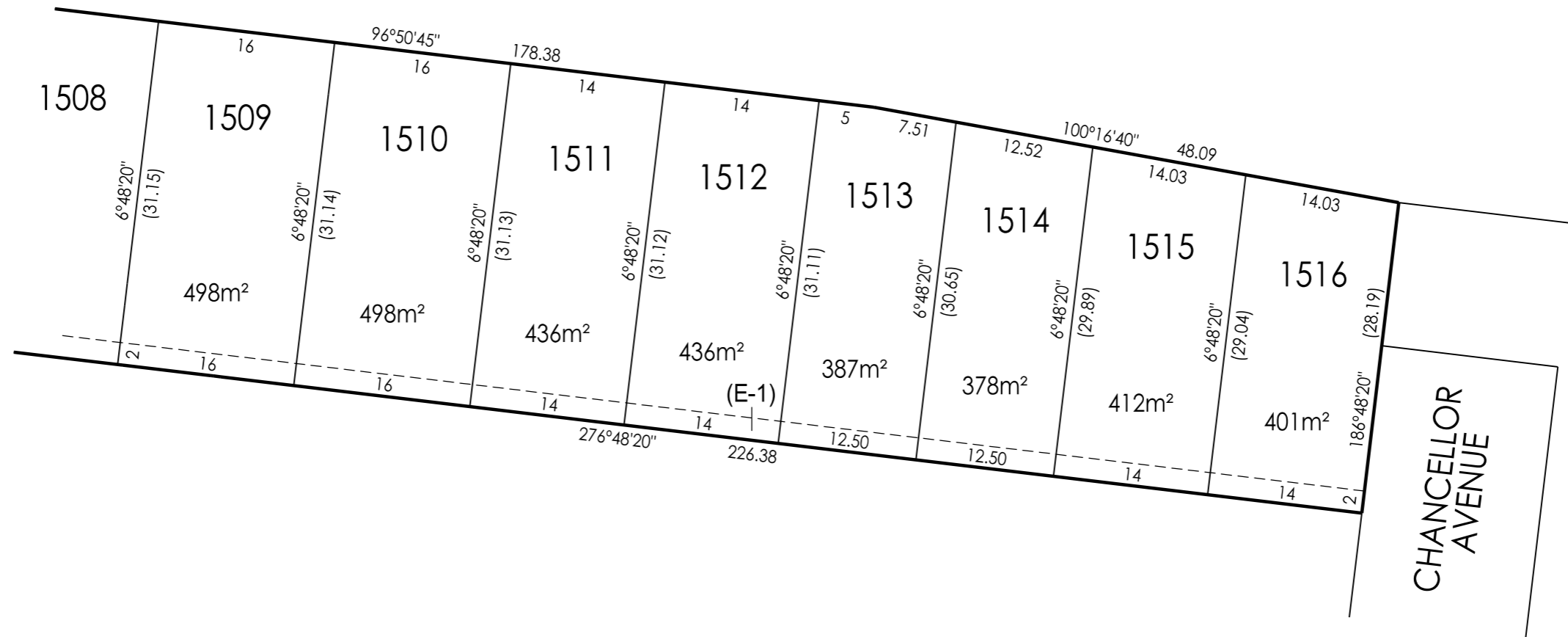
SHEET 3

PLAN OF SUBDIVISION

PLAN NUMBER
PS 817631J



SEE SHEET 3



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1:500



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VERSION: 5

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SHEET 4

SUBDIVISION ACT 1988
CREATION OF RESTRICTION

Upon registration of this plan, the following restriction is to be created.

Land to benefit: Lots 1501 to 1516 (both inclusive).

Land to be burdened: Lots 1501 to 1516 (both inclusive).

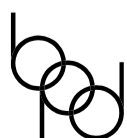
Description of Restriction:

1. Except with the written consent of the Transferor and in all other instances with the written consent of each and every registered proprietor of a benefiting lot on the Plan of Subdivision the registered proprietor or proprietors for the time being of any burdened lot on the Plan of Subdivision shall not:
 - (a) Subdivide or allow a lot to be subdivided;
 - (b) Construct any more than one dwelling (together with outbuildings) on any lot;
 - (c) Consolidate or allow a lot to be consolidated.

2. The registered proprietor or proprietors for the time being of any lot forming part of the Land to be burdened must not, without the permission of the Responsible Authority build or permit to be built or remain on the lot or any part of it:
 - (a) Any dwelling or commercial building unless the building incorporates dual plumbing for the use or recycled water for toilet flushing and garden watering where recycled water is available to the said lot;
 - (b) Any side fence on a lot which has a side boundary abutting a Road or Reserve unless the fence, which is constructed on the boundary abutting a Road or Reserve, is setback a minimum of 5 metres from the front building line;
 - (c) Any structure unless the said structure maintains a setback of at least 1m (one metre) from at least one of the side boundaries of the Lot. For this restriction the side boundary is considered the boundary that connects the frontage boundary with the rear boundary and may contain one or more bends.
 - (d) In the case of Lot 1501, any fence on the western boundary unless the said fence is a minimum 20% transparent to the satisfaction of the Responsible Authority.

3. The registered proprietor or proprietors for the time being of any lot forming part of the Land to be burdened must not:
 - (a) Erect any building on a lot unless the plans for such a building are endorsed by the 'Peet Design Review Panel' as being in accordance with the 'Cornerstone Design Guidelines.' A copy of the Cornerstone Design Guidelines can be found at <http://www.peet.com.au/vicbuilder>

These restrictions will cease to affect any of the burdened lots eight (8) years after registration of this plan



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SCALE

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SHEET SIZE A3

SHEET 5

REF: 8890/15

VERSION: 5

LICENSED SURVEYOR: SIMON P. COX