

Notes

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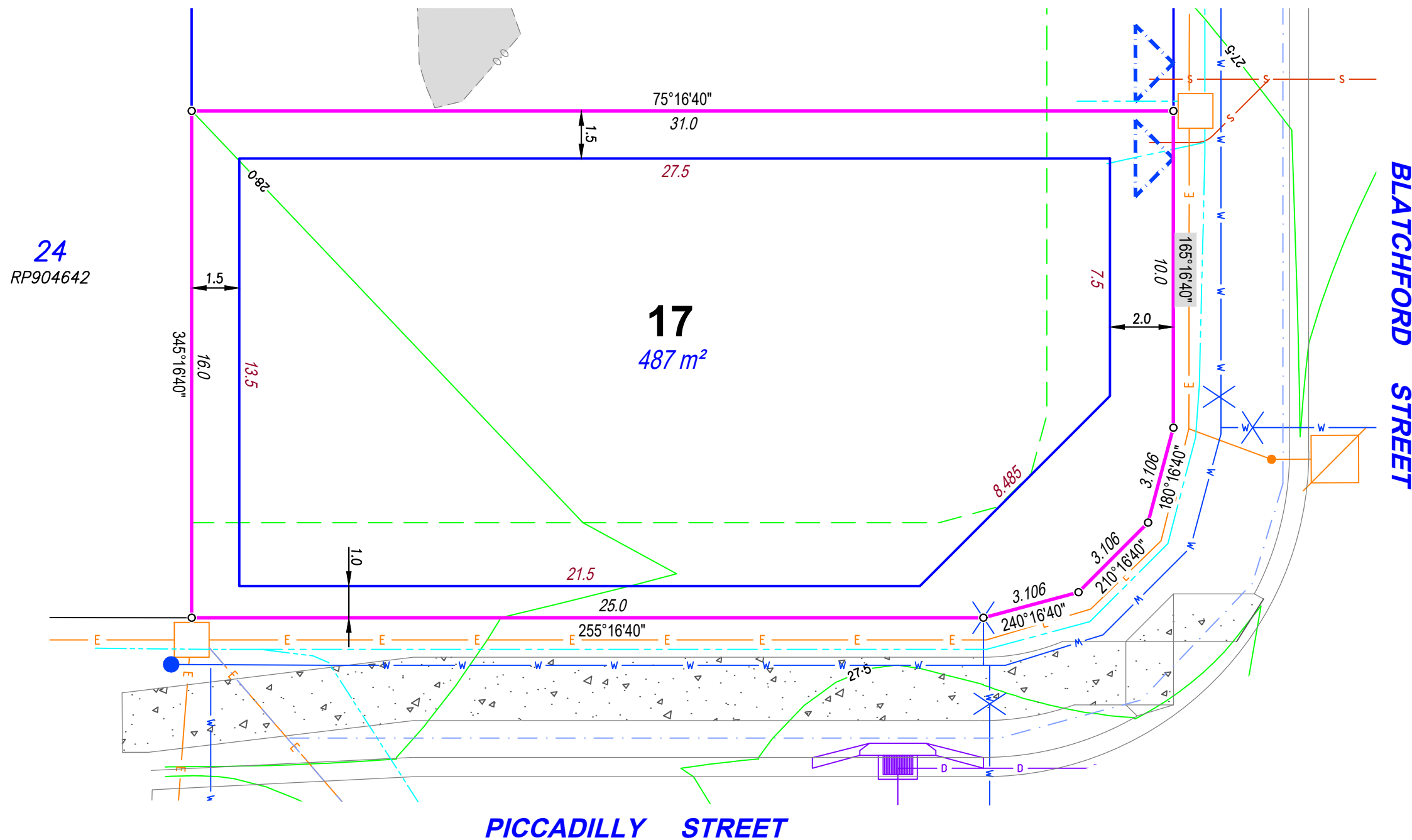
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 17
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Easement
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Electrical
- Proposed Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit
- Building within this zone to be designed in conjunction with structural engineering advice



24
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Lot Size	Max Site Cover %
401m² and Above	60%

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

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DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/17	-



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 18
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Easement
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Electrical
- Proposed Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit
- Building within this zone to be designed in conjunction with structural engineering advice

SCALE 1:150 SHEET SIZE A3

1 0 1 2 3 4 5 6

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520 Wickham Street
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Fortitude Valley QLD 4006

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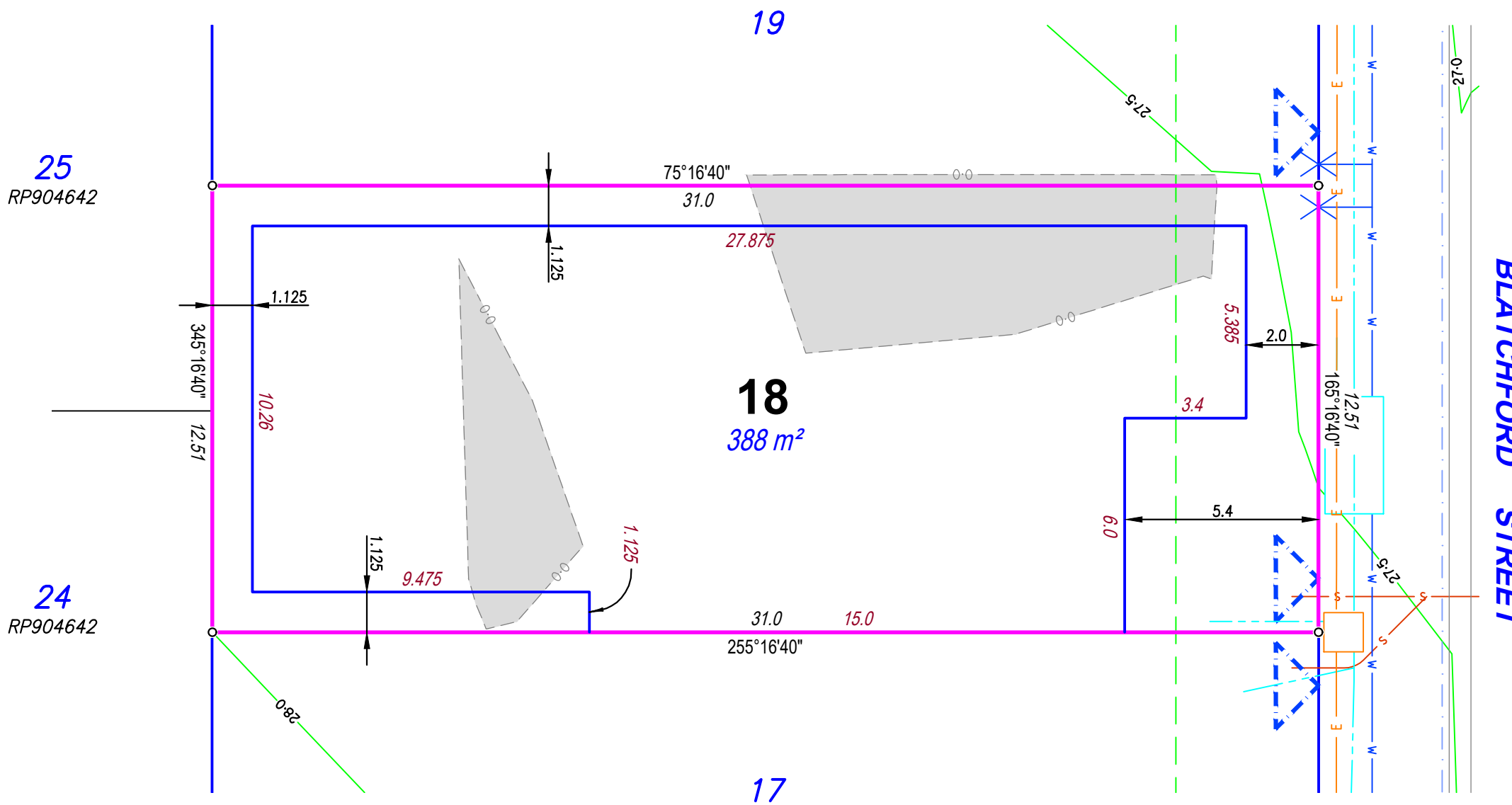
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The depth of fill on this lot is between 0.0m and 0.5m.

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/18	-



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ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 19
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

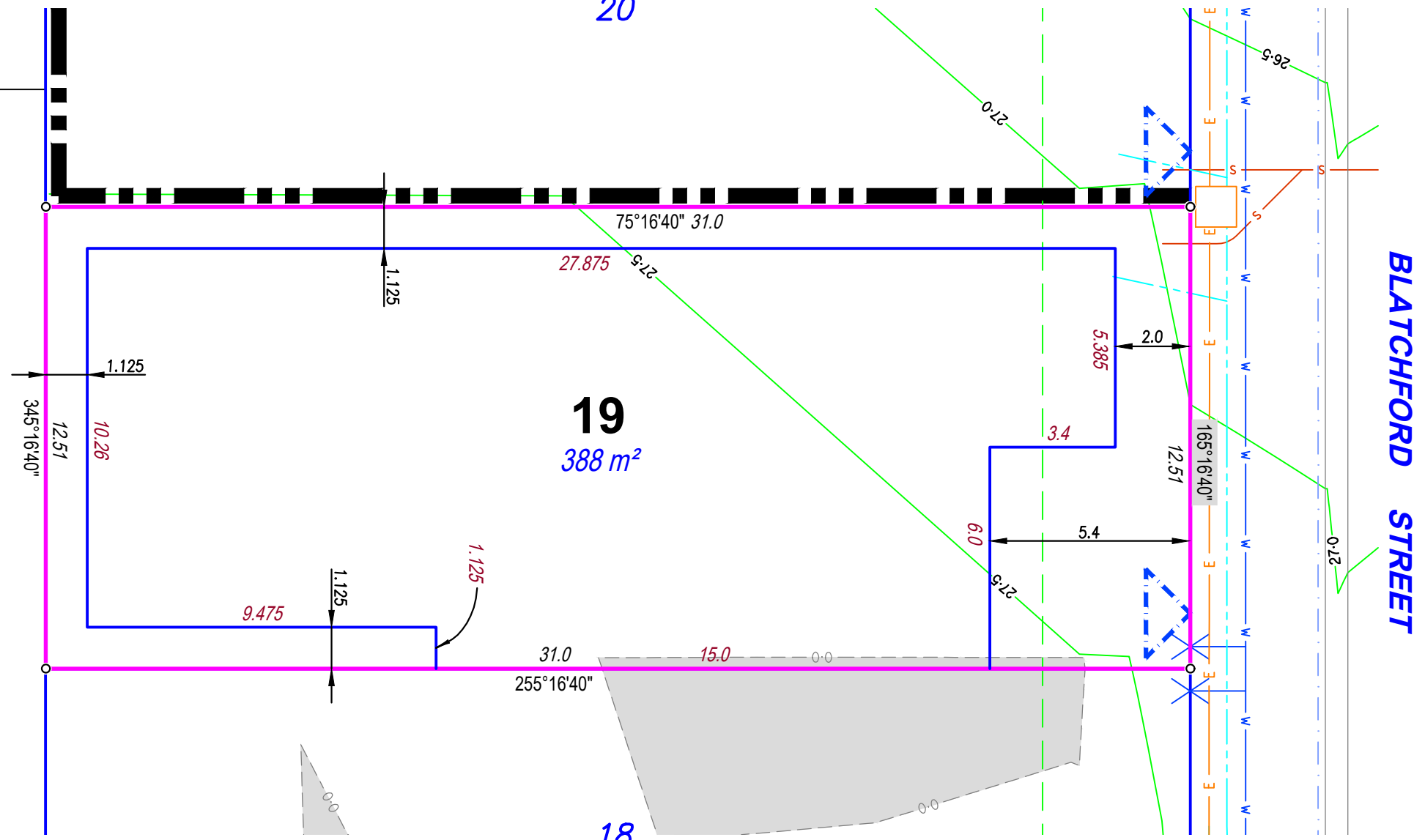
26
RP904644

20

25
RP904642

19
388 m²

18



BLATCHFORD STREET

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Easement
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Electrical
- Proposed Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit
- Building within this zone to be designed in conjunction with structural engineering advice

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The depth of fill on this lot is between 0.0m and 0.5m.

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

SCALE 1:150 SHEET SIZE A3

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DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/19	-

Retaining Wall Heights	
Point	Height
A	0.6m
B	0.6m
C	0.6m
D	0.4m
A-B Average	0.6m
C-D Average	0.5m



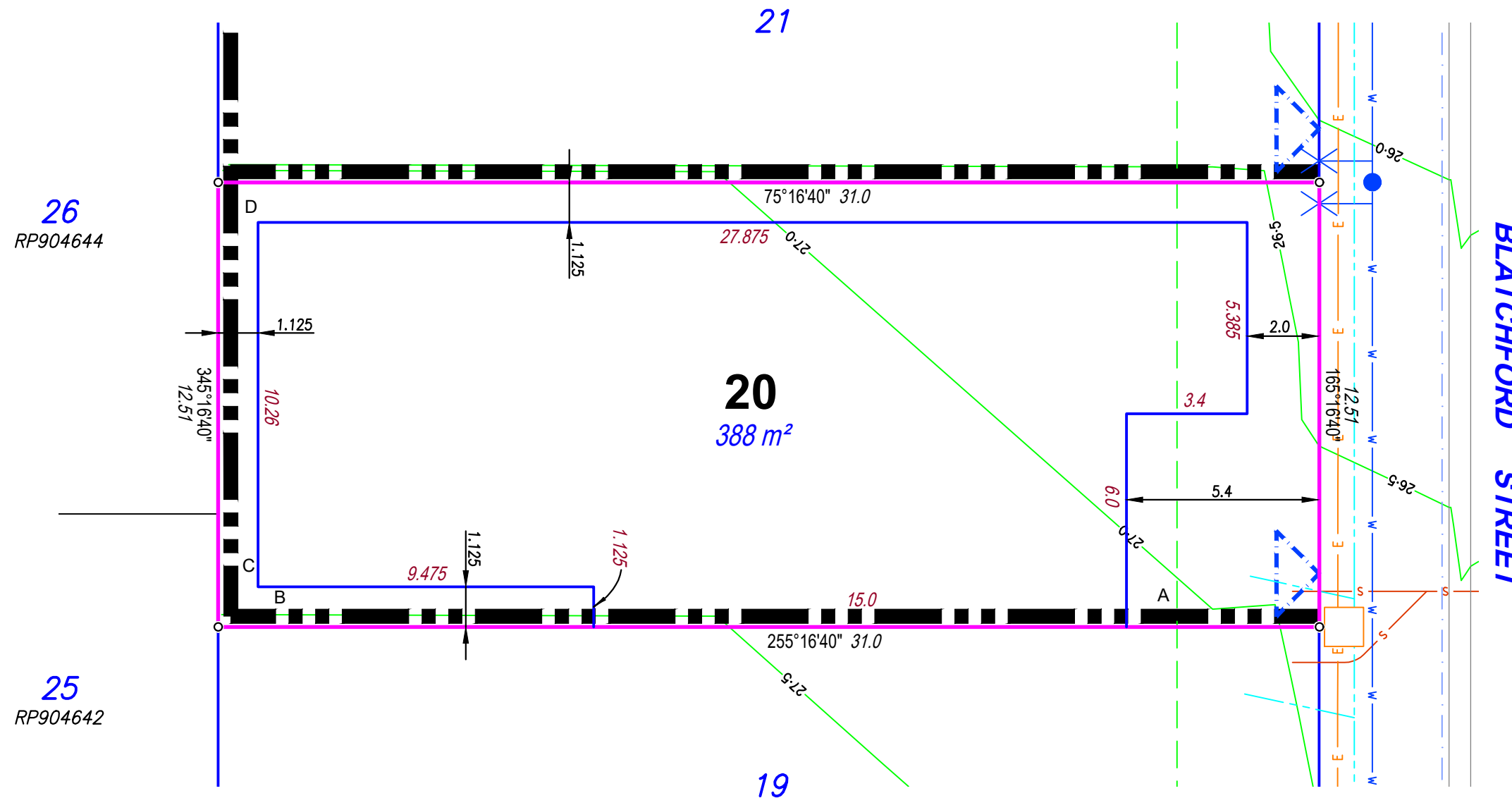
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 20
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Easement
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Electrical
- Proposed Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit
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Lot Size	Max Site Cover %
301m ² - 400m ²	70%

SCALE 1:150 SHEET SIZE A3

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DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/20	-

Retaining Wall Heights	
Point	Height
A	0.6m
B	0.6m
C	1.0m
D	0.8m
A-B Average	0.6m
C-D Average	0.9m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 21
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

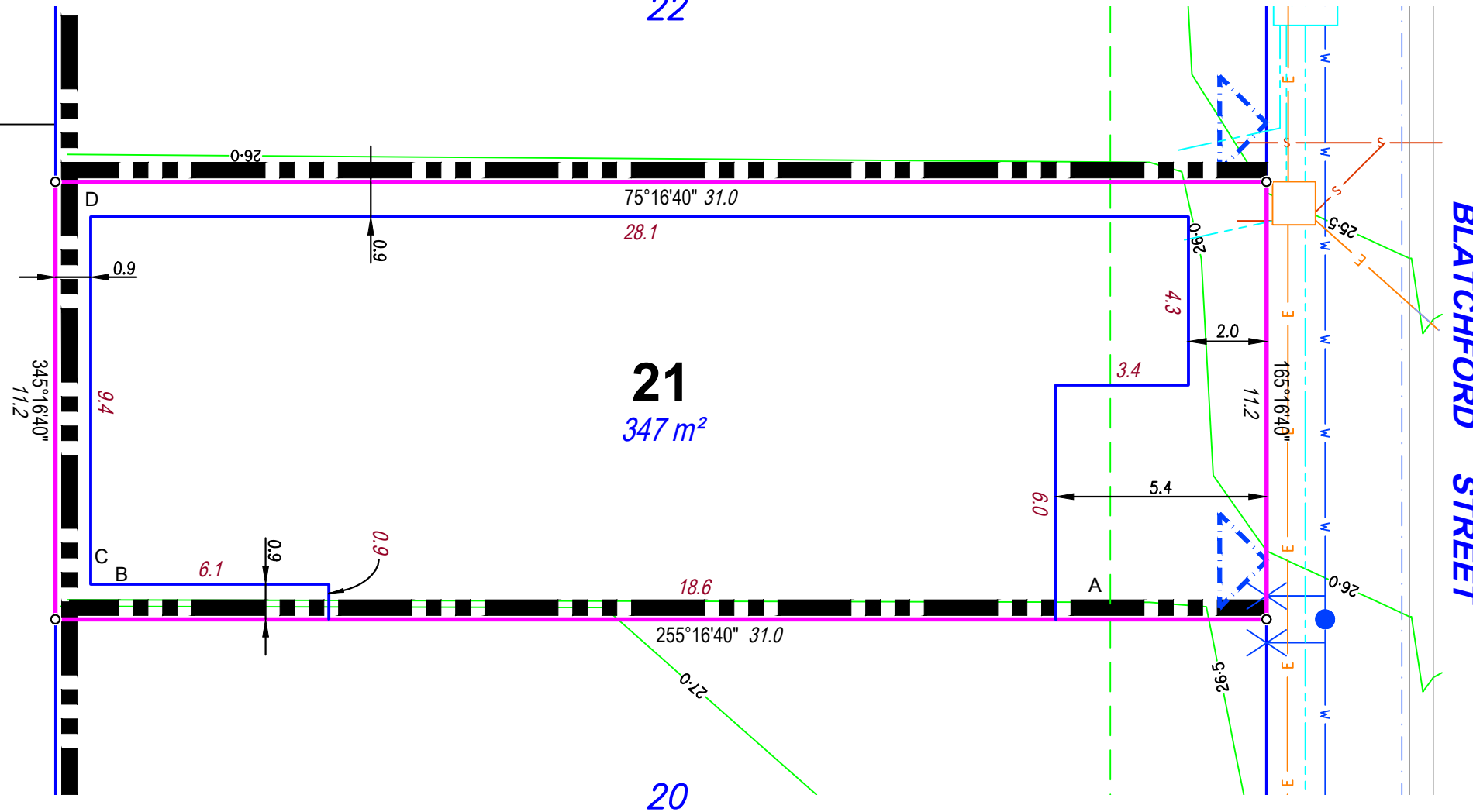
Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Easement
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Electrical
- Proposed Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit
- Building within this zone to be designed in conjunction with structural engineering advice

27
RP904644

22

26
RP904644



BLATCHFORD STREET

Notes

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- For lots less with a frontage less than 12.5m, the garage opening must be no more than 50% of the frontage width.

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
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DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/21	-

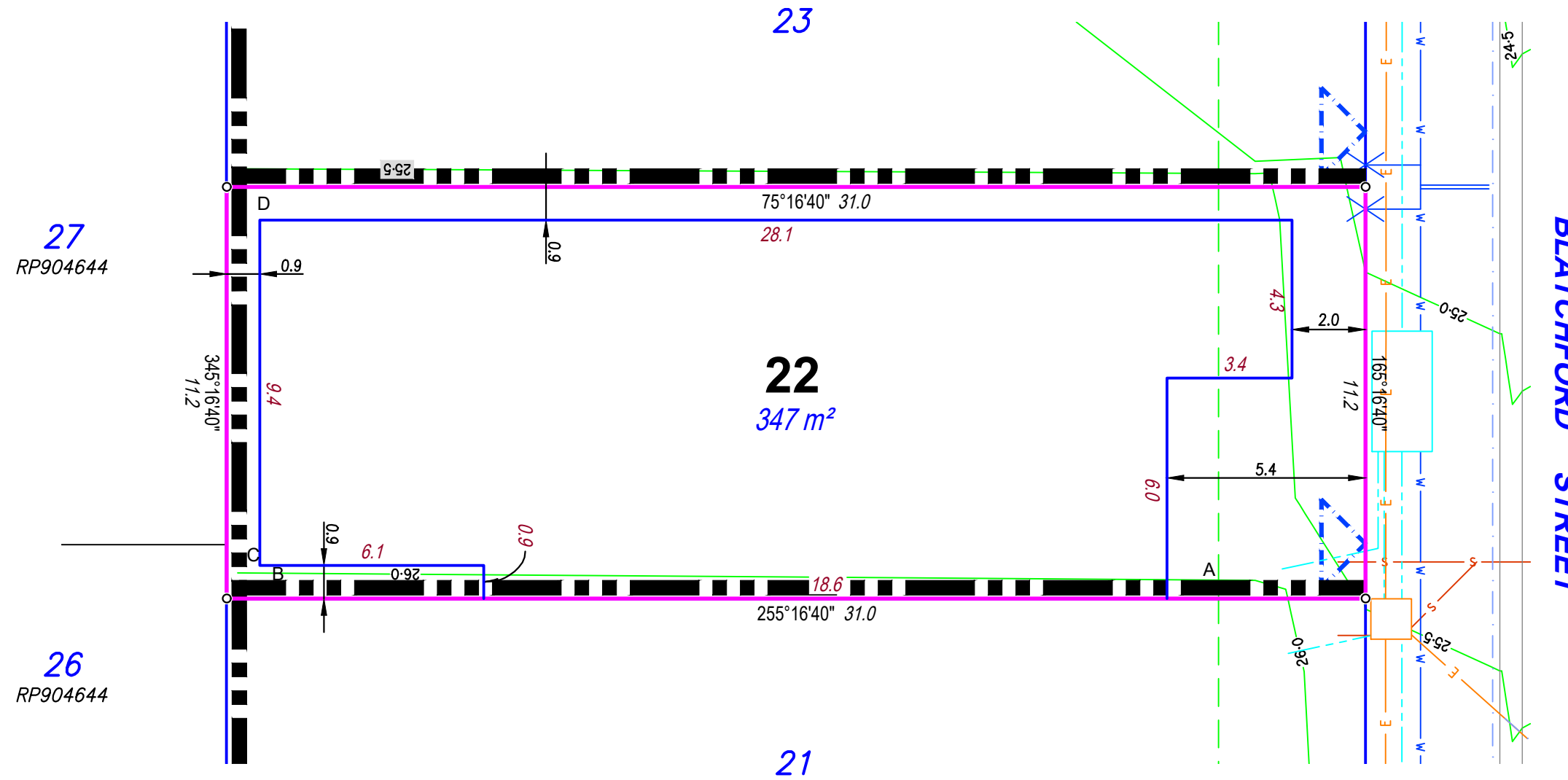
Retaining Wall Heights	
Point	Height
A	0.5m
B	0.5m
C	1.3m
D	0.8m
A-B Average	0.5m
C-D Average	1.05m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 22
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Easement	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Electrical (NBN)	
Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
Building within this zone to be designed in conjunction with structural engineering advice	

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SCALE 1:150 SHEET SIZE A3

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Lot Size	Max Site Cover %
301m² - 400m²	70%

DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/22	-

Retaining Wall Heights	
Point	Height
A	0.4m
B	0.4m
C	1.2m
D	0.7m
A-B Average	0.4m
C-D Average	0.95m



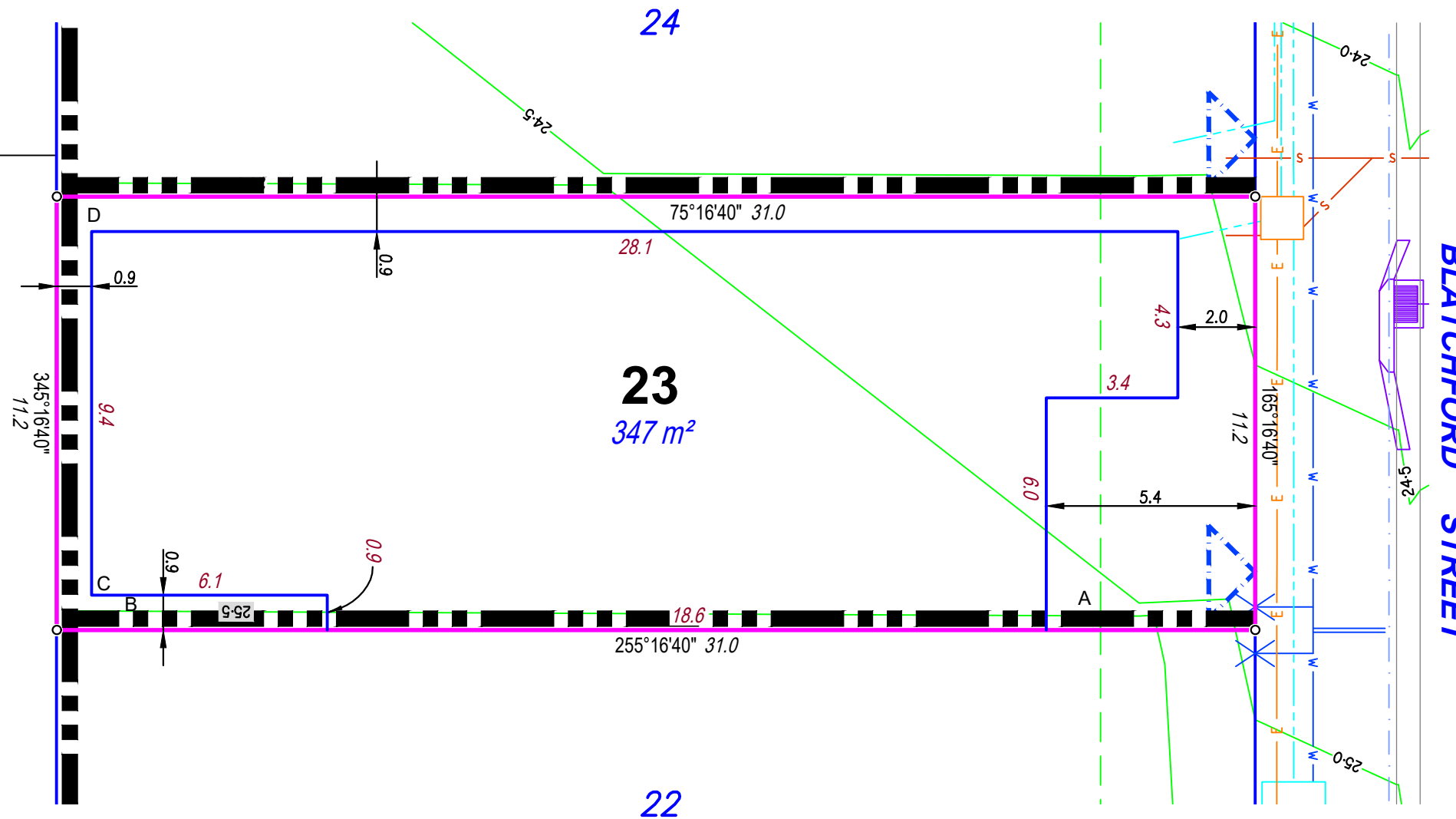
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 23
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

28
RP904644

27
RP904644



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Easement	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Electrical	
Proposed Communications (NBN)	
Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
Building within this zone to be designed in conjunction with structural engineering advice	

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SCALE 1:150 SHEET SIZE A3

1 0 1 2 3 4 5 6

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Lot Size	Max Site Cover %
301m ² - 400m ²	70%

DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/23	-

Retaining Wall Heights	
Point	Height
A	0.5
B	0.5
C	1.2m
D	0.7m
A-B Average	0.5
C-D Average	0.95m



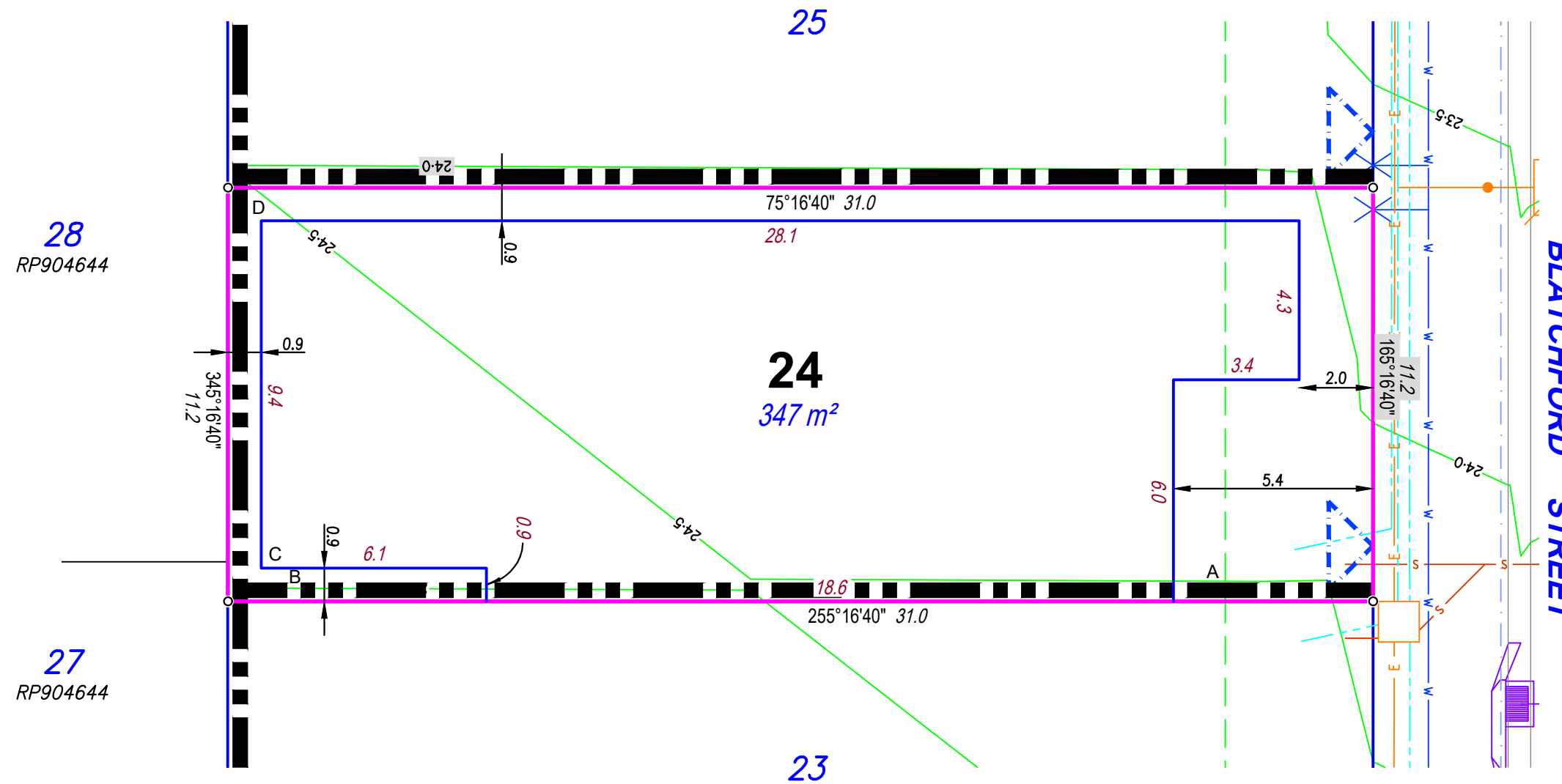
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 24
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Easement
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
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SCALE 1:150 SHEET SIZE A3

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Lot Size	Max Site Cover %
301m ² - 400m ²	70%

DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/24	-

Retaining Wall Heights	
Point	Height
A	0.5m
B	0.5m
C	1.2m
D	0.6m
A-B Average	0.8m
A-B Average	0.8m



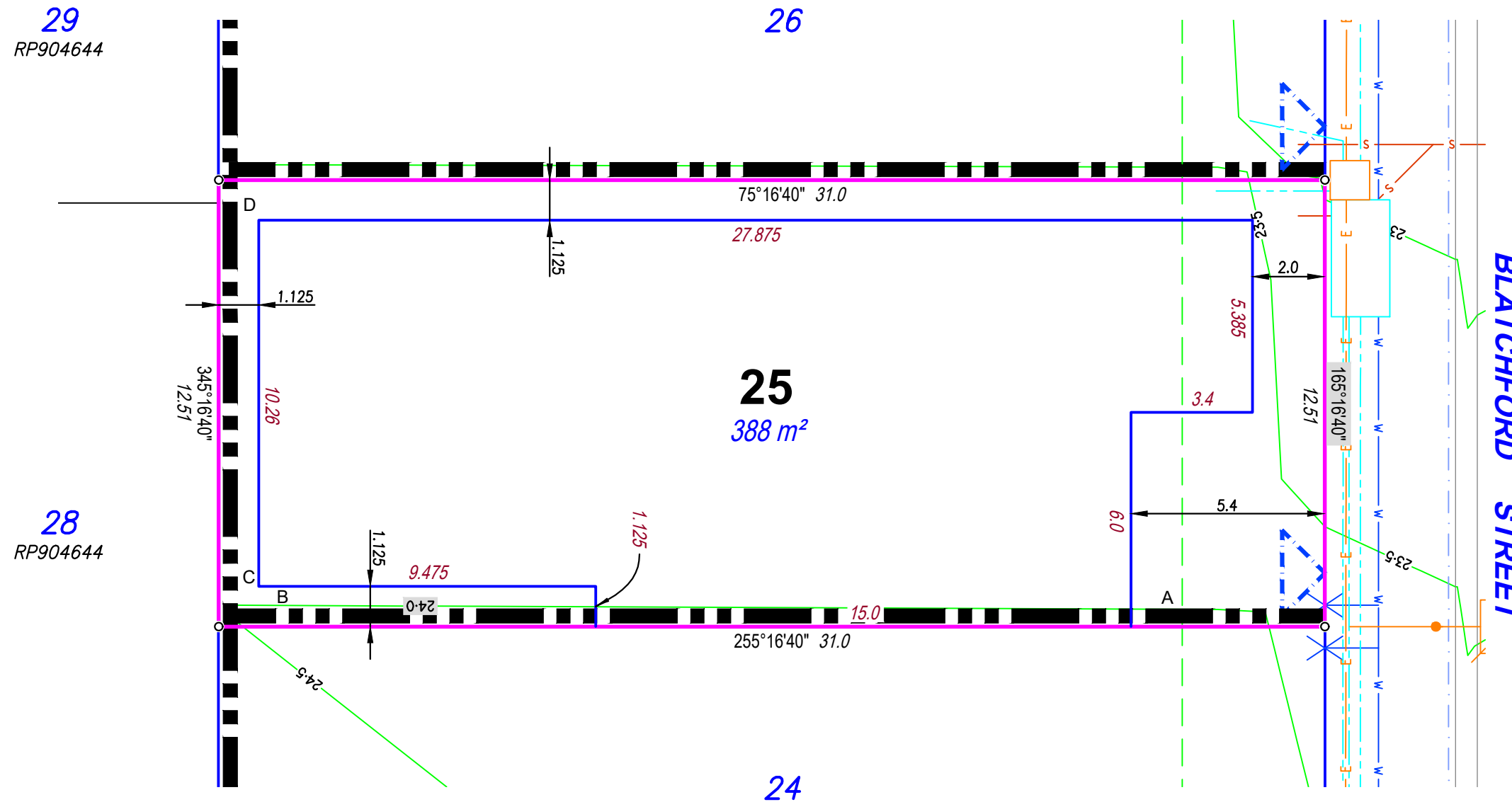
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 25
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
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- Fill Depth Contour
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Lot Size	Max Site Cover %
301m² - 400m²	70%

SCALE 1:150 SHEET SIZE A3

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DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/25	-

Retaining Wall Heights	
Point	Height
A	0.6m
B	0.6m
C	1.2m
D	0.5m
A-B Average	0.6m
C-D Average	0.85m



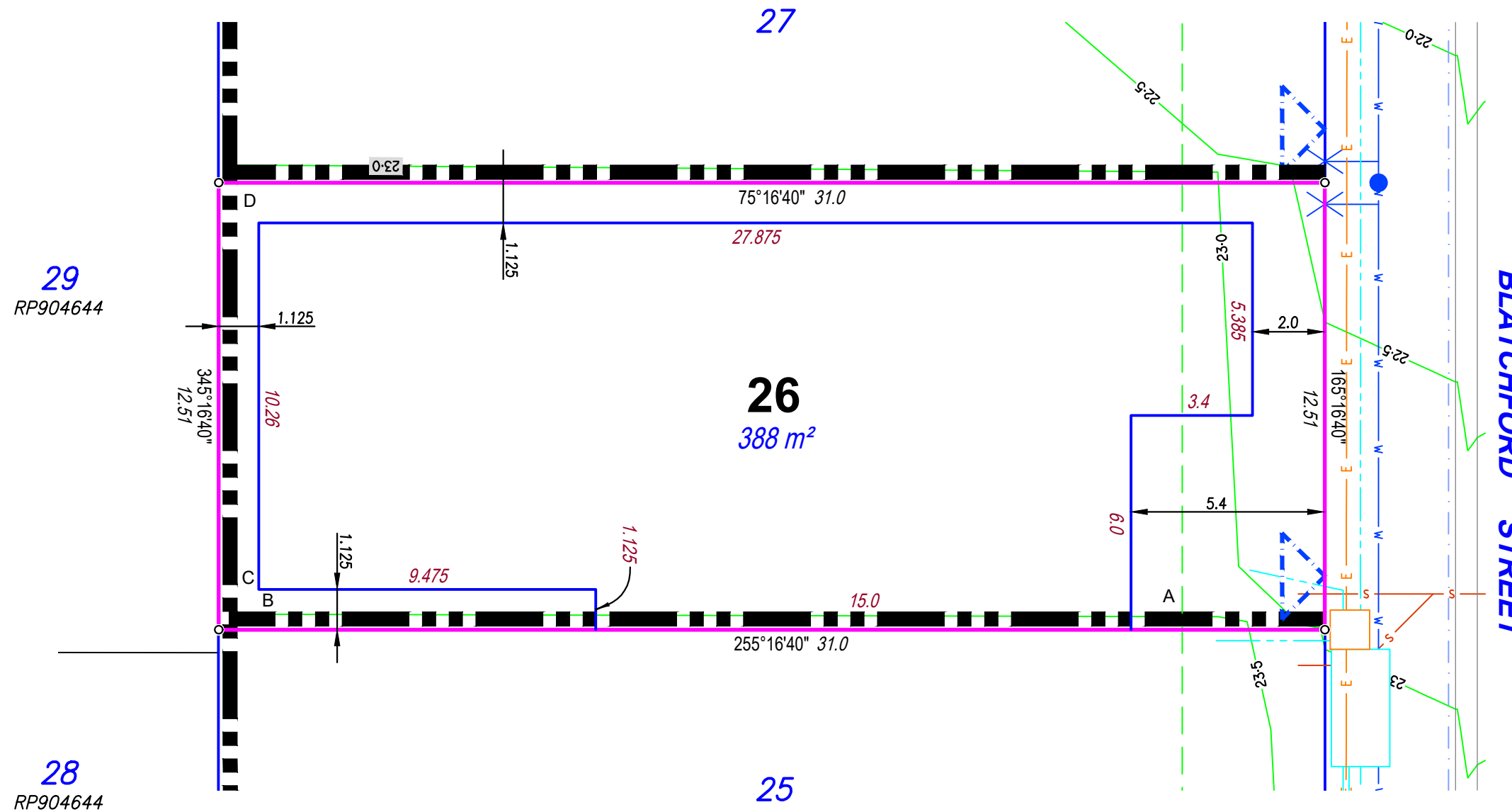
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 26
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
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LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
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Lot Size	Max Site Cover %
301m ² - 400m ²	70%

SCALE 1:150 SHEET SIZE A3

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ABN 44 140 292 762
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DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/26	-

Retaining Wall Heights	
Point	Height
A	0.5m
B	0.5m
C	1.0m
D	0.2m
A-B Average	0.5m
C-D Average	0.6m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 27
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Easement
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Electrical
- Proposed Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit
- Building within this zone to be designed in conjunction with structural engineering advice

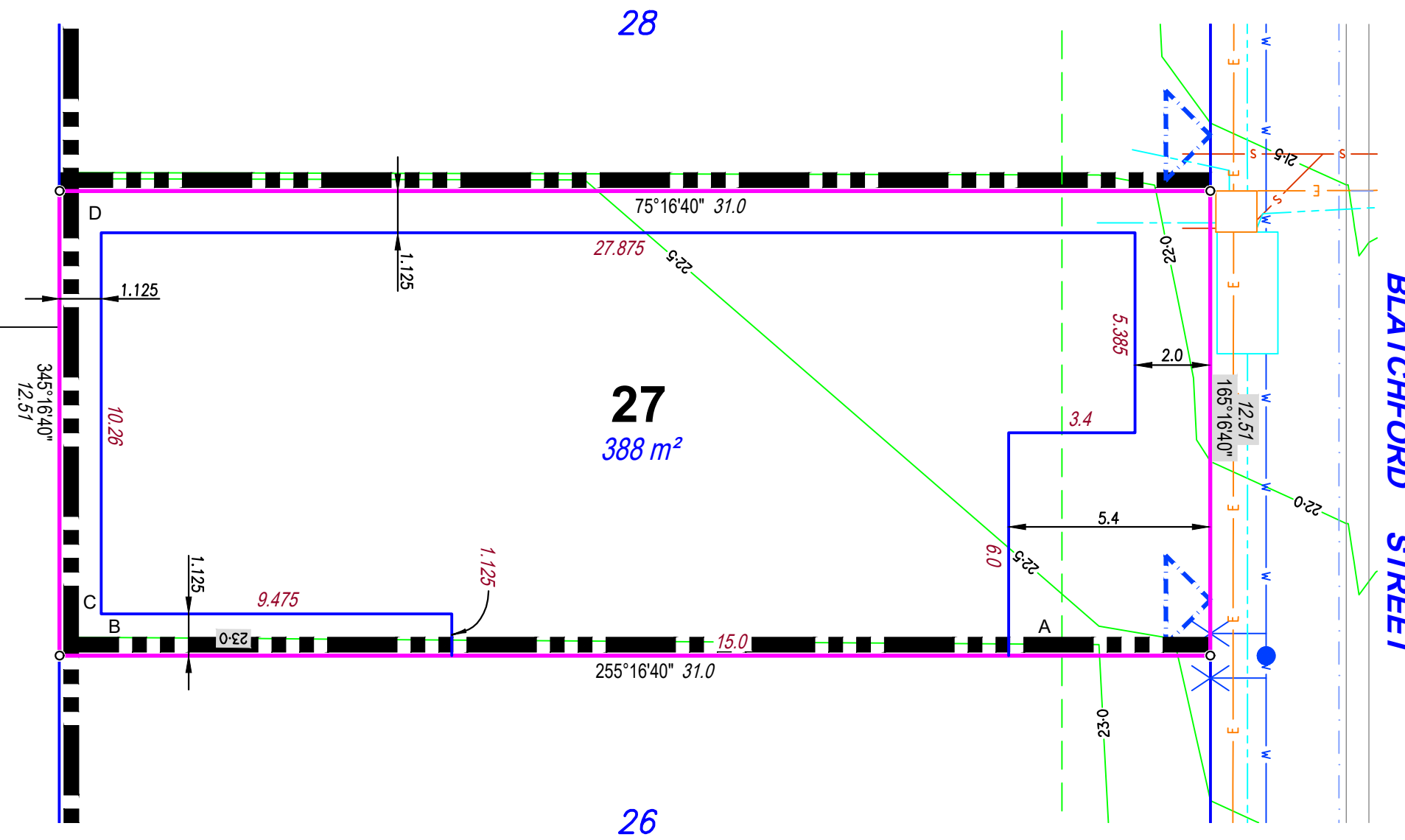
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Lot Size	Max Site Cover %
301m ² - 400m ²	70%

DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/27	-

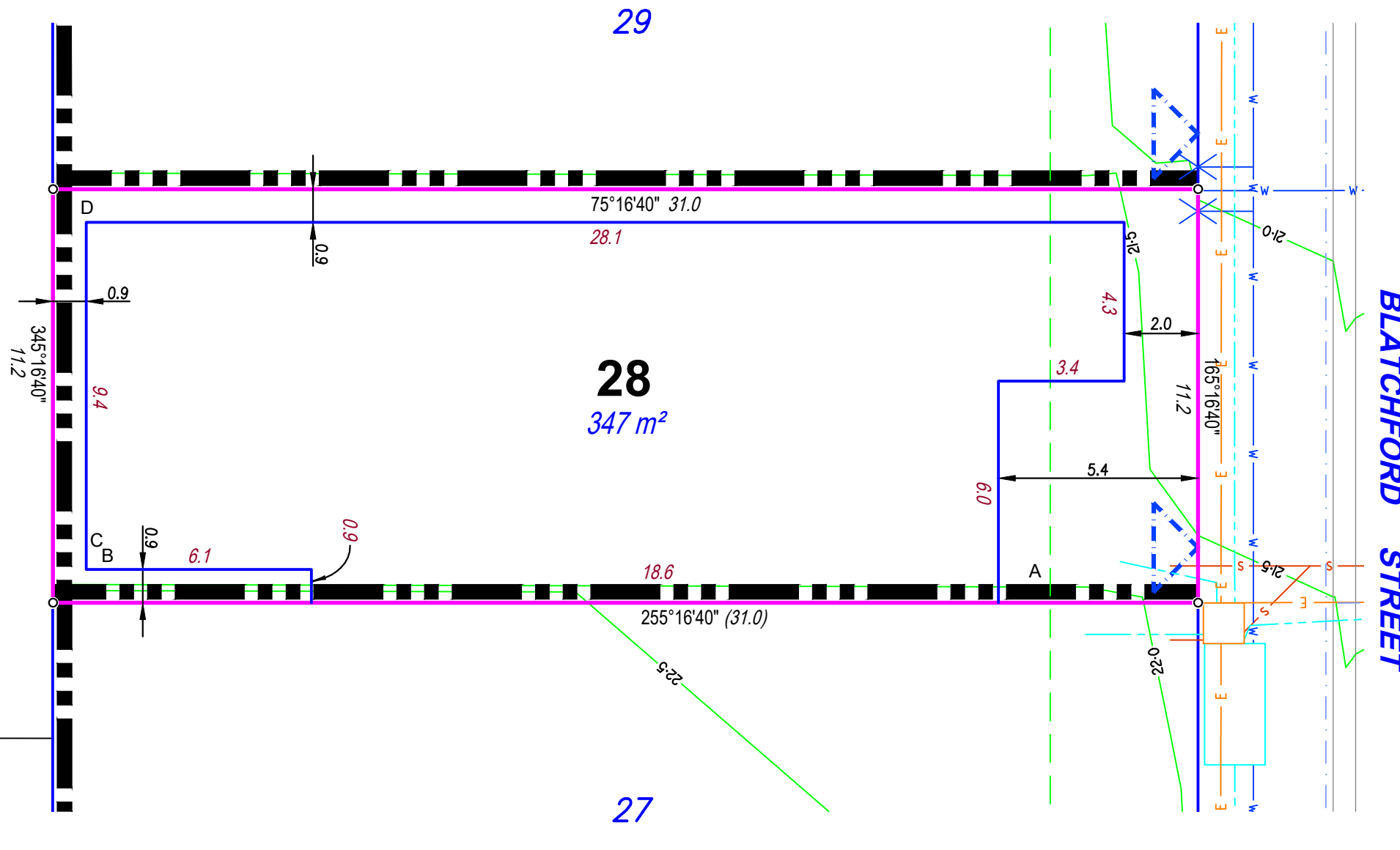
Retaining Wall Heights	
Point	Height
A	0.6m
B	0.6m
C	0.8m
D	0.1m
A-B Average	0.6m
C-D Average	0.45m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 28
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Easement	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Electrical	
Proposed Communications (NBN)	
Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
Building within this zone to be designed in conjunction with structural engineering advice	

Notes

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- Building location diagrams as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).
- For lots less with a frontage less than 12.5m, the garage opening must be no more than 50% of the frontage width.

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1 0 1 2 3 4 5 6

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Lot Size	Max Site Cover %
301m² - 400m²	70%

DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/28	-

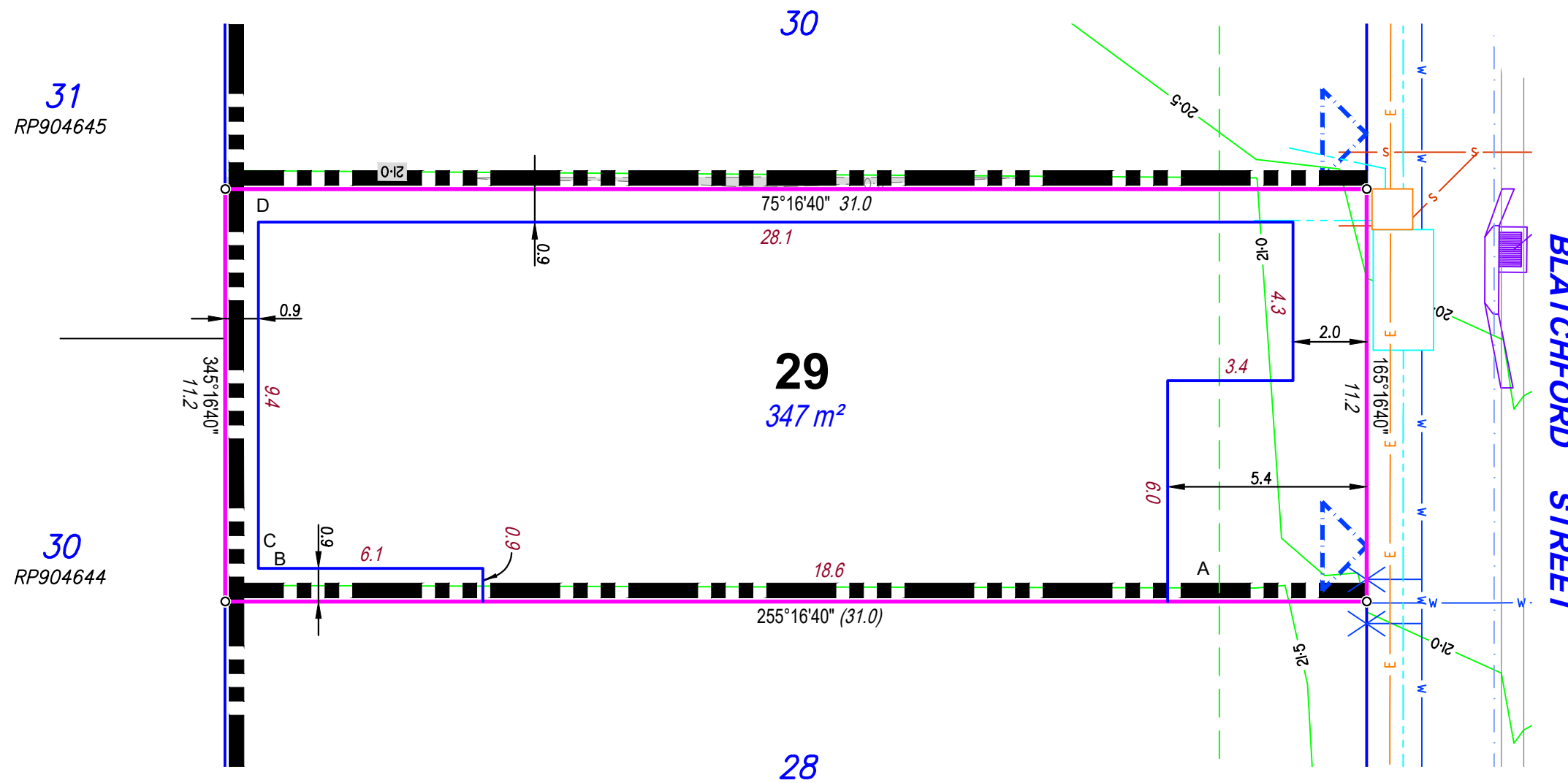
Retaining Wall Heights	
Point	Height
A	0.6m
B	0.6m
C	0.8m
D	0.2m
A-B Average	0.6m
C-D Average	0.5m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 29
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Easement	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Electrical	
Proposed Communications (NBN)	
Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
Building within this zone to be designed in conjunction with structural engineering advice	

Notes

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- For lots less with a frontage less than 12.5m, the garage opening must be no more than 50% of the frontage width.

SCALE 1:150 SHEET SIZE A3

1 0 1 2 3 4 5 6

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Lot Size	Max Site Cover %
301m ² - 400m ²	70%

DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/29	-

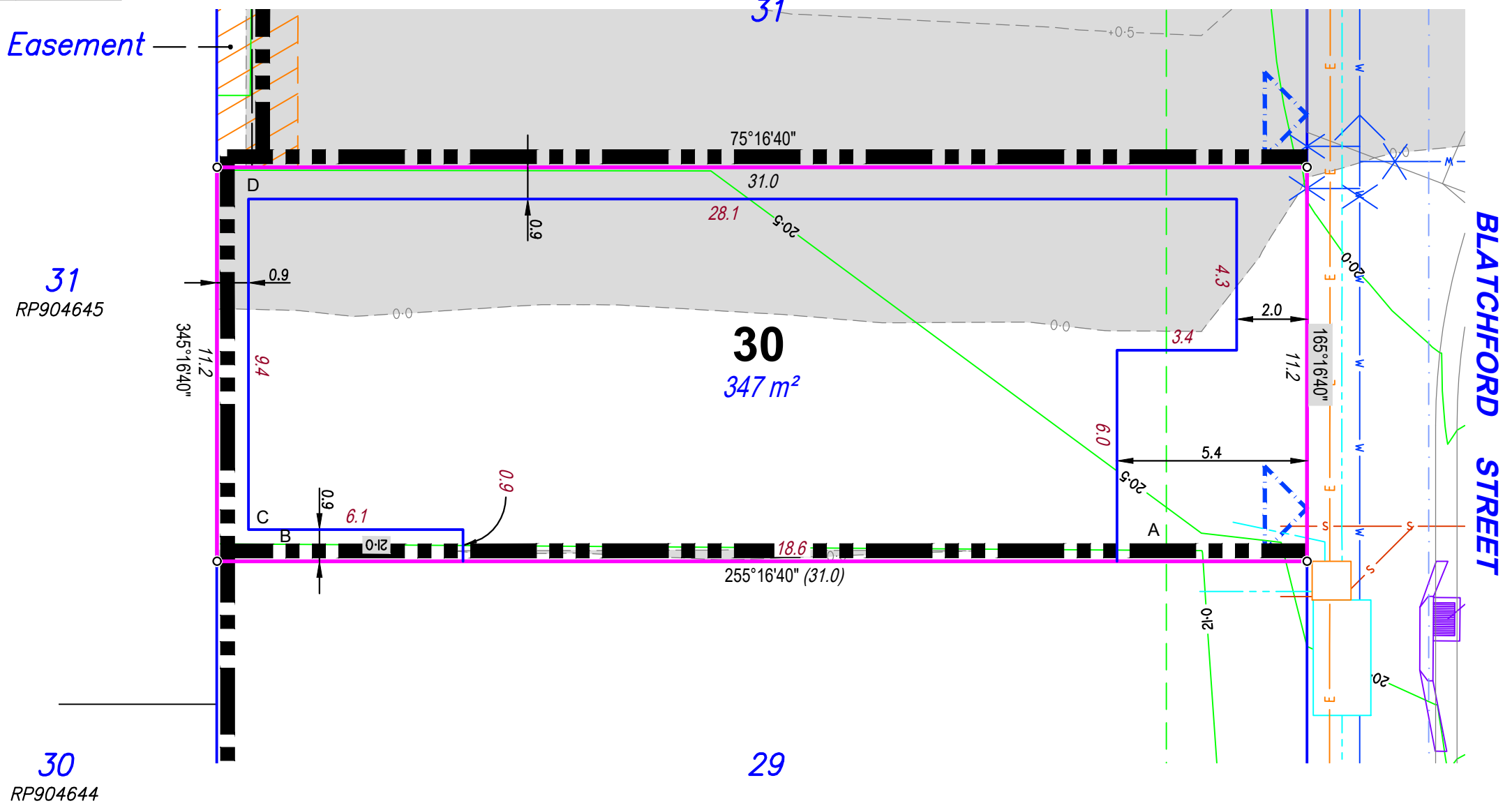
Retaining Wall Heights	
Point	Height
A	0.5m
B	0.5m
C	0.3m
D	0.5m
A-B Average	0.5m
C-D Average	0.4m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 30
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Easement

31
RP904645

30
RP904644

BLATCHFORD STREET

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Easement
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Electrical
- Proposed Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit
- Building within this zone to be designed in conjunction with structural engineering advice

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 - For lots less with a frontage less than 12.5m, the garage opening must be no more than 50% of the frontage width.

The depth of fill on this lot is between 0.0m and 0.5m.

Lot Size	Max Site Cover %
301m² - 400m²	70%

NORTH

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DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/30	-

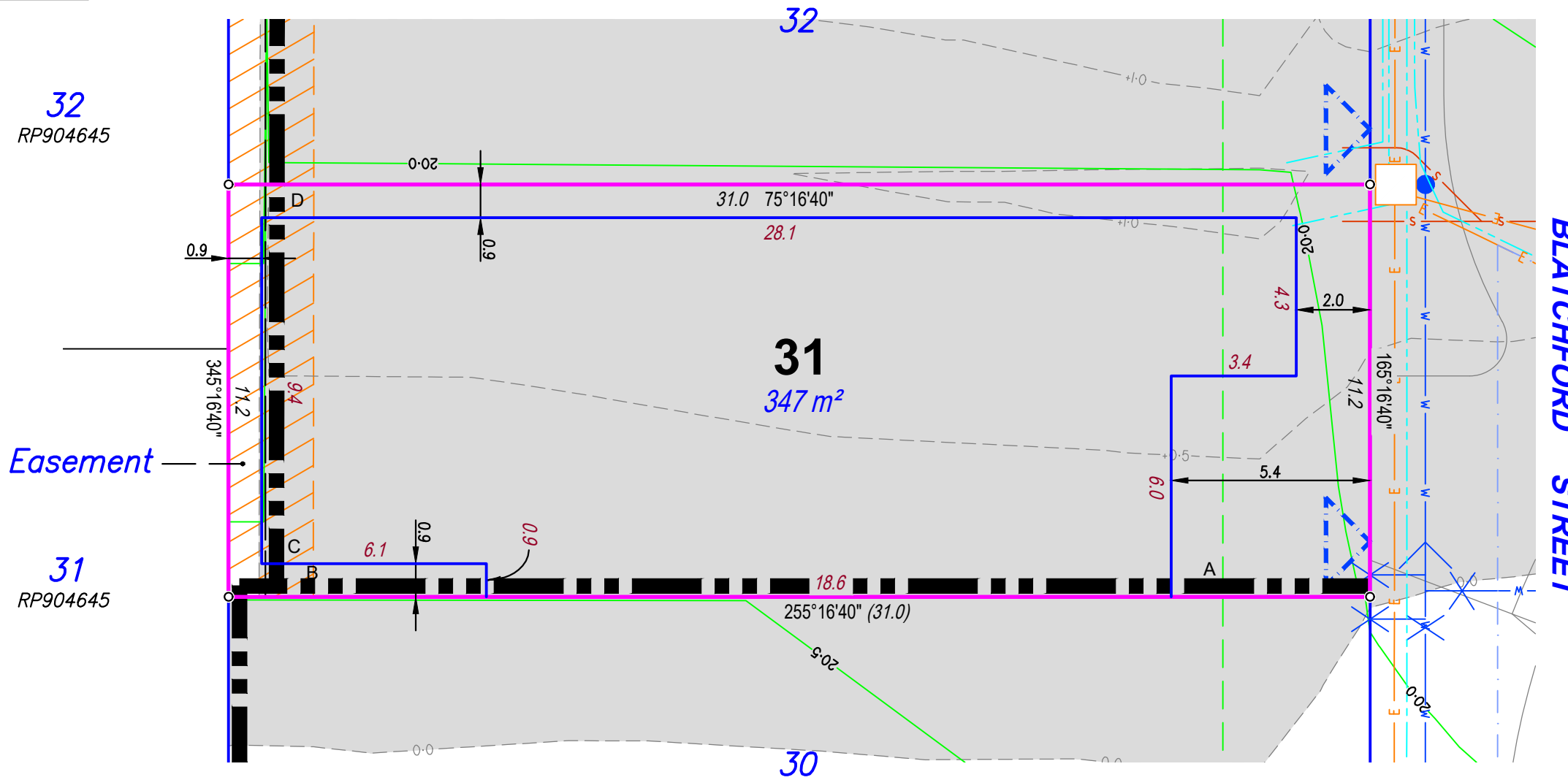
Retaining Wall Heights	
Point	Height
A	0.4m
B	0.4m
C	0.9m
D	0.5m
A-B Average	0.4m
C-D Average	0.7m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 31
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Easement	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Electrical	
Proposed Communications (NBN)	
Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
Building within this zone to be designed in conjunction with structural engineering advice	

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SCALE 1:150 SHEET SIZE A3

1 0 1 2 3 4 5 6

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Lot Size	Max Site Cover %
301m ² - 400m ²	70%

DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/31	-

Retaining Wall Heights	
Point	Height
A	0.6m
B	1.4m
A-B Average	1.0m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 32
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

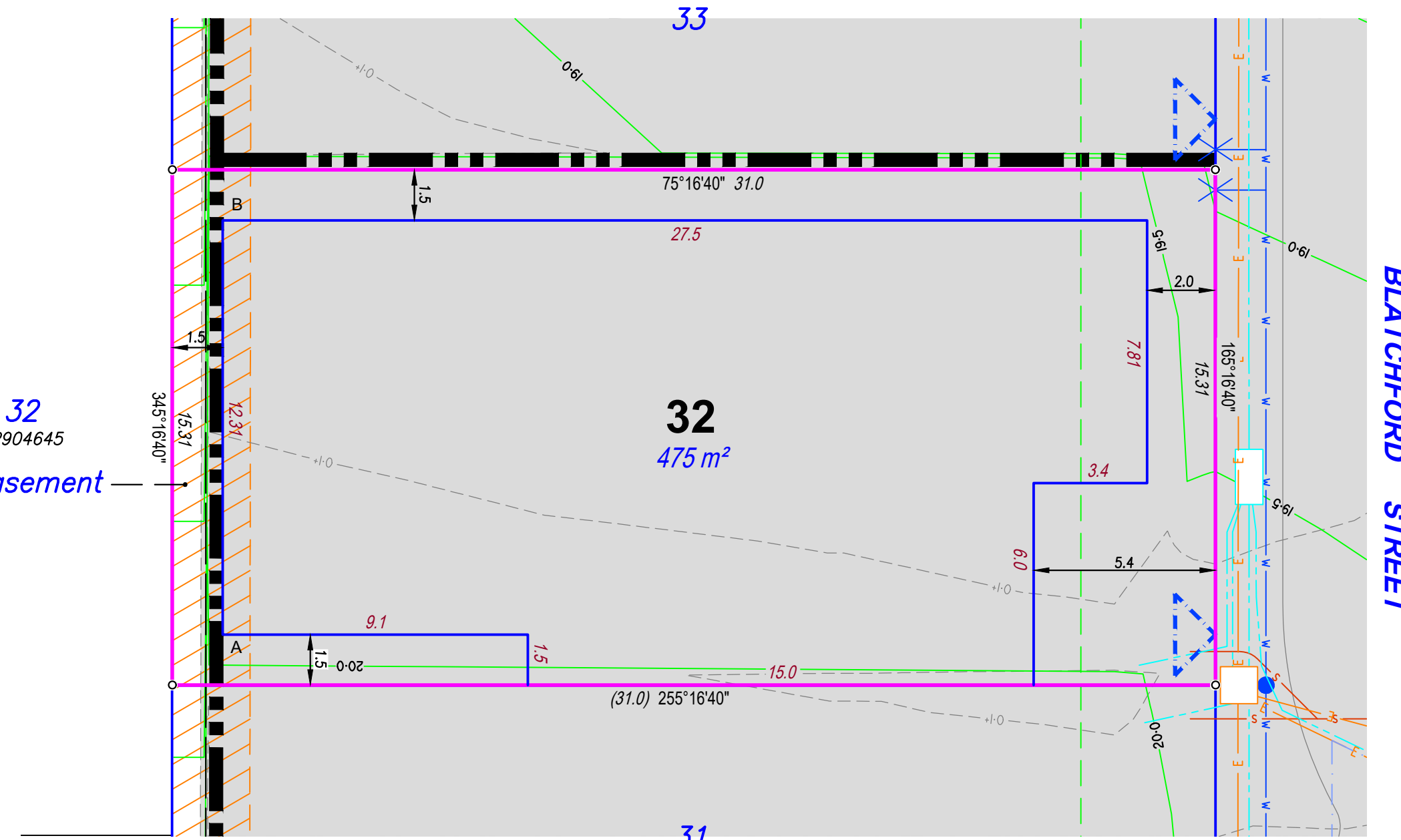
Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Easement	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Electrical	
Proposed Communications (NBN)	
Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
Building within this zone to be designed in conjunction with structural engineering advice	

SCALE 1:150 SHEET SIZE A3

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Lot Size	Max Site Cover %
401m² and Above	60%

DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/32	-

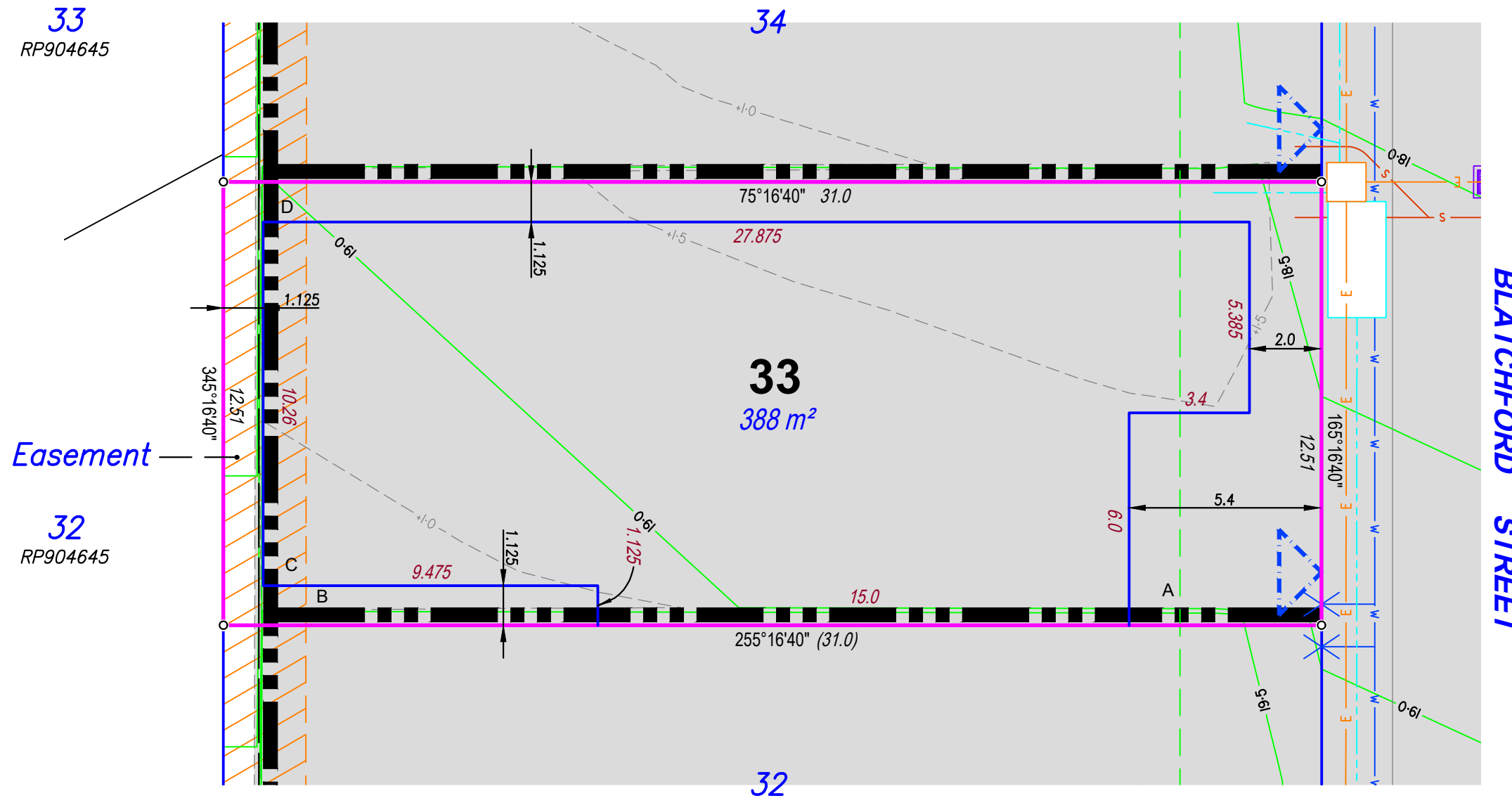
Retaining Wall Heights	
Point	Height
A	0.8m
B	0.8m
C	0.6m
D	1.2m
A-B Average	0.8m
C-D Average	0.9m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 33
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Easement	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Electrical	
Proposed Communications (NBN)	
Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
Building within this zone to be designed in conjunction with structural engineering advice	

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Lot Size	Max Site Cover %
301m ² - 400m ²	70%

SCALE 1:150 SHEET SIZE A3

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DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/33	-

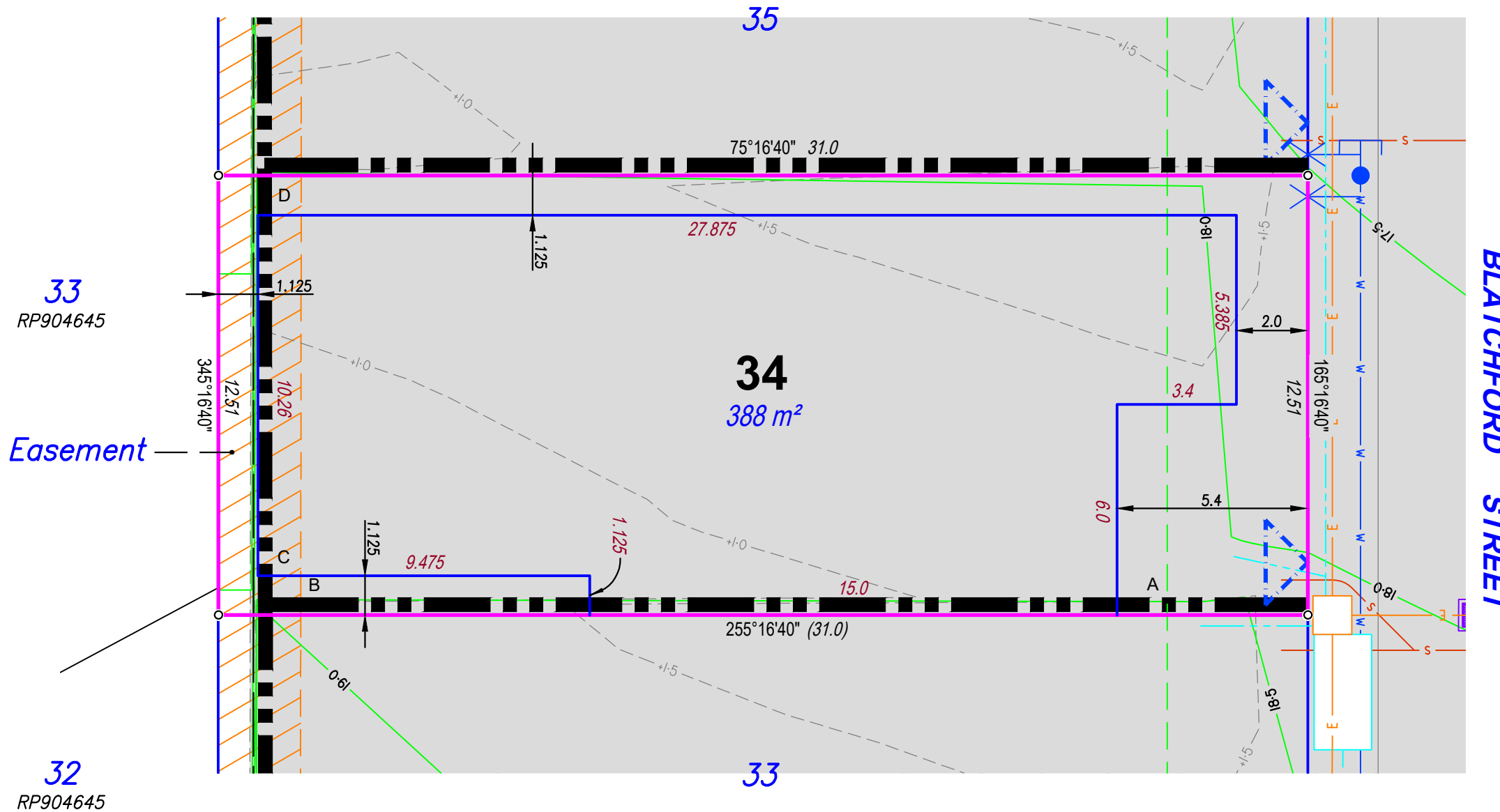
Retaining Wall Heights	
Point	Height
A	0.7m
B	0.7m
C	0.6m
D	1.2m
A-B Average	0.7m
C-D Average	0.9m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 34
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Easement	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Electrical	
Proposed Communications (NBN)	
Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
Building within this zone to be designed in conjunction with structural engineering advice	

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Lot Size	Max Site Cover %
301m ² - 400m ²	70%

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DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/34	-

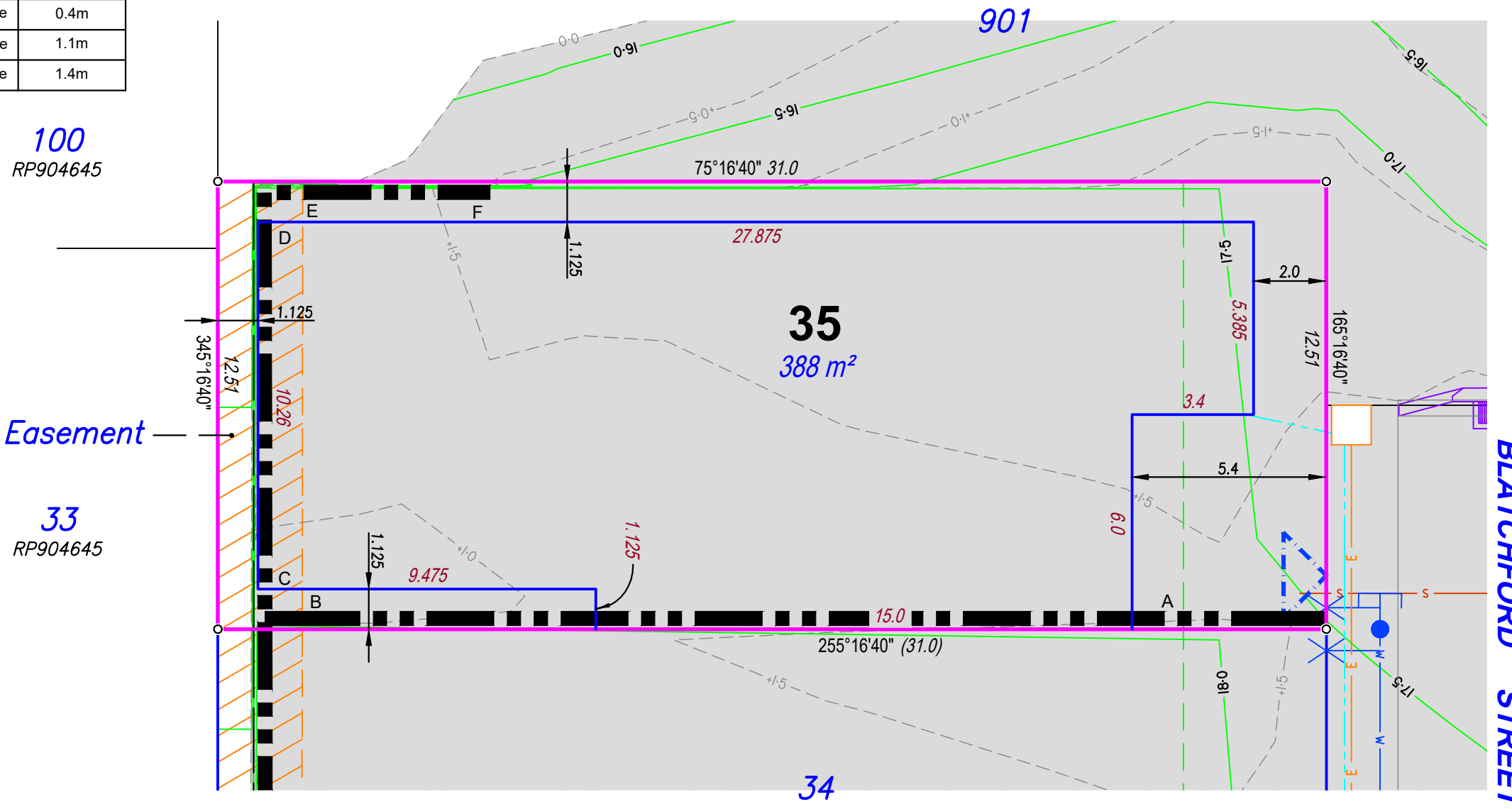
Retaining Wall Heights	
Point	Height
A	0.4m
B	0.4m
C	0.8m
D	1.4m
E	1.4m
F	1.4m
A-B Average	0.4m
C-D Average	1.1m
D-E Average	1.4m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 35
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Easement	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Electrical	
Proposed Communications (NBN)	
Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
Building within this zone to be designed in conjunction with structural engineering advice	

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Lot Size	Max Site Cover %
301m ² - 400m ²	70%

SCALE 1:150 SHEET SIZE A3

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ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
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DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/35	-

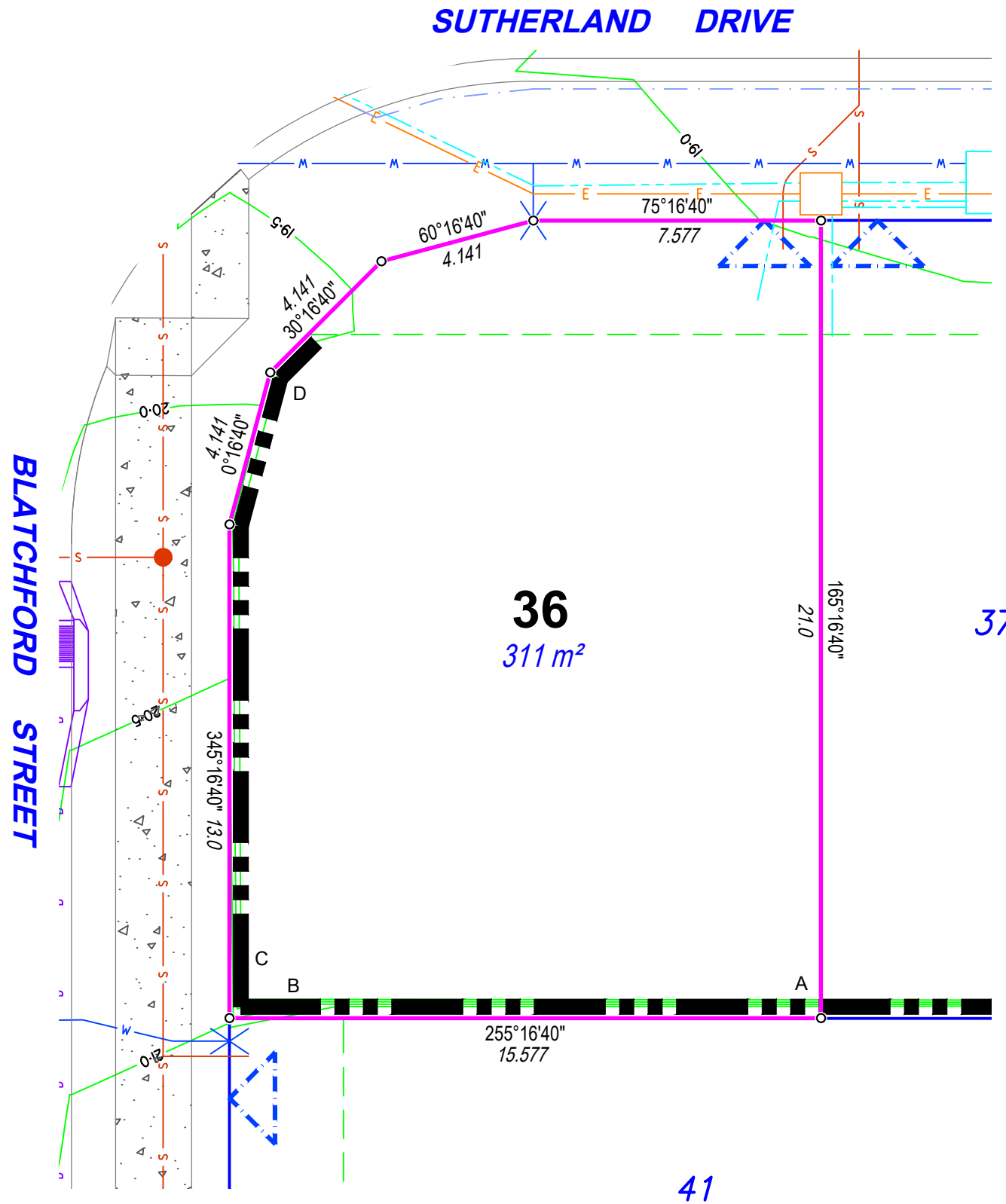
Retaining Wall Heights	
Point	Height
A	1.8m
B	1.6m
C	1.5m
D	0.45m
A-B Average	1.7m
C-D Average	0.975m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 36
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Notes

- Area & Dimensions are subject to Survey Plan Registration.
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- Building location diagrams as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Easement
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Electrical
- Proposed Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit
- Building within this zone to be designed in conjunction with structural engineering advice

NORTH

SCALE 1:150 SHEET SIZE A3

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Lot Size	Max Site Cover %
301m ² - 400m ²	70%

DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/36	-

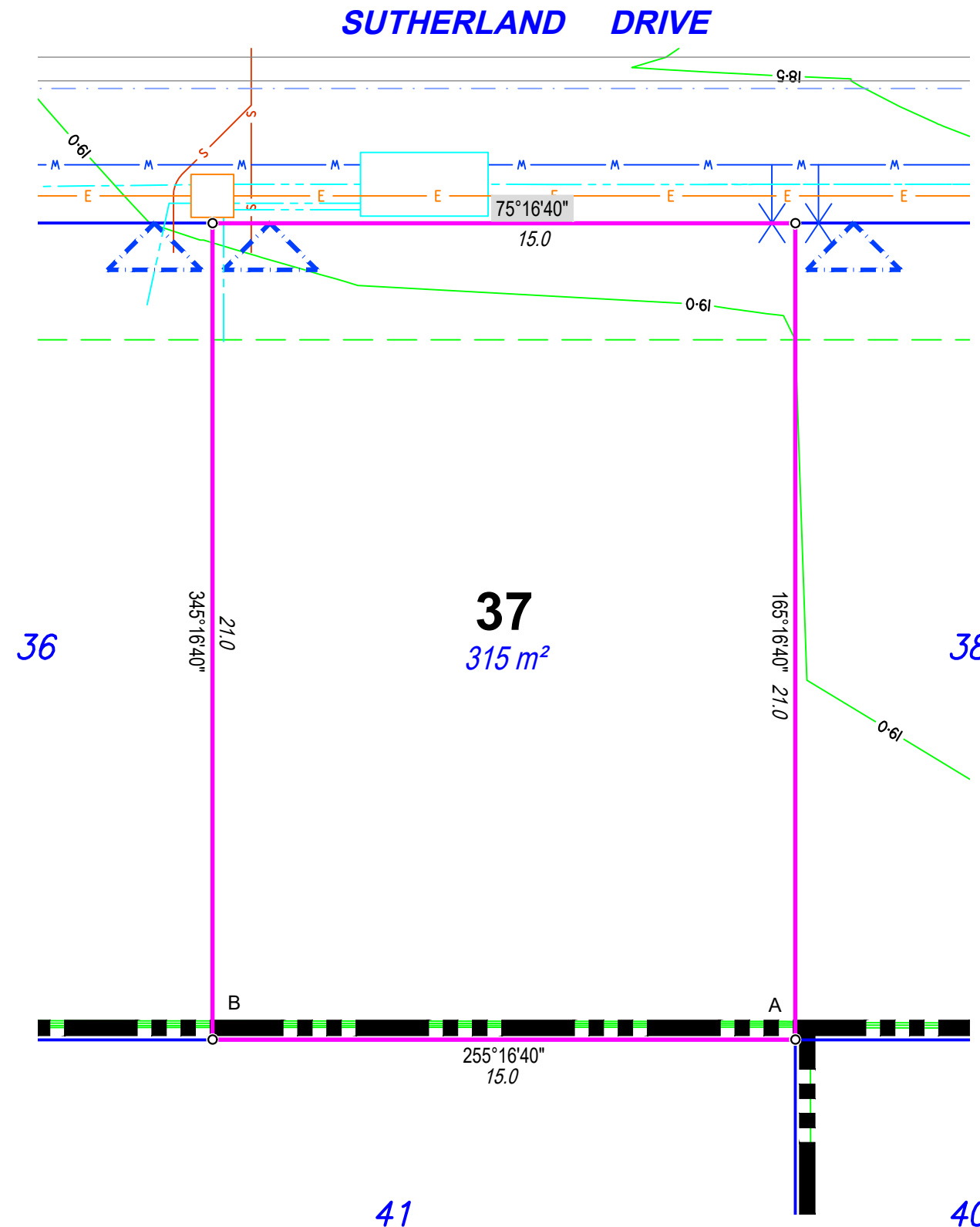
Retaining Wall Heights	
Point	Height
A	2.0m
B	1.8m
A-B Average	1.9m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 37
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Easement	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Electrical	
Proposed Communications (NBN)	
Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
Building within this zone to be designed in conjunction with structural engineering advice	

Notes

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- Building location diagrams as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

SCALE 1:150 SHEET SIZE A3

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DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/37	-

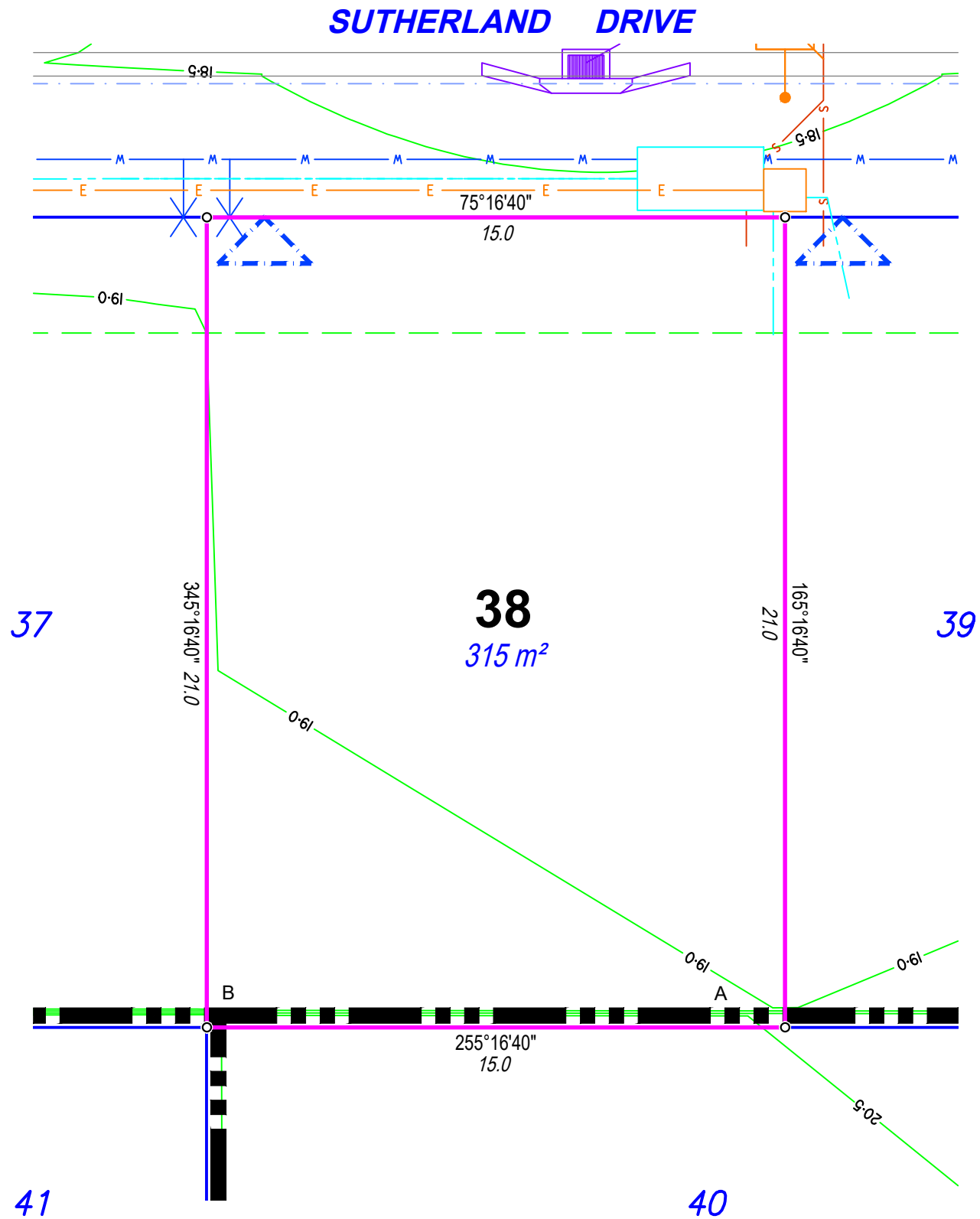
Retaining Wall Heights	
Point	Height
A	1.5m
B	1.5m
A-B Average	1.5m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 38
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Easement	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Electrical	
Proposed Communications (NBN)	
Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
Building within this zone to be designed in conjunction with structural engineering advice	

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 - Building location diagrams as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

Lot Size	Max Site Cover %
301m² - 400m²	70%

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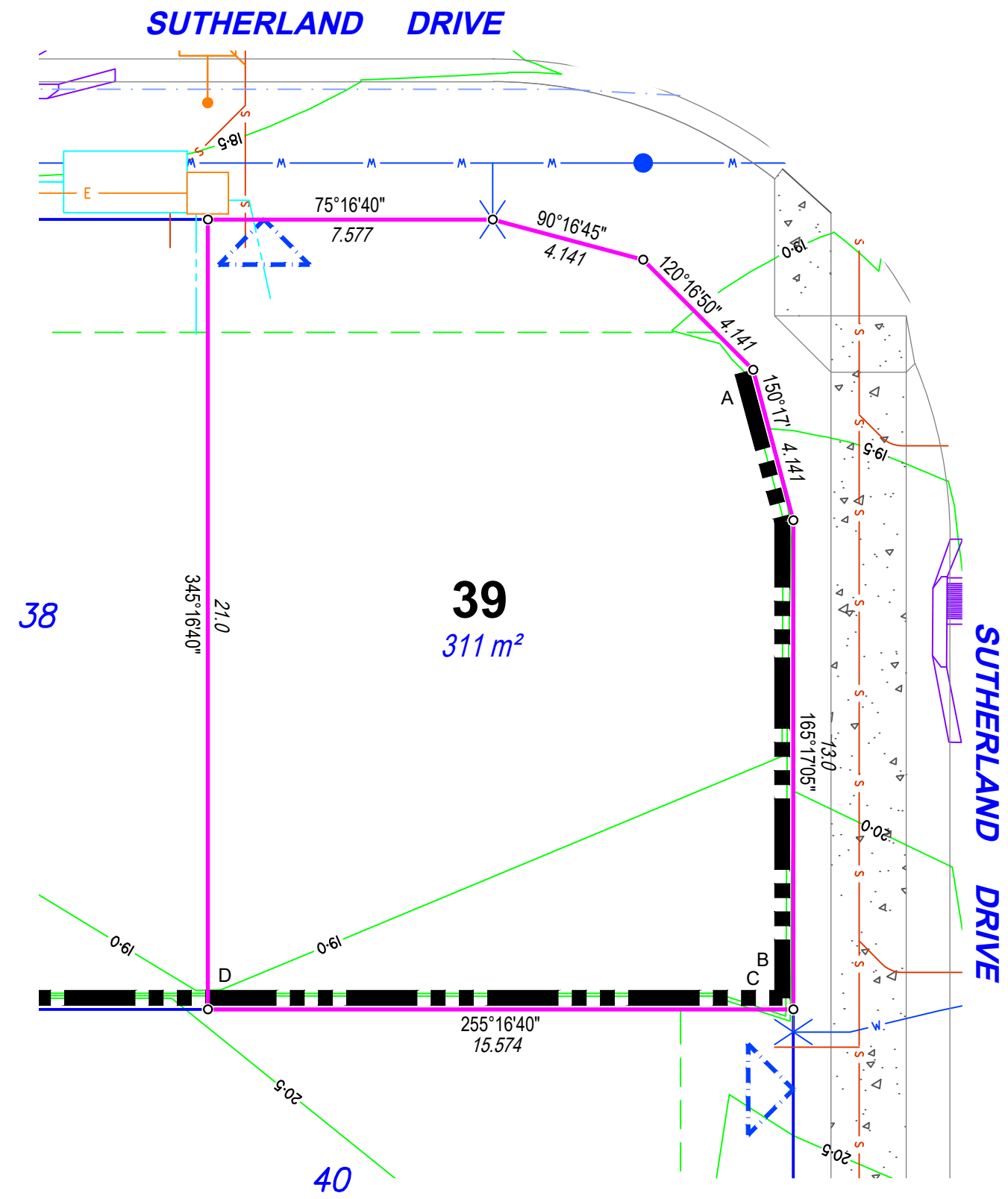
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DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/38	-

Retaining Wall Heights	
Point	Height
A	0.35m
B	1.2m
C	1.3m
D	1.5m
A-B Average	0.775m
C-D Average	1.4m



ALLOTMENT INFORMATION DIAGRAM
 For Proposed Lot 39
 on SP309550,
 84 Samsonvale Road, Strathpine
 CURRENTLY DESCRIBED AS
 RPD 3000 on SP309548
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional



- Notes**
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Legend

Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Easement	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Electrical	
Proposed Communications (NBN)	
Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
Building within this zone to be designed in conjunction with structural engineering advice	

SCALE 1:150 SHEET SIZE A3

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Lot Size	Max Site Cover %
301m ² - 400m ²	70%

DWG. 142823-Stg4-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/39	-

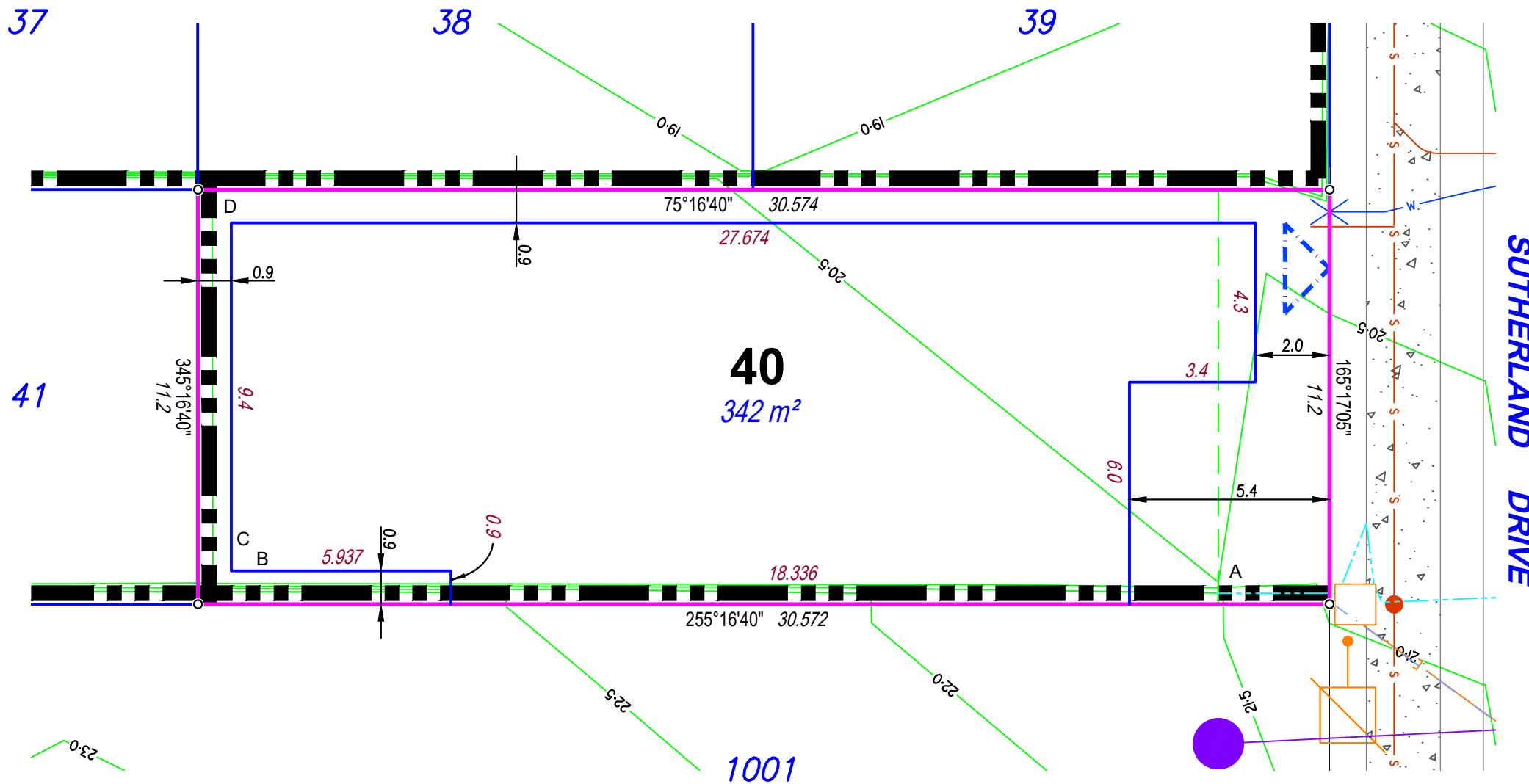
Retaining Wall Heights	
Point	Height
A	1.0m
B	2.2m
C	0.7m
D	0.7m
A-B Average	1.6m
C-D Average	0.7m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 40
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Easement	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Electrical	
Proposed Communications (NBN)	
Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
Building within this zone to be designed in conjunction with structural engineering advice	

Notes

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- For lots less with a frontage less than 12.5m, the garage opening must be no more than 50% of the frontage width.

SCALE 1:150 SHEET SIZE A3

1 0 1 2 3 4 5 6

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Lot Size	Max Site Cover %
301m ² - 400m ²	70%

DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/40	-

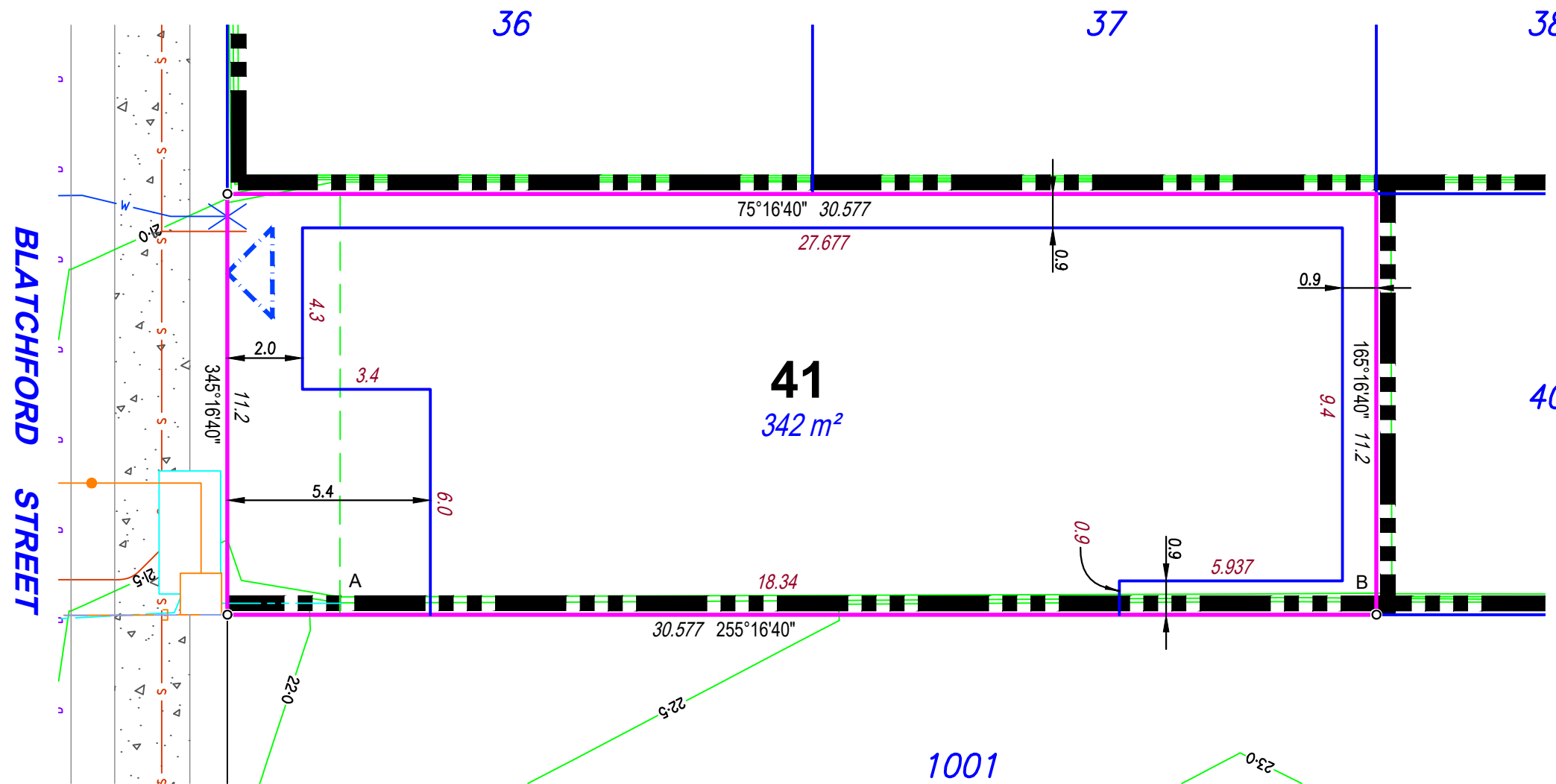
Retaining Wall Heights	
Point	Height
A	0.9m
B	1.5m
A-B Average	1.2m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 41
on SP309550,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD 3000 on SP309548
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Easement	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Electrical	
Proposed Communications (NBN)	
Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
Building within this zone to be designed in conjunction with structural engineering advice	

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SCALE 1:150 SHEET SIZE A3

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Lot Size	Max Site Cover %
301m ² - 400m ²	70%

DWG. 142823-Stg4-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
30/06/20	142823	7/41	-