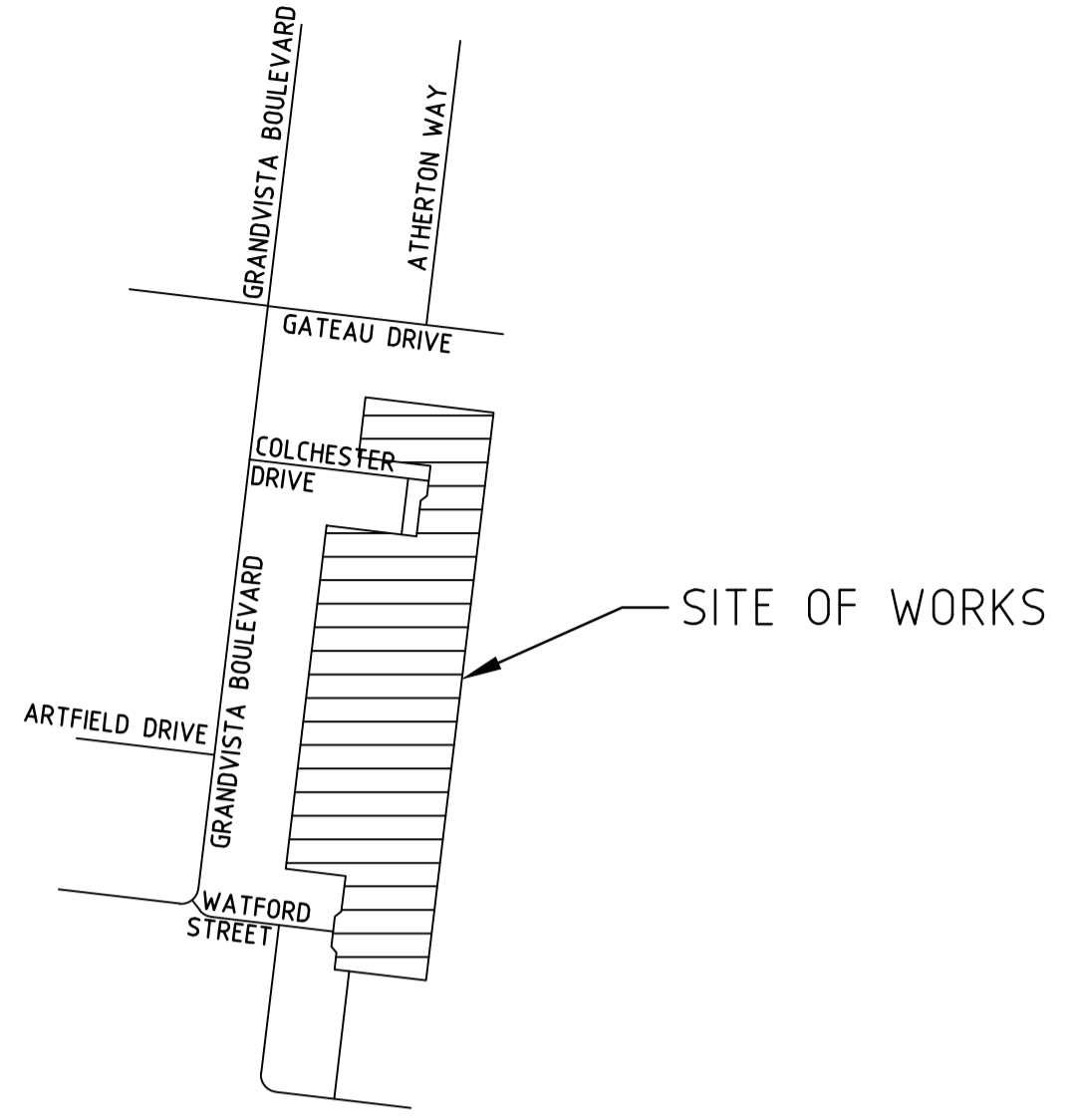


PLAN  
SCALE 1:500



SITE LOCALITY PLAN  
NOT TO SCALE

**SHEET INDEX**

SHT No.	VER	DESCRIPTION
1	A	LAYOUT PLAN AND DETAILS
2	A	INTERSECTION DETAILS
3	A	ROAD LONGSECTIONS
4	A	ROAD CROSS SECTIONS - SHEET 1
5	A	ROAD CROSS SECTIONS - SHEET 2
6	A	ROAD CROSS SECTIONS - SHEET 3
7	A	DRAINAGE LONGITUDINAL SECTIONS - SHEET 1
8	A	DRAINAGE LONGITUDINAL SECTIONS - SHEET 2
9	A	DRAINAGE LONGITUDINAL SECTIONS - SHEET 3
10	A	TYPICAL CROSS SECTIONS
11	A	SIGNAGE AND LINEMARKING

**WARNING**  
**BEWARE OF UNDERGROUND SERVICES**  
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

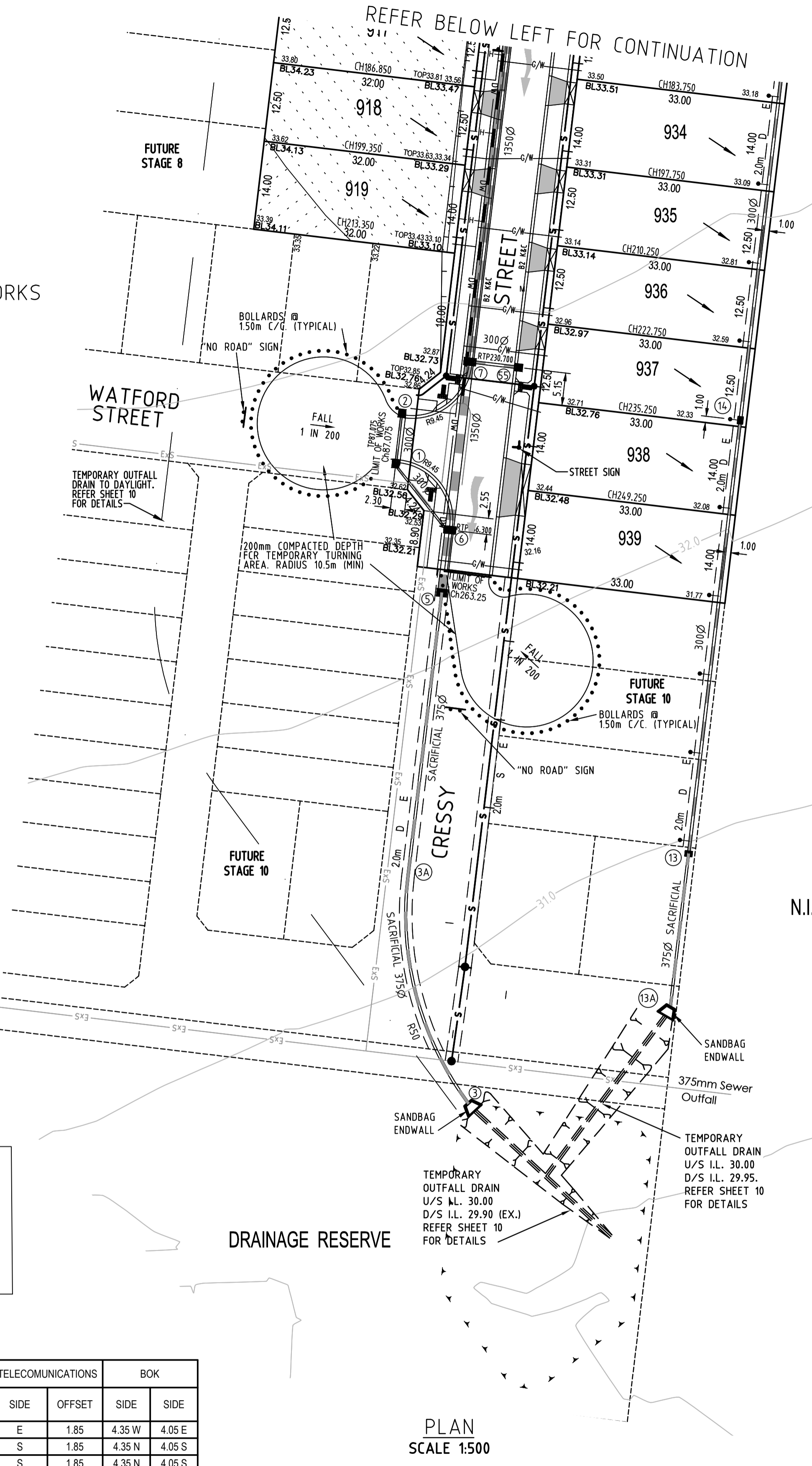
**ATTENTION TO CONTRACTOR**

- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE DIGITAL PLAN, PROVIDED FOR SETOUT PURPOSES, MATCHES THE TBM CO-ORDINATES SHOWN.
- WHERE CONCRETE WORKS ABOUT A SEWER ACCESS CHAMBER SURROUND OR SIMILAR STRUCTURE, AN EXPANSION JOINT OF APPROVAL MATERIAL SHALL BE PROVIDED BETWEEN THE TWO FACES.

SERVICE OFFSETS AND LOCATION TABLE

ROAD NAME	RESERVE WIDTH	WATER		GAS		ELECTRICITY				TELECOMMUNICATIONS		BOK	
		DW	NDW	DW	NDW	POLE		UG CABLE		SIDE	OFFSET	SIDE	SIDE
						SIDE	OFFSET	SIDE	OFFSET				
CRESSY STREET	16.00	3.20 W	2.70 W	2.25 W	2.25 W	E	0.80*	E	2.60	E	1.85	4.35 W	4.05 E
COLCHESTER DRIVE	16.00	3.20 N	2.70 N	2.25 N	2.25 N	S	0.80*	S	2.60	S	1.85	4.35 N	4.05 S
WATFORD STREET	16.00	3.20 N	2.70 N	2.25 N	2.25 N	S	0.80*	S	2.60	S	1.85	4.35 N	4.05 S

NOTE: \* OFFSET FROM BACK OF KERB



PLAN  
SCALE 1:500



**SYMBOL LEGEND**

Drains <300	Prop	Temporary Bench Mark (TBM)	Ex/Natural/FS Level	28.57
Sewer >300	S	FS @ Building Line	BL28.57	
Water	W	Top/Toe of Batter	10P28.57 / 10E28.57	
House Drain	H	Top Ret. Wall Level	10W28.57	
Property Inlet	I	Fill Prop/Ex (0.2m-0.5m depth)		
Street Sign	Sign	Fill Prop/Ex (> 0.5m depth)		
FSM	FSM	Cut Prop/Ex (> 0.2m depth)		
Retaining Wall	R	Threshold Treatment		
Conduits 50mm	C50			
Conduits 100mm	C100			
Ex Gas/Elect/Tel	G/E/T			

AMENDMENTS	DATE	REMARKS
A	17.09.18	COLCHESTER RD PRAM CROSSING ADDED

**breese pitt dixon pty. ltd.**  
land surveyors civil engineers

MELWAY REF. 204 D7-F7

**CORNERSTONE ESTATE  
STAGE 9  
LAYOUT PLAN AND DETAILS**

MUNICIPALITY: WYNDHAM

REFERENCE: 8890 - E/9

1/19 cato street hawthorn east, 3123 telephone 8823 2300 fax no. 8823 2310

SCALE AS SHOWN DATUM AHD DATE AUGUST '17 SHEET 1 OF 11

These plans are design plans and are indicative only and parties must not make any objection, requisition or claim for compensation in relation to the plans. The final condition of lots upon completion may vary from the condition described in the plans. The Property may have been filled, raised, levelled, compacted or cut prior to the Vendor becoming registered proprietor of the Property and the condition of the Property may change after completion of works due to circumstances beyond the Vendor's control. No warranty or representation is given or to be construed in respect of such works or changes in condition. Parties should review the plans carefully, make their own inquiries and obtain independent advice before taking any action in relation to the Property.