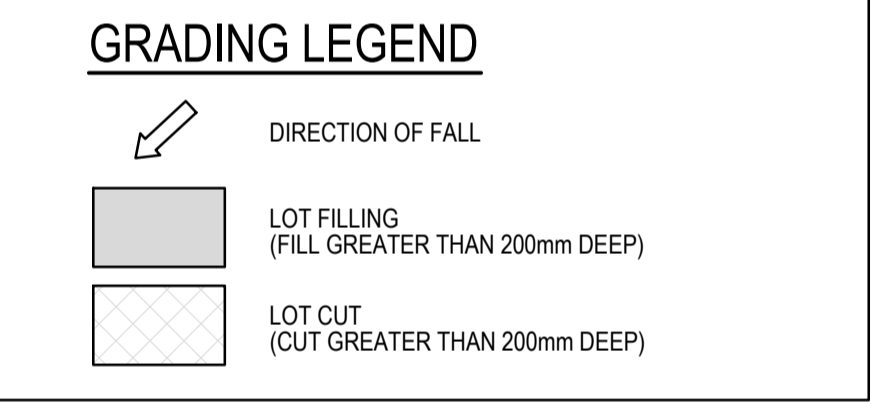
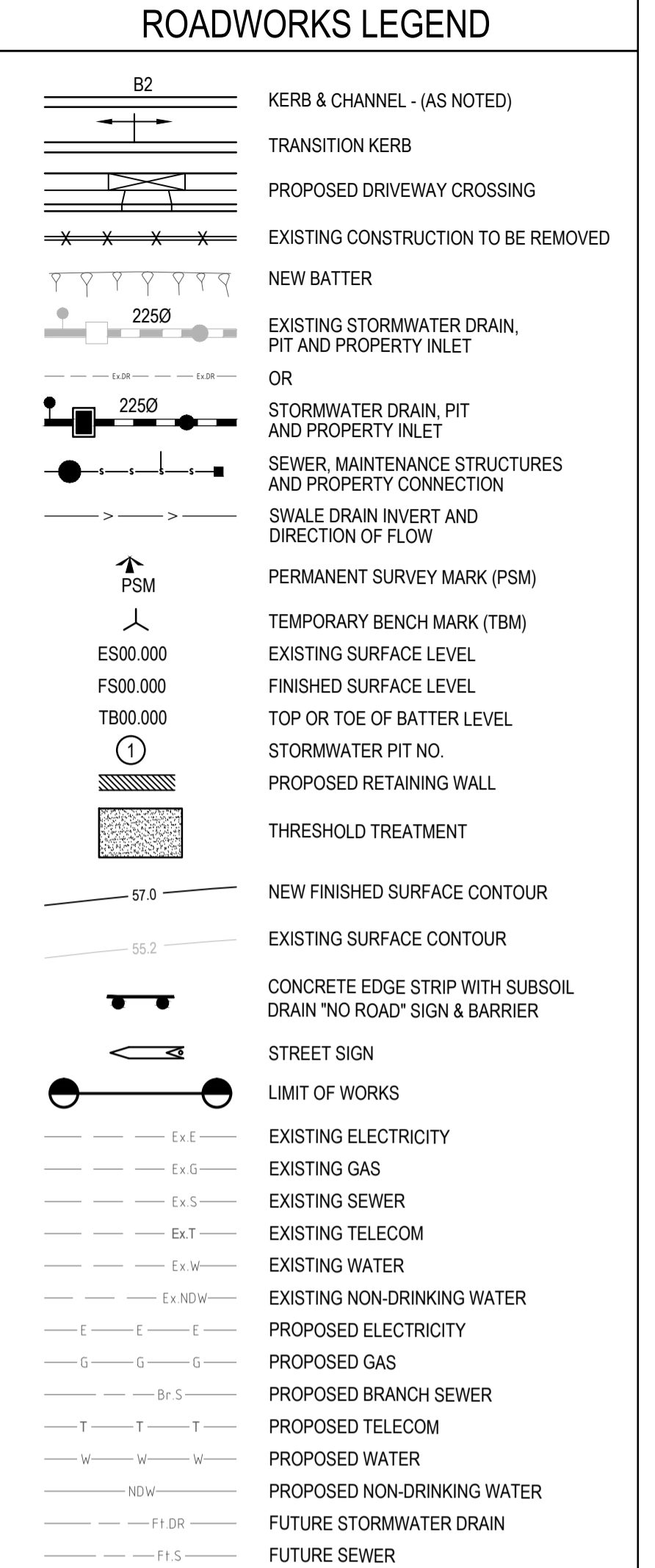
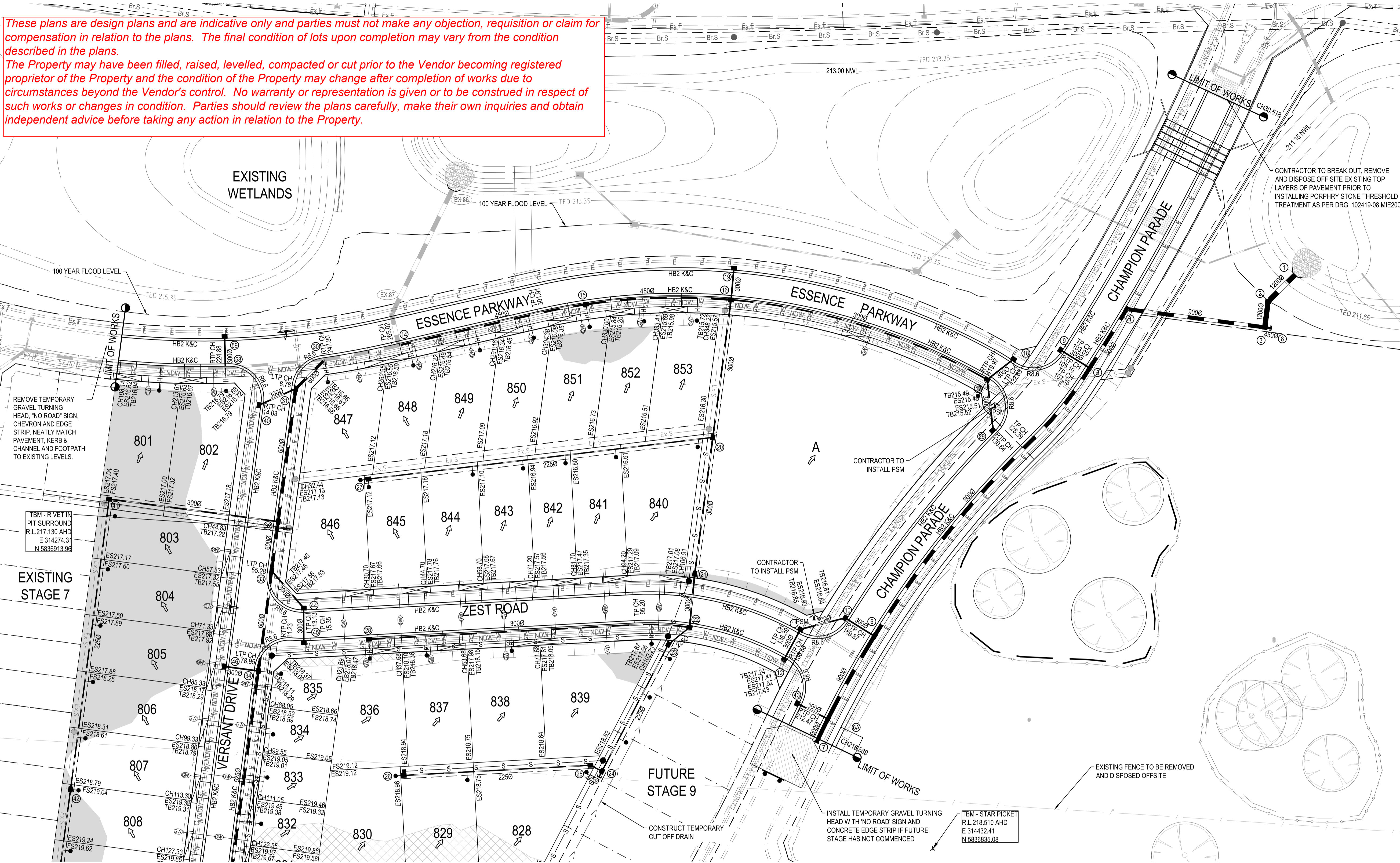


These plans are design plans and are indicative only and parties must not make any objection, requisition or claim for compensation in relation to the plans. The final condition of lots upon completion may vary from the condition described in the plans.

The Property may have been filled, raised, levelled, compacted or cut prior to the Vendor becoming registered proprietor of the Property and the condition of the Property may change after completion of works due to circumstances beyond the Vendor's control. No warranty or representation is given or to be construed in respect of such works or changes in condition. Parties should review the plans carefully, make their own inquiries and obtain independent advice before taking any action in relation to the Property.



WARNING
PROPOSED SERVICES
 THE LOCATION AND EXTENT OF PROPOSED SERVICES IS INDICATIVE ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION. REFER TO AUTHORISED DOCUMENTATION BY RELEVANT AUTHORITY FOR CONSTRUCTION DETAILS

WARNING
BWARE OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

FOR CONTINUATION REFER DRAWING MIE101

STREET NAME	GAS	NON-DRINKING WATER	POTABLE WATER	TELECOM.	ELECTRICITY
ESSENCE PARKWAY	2.10m S	2.50m S	3.00m S	1.00m N	1.50m N
VERSANT DRIVE	2.10m W	2.50m W	3.00m W	1.85m E	2.35m E
ZEST ROAD	2.10m S	2.50m S	3.00m S	1.85m N	2.35m N
VISION ROAD	2.10m S	2.50m S	3.00m S	1.85m N	2.35m N
VEDRO ROAD	2.10m S	2.50m S	3.00m S	1.85m N	2.35m N
CHAMPION PARADE	Ex.2.10m W	Ex.2.50m W	Ex.3.00m W	2.85m E	3.35m E

REV	DESCRIPTION	BY	APP	DATE
00	CONSTRUCTION ISSUE	AJB	MH	03.12.12
01	CONSTRUCTION ISSUE - POS AMENDMENTS FOR ADDITIONAL LOTS	AJB	MH	01.02.13
02	CONSTRUCTION ISSUE - PAVEMENT THRESHOLD TREATMENT ADDED	AJB	MH	13.03.13
03	CONSTRUCTION ISSUE - ESSENCE/CHAMPION/ZEST REGRADED	AJB	MH	27.03.13
04	AS CONSTRUCTED	AJB	MH	22.05.13

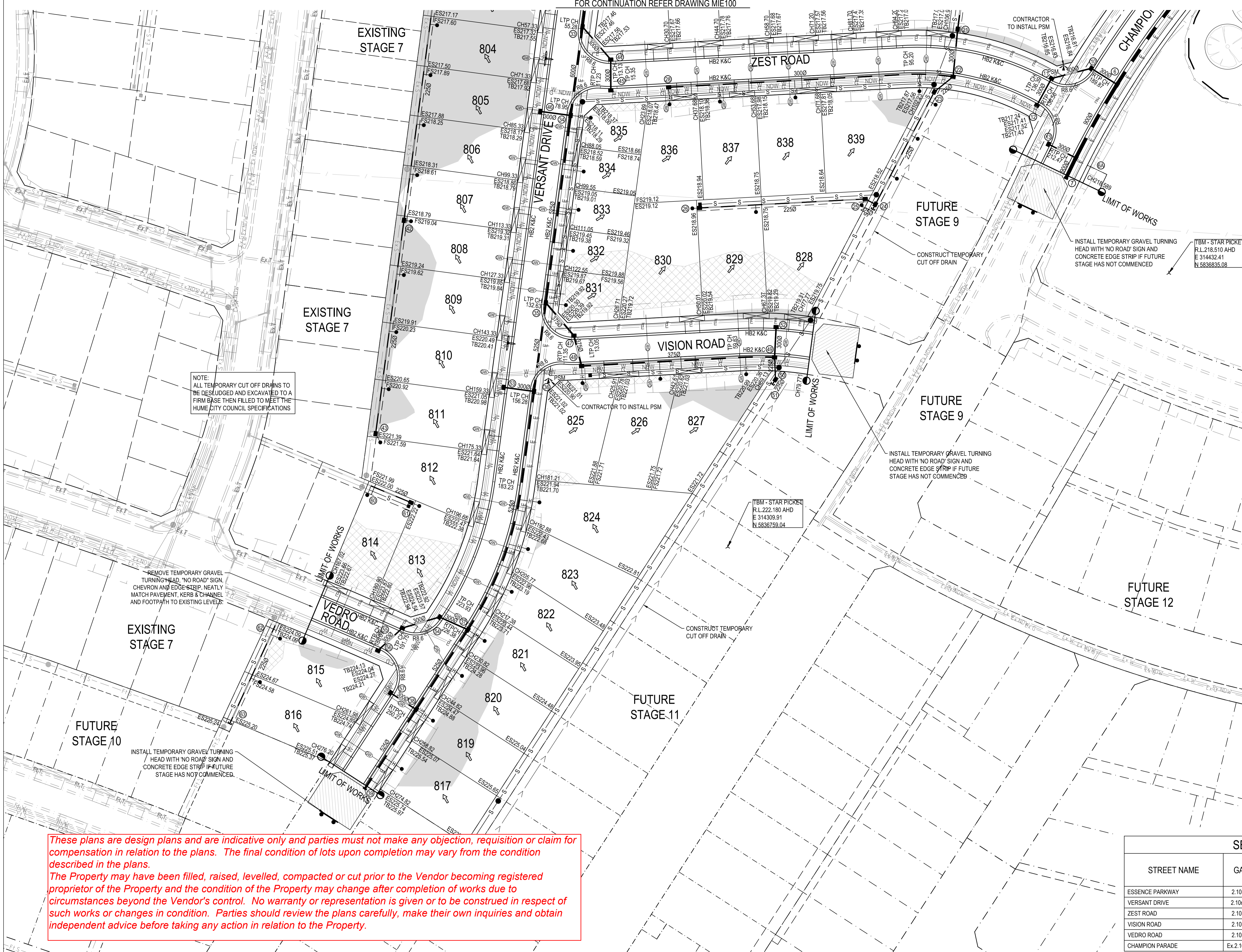


L12, 501 Swanston Street, Melbourne, VIC, Australia 3000
 Telephone: (03) 8676 1200
 Fax: (03) 8676 1201
 www.meinhardtgroup.com
 A.C.N. 100 988 979
 © Copyright

CLIENT	PEET LTD
DESIGNED	DS
DRAWN	AJB
APPROVED	MH
SCALE @ A1	1:500
STATUS	AS CONSTRUCTED

PROJECT	ASTON ESTATE STAGE 8 HUME CITY COUNCIL
TITLE	DETAIL PLAN SHEET 1 OF 2
PROJECT No	102419-08 MIE100
DRAWING No	
REV	04

DWG FILE: X:\102419 - Best Property - Congaham West Road\K&C\06_3.MHT FIELD\STAGE 8\102419-08 MIE-00-101.DWG - MHPLOT TIME: 22 May 2013, 5:08pm



NOTE:
ALL TEMPORARY CUT OFF DRAINS TO BE DESIGNED AND EXCAVATED TO A FIRM BASE THEN FILLED TO MEET THE HUME CITY COUNCIL SPECIFICATIONS

REMOVE TEMPORARY GRAVEL TURNING HEAD 'NO ROAD' SIGN, CHEVRON AND EDGE STRIP, NEATLY MATCH PAVEMENT, KERB & CHANNEL AND FOOTPATH TO EXISTING LEVELS

INSTALL TEMPORARY GRAVEL TURNING HEAD WITH 'NO ROAD' SIGN AND CONCRETE EDGE STRIP IF FUTURE STAGE HAS NOT COMMENCED

These plans are design plans and are indicative only and parties must not make any objection, requisition or claim for compensation in relation to the plans. The final condition of lots upon completion may vary from the condition described in the plans.
The Property may have been filled, raised, levelled, compacted or cut prior to the Vendor becoming registered proprietor of the Property and the condition of the Property may change after completion of works due to circumstances beyond the Vendor's control. No warranty or representation is given or to be construed in respect of such works or changes in condition. Parties should review the plans carefully, make their own inquiries and obtain independent advice before taking any action in relation to the Property.

ROADWORKS LEGEND

- B2 KERB & CHANNEL - (AS NOTED)
- TRANSITION KERB
- PROPOSED DRIVEWAY CROSSING
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW BATTER
- EXISTING STORMWATER DRAIN, PIT AND PROPERTY INLET
- OR
- STORMWATER DRAIN, PIT AND PROPERTY INLET
- SEWER, MAINTENANCE STRUCTURES AND PROPERTY CONNECTION
- SWALE DRAIN INVERT AND DIRECTION OF FLOW
- PSM PERMANENT SURVEY MARK (PSM)
- ES000.000 TEMPORARY BENCH MARK (TBM)
- FS000.000 EXISTING SURFACE LEVEL
- TB000.000 FINISHED SURFACE LEVEL
- TOP OR TOE OF BATTER LEVEL
- STORMWATER PIT NO.
- PROPOSED RETAINING WALL
- THRESHOLD TREATMENT
- 57.0 NEW FINISHED SURFACE CONTOUR
- 55.2 EXISTING SURFACE CONTOUR
- CONCRETE EDGE STRIP WITH SUBSOIL DRAIN 'NO ROAD' SIGN & BARRIER
- STREET SIGN
- LIMIT OF WORKS
- EXISTING ELECTRICITY
- EXISTING GAS
- EXISTING SEWER
- EXISTING TELECOM
- EXISTING WATER
- EXISTING NON-DRINKING WATER
- PROPOSED ELECTRICITY
- PROPOSED GAS
- PROPOSED BRANCH SEWER
- PROPOSED TELECOM
- PROPOSED WATER
- PROPOSED NON-DRINKING WATER
- FUTURE STORMWATER DRAIN
- FUTURE SEWER

GRADING LEGEND

- DIRECTION OF FALL
- LOT FILLING (FILL GREATER THAN 200mm DEEP)
- LOT CUT (CUT GREATER THAN 200mm DEEP)

WARNING
PROPOSED SERVICES
 THE LOCATION AND EXTENT OF PROPOSED SERVICES IS INDICATIVE ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION. REFER TO AUTHORISED DOCUMENTATION BY RELEVANT AUTHORITY FOR CONSTRUCTION DETAILS

WARNING
BEWARE OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

SERVICES OFFSET TABLE

STREET NAME	GAS	NON-DRINKING WATER	POTABLE WATER	TELECOM.	ELECTRICITY
ESSENCE PARKWAY	2.10m S	2.50m S	3.00m S	1.00m N	1.50m N
VERSANT DRIVE	2.10m W	2.50m W	3.00m W	1.85m E	2.35m E
ZEST ROAD	2.10m S	2.50m S	3.00m S	1.85m N	2.35m N
VISION ROAD	2.10m S	2.50m S	3.00m S	1.85m N	2.35m N
VEDRO ROAD	2.10m S	2.50m S	3.00m S	1.85m N	2.35m N
CHAMPION PARADE	Ex.2.10m W	Ex.2.50m W	Ex.3.00m W	2.85m E	3.35m E

REV	DESCRIPTION	BY	APP	DATE
00	CONSTRUCTION ISSUE	AJB	MH	03.12.12
01	CONSTRUCTION ISSUE - POS AMENDMENTS FOR ADDITIONAL LOTS	AJB	MH	01.02.13
02	CONSTRUCTION ISSUE - ESSENCE/CHAMPION/ZEST REGRADED	AJB	MH	27.03.13
03	AS CONSTRUCTED	AJB	MH	22.05.13



L12, 501 Swanston Street, Melbourne, VIC, Australia 3000
 Telephone: (03) 8676 1200
 Fax: (03) 8676 1201
 www.meinhardtgroup.com
 A.C.N. 100 988 979
 © Copyright

CLIENT: PEET LTD
 DESIGNED: DRAWN: APPROVED: SCALE @ A1: DS AJB MH 1:500
 STATUS: AS CONSTRUCTED

PROJECT: ASTON ESTATE STAGE 8 HUME CITY COUNCIL
 TITLE: DETAIL PLAN SHEET 2 OF 2
 PROJECT No: DRAWING No: REV: 102419-08 MIE101 03

DWG FILE: X:\102419-Ber-Propert-Grangham West Road\6C\06_3.MIT_ELDUSTAGE_8102419-08 MIE-00-101.DWG - IMPLOT TIME: 22 May 2013, 5:28am