

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



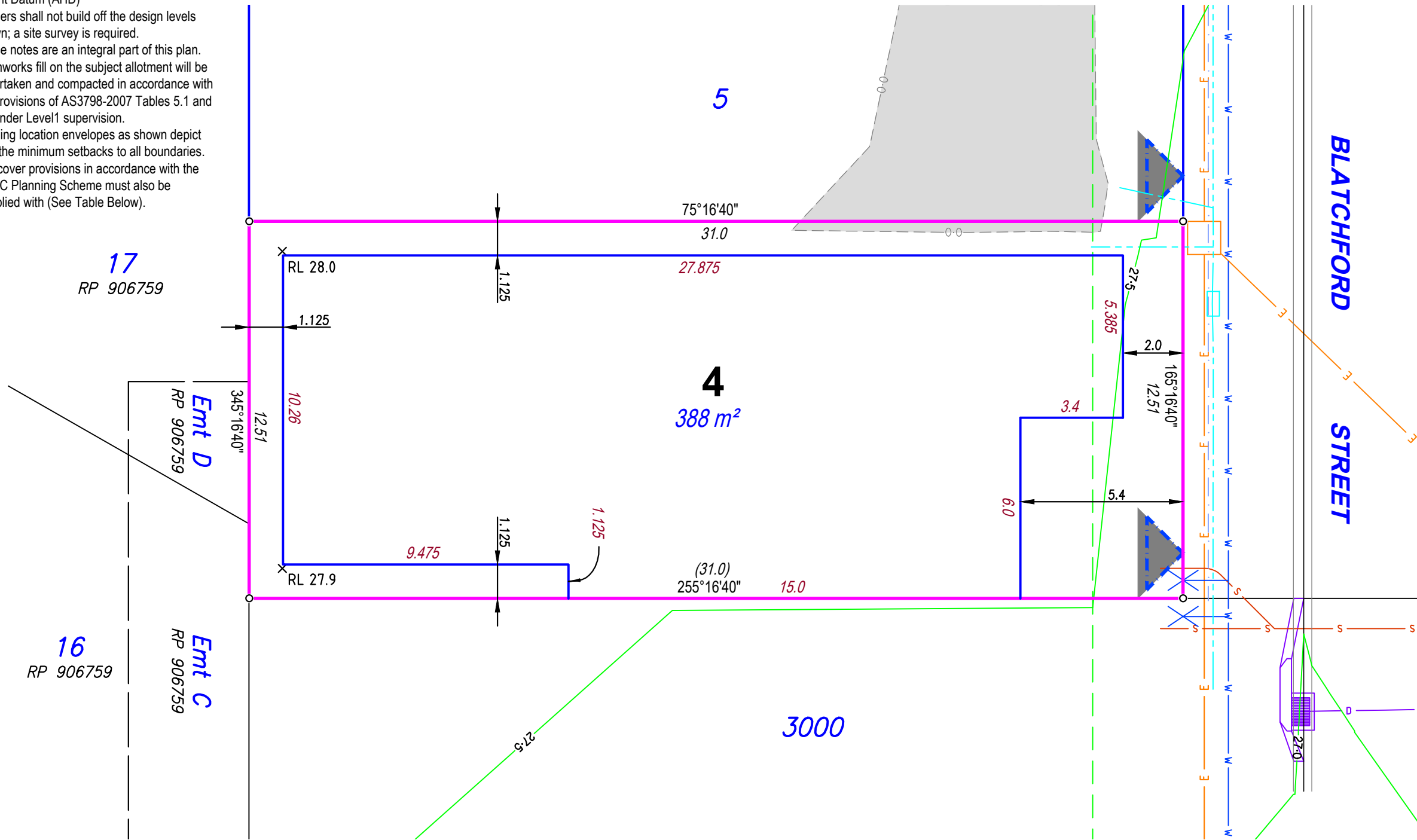
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 4 on SP309548, 84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
 RPD Lot 1 on RP105238
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



17
RP 906759

16
RP 906759

Emt D
RP 906759

Emt C
RP 906759

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
 F +61 7 3539 9501
 W rpsgroup.com

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/4	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



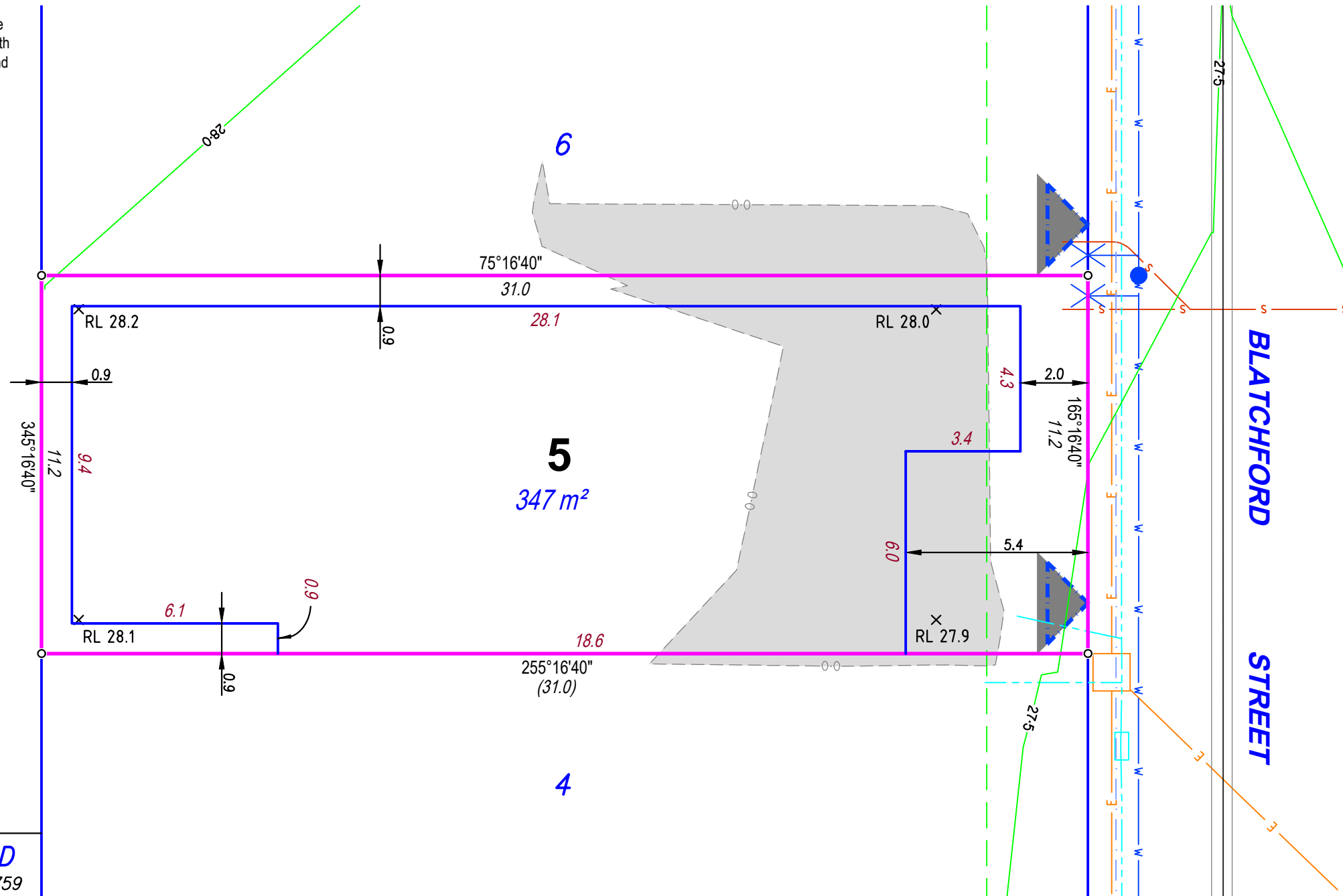
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 5 on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



17
RP 906759

Emt D
RP 906759

Lot Size	Max Site Cover %
301m² - 400m²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/5	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



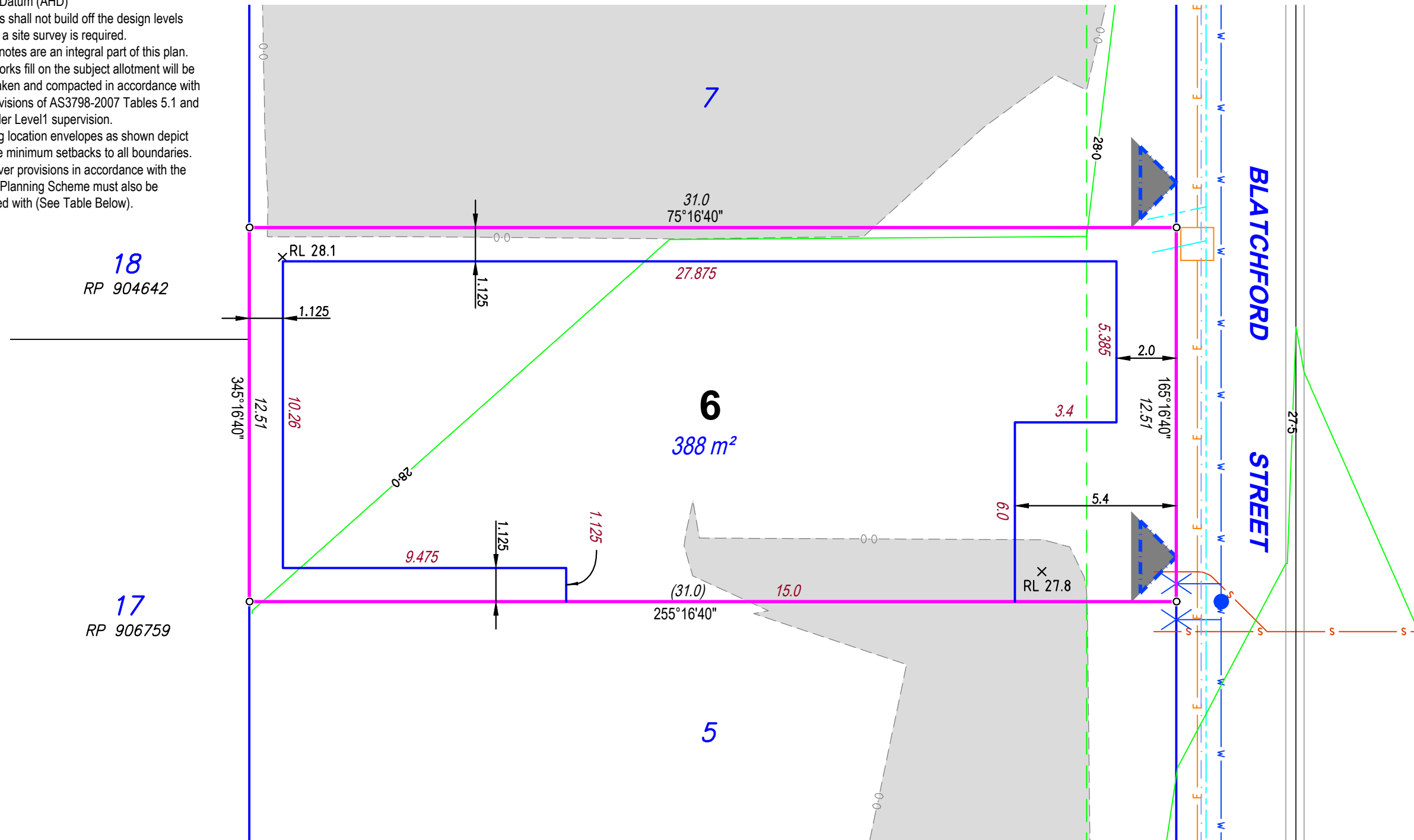
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 6 on SP309548, 84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
 RPD Lot 1 on RP105238
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m² - 400m²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

1 0 1 2 3 4 5 6

rps RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN
 Unauthorised reproduction or amendment
 not permitted. Please contact the author.

This plan has been prepared by RPS
 Australia East Pty Ltd (Cadastral
 Surveyor) to satisfy the requirements
 of the Land Sales Act 1984.

T +61 7 3539 9500
 F +61 7 3539 9501
 W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/6	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



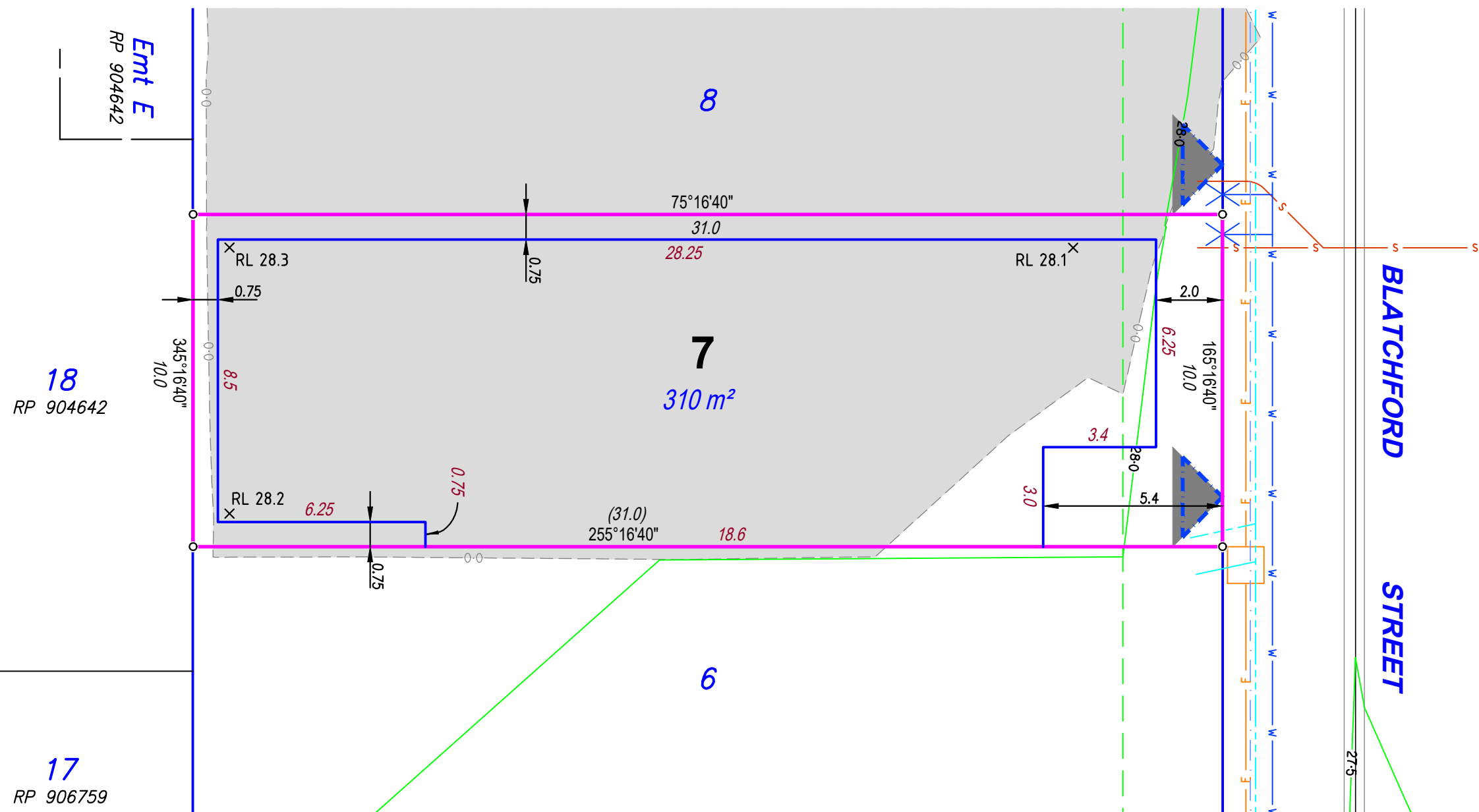
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 7
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/7	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



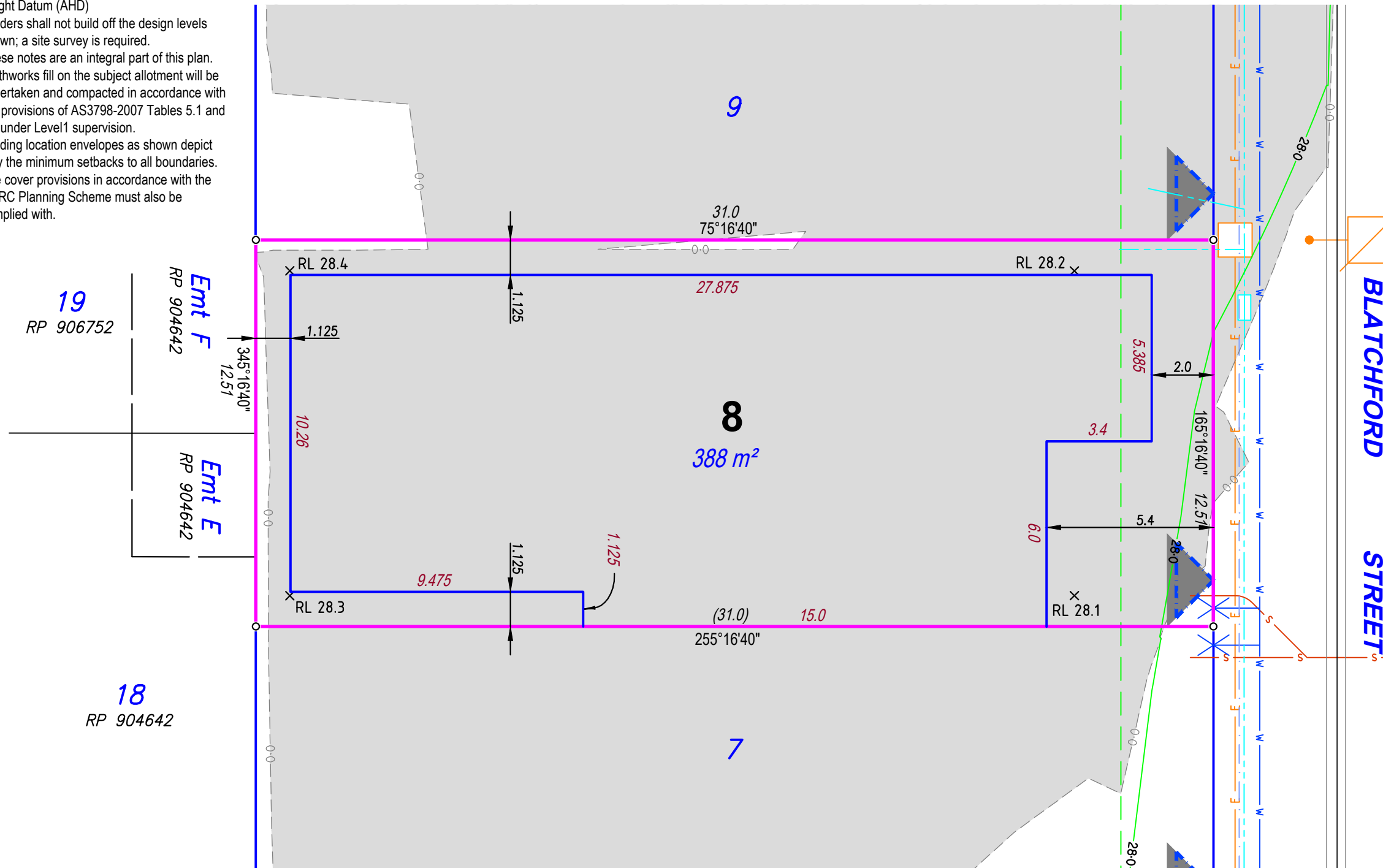
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 8 on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench
 - Electricity
 - Communications (NBN)
 - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/8	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



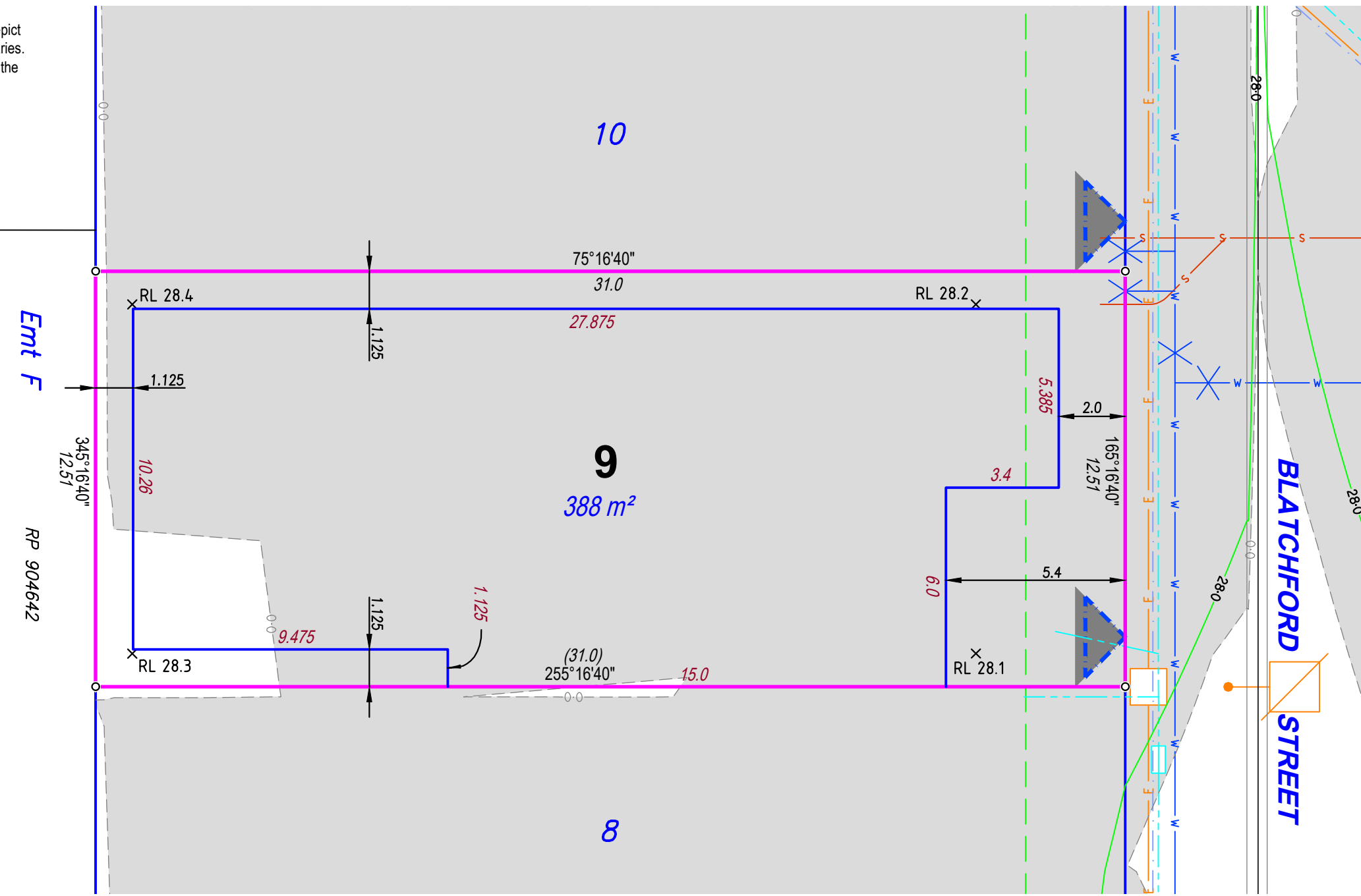
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 9 on SP309548, 84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
 RPD Lot 1 on RP105238
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006
© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.
 This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.
 T +61 7 3539 9500
 F +61 7 3539 9501
 W rpsgroup.com

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/9	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

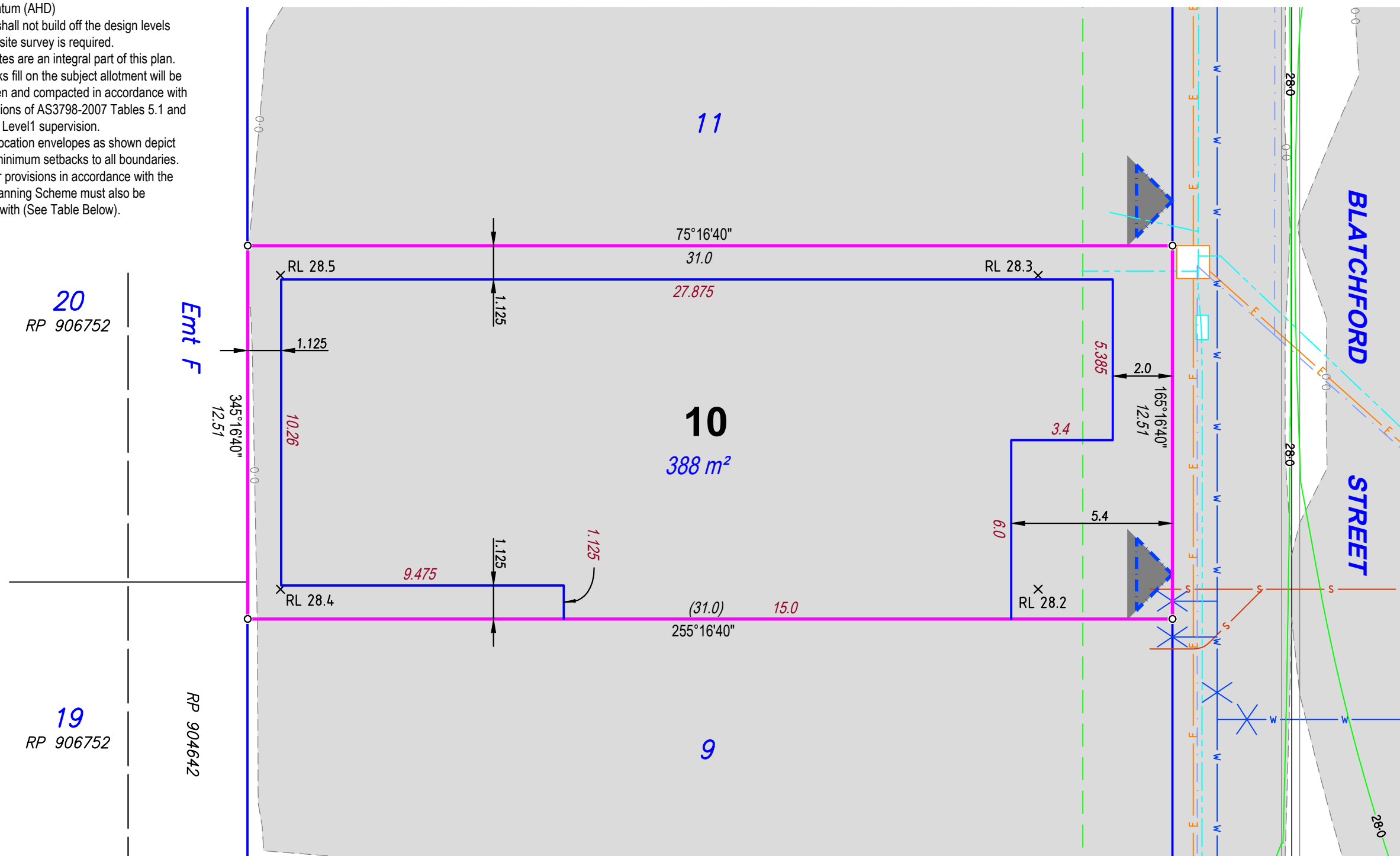


ALLOTMENT INFORMATION DIAGRAM
 For Proposed Lot 10
 on SP309548,
 84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
 RPD Lot 1 on RP105238
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



20
RP 906752

19
RP 906752

RP 904642

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
 F +61 7 3539 9501
 W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/10	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



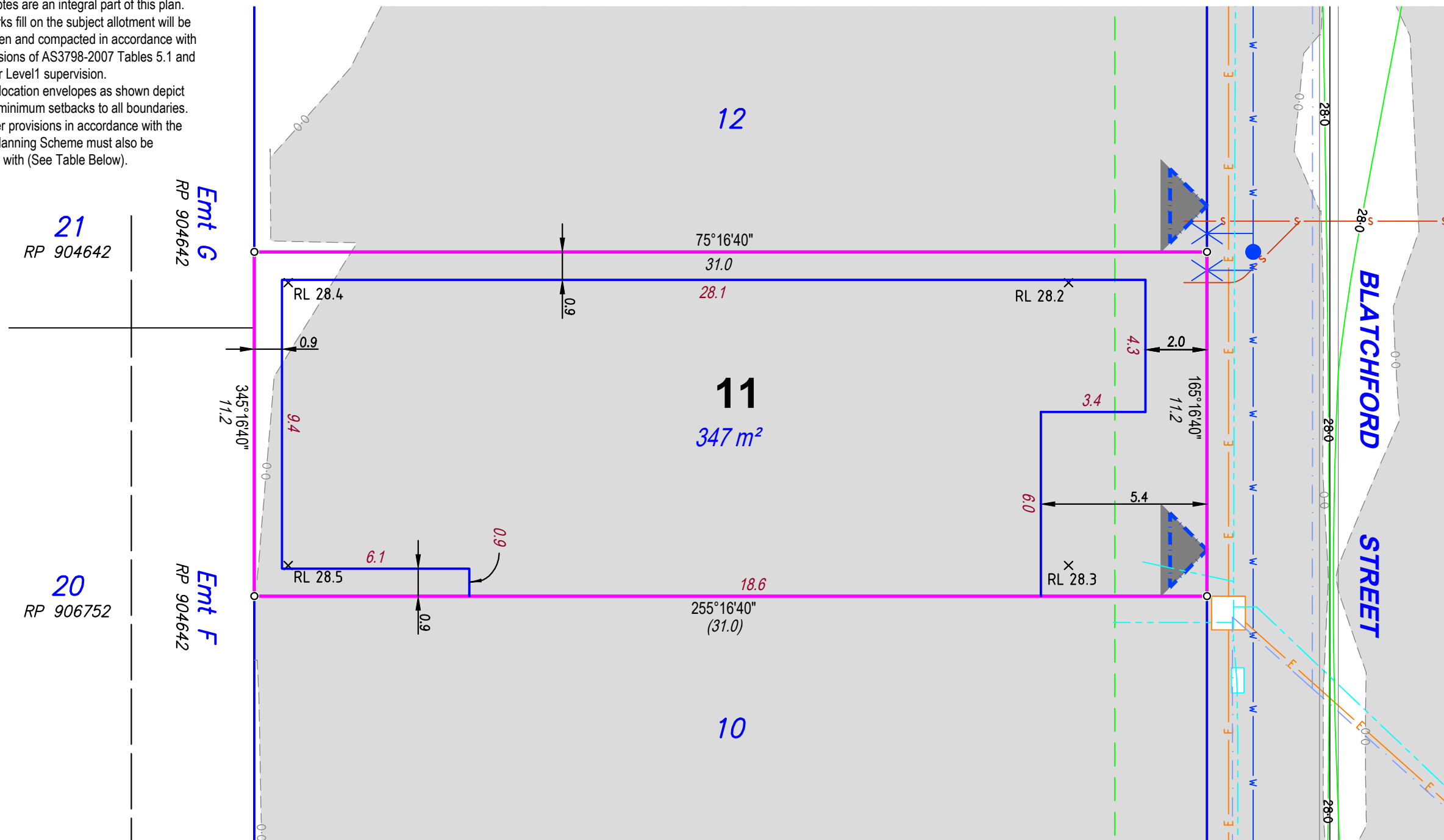
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 11
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/11	-

Notes

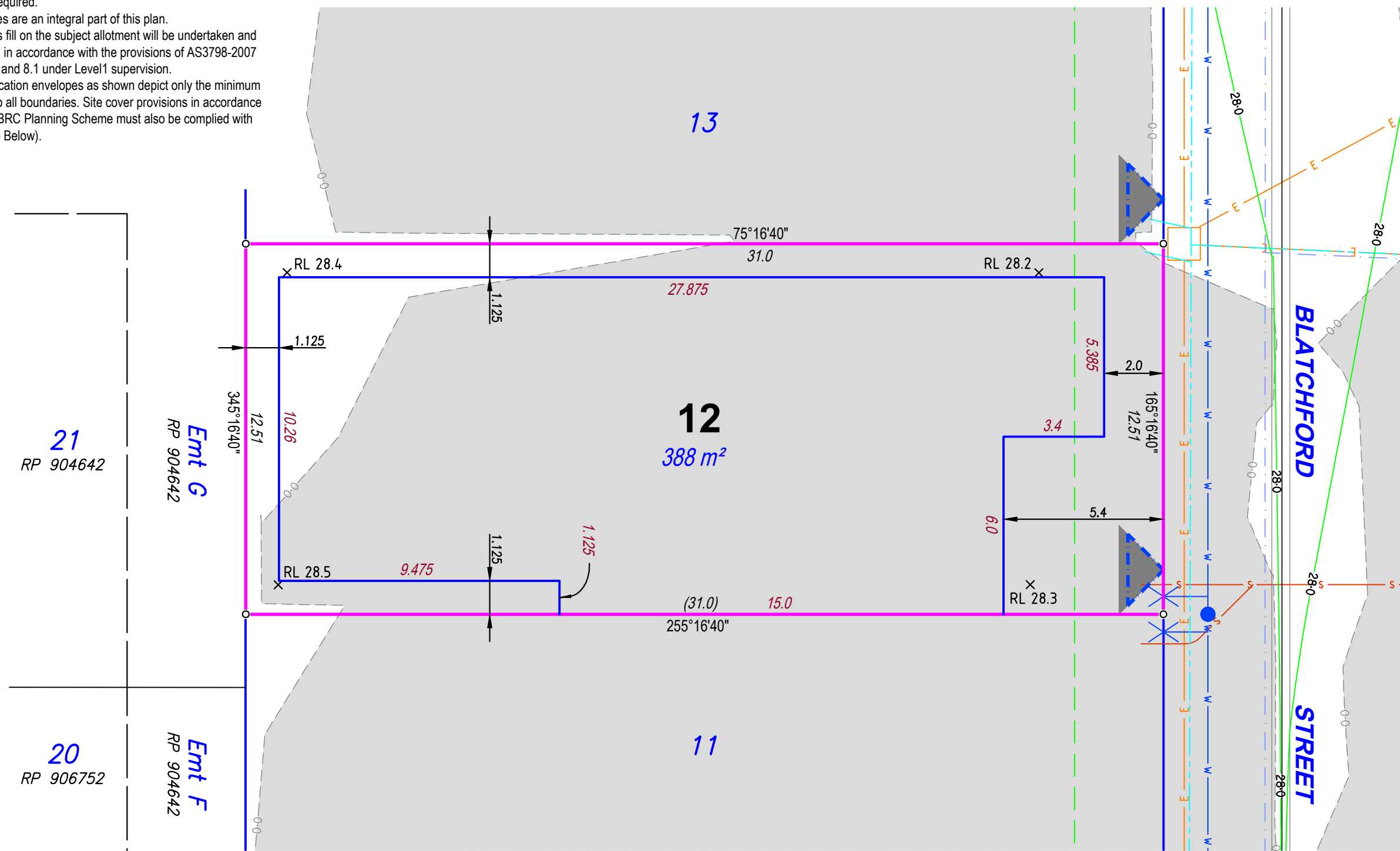
- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 12 on SP309548, 84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
 RPD Lot 1 on RP105238
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional



Legend

Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench	
- Electricity	
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	

	SCALE 1:150	SHEET SIZE A3

rps RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006
 T +61 7 3539 9500
 F +61 7 3539 9501
 W rpsgroup.com

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.
 This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

Lot Size	Max Site Cover %
301m² - 400m²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE 18/08/20	PROJECT 142823	PLAN 4/12	AMD. -

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



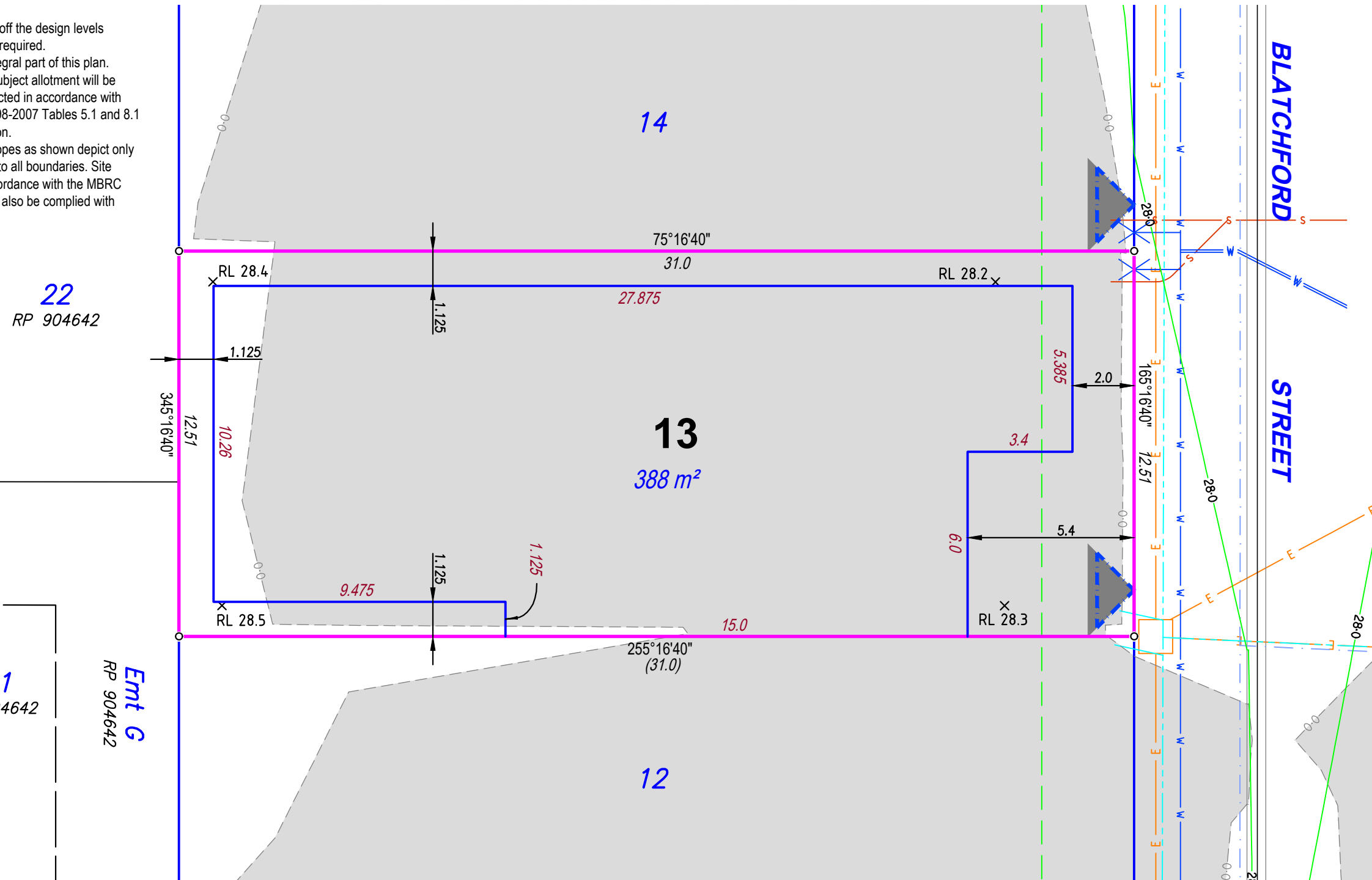
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 13
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Gas
- Proposed Kerb & Channel & Gully Pit



22
RP 904642

21
RP 904642

Emt G
RP 904642

Lot Size	Max Site Cover %
301m² - 400m²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/13	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



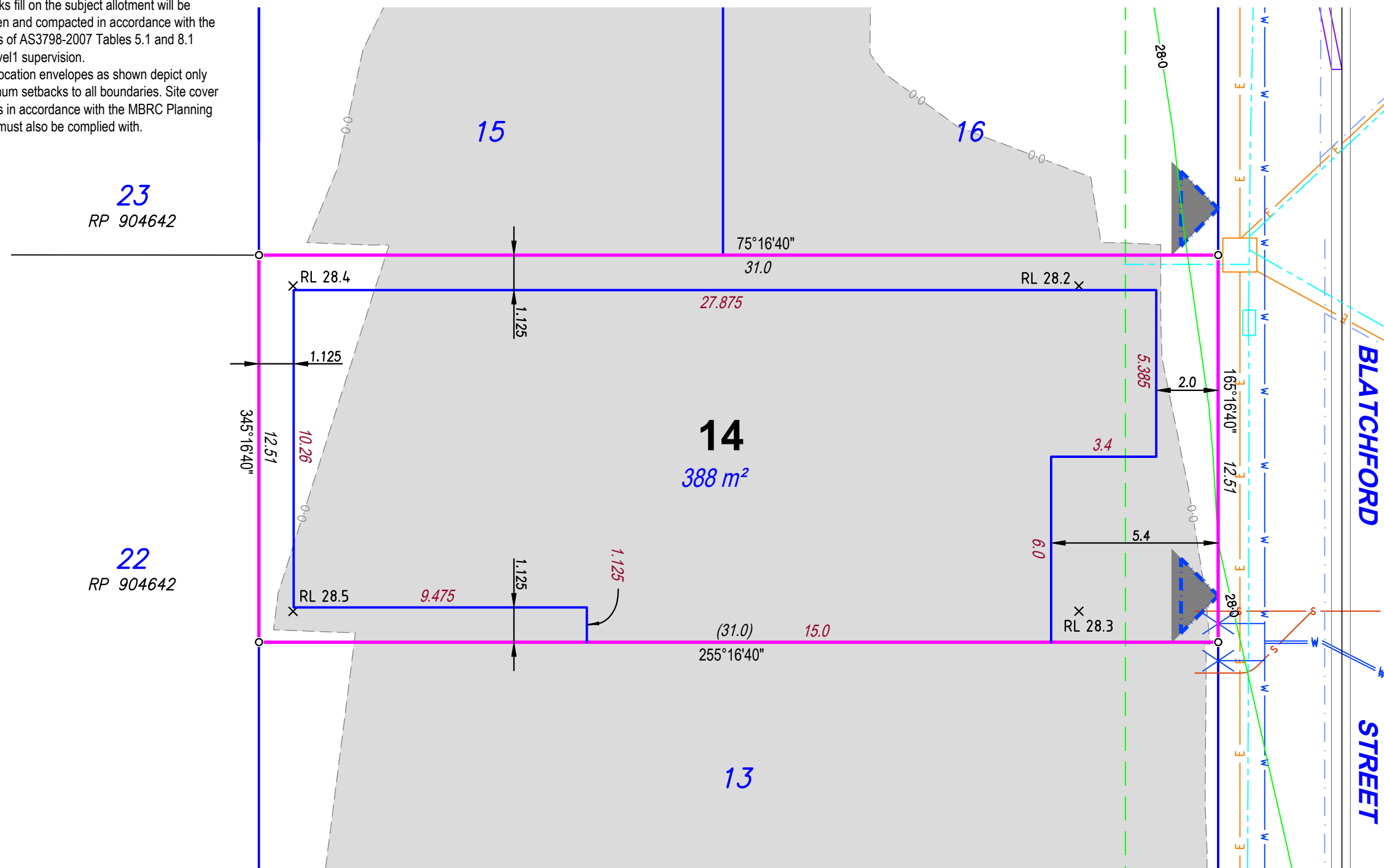
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 14
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench
 - Electricity
 - Communications (NBN)
 - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/14	-

Notes

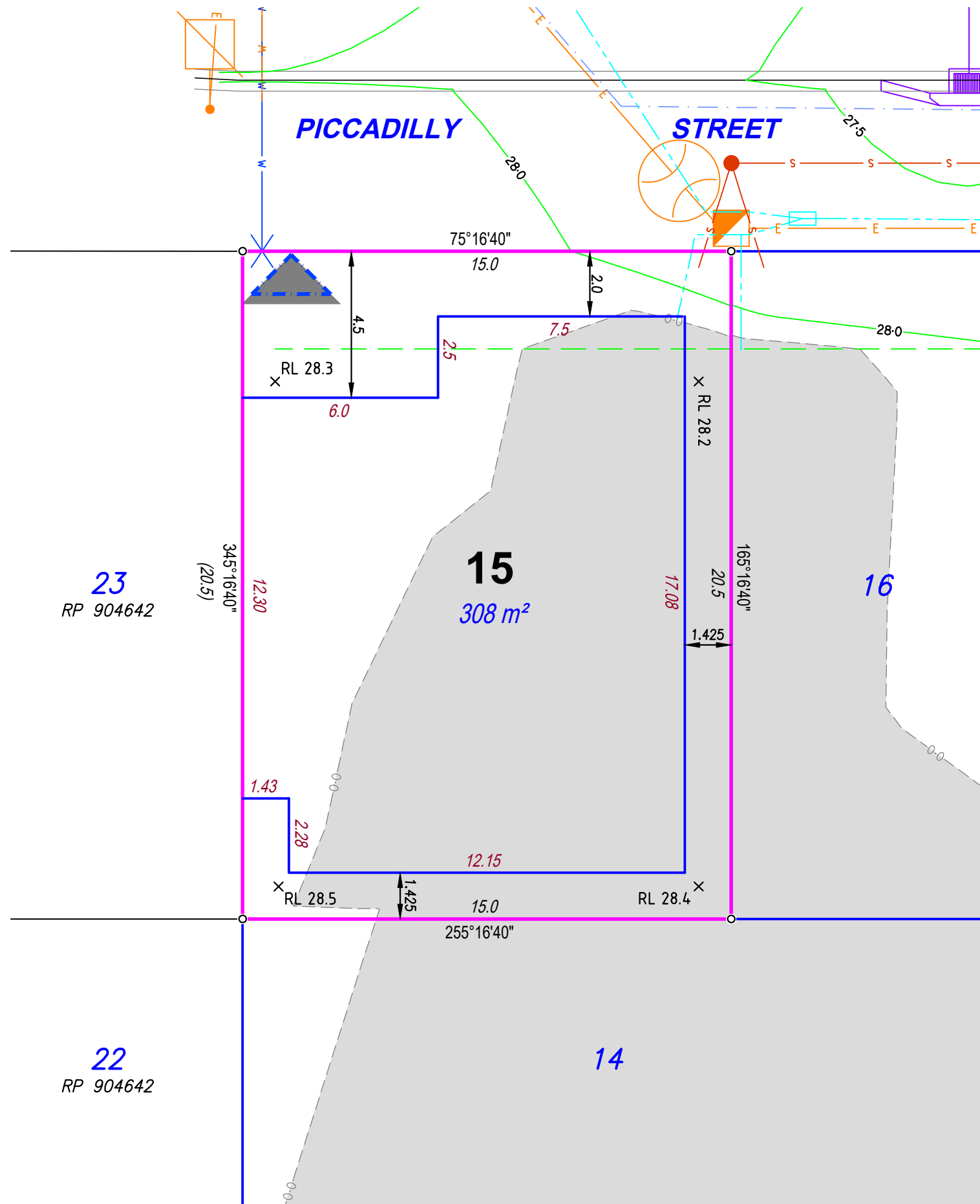
- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level 1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 15
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Legend

Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench	
- Electricity	
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	

SCALE 1:150 SHEET SIZE A3

1 0 1 2 3 4 5 6

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/15	-

Notes

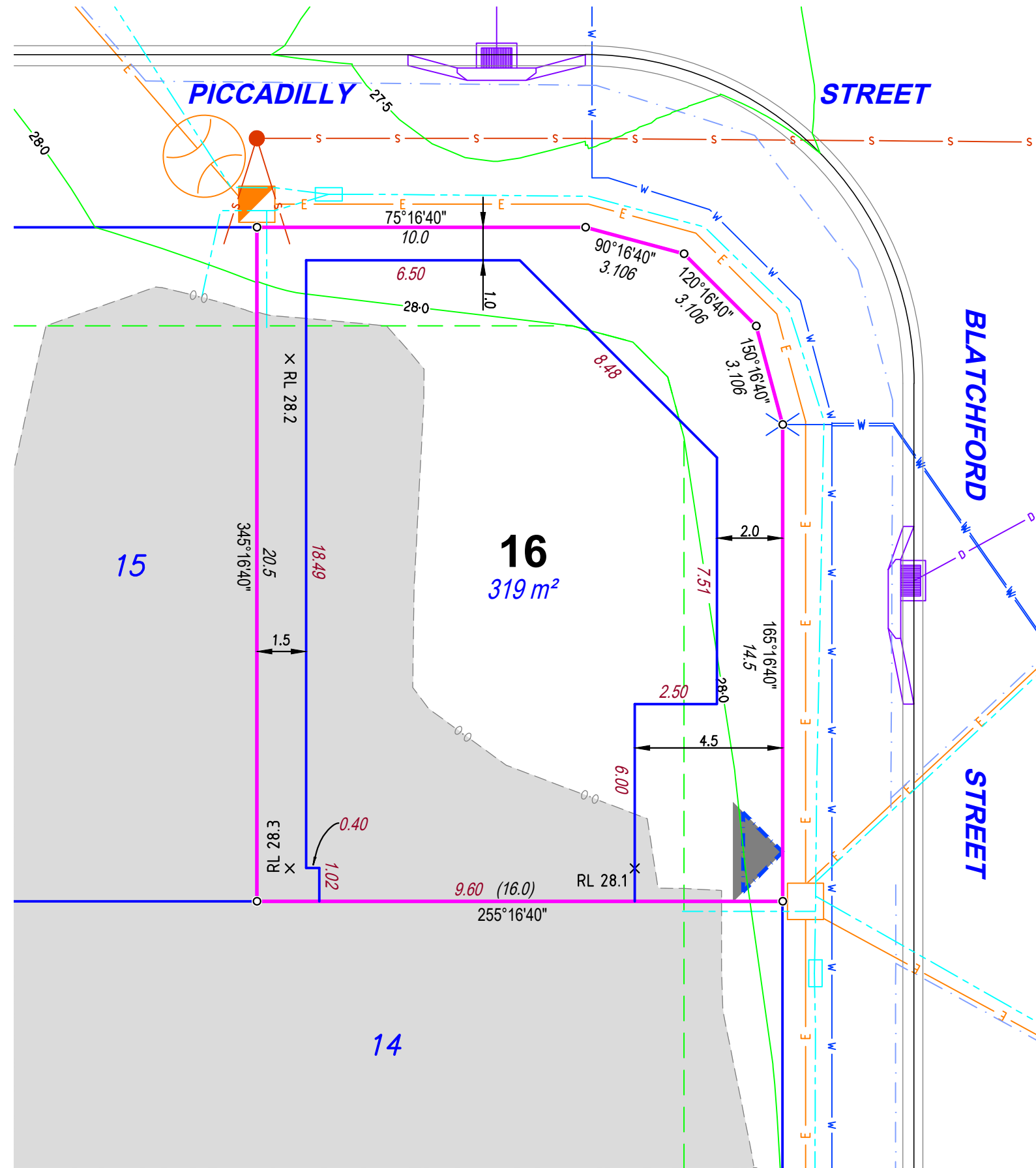
- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 16 on SP309548, 84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
 RPD Lot 1 on RP105238
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional



Legend

Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench	
- Electricity	
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	

SCALE 1:150 SHEET SIZE A3

1 0 1 2 3 4 5 6

rps RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
 F +61 7 3539 9501
 W rpsgroup.com

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/16	-

DRAFT ONLY



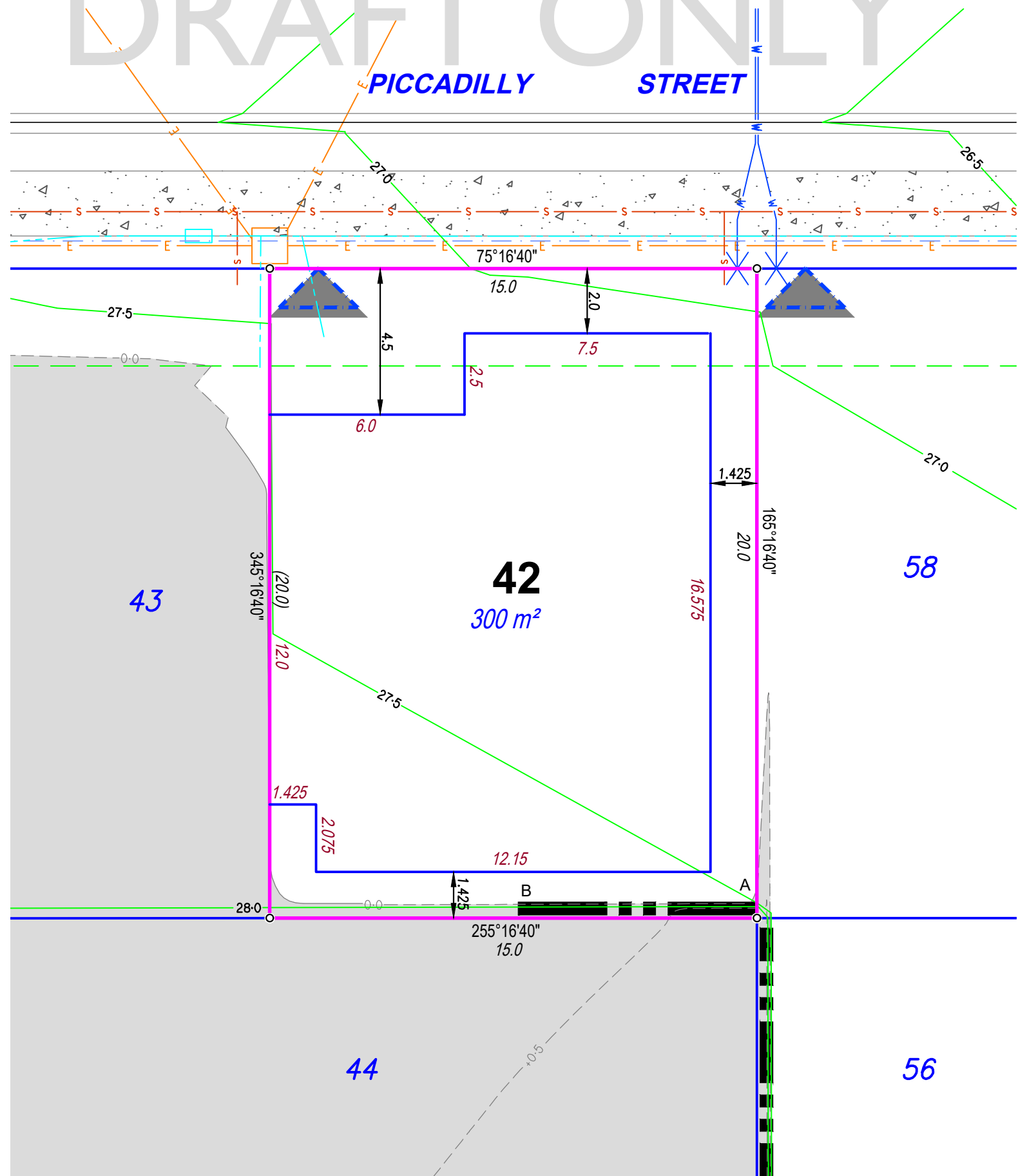
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 42
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench	
- Electricity	
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	

Point	Height
A	0.9m
B	0.7m
A-B Average	0.8m

Lot Size	Max Site Cover %
300m² and Less	75%

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/42	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

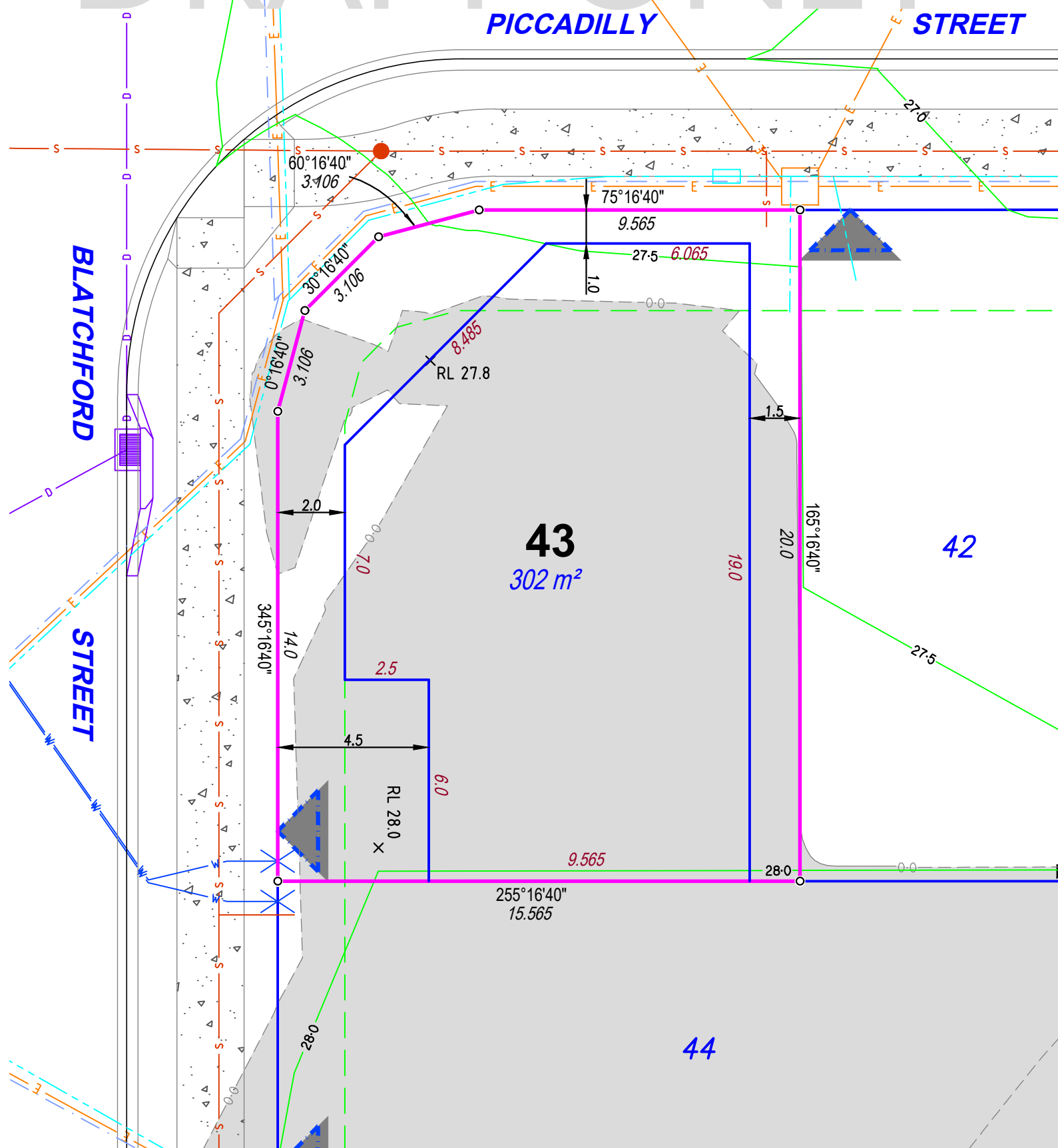
DRAFT ONLY



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 43
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench - Electricity	
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	

Lot Size	Max Site Cover %
301m² - 400m²	70%

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/43	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



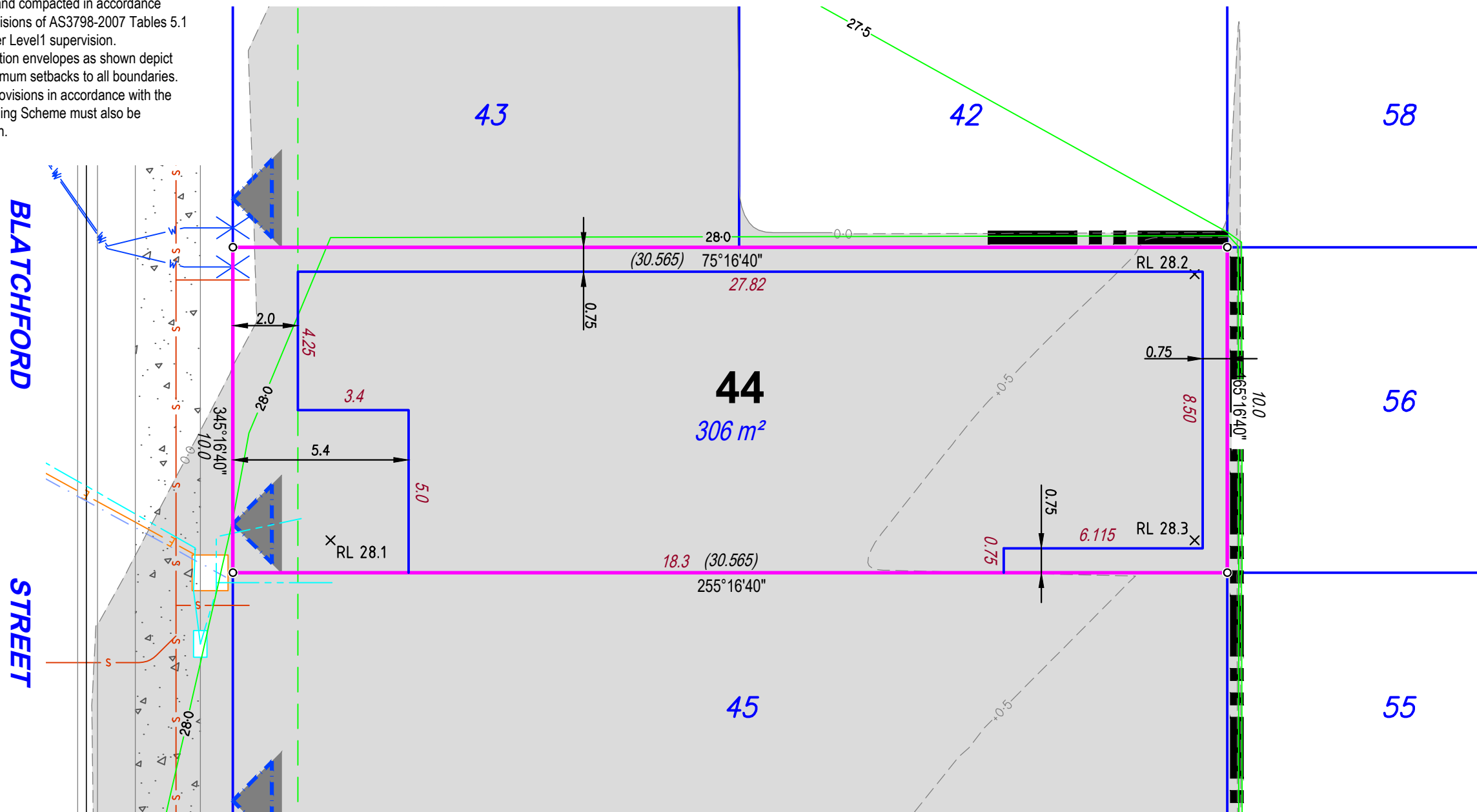
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 44
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 1.0m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/44	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



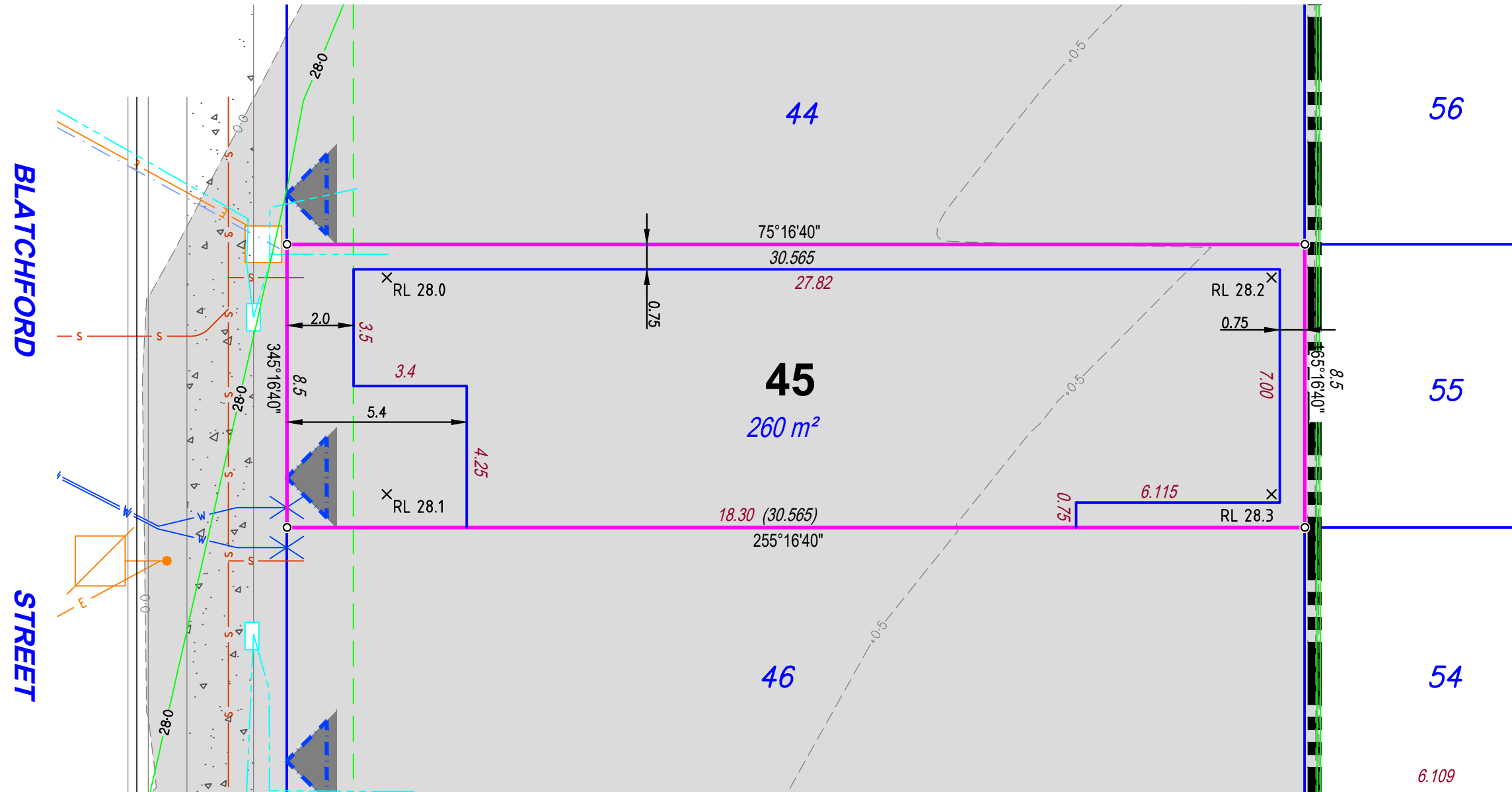
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 45
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/ Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
300m² and Less	75%

The depth of fill on this lot is between 0.0m and 1.0m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/45	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



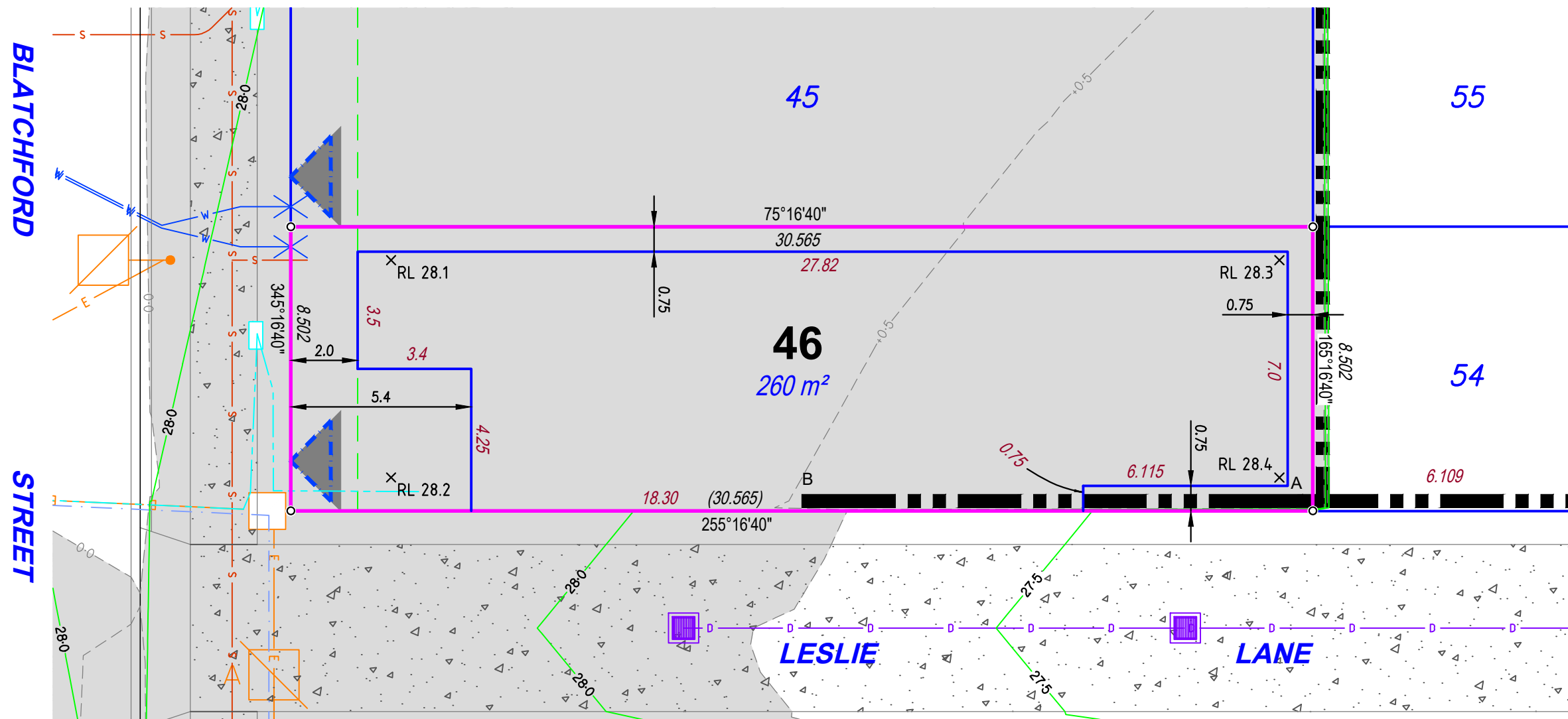
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 46
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Retaining Wall Heights	
Point	Height
A	1.3m
B	0.5m
A-B Average	0.9m

Lot Size	Max Site Cover %
300m² and Less	75%

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

The depth of fill on this lot is between 0.0m and 1.0m.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/46	-

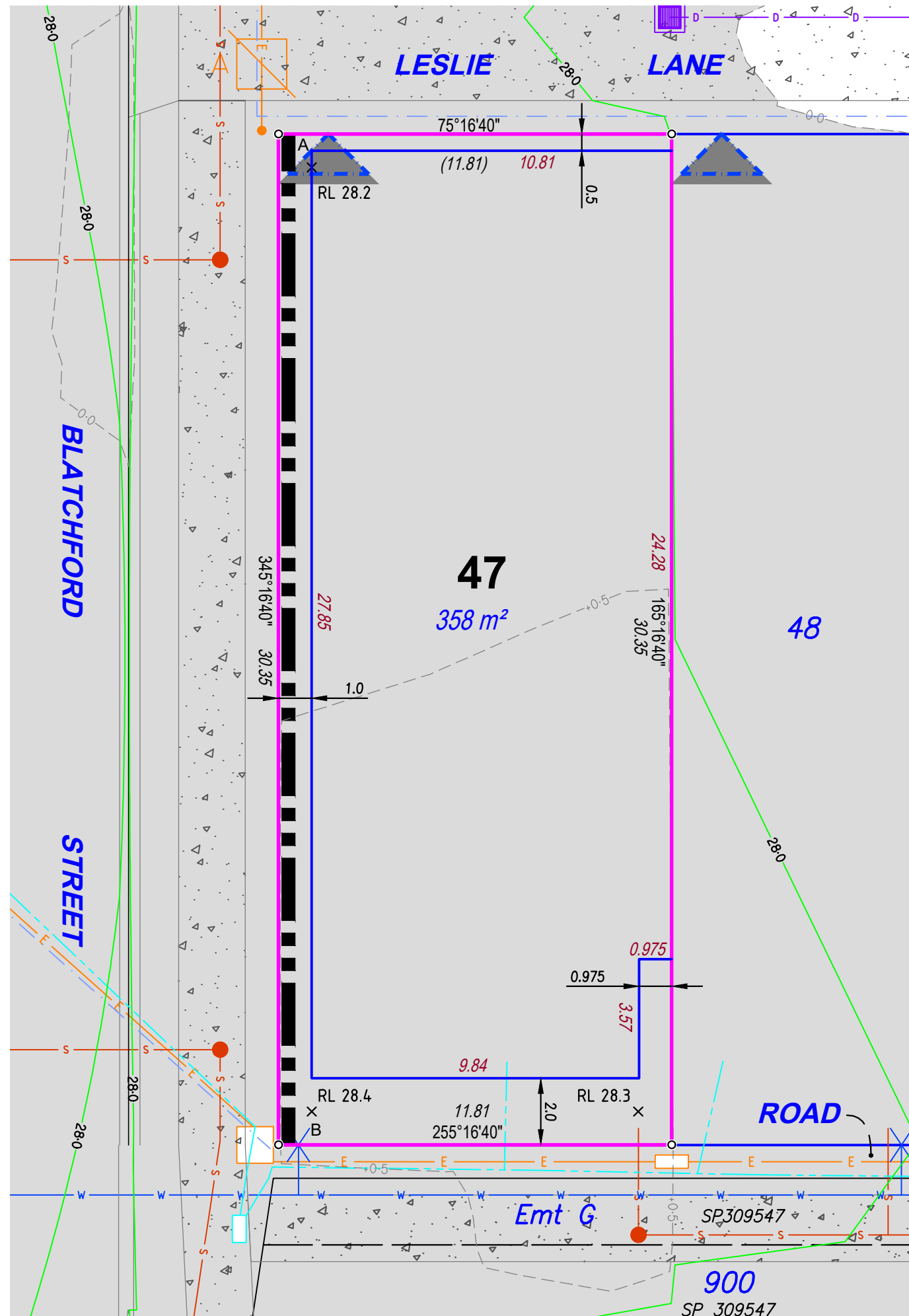
Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.

Retaining Wall Heights

Point	Height
A	0.3m
B	0.4m
A-B Average	0.35m

Lot Size	Max Site Cover %
301m ² - 400m ²	70%



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 47
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

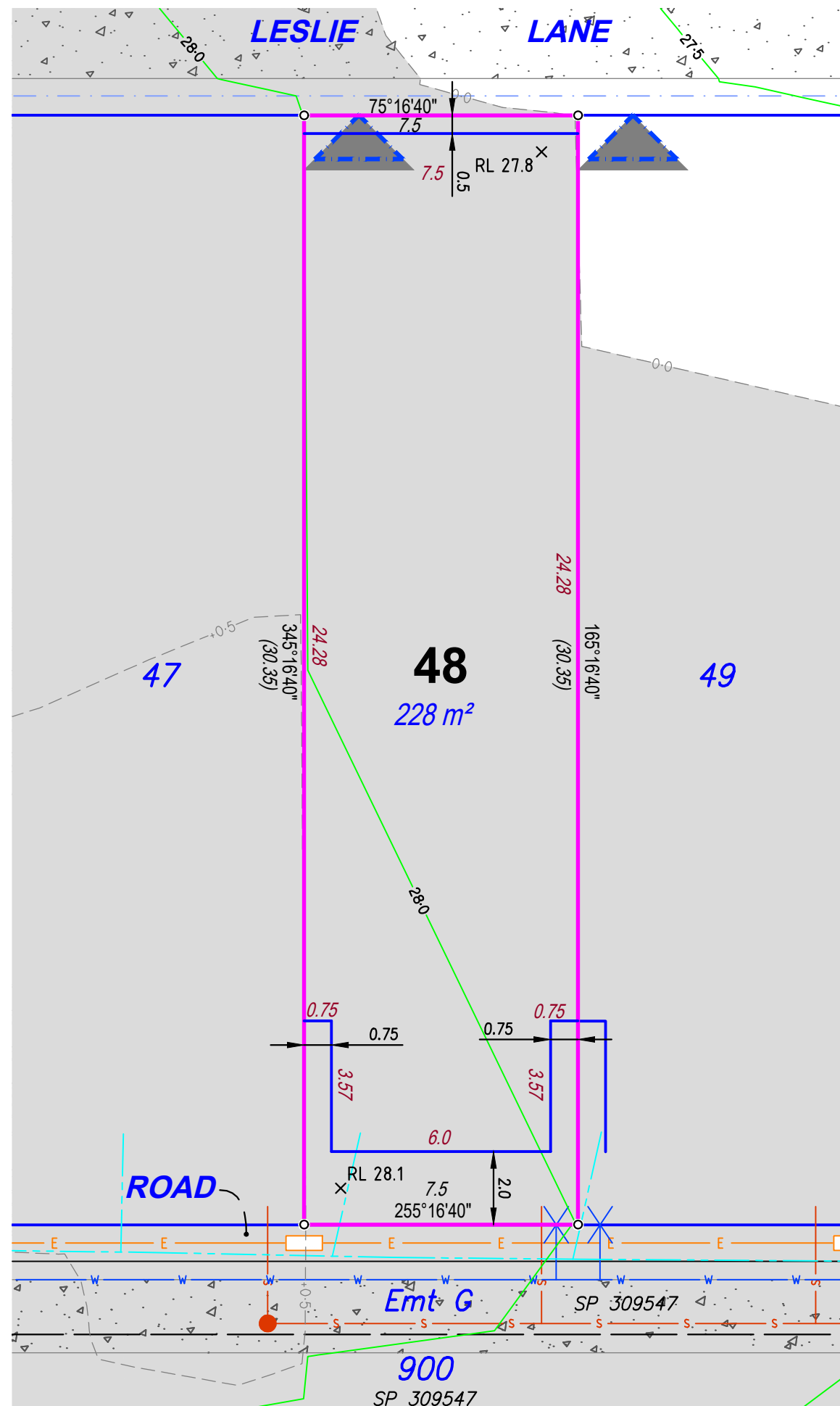
This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/47	-

The depth of fill on this lot is between 0.0m and 0.5m.

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 48
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit

NORTH

SCALE 1:150 SHEET SIZE A3

1 0 1 2 3 4 5 6

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

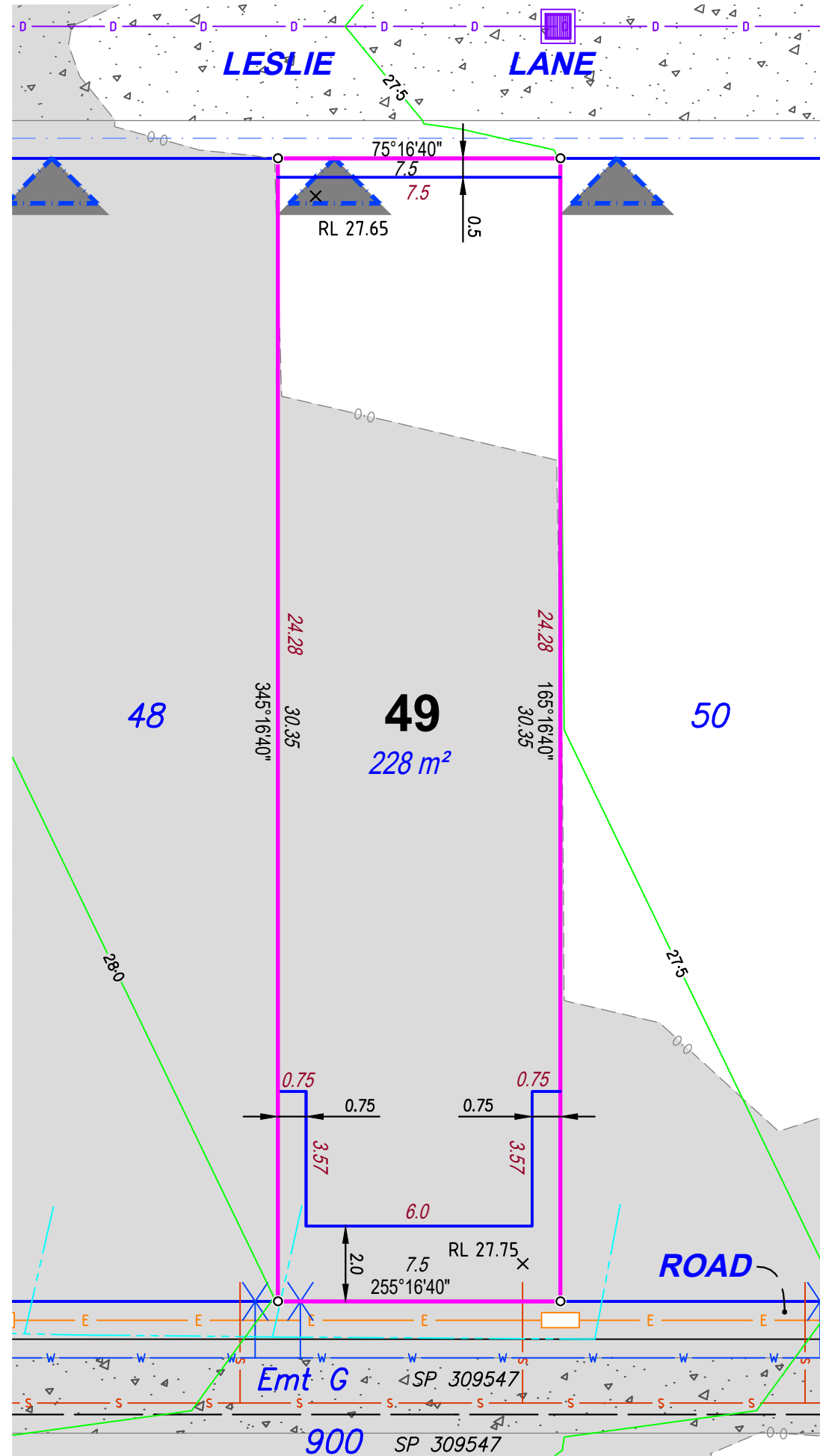
Lot Size	Max Site Cover %
300m ² and Less	75%

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/48	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 49
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench
 - Electricity
 - Communications (NBN)
 - Proposed Gas
- Proposed Kerb & Channel & Gully Pit

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

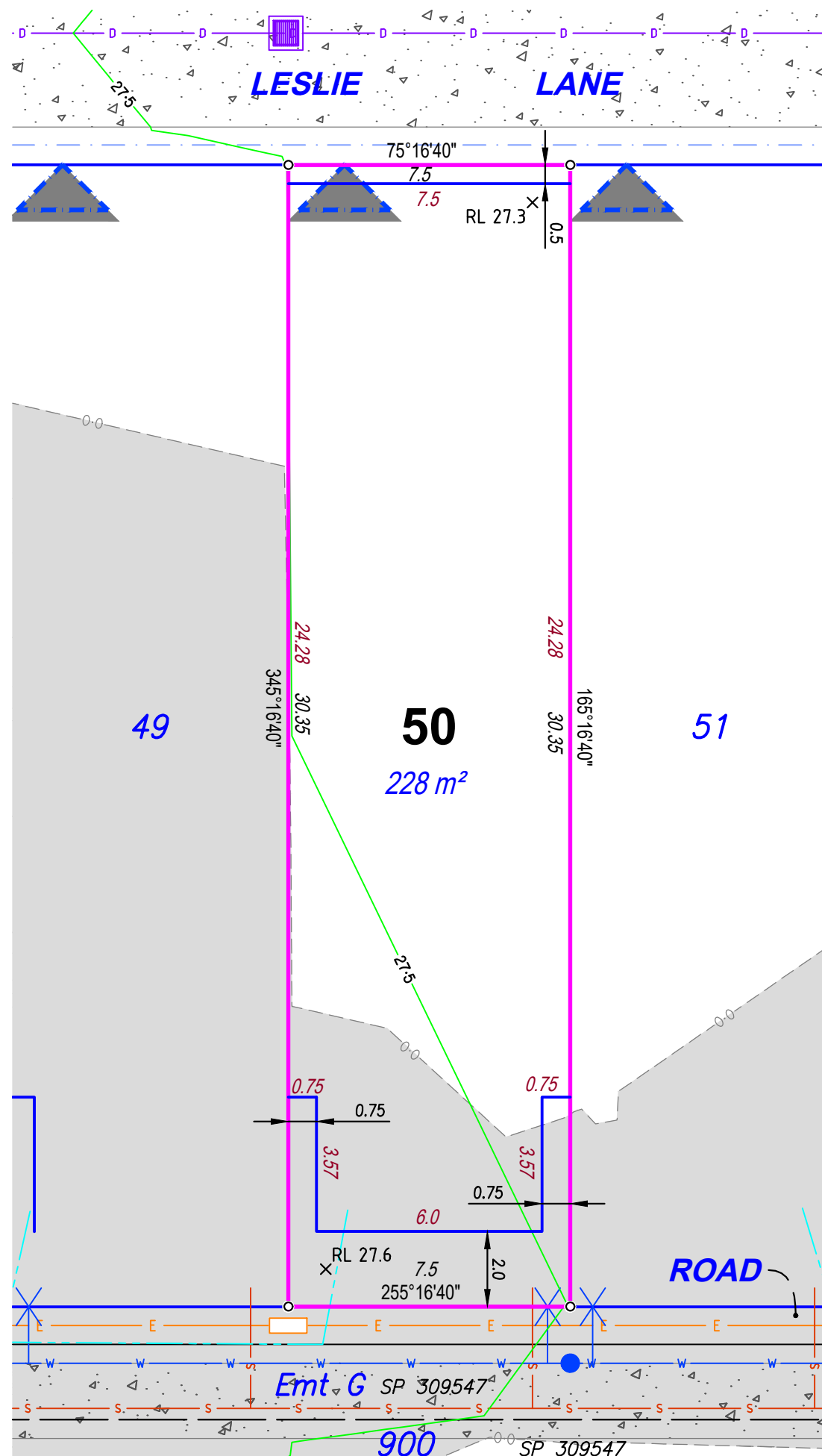
Lot Size	Max Site Cover %
300m ² and Less	75%

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/49	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 50 on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

Lot Size	Max Site Cover %
300m ² and Less	75%

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/50	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.

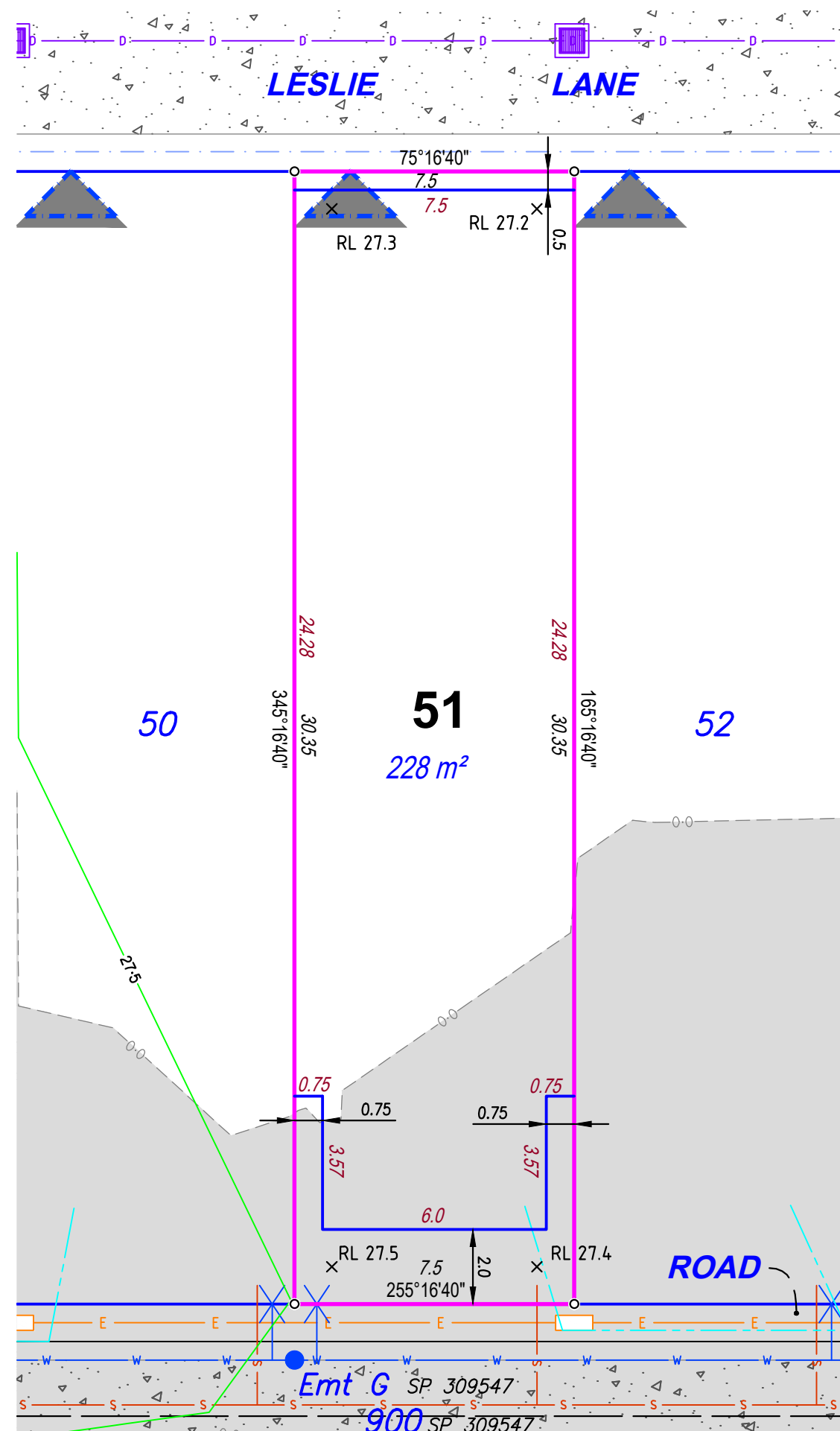


ALLOTMENT INFORMATION DIAGRAM
 For Proposed Lot 51 on SP309548,
 84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
 RPD Lot 1 on RP105238
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional

Legend

Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench - Electricity	
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	



Lot Size	Max Site Cover %
300m ² and Less	75%

The depth of fill on this lot is between 0.0m and 0.5m.

SCALE 1:150 SHEET SIZE A3
 1 0 1 2 3 4 5 6

rps RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006
 T +61 7 3539 9500
 F +61 7 3539 9501
 W rpsgroup.com

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.
 This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/51	-

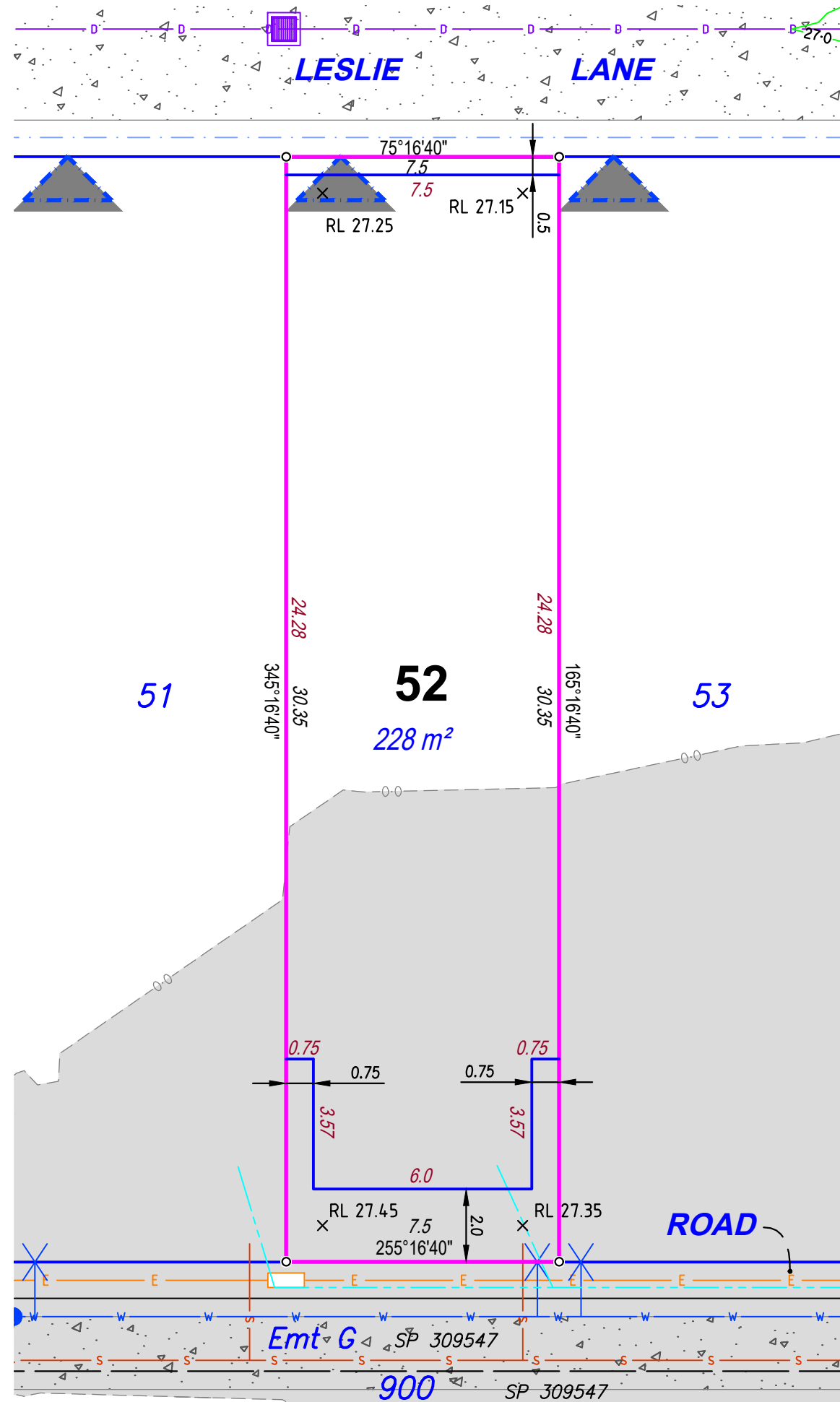
Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level 1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



ALLOTMENT INFORMATION DIAGRAM
 For Proposed Lot 52
 on SP309548,
 84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
 RPD Lot 1 on RP105238
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional



Legend

Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench - Electricity	
Proposed Shared Trench - Communications (NBN)	
Proposed Shared Trench - Proposed Gas	
Proposed Kerb & Channel & Gully Pit	

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006
 T +61 7 3539 9500
 F +61 7 3539 9501
 W rpsgroup.com

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

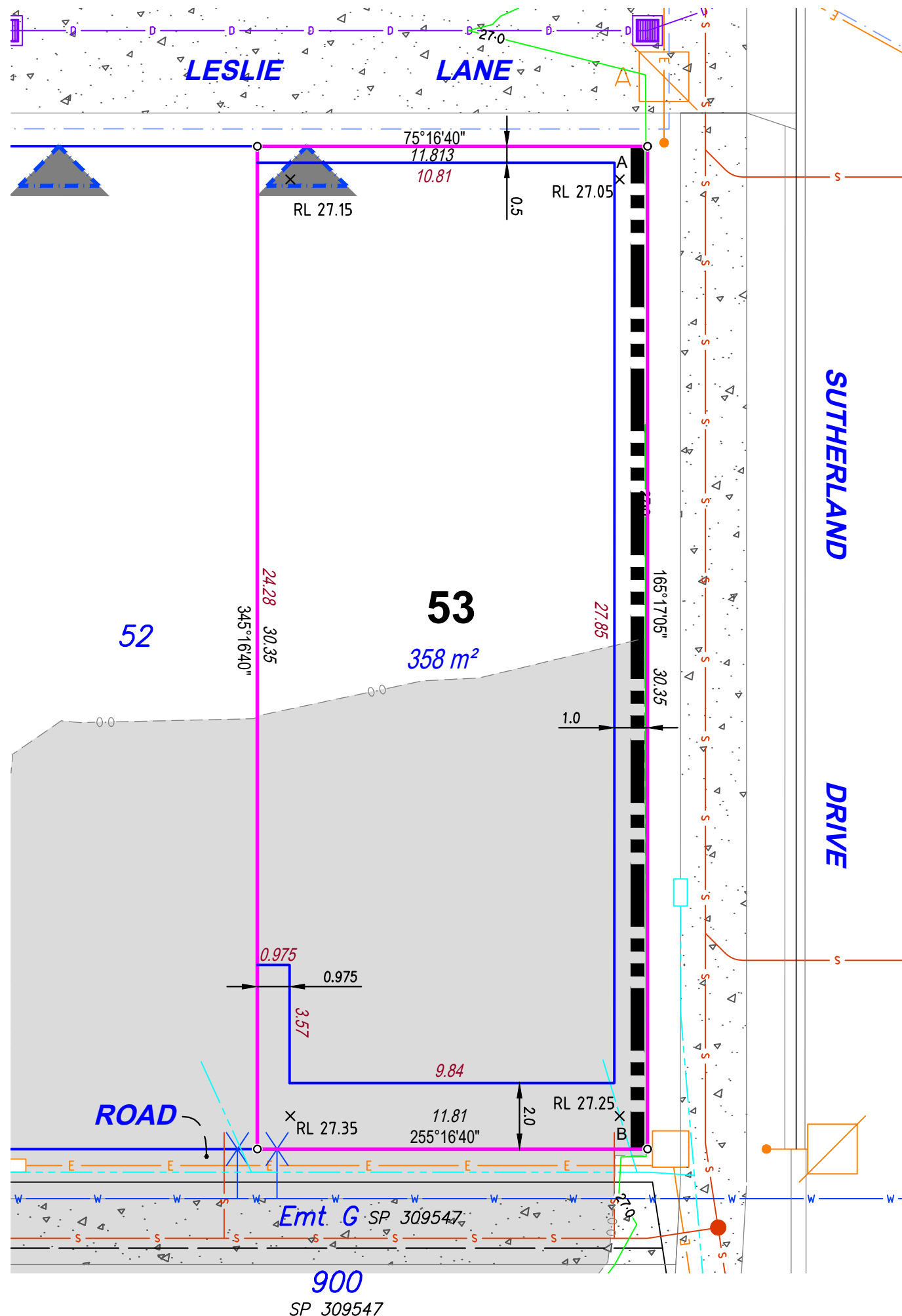
Lot Size	Max Site Cover %
300m² and Less	75%

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/52	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 53
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit

Retaining Wall Heights

Point	Height
A	0.3m
B	0.6m
A-B Average	0.45m

Lot Size	Max Site Cover %
301m² - 400m²	70%

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID SH. 1 of 1

DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/53	-

The depth of fill on this lot is between 0.0m and 0.5m.

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



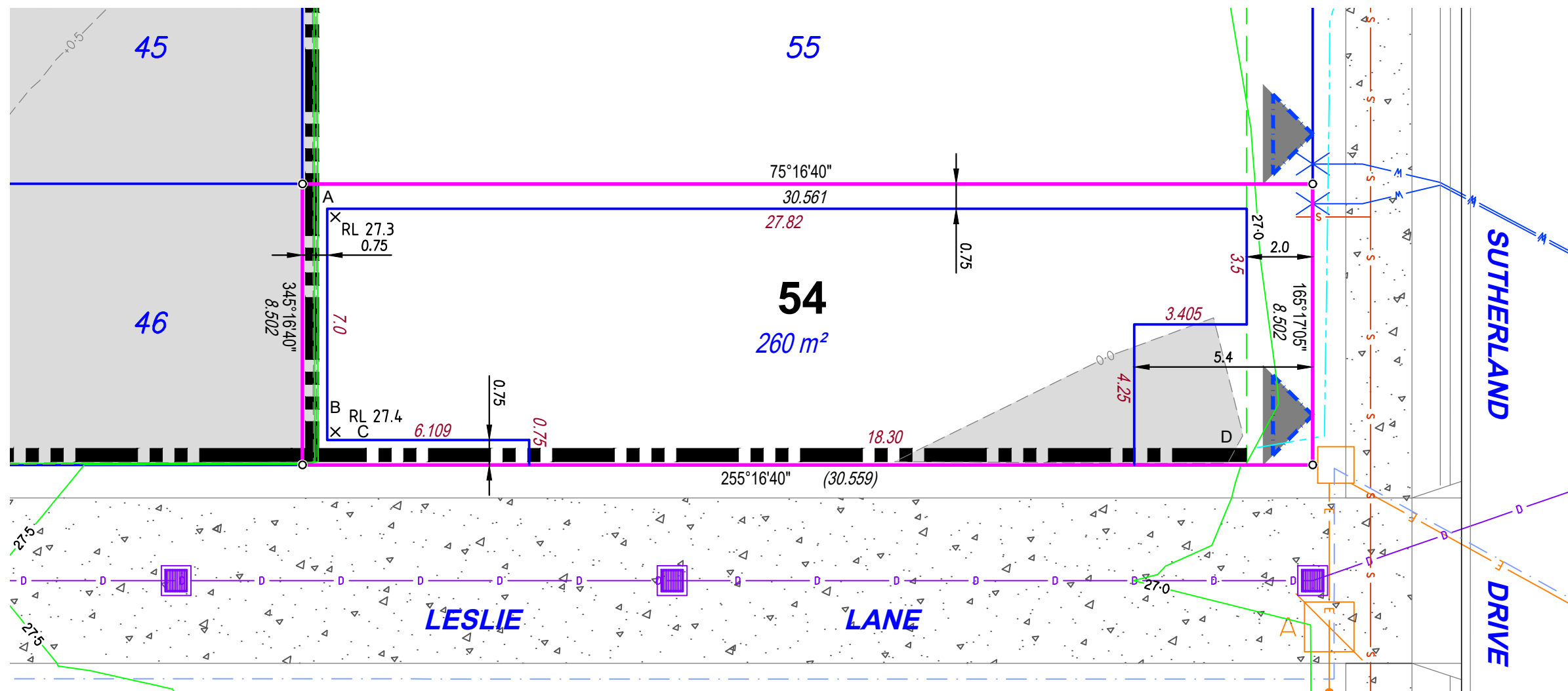
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 54
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench
- Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Retaining Wall Heights	
Point	Height
A	1.2m
B	1.2m
C	0.3m
D	0.4m
A-B Average	1.2m
C-D Average	0.35m

Lot Size	Max Site Cover %
300m² and Less	75%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/54	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level 1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



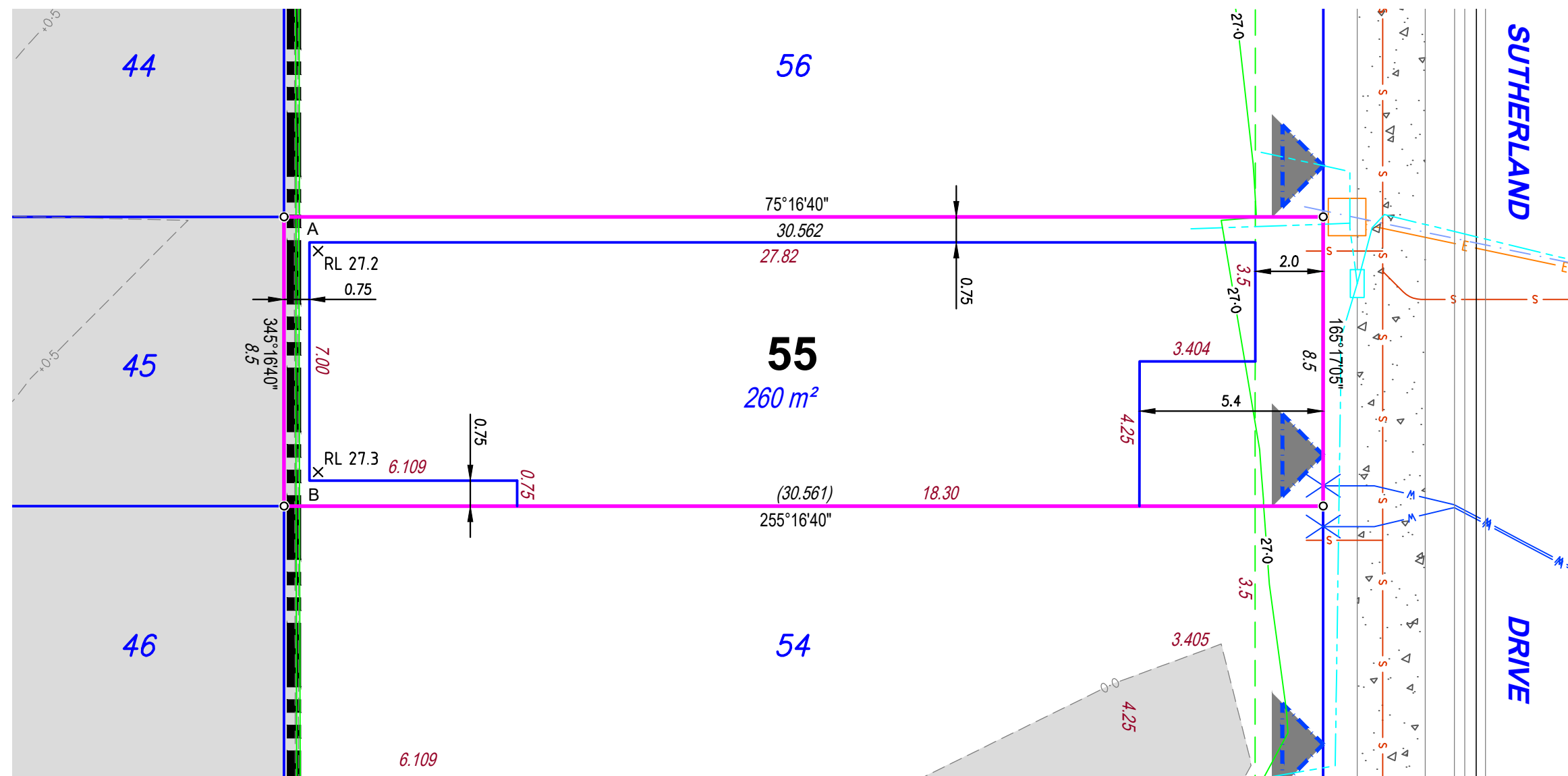
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 55
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Retaining Wall Heights	
Point	Height
A	1.2m
B	1.2m
A-B Average	1.2m

Lot Size	Max Site Cover %
300m² and Less	75%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/55	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



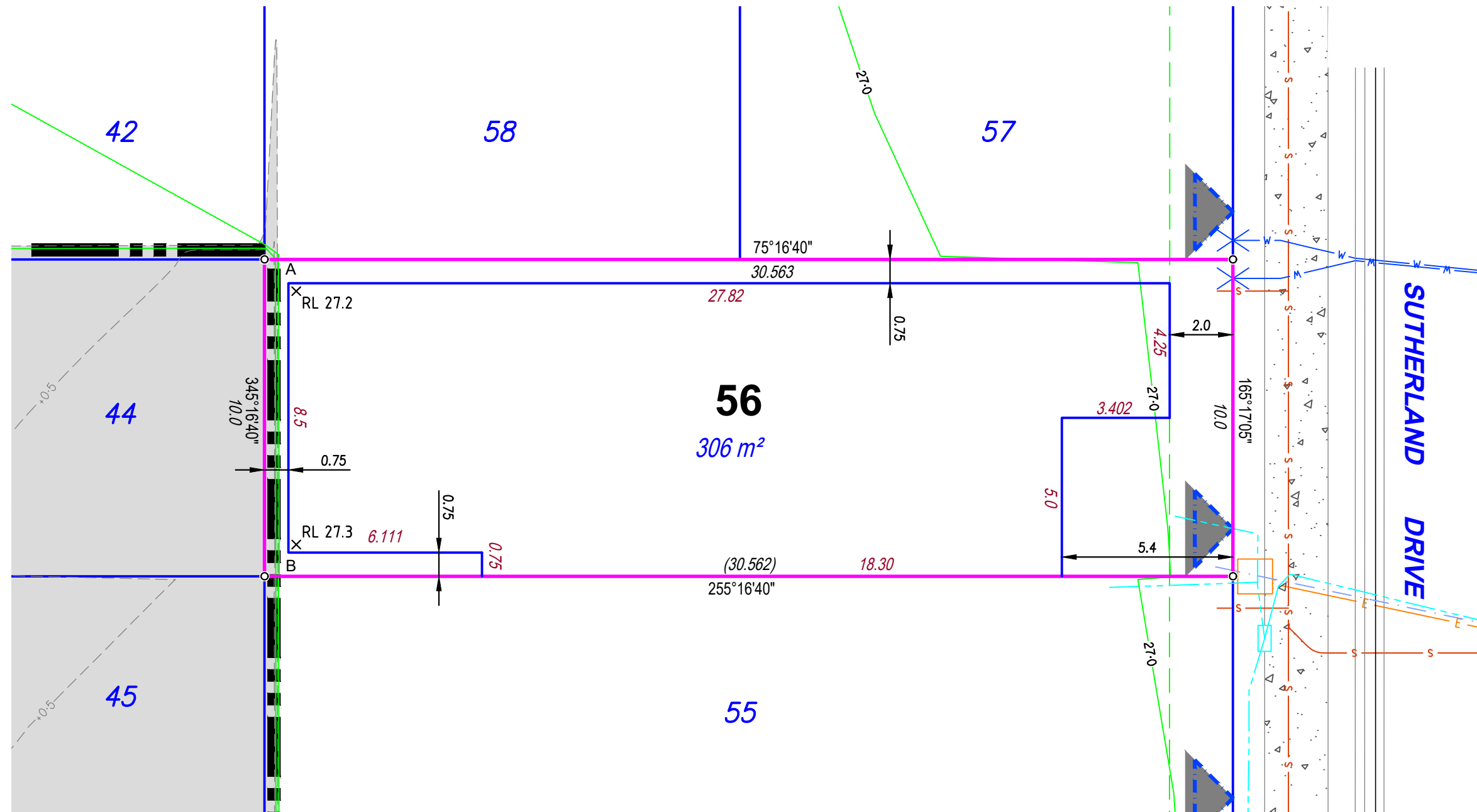
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 56
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench
- Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Retaining Wall Heights	
Point	Height
A	1.2m
B	1.2m
A-B Average	1.2m

Lot Size	Max Site Cover %
301m² - 400m²	70%

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/56	-

DRAFT ONLY



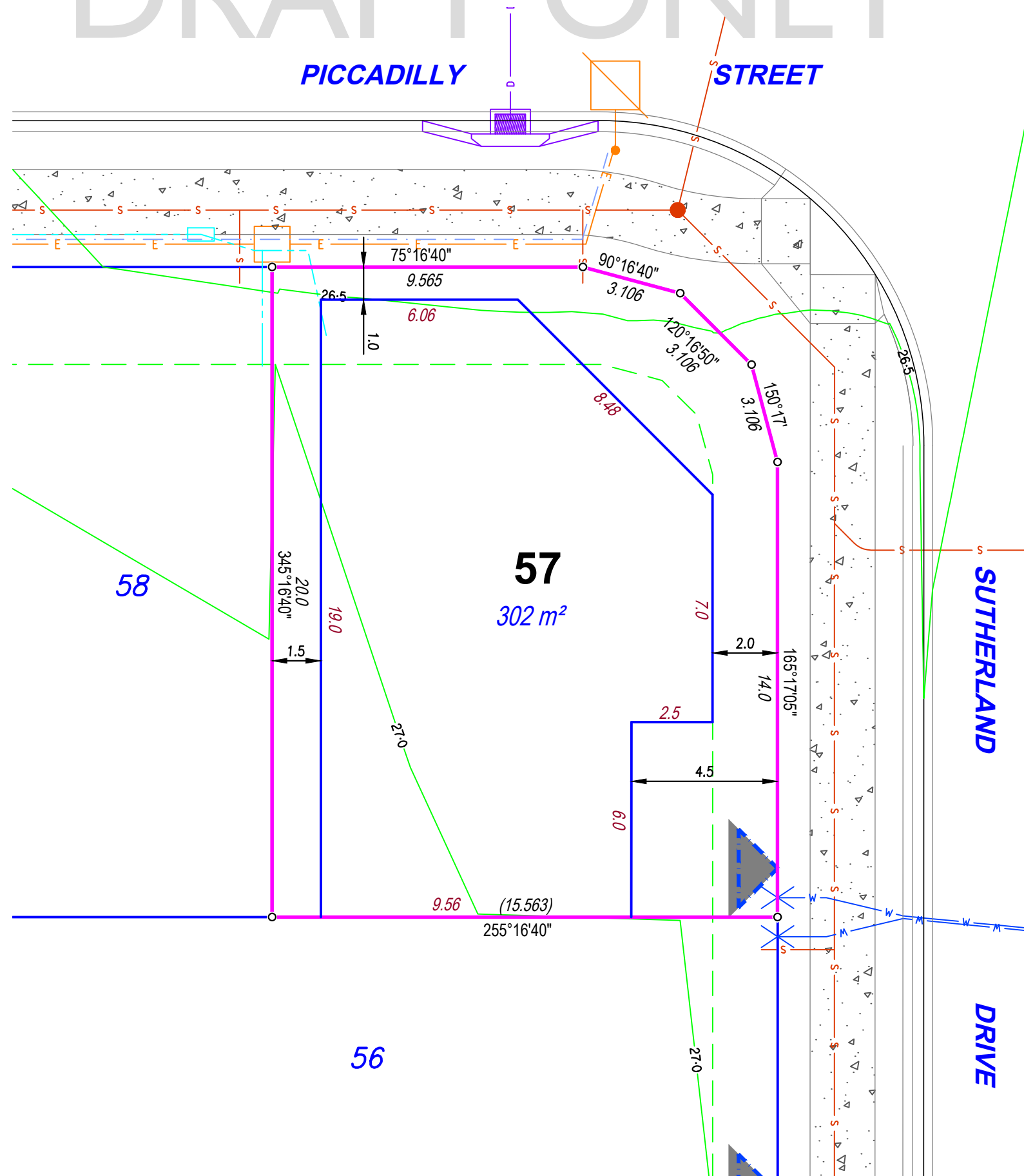
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 57
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level 1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench	
- Electricity	
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/57	-

DRAFT ONLY

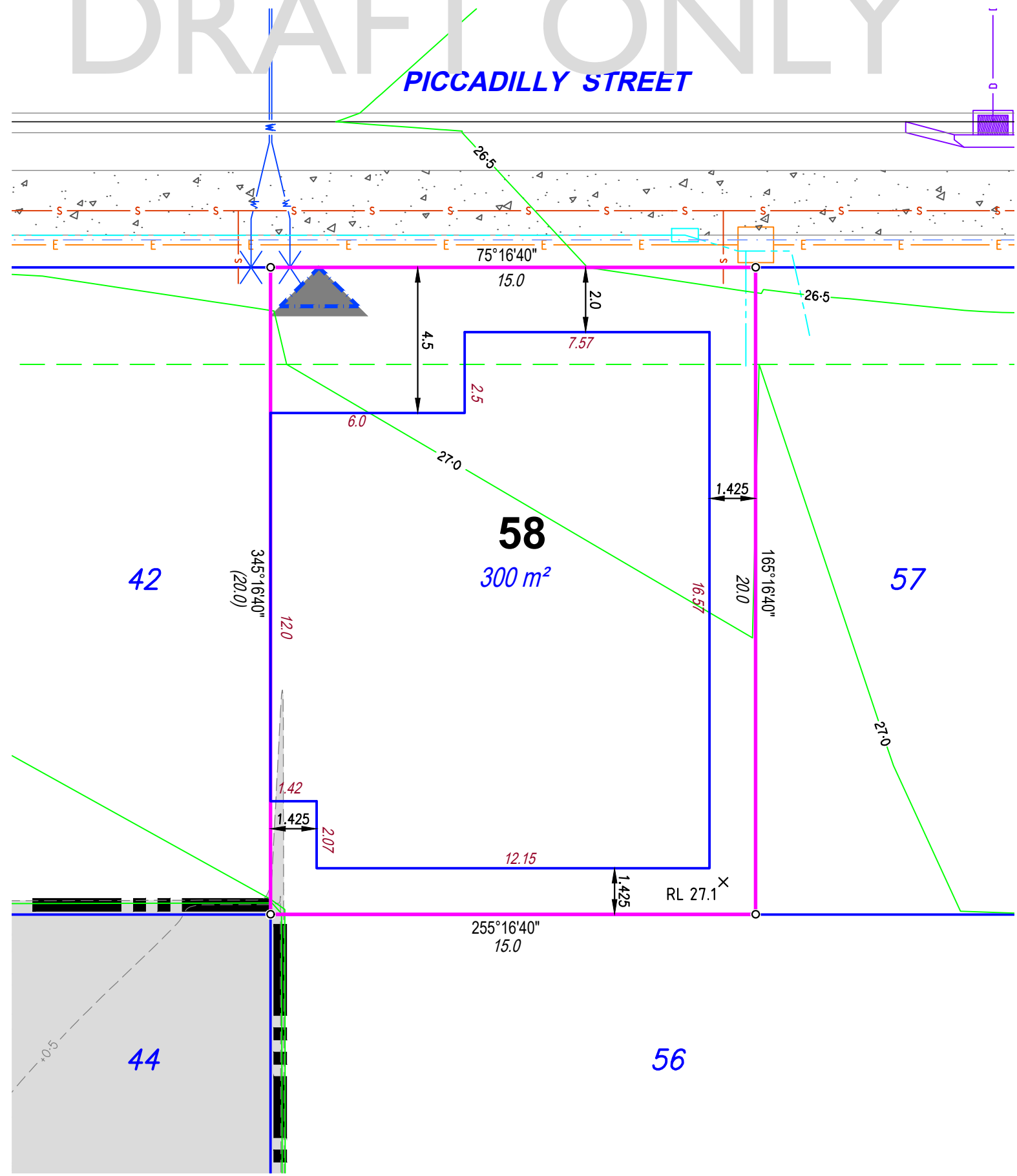


ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 58
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

- Notes**
- Area & Dimensions are subject to Survey Plan Registration.
 - Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
 - Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
 - Levels shown are referenced to the Australian Height Datum (AHD)
 - Builders shall not build off the design levels shown; a site survey is required.
 - These notes are an integral part of this plan.
 - Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level 1 supervision.
 - Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



Legend

Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench	
- Electricity	
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

Lot Size	Max Site Cover %
300m ² and Less	75%

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/58	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level 1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



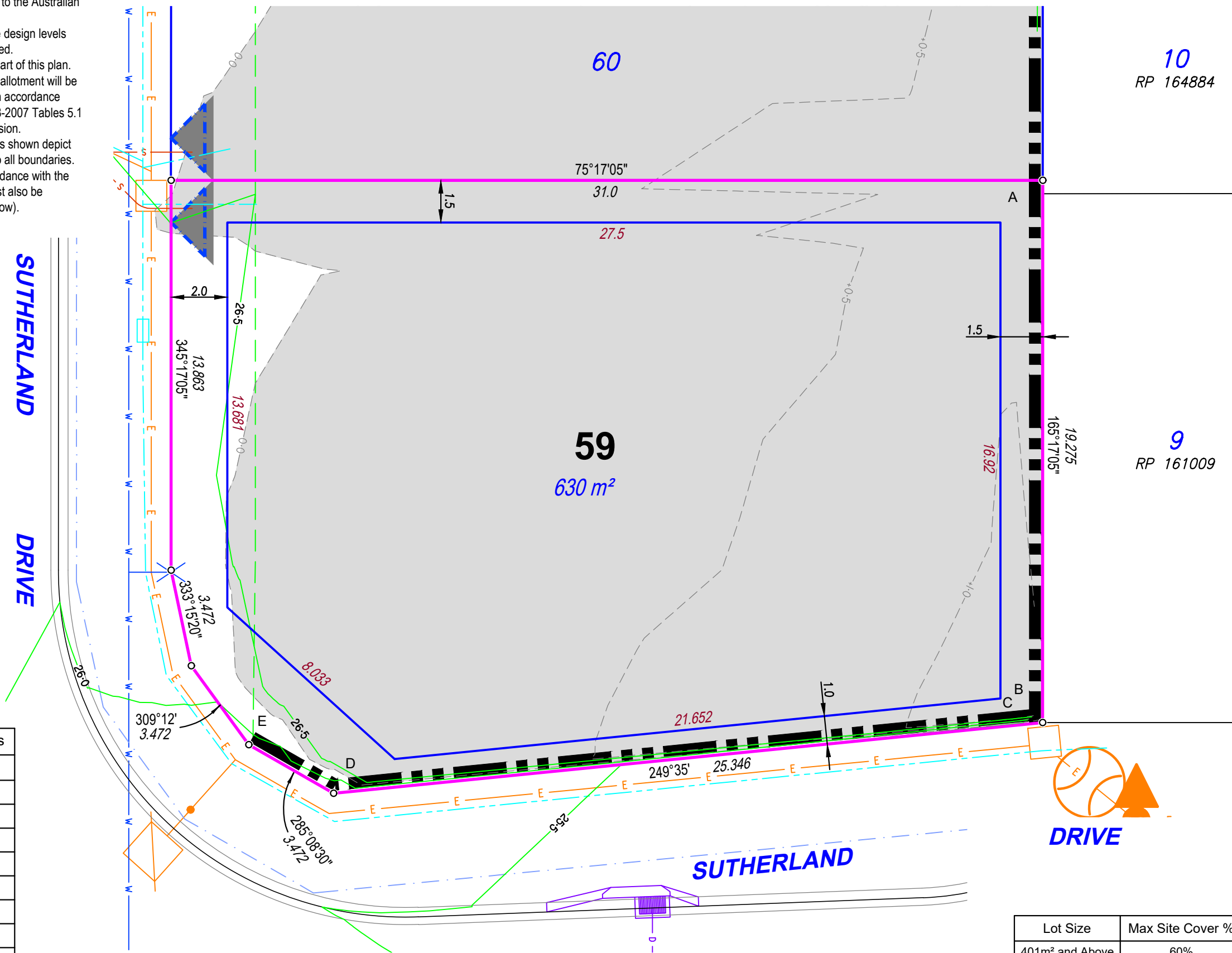
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 59
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench
 - Electricity
 - Communications (NBN)
 - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Point	Height
A	0.8m
B	1.4m
C	1.8m
D	1.1m
E	1.1m
A-B Average	1.1m
C-D Average	1.45m
D-E Average	1.1m

Lot Size	Max Site Cover %
401m² and Above	60%

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/59	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



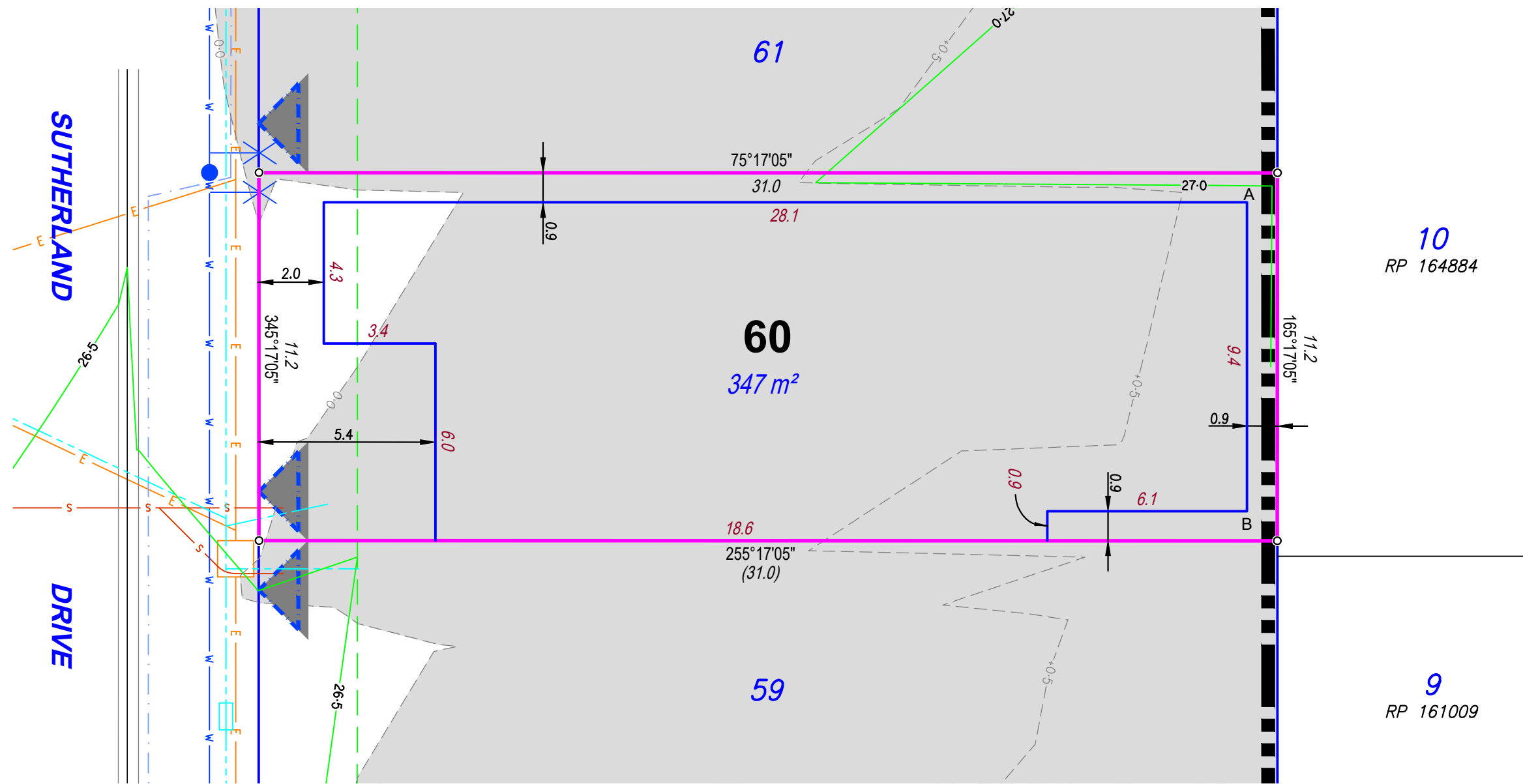
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 60
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench
- Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Point	Height
A	0.9m
B	0.9m
A-B Average	0.9m

Lot Size	Max Site Cover %
301m² - 400m²	70%

NORTH

SCALE 1:150 SHEET SIZE A3

1 0 1 2 3 4 5 6

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN
Unauthorised reproduction or amendment
not permitted. Please contact the author.

This plan has been prepared by RPS
Australia East Pty Ltd (Cadastral
Surveyor) to satisfy the requirements
of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/60	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

Retaining Wall Heights	
Point	Height
A	1.1m
B	0.9m
A-B Average	1.0m

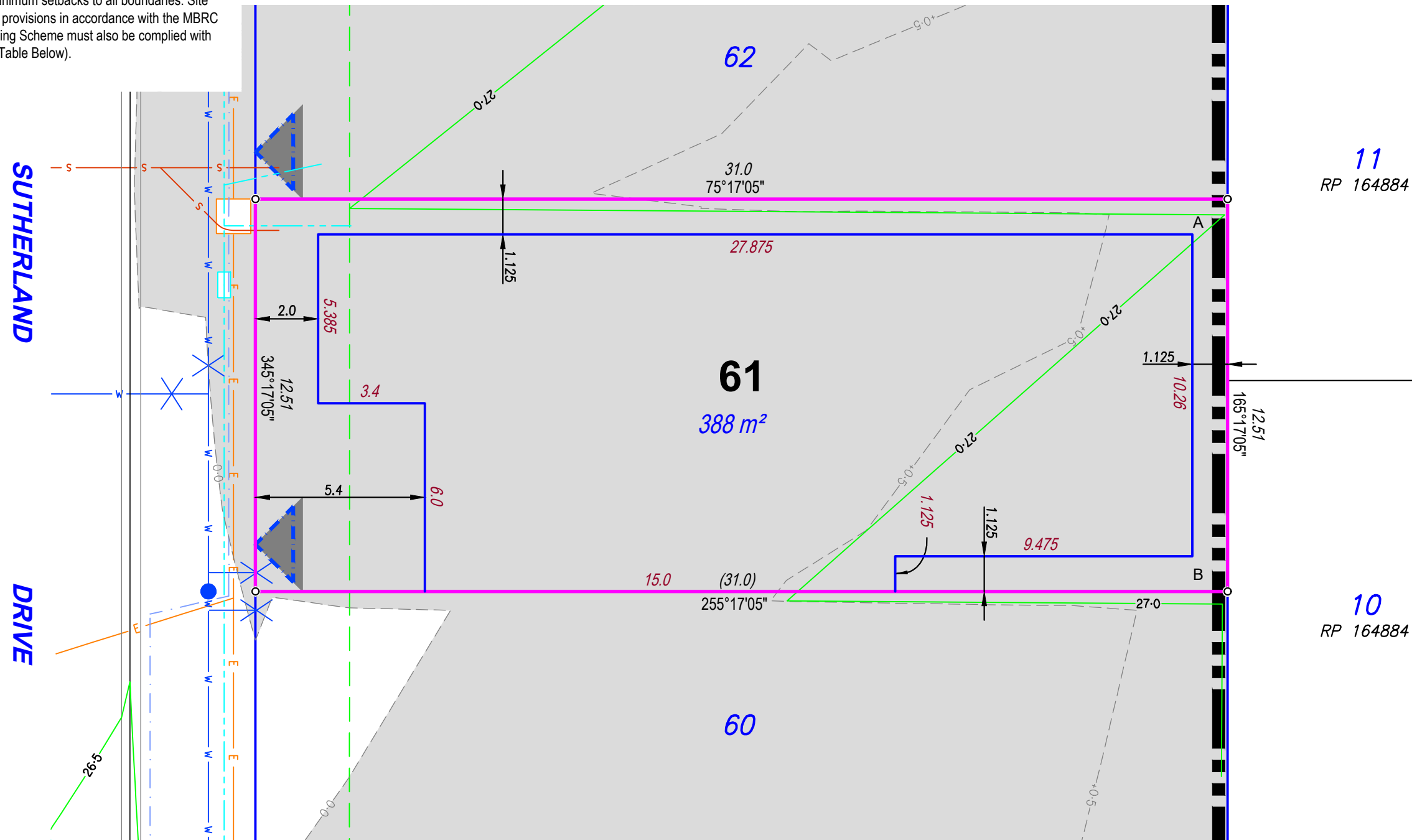


ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 61 on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench - Electricity	
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	



Lot Size	Max Site Cover %
301m² - 400m²	70%

SCALE 1:150 SHEET SIZE A3

1 0 1 2 3 4 5 6

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/61	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

Retaining Wall Heights	
Point	Height
A	1.1m
B	0.9m
A-B Average	1.0m

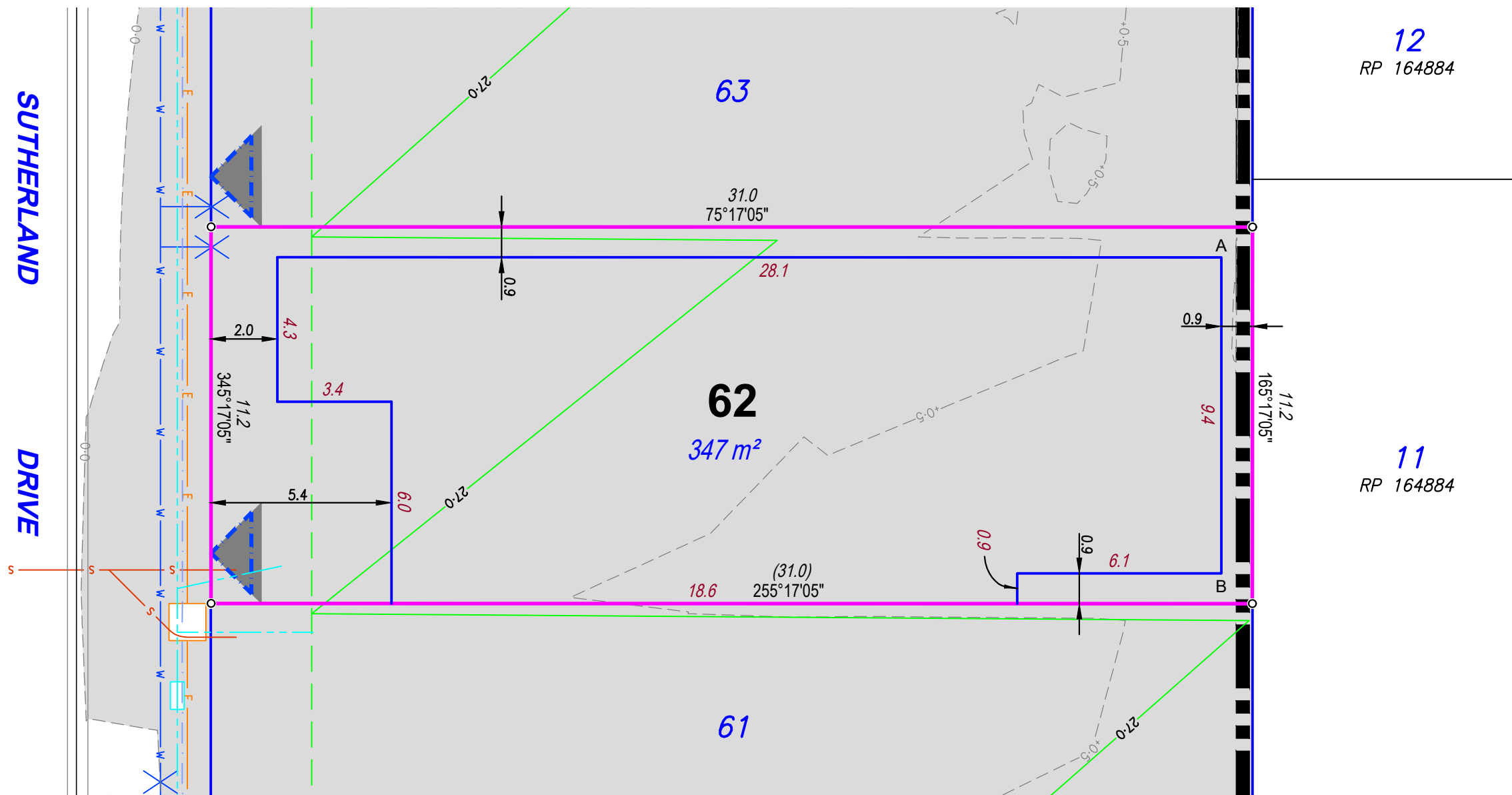


ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 62
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench - Electricity	
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	



Lot Size	Max Site Cover %
301m² - 400m²	70%

SCALE 1:150 SHEET SIZE A3

1 0 1 2 3 4 5 6

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/62	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

Retaining Wall Heights	
Point	Height
A	0.8m
B	0.9m
A-B Average	0.85m



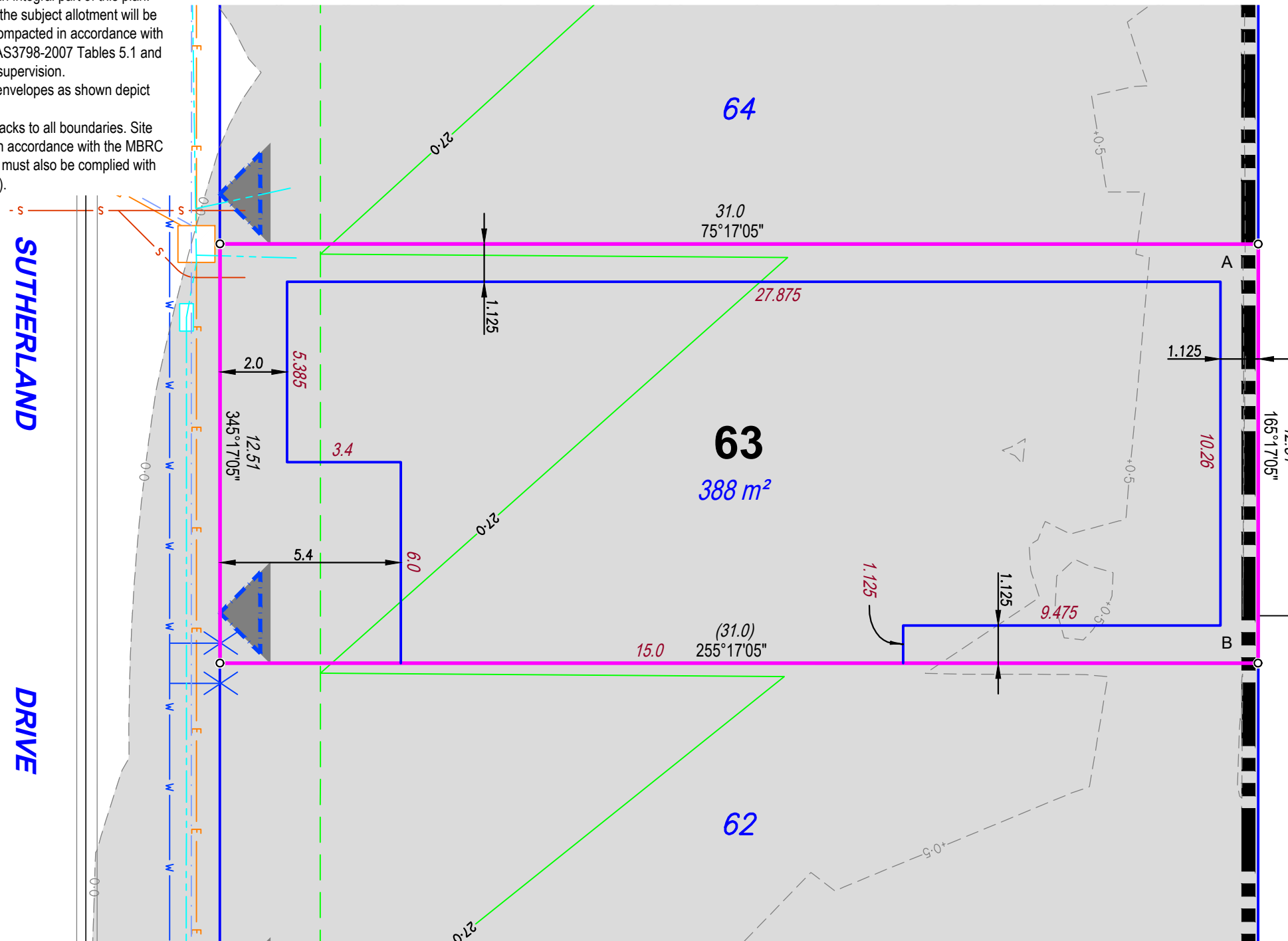
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 63 on SP309548, 84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
 RPD Lot 1 on RP105238
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m² - 400m²	70%

NORTH

SCALE 1:150 SHEET SIZE A3

1 0 1 2 3 4 5 6

rps RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN
 Unauthorised reproduction or amendment
 not permitted. Please contact the author.

This plan has been prepared by RPS
 Australia East Pty Ltd (Cadastral
 Surveyor) to satisfy the requirements
 of the Land Sales Act 1984.

T +61 7 3539 9500
 F +61 7 3539 9501
 W rpsgroup.com

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/63	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

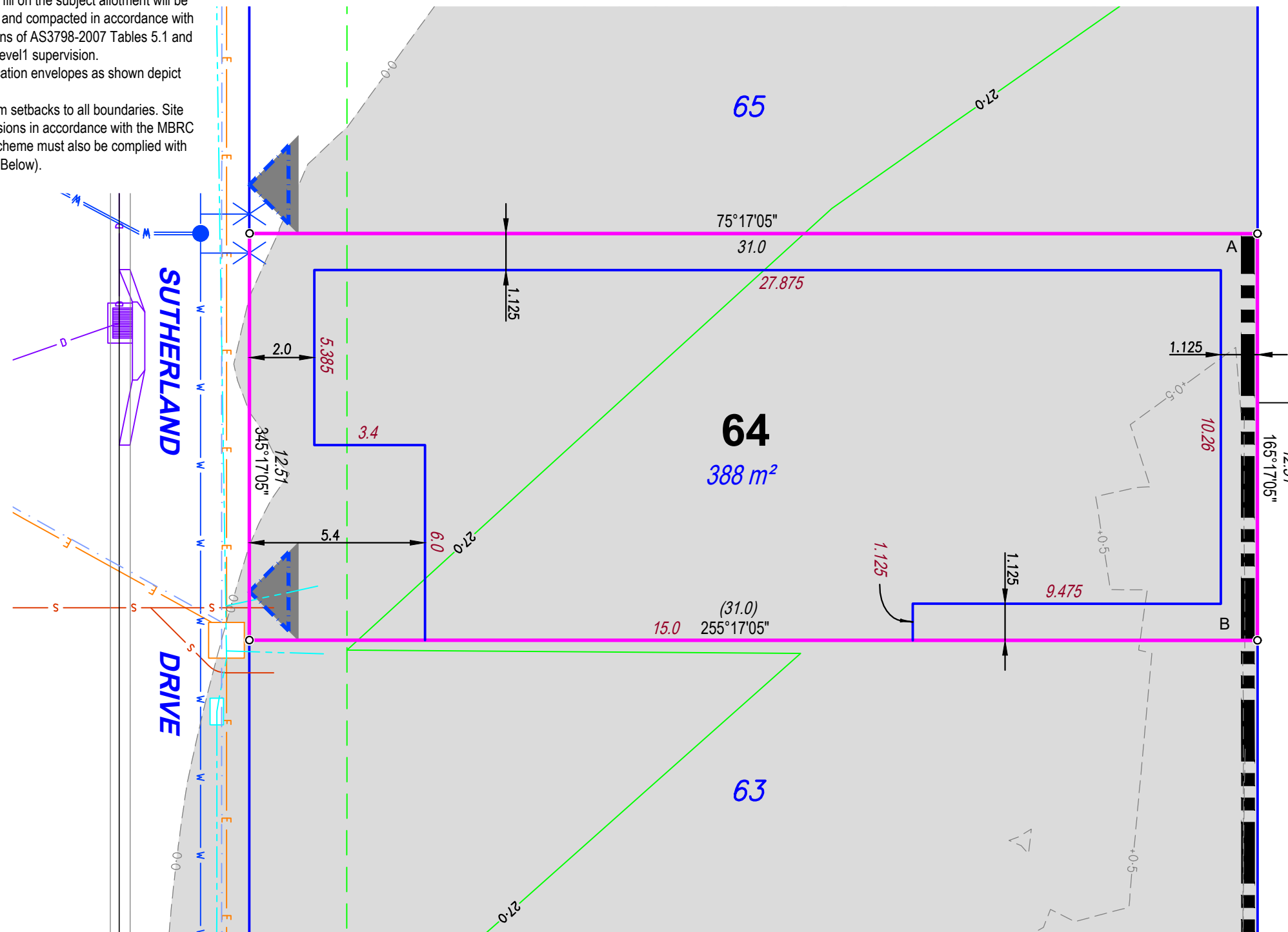
Retaining Wall Heights	
Point	Height
A	0.8m
B	0.55m
A-B Average	0.68m



ALLOTMENT INFORMATION DIAGRAM
 For Proposed Lot 64
 on SP309548,
 84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
 RPD Lot 1 on RP105238
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional

Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench - Electricity	
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	



	SCALE 1:150	SHEET SIZE A3

rps RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006
© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.
 This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.
 T +61 7 3539 9500
 F +61 7 3539 9501
 W rpsgroup.com

Lot Size	Max Site Cover %
301m² - 400m²	70%

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/64	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level 1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



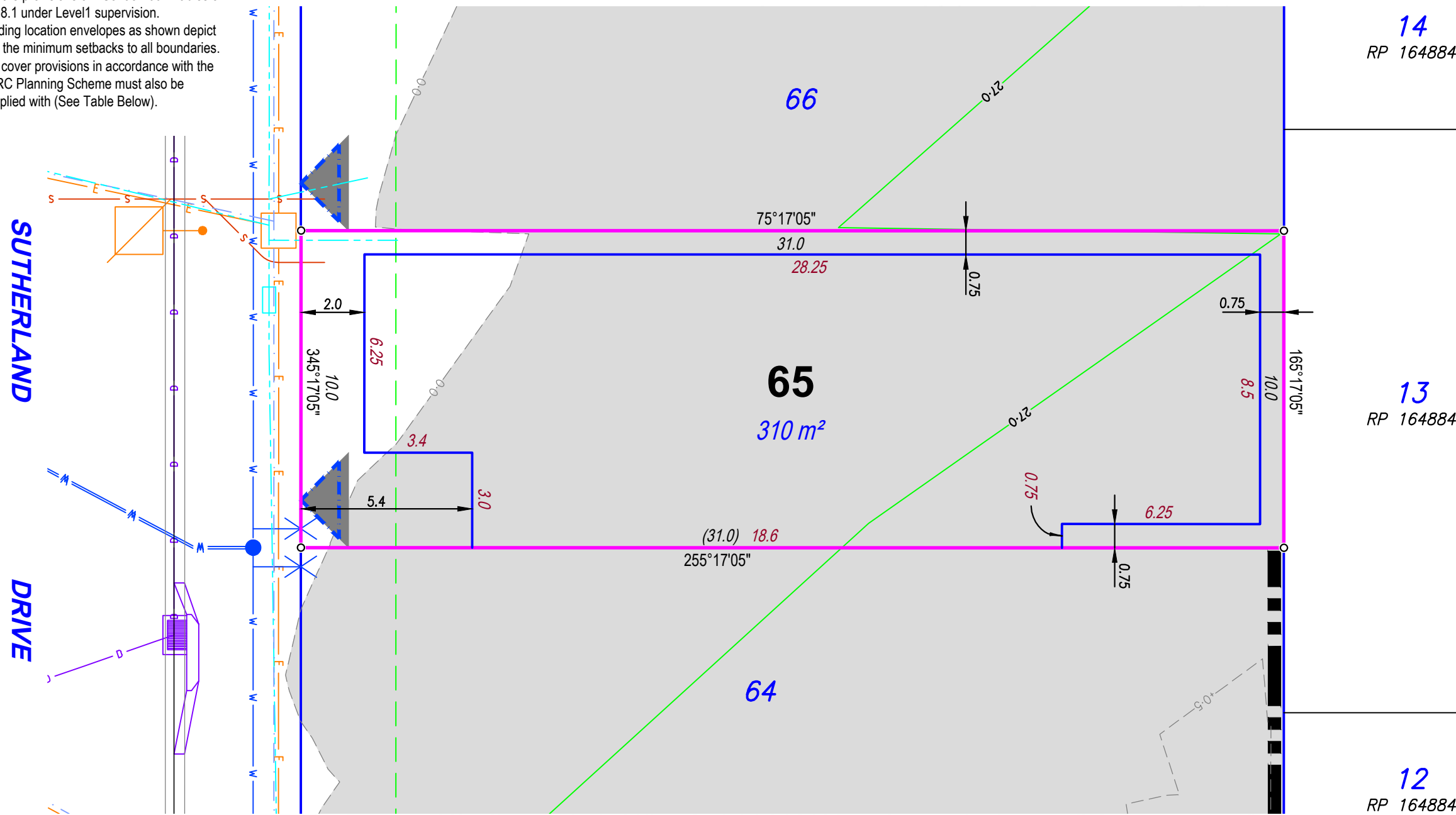
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 65 on SP309548, 84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
 RPD Lot 1 on RP105238
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
 F +61 7 3539 9501
 W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/65	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



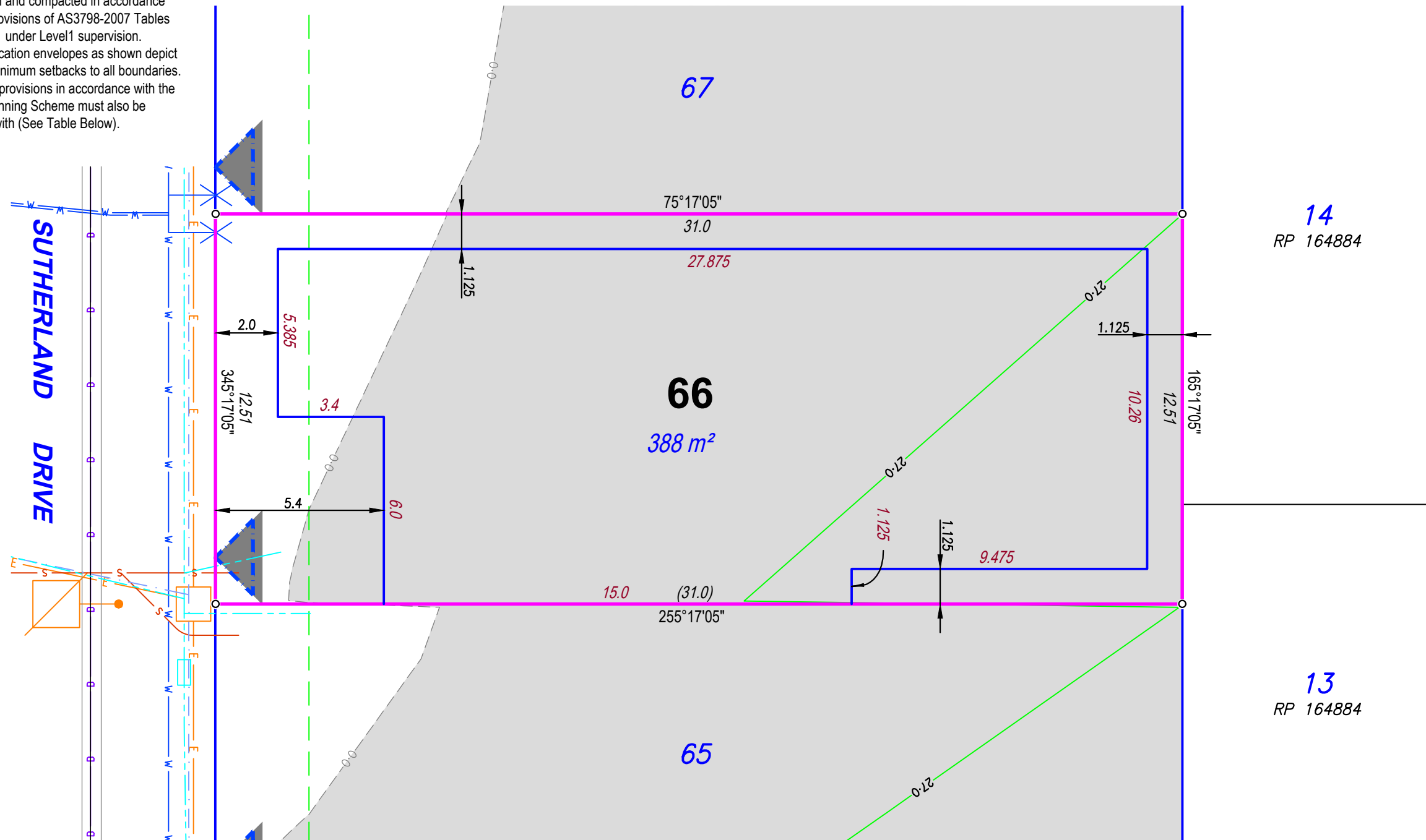
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 66
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m² - 400m²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/66	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level 1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



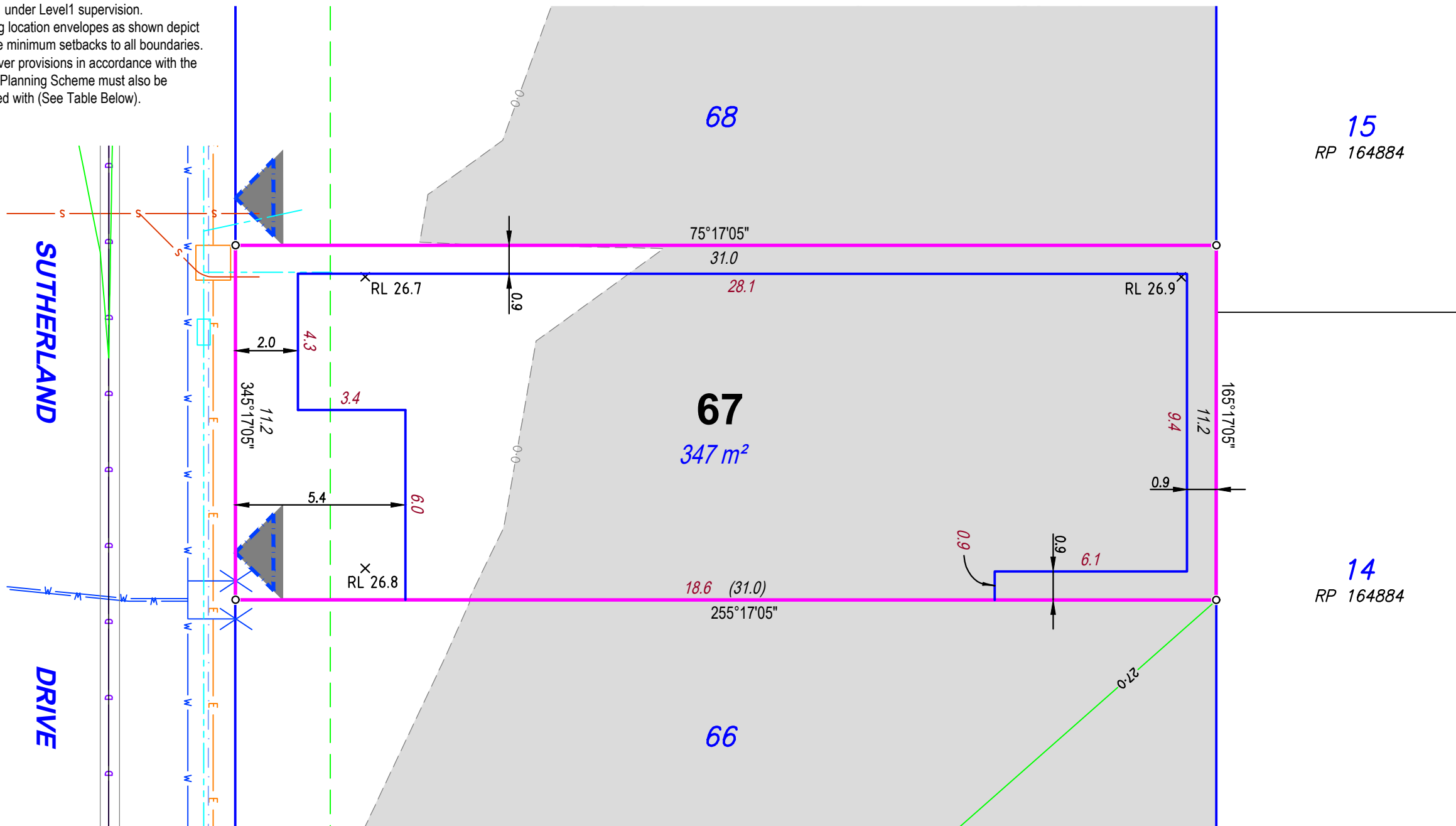
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 67
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m² - 400m²	70%

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/67	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



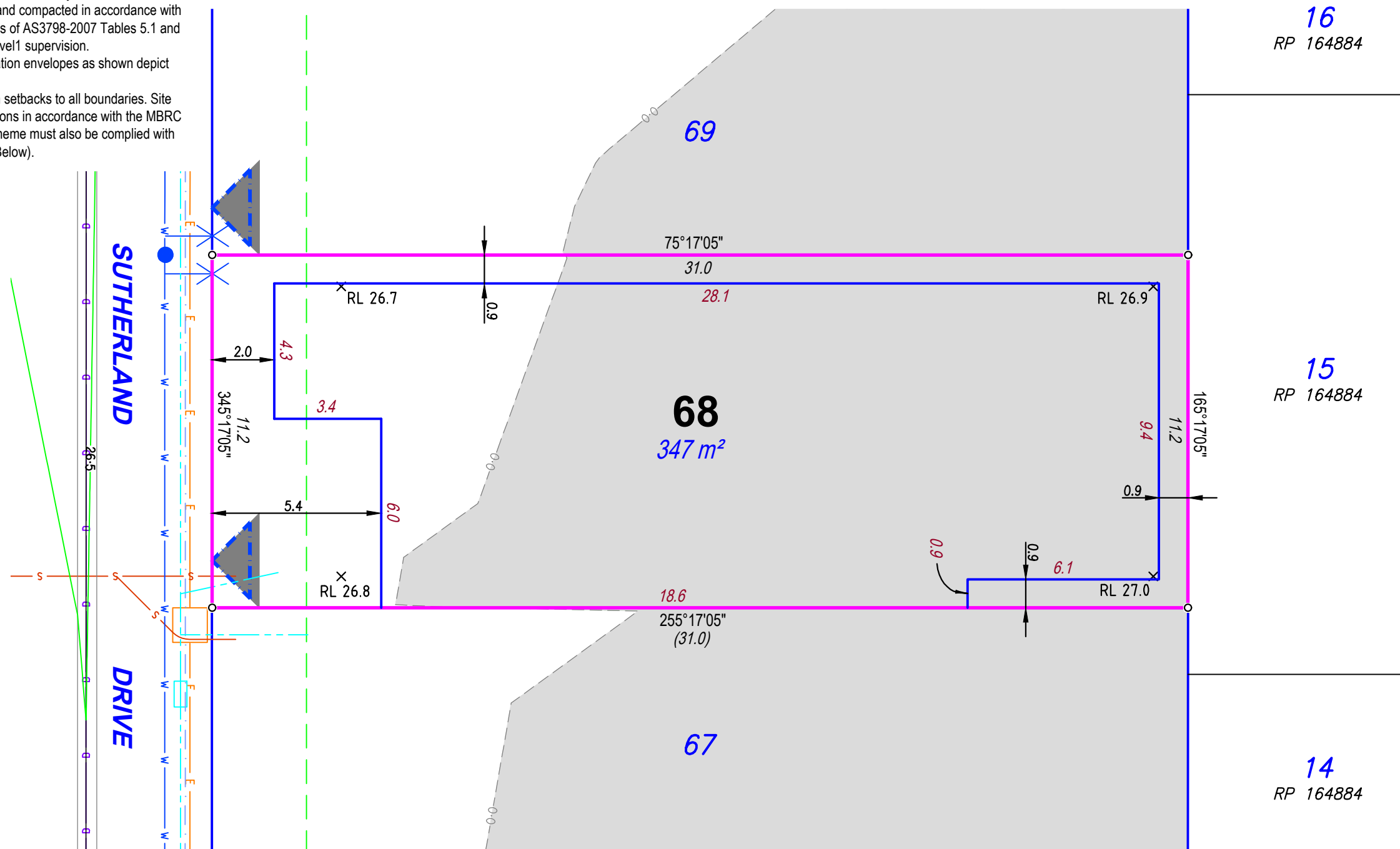
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 68
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/68	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 69
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Proposed Gas
- Proposed Kerb & Channel & Gully Pit

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

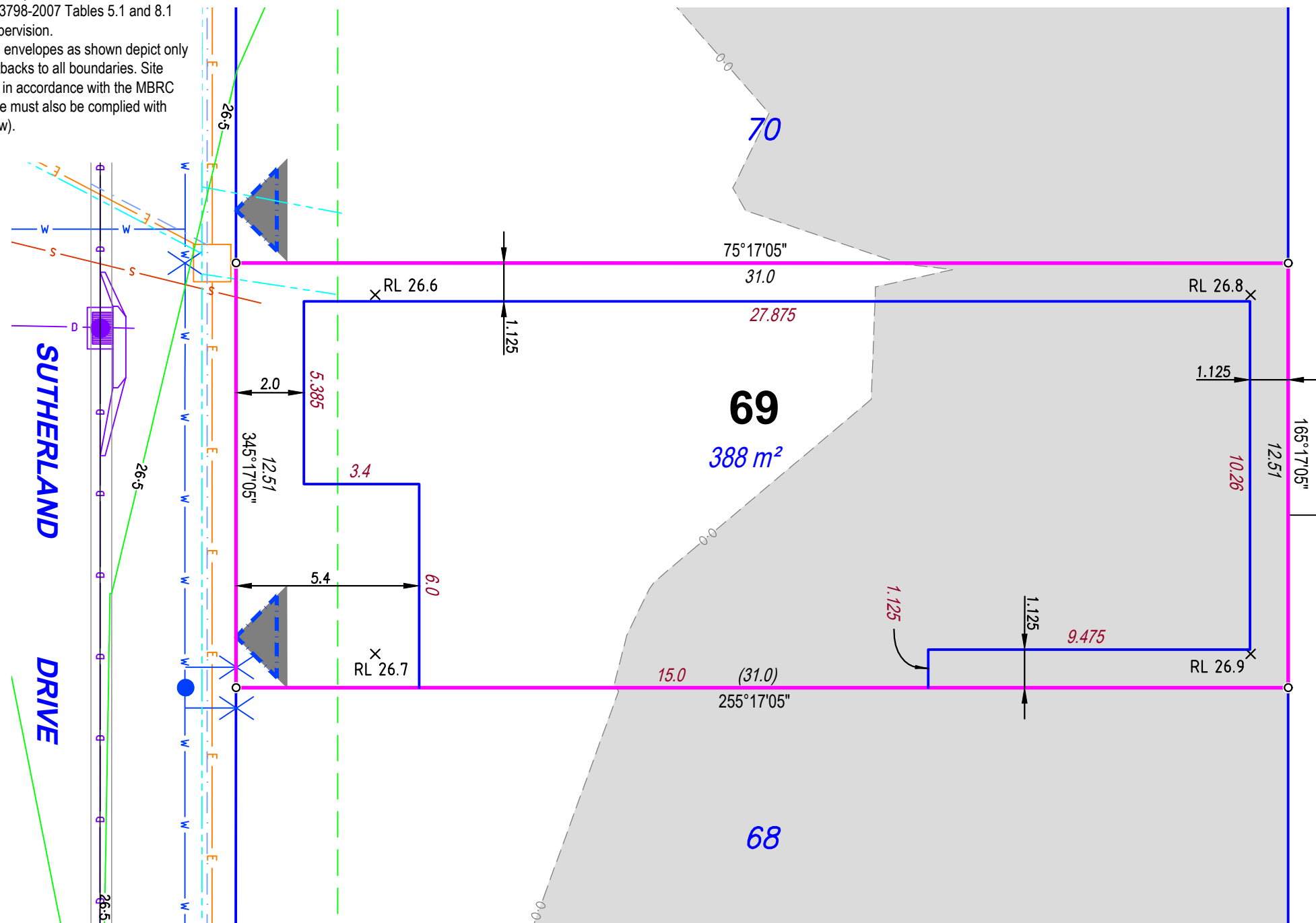
This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/69	-

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.



Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



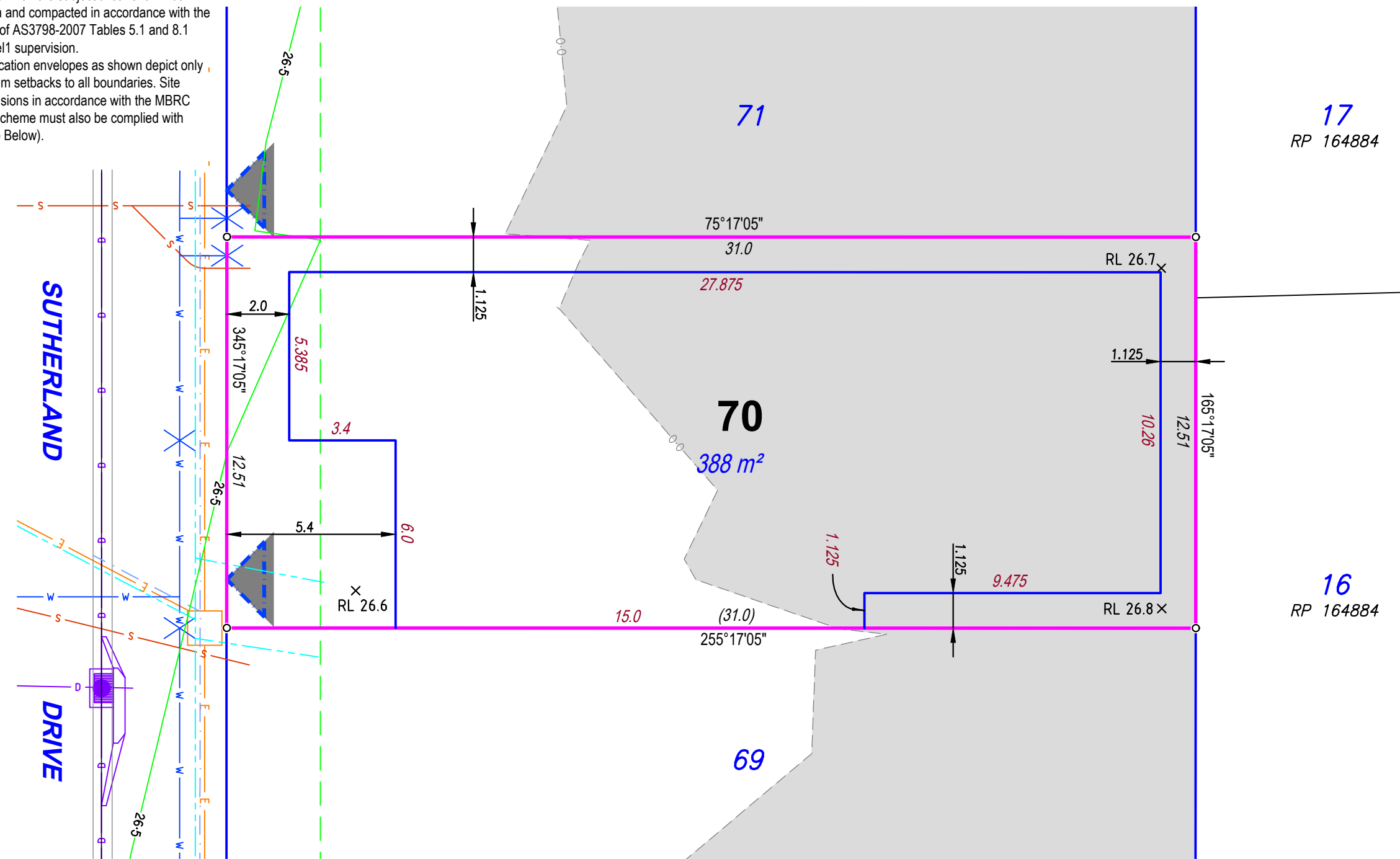
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 70
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/70	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level 1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.



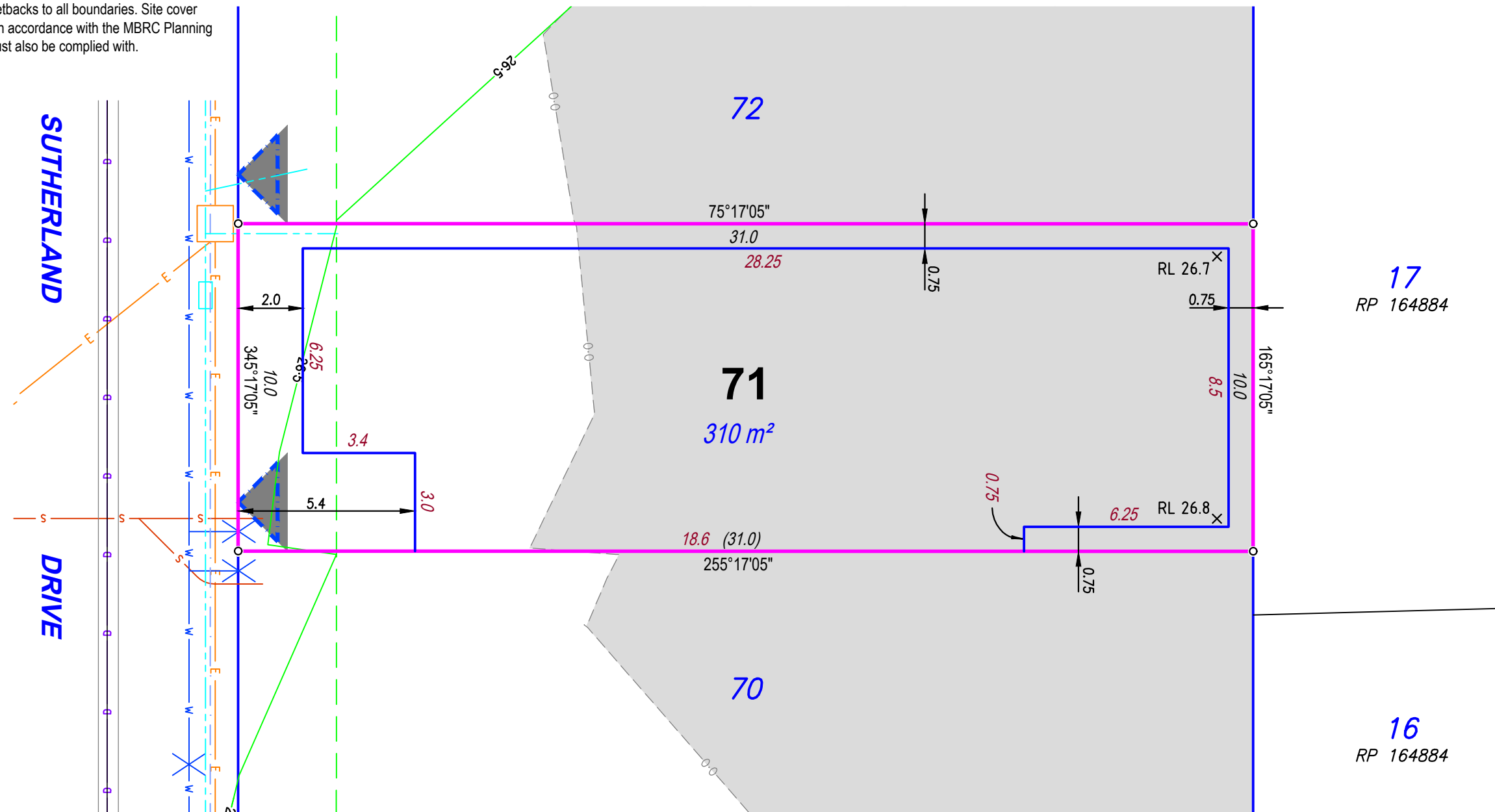
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 71
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/71	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD).
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



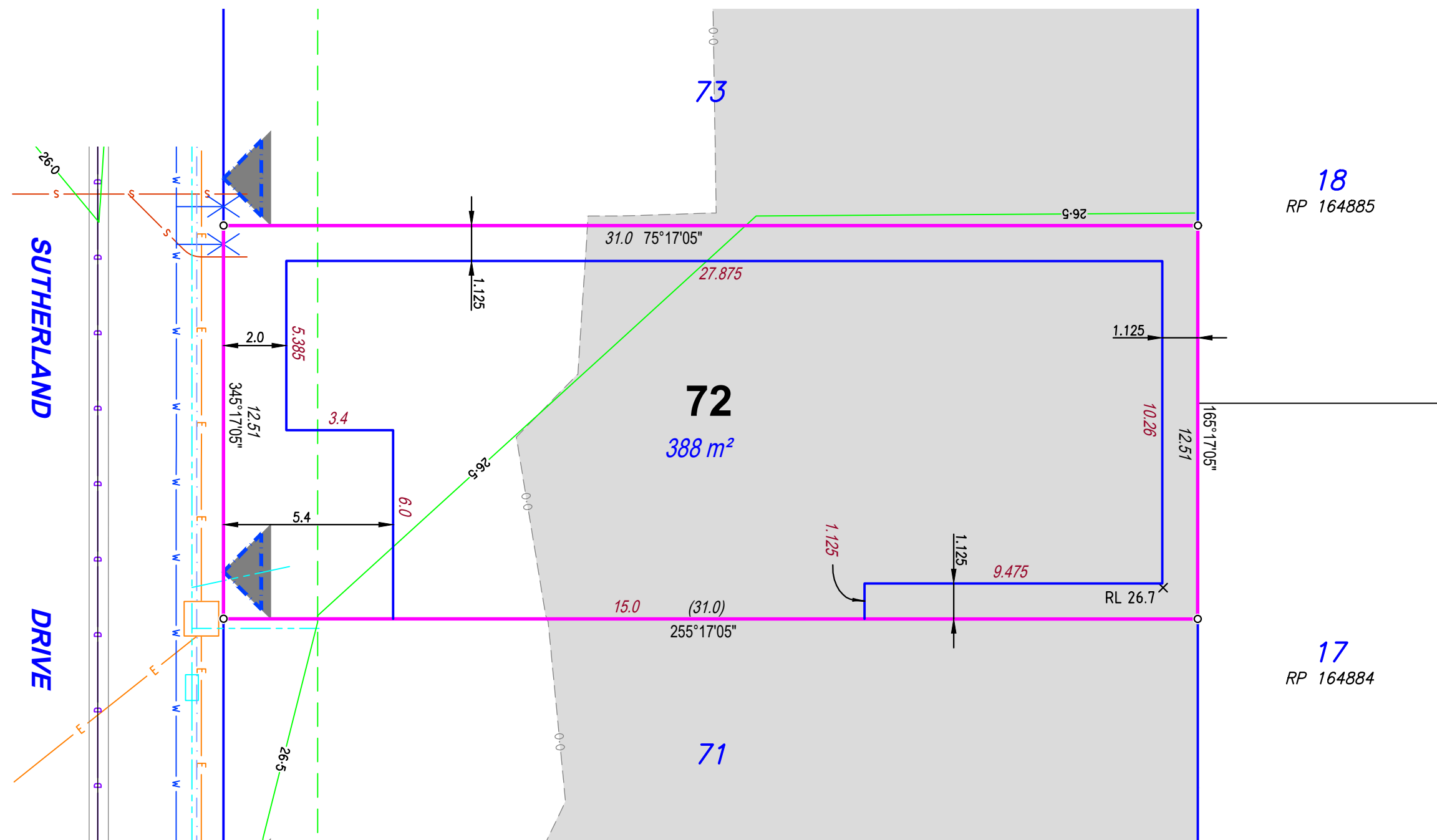
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 72
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/72	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



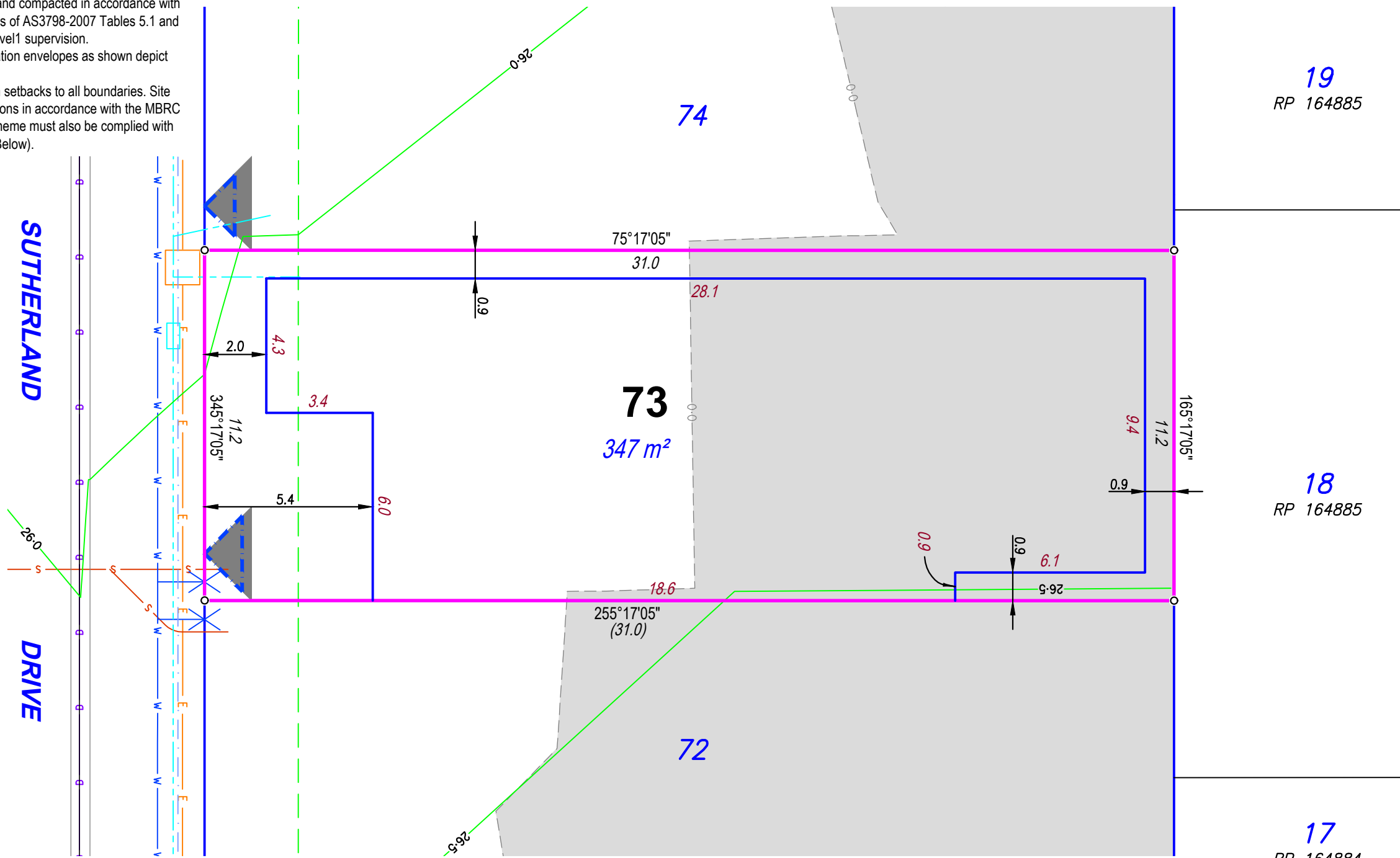
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 73
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/ Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/73	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



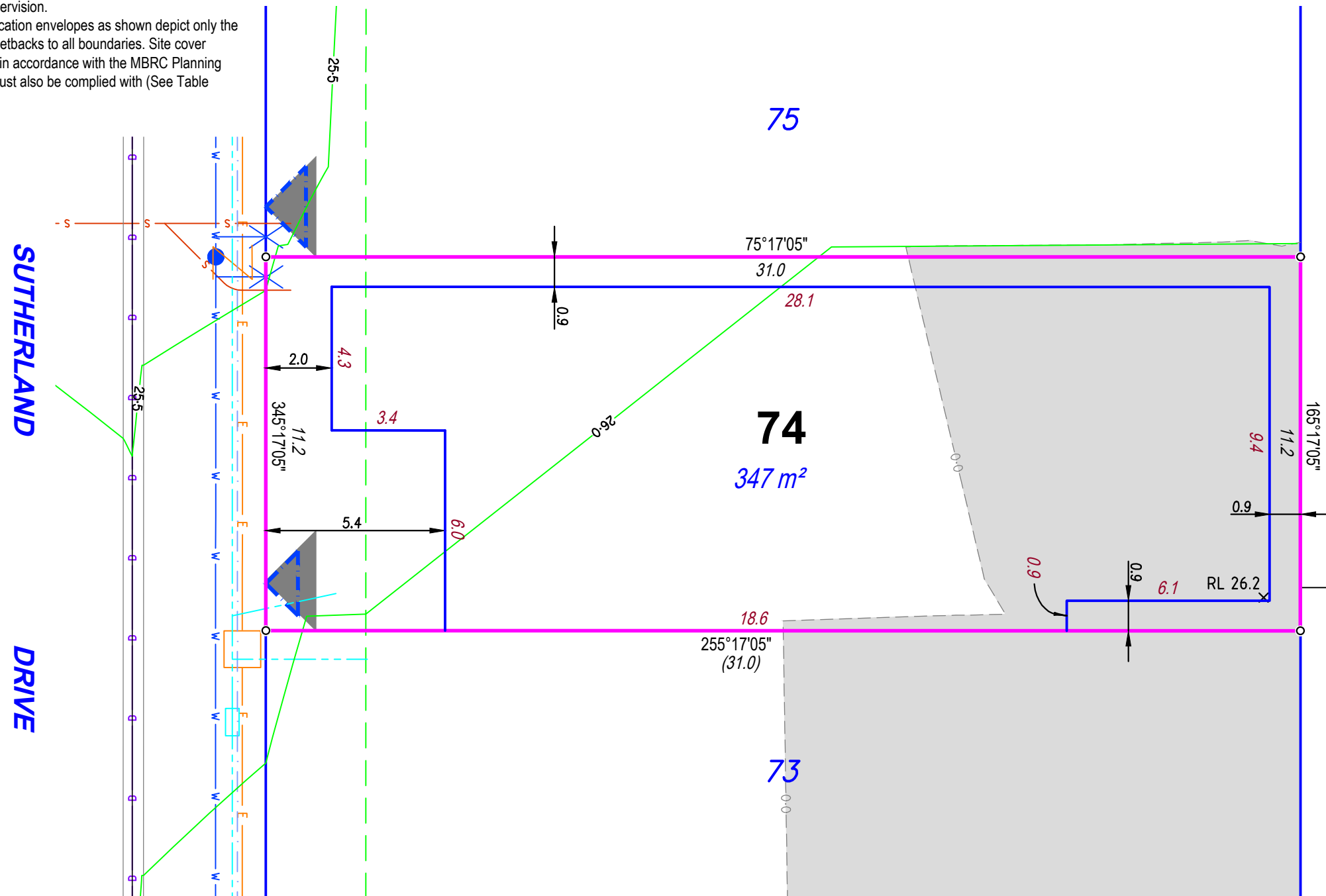
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 74
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m² - 400m²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/74	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



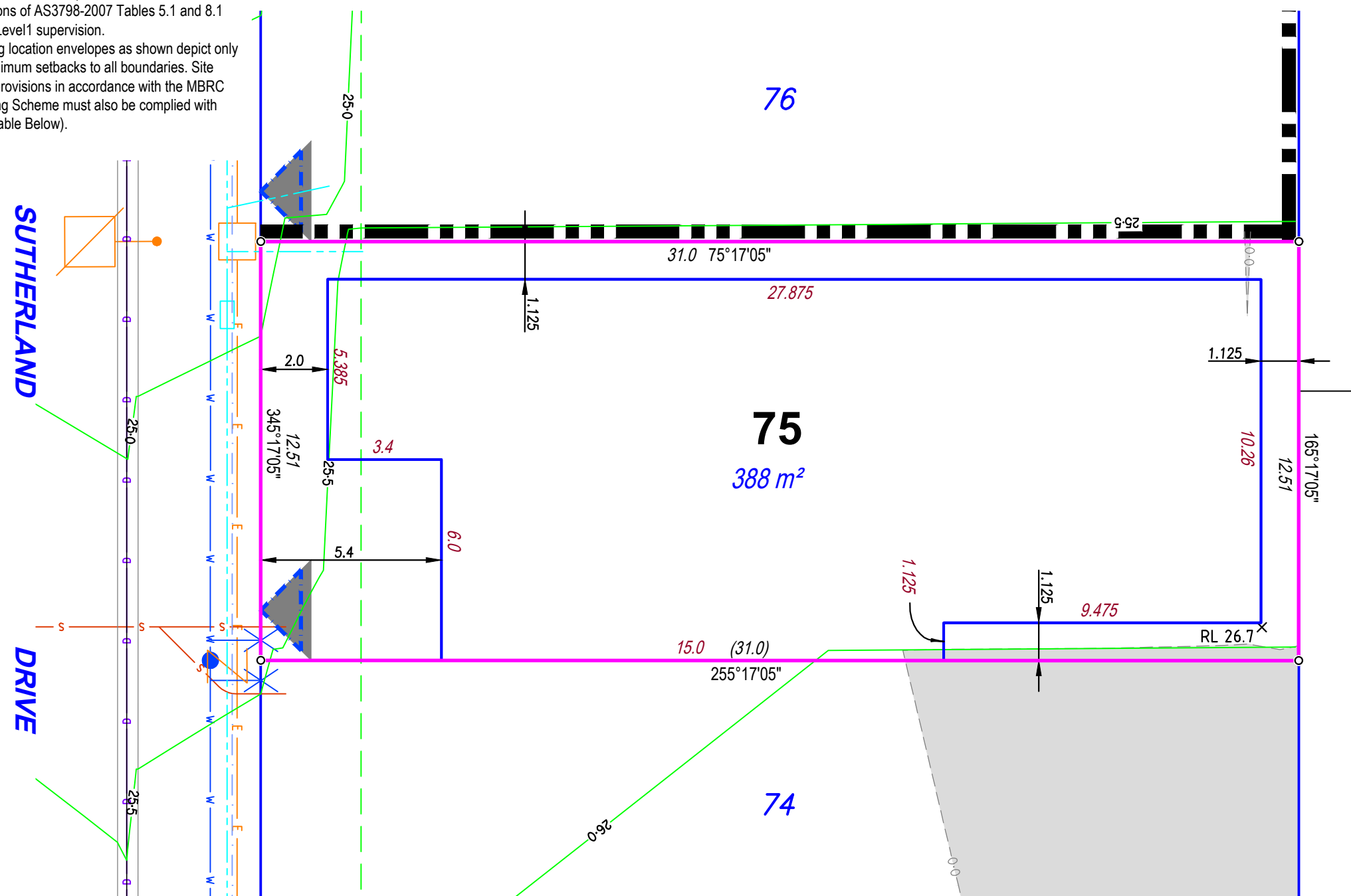
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 75
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



SUTHERLAND

DRIVE

Lot Size	Max Site Cover %
301m ² - 400m ²	70%

20
RP 164885

19
RP 164884

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

The depth of fill on this lot is between 0.0m and 0.5m.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/75	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

Retaining Wall Heights	
Point	Height
A	0.55m
B	0.8m
C	0.7m
D	0.7m
A-B Average	0.68m
C-D Average	0.7m



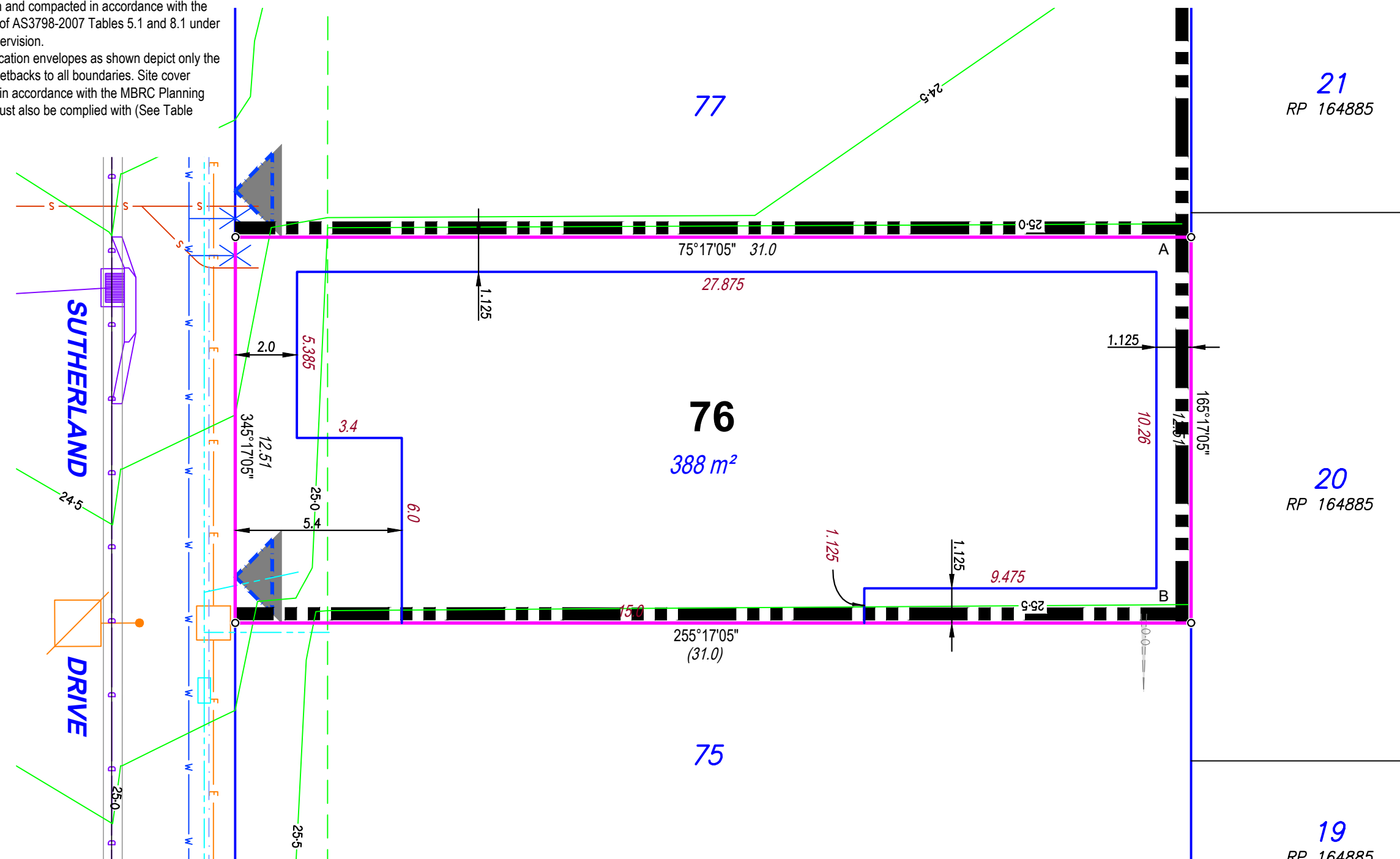
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 76
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m² - 400m²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/76	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

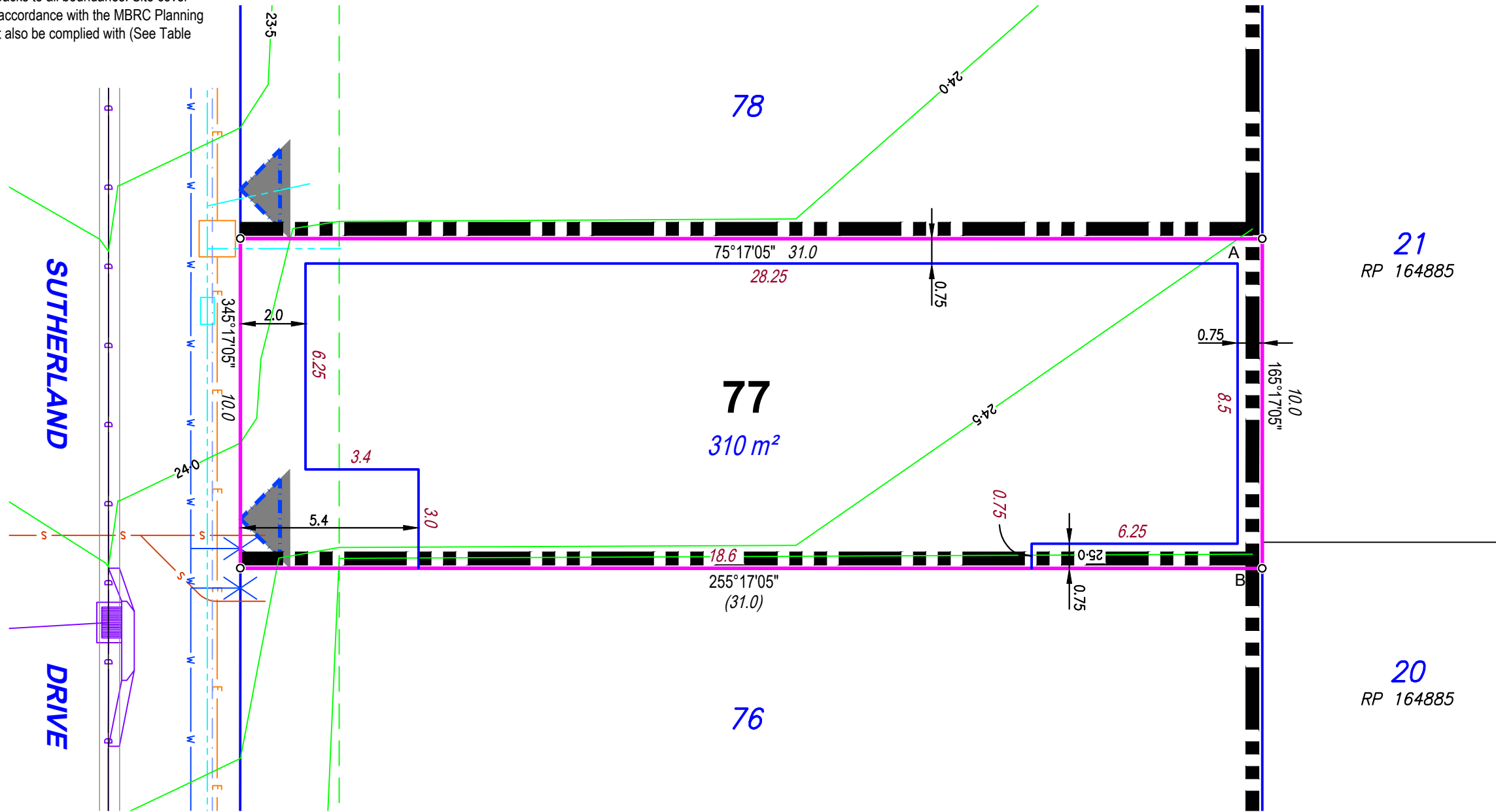
Retaining Wall Heights	
Point	Height
A	0.9m
B	1.2m
C	0.6m
D	0.6m
A-B Average	1.05m
C-D Average	0.6m



ALLOTMENT INFORMATION DIAGRAM
 For Proposed Lot 77
 on SP309548,
 84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
 RPD Lot 1 on RP105238
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional

Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench - Electricity	
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	



Lot Size	Max Site Cover %
301m² - 400m²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006
© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.
 This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.
 T +61 7 3539 9500
 F +61 7 3539 9501
 W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/77	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

Retaining Wall Heights	
Point	Height
A	1.0m
B	1.3m
C	0.6m
D	0.6m
A-B Average	1.15m
C-D Average	0.6m



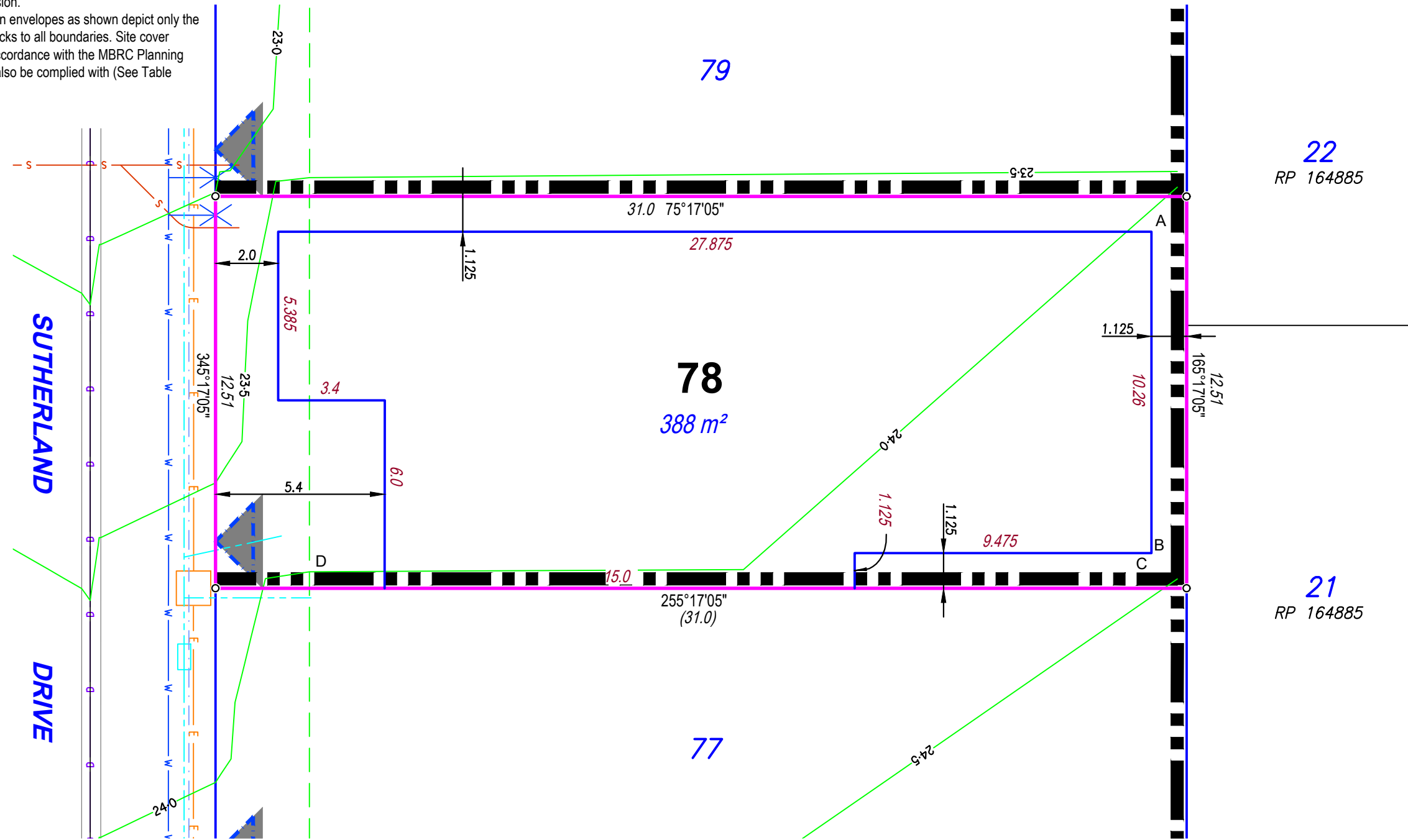
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 78 on SP309548, 84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
 RPD Lot 1 on RP105238
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Communications (NBN)
- Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m ² - 400m ²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
 F +61 7 3539 9501
 W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/78	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).
- There is no fill on this site.

Retaining Wall Heights	
Point	Height
A	1.5m
B	1.6m
C	0.8m
D	0.8m
A-B Average	1.55m
C-D Average	0.8m



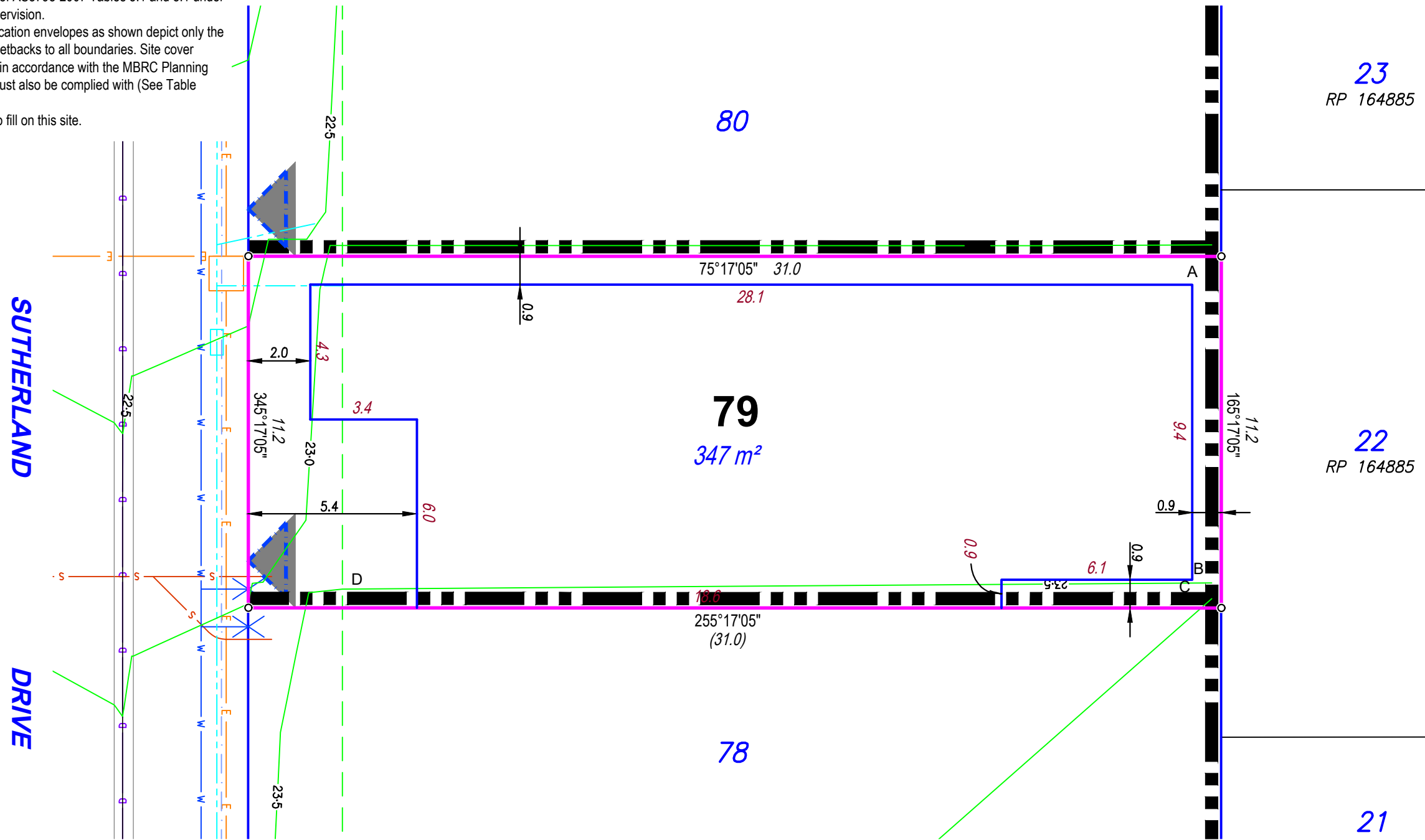
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 79
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



SUTHERLAND DRIVE

DRIVE

Lot Size	Max Site Cover %
301m² - 400m²	70%

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/79	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).
- There is no fill on this site.

Retaining Wall Heights	
Point	Height
A	1.1m
B	1.7m
C	0.5m
D	0.5m
A-B Average	1.4m
C-D Average	0.4m



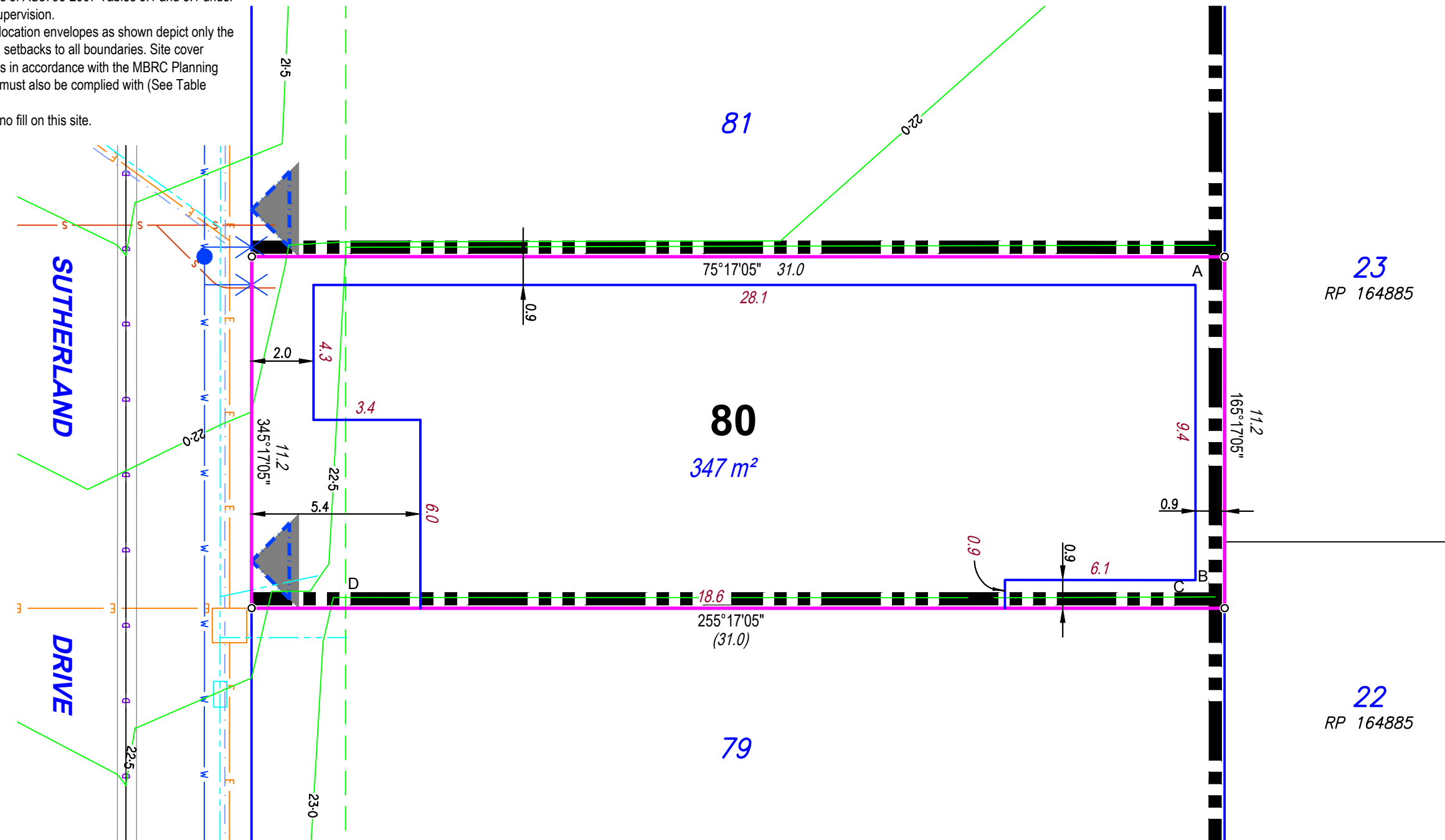
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 80
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



Lot Size	Max Site Cover %
301m² - 400m²	70%

• There is no fill on this site.

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/80	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).
- There is no fill on this site.

Retaining Wall Heights	
Point	Height
A	1.2m
B	1.5m
C	0.4m
D	0.4m
A-B Average	1.35m
C-D Average	0.4m

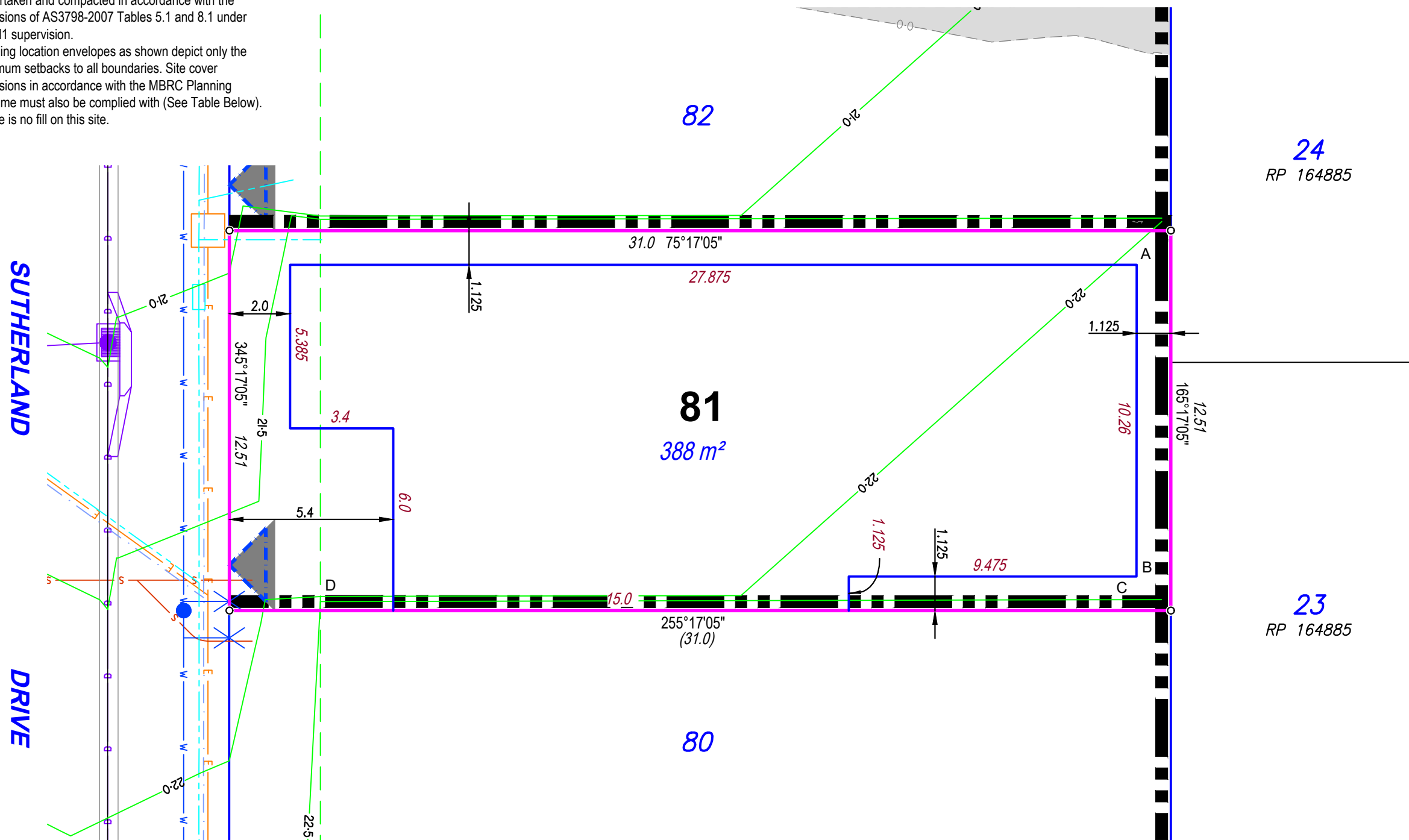


ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 81
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench - Electricity	
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	



Lot Size	Max Site Cover %
301m² - 400m²	70%

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/81	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

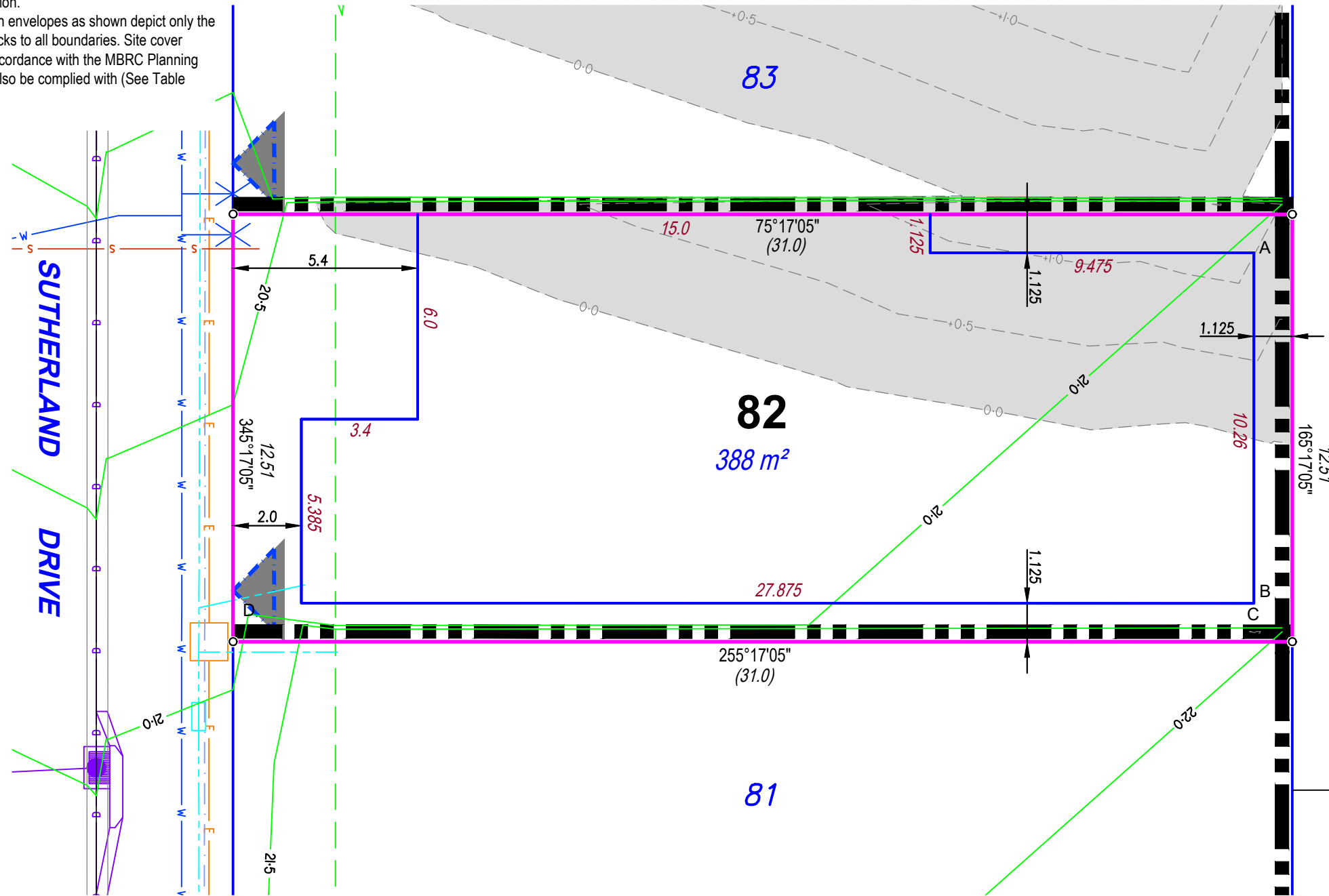
Retaining Wall Heights	
Point	Height
A	1.1m
B	1.3m
C	1.3m
D	1.3m
A-B Average	1.2m
C-D Average	1.3m



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 82
on SP309548,
84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional



Legend	
Area of Fill	
Proposed Surface Contour	
Fill Depth Contour	
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	
Proposed Sewer Reticulation & Manhole	
Proposed Water/Endcap/Fire Hyd/Meter/Valve	
Proposed Shared Trench - Electricity	
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

T +61 7 3539 9500
F +61 7 3539 9501
W rpsgroup.com

Lot Size	Max Site Cover %
301m² - 400m²	70%

DWG. 142823-Stg2-AID			SH. 1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/82	-

Notes

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).



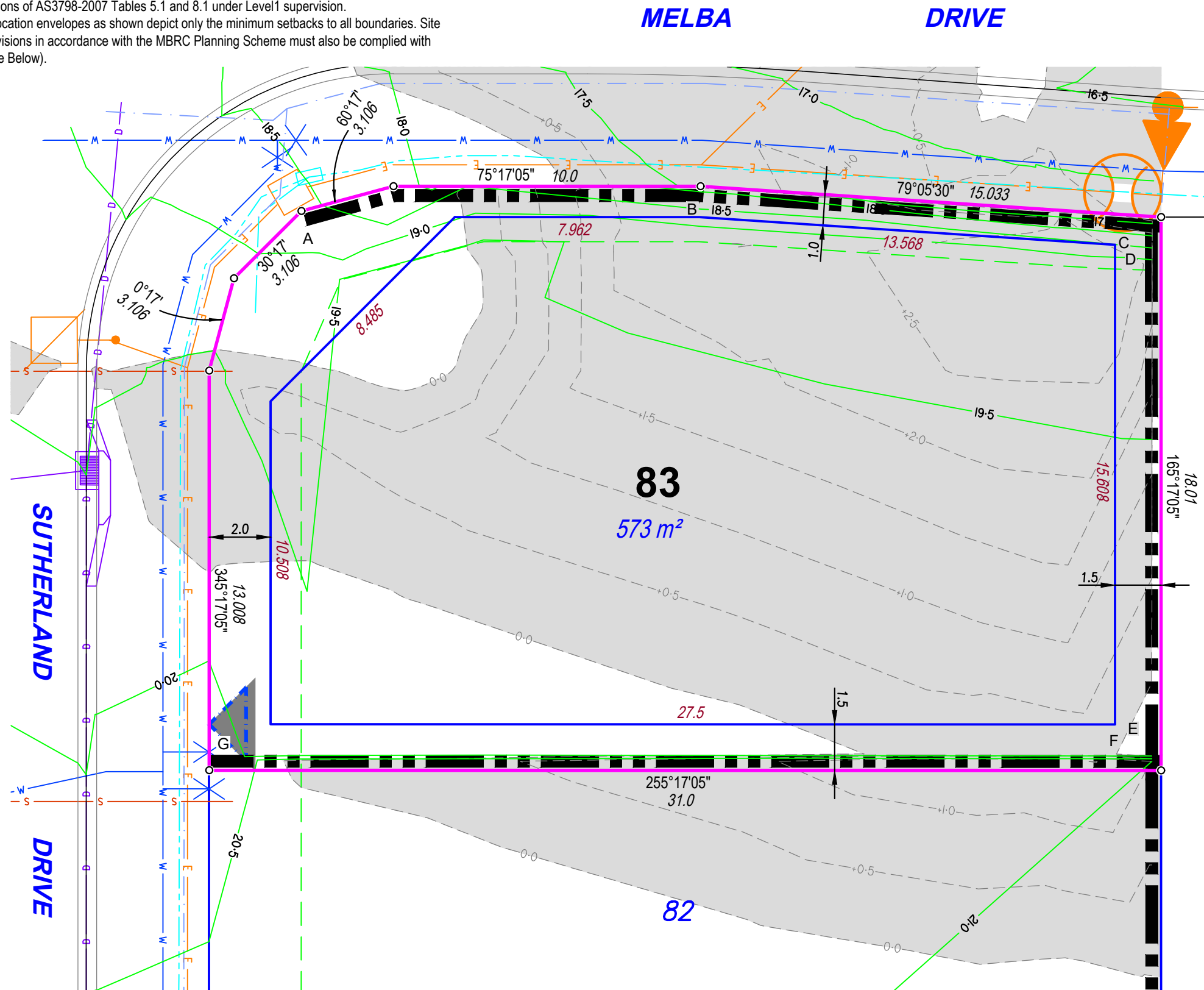
ALLOTMENT INFORMATION DIAGRAM
 For Proposed Lot 83
 on SP309548,
 84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
 RPD Lot 1 on RP105238
 LOCALITY Strathpine
 LOCAL AUTHORITY Moreton Bay Regional

Retaining Wall Heights	
Point	Height
A	0.8m
B	1.6m
C	2.2m
D	2.2m
E	0.7m
F	1.6m
G	1.2m
A-B Average	1.2m
B-C Average	1.9m
D-E Average	1.45m
F-G Average	1.4m

Legend

- Area of Fill
- Proposed Surface Contour
- Fill Depth Contour
- Proposed Retaining Wall
- Proposed Earthworks Batter
- Proposed Building Location Envelope (BLE)
- Proposed Concrete Footpath
- Preferred Driveway Location
- Proposed Stormwater Drainage & Manhole
- Proposed Sewer Reticulation & Manhole
- Proposed Water/Endcap/Fire Hyd/Meter/Valve
- Proposed Shared Trench - Electricity
- Proposed Shared Trench - Communications (NBN)
- Proposed Shared Trench - Proposed Gas
- Proposed Kerb & Channel & Gully Pit



24
 RP 164885

Lot Size	Max Site Cover %
401m² and Above	60%

NORTH

SCALE 1:150 SHEET SIZE A3

rps RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006
 T +61 7 3539 9500
 F +61 7 3539 9501
 W rpsgroup.com

© COPYRIGHT PROTECTS THIS PLAN. Unauthorised reproduction or amendment not permitted. Please contact the author.

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984.

DWG. 142823-Stg2-AID		SH. 1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/83	-