

# Level 1 Report AS3798

**Client:** Shadforth's Civil Pty Ltd  
**Project:** The Landing Stages 1,2, 4 & 5  
**Address:** 84 Samsonvale Road, Strathpine Qld  
**Job No:** J19/69



Version	Date	Author	Initials	Reviewer	Initials
1	25/04/20	JJ	JJ	DW	DW

Form No: W169 – Version 1 (29/05/18)



CONSTRUCTION

MATERIALS

TESTING

## Table of Contents

<b>1.0</b>	<b>Introduction</b>	<b>Page 1</b>
<b>2.0</b>	<b>Site Description</b>	<b>Page 1</b>
<b>3.0</b>	<b>Foundation Preparation</b> 3.1 Site Stripping 3.2 Proof Rolling	<b>Page 1</b>
<b>4.0</b>	<b>Controlled Filling</b>	<b>Page 2</b>
<b>5.0</b>	<b>Compaction Control Testing</b>	<b>Page 2</b>
<b>6.0</b>	<b>Field Density Results</b>	<b>Page 2</b>
<b>7.0</b>	<b>Report on Filling Operations</b>	<b>Page 3</b>
<b>8.0</b>	<b>Notes</b>	<b>Page 3</b>

### **Appendix 1 – General Layout Plan**

### **Appendix 2 – Field Density Reports**

### **Appendix 3 – Typical Site Conditions**

### **Appendix 4 – Site Information**



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## 1.0 Introduction

Wagner Soil Testing has recently completed a Level One Overview of Earthworks, in accordance with the requirements of **AS3798 – “Guidelines on Earthworks for Commercial and Residential Developments”** for The Landing – Stages 1, 2 & 4.

Controlled fill (as defined in AS 2870) was placed by Shadforth’s Civil Pty Ltd. Stripping instructions, proof rolling and compaction control testing was carried out by Wagner Soil Testing (on a fulltime basis) during all earthwork’s operations. Our onsite supervision component excludes assessments of fill quality and engineering properties that are outside the requirements of AS3798 – 2007, including CBR values and soil reactivity.

## 2.0 Site Description

The site is located at 84 Samsonvale Road, Strathpine, Qld 4500. The general location of the site is shown in the attached site plans (Appendix 1). The site is bound by existing residential developments and Four Mile Creek.

## 3.0 Foundation Preparation

### 3.1 Site Stripping

Vegetation, topsoil, and organic rich materials were stripped and stockpiled onsite prior to the commencement of filling operations. As a safety factor several test pits were excavated in the proposed fill area to assess subsurface conditions & any significant issues were noted & remediated during this phase.

### 3.2 Proof Rolling

All stripped areas were proof rolled prior to any fill placement. Any compressible areas with apparent movement were excavated to a firm base before any fill being placed.

## 4.0 Controlled Filling

Fill materials (onsite) compacted using an 815 Compactor. The natural ground in the areas of filling generally comprised of silty sandy clays (CI). The fill material used was generally as above. Moisture contents of all fill placed was monitored by Wagner Soil Testing. Total volumes of fill reached 15,079m<sup>3</sup>.

## 5.0 Compaction Control Testing

Compaction Control Testing was carried out by Wagner Soil Testing. Testing was carried out in accordance with the requirements of **AS3798 Table 5.1 (Minimum Relative Compaction)** and **Table 8.1 (Frequency of Field Density Tests)**. During the works, one hundred & twenty-four (124) Field Dry Densities were carried out on fill materials together with Dynamic Cone Penetrometers (DCP’s) over the filled zones at the completion of earthworks operations to help quantify bearing capacities.

## 6.0 Field Density Results

All Nuclear Field Densities carried out on the fill indicated Density Ratios greater than the specified requirement of 95% (standard compaction) & **AS3798 Table 5.1**.

## 7.0 Report on Filling Operations

The results obtained from Compaction Control Testing, together with observations made during earthworks operations indicate that all fill materials were placed in a controlled manner in accordance with good engineering practices. The earthworks have been carried out to meet the requirements of **Level 1 Certification as per AS3798 – “Guidelines on Earthworks for Commercial and Residential Developments”**.

## 8.0 Notes

Certified / Controlled (Level 1) Fill is only an assurance of its density. There are sites where long-term consolidations of fill can occur, unrelated to its actual density. Sites where fill has been placed over inferior material and sites where the depth of controlled fill varies dramatically over short distances are sites where differential consolidations must be considered. Although all Field Densities carried out reached density ratios greater than 95% as required, some material still may have bearing ratios below 100kPa as per AS2870 – Residential Slabs & Footings depending on material composition, and unfavorable site classifications and low subgrade design strengths still may be encountered.

All compacted fill is subject to secondary (creep) settlement, which is relational to the depth of the fill. Estimated secondary settlement may be of the order of 1% to 2% of the total fill height over 15 years. There is a possibility that additional fill has been placed after the date of the last field density test or at times when Wagner Soil Testing has not been notified that filling operations are in progress. The installation of services may cause disruption of the compacted fill.

Unless otherwise stated, Level 1 Certification does not address trench backfill operations, batter slope stability, retaining wall construction, global stability analysis, acid sulfate testing and or management. The “supervision” component of this Level 1 Report is not NATA endorsed. Wagner Soil Testing must be contacted if any site levels are modified whatsoever. It is the client’s responsibility to maintain site drainage after the issue of this report.

A full geotechnical site investigation / classification and foundation design for the specific ground conditions should be carried out by suitably qualified or experienced personnel prior to building. This service can be provided, if required, by contacting Wagner Soil Testing.



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### **Constraints:**

This report was produced for the sole use of Shadforth's Civil Pty Ltd. This report should not be used by or depended upon for other projects or purposes on the same or other projects or by a third party. In the preparation of this report Wagner Soil Testing has relied upon information provided by the client and or their agents.

The results provided in this report are indicative of the subsurface conditions on the site only at the specific sampling or testing locations, and then only to the depths investigated along with the time the work was carried out. It is known that subsurface conditions can suddenly change due to irregular geological processes and as a result of human influences. Such changes may occur after Wagner Soil Testing's field testing has been completed.

Certain ground conditions and the materials behavior observed or contained at the test locations may alter from those which may be encountered elsewhere on the site. Should variations in subsurface conditions be encountered, then additional advice should be sought from Wagner Soil Testing and if required, amendments made.

Wagner Soil Testing cannot be held responsible for interpretations or conclusions made by others unless they are supported by an expressed statement, interpretation, outcome or conclusion given in this report.

To establish a geotechnical model as per AS1726-2017-5.2 we require extra testing. No differential settlement estimates have been calculated for this site.

For further technical support regarding this Geotechnical Report please contact Mr. Dean Wagner of Wagner Soil Testing.

A handwritten signature in black ink, appearing to read 'Dean Wagner', is written over a horizontal line.

Dean Wagner  
Managing Director  
**Wagner Soil Testing**



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## Appendix 1

# General Layout Plan

W182/1  
CONSTRUCTION

MATERIALS

06/06/18  
TESTING

# PROPOSED EARTHWORKS STAGES 1,2,4 & 5

## 84 SAMSONVALE RD, STRATHPINE

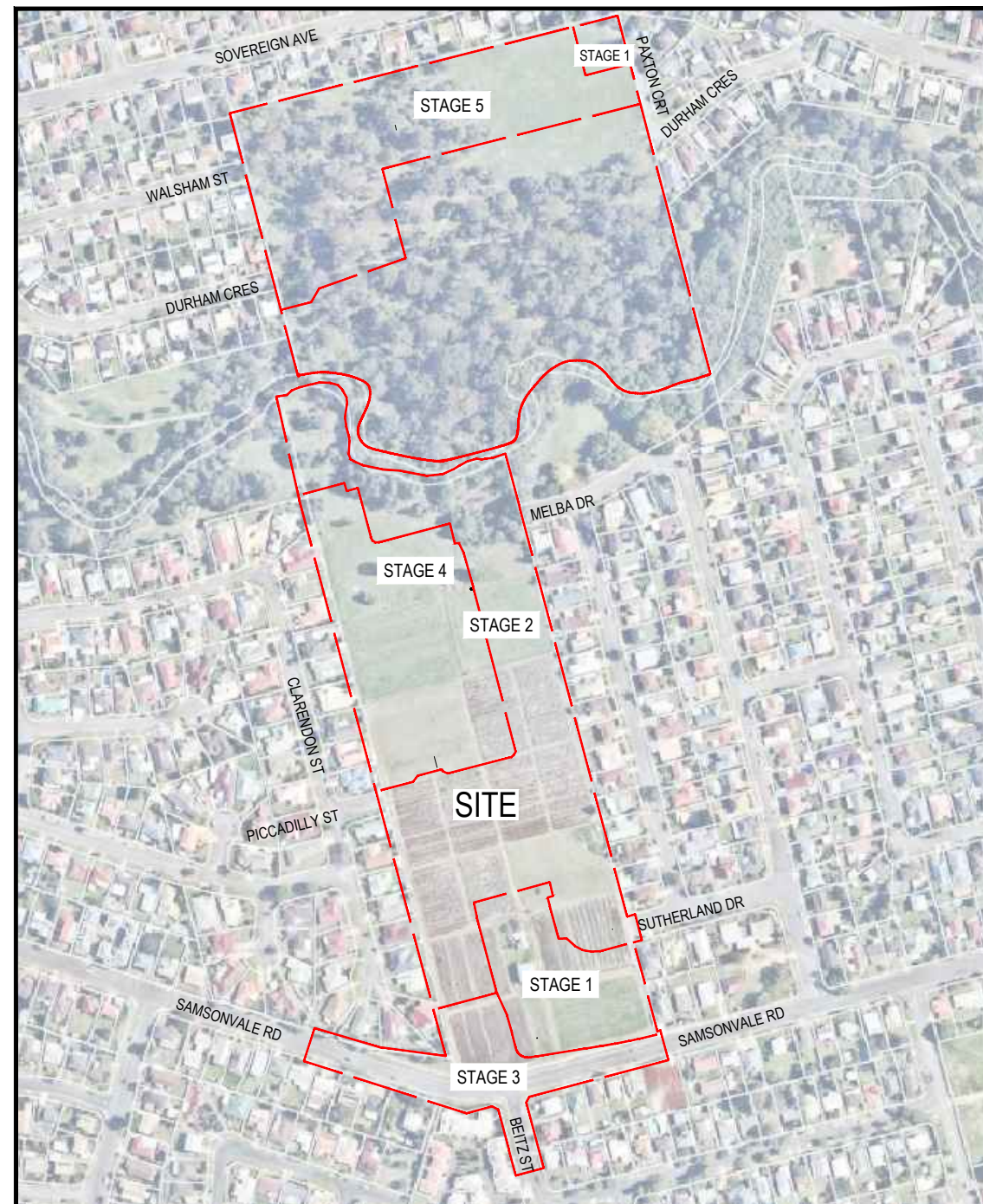
### FOR 'PEET LIMITED'

**DRAWING LIST**

18-0214-200 COVER PLAN

**EARTHWORKS**

- 18-0214-201 GENERAL NOTES
- 18-0214-202 BULK EARTHWORKS LAYOUT PLAN SHEET 1 OF 4
- 18-0214-203 BULK EARTHWORKS LAYOUT PLAN SHEET 2 OF 4
- 18-0214-204 BULK EARTHWORKS LAYOUT PLAN SHEET 3 OF 4
- 18-0214-205 BULK EARTHWORKS LAYOUT PLAN SHEET 4 OF 4
- 18-0214-206 BULK EARTHWORKS TYPICAL SECTIONS SHEET 1 OF 2
- 18-0214-207 BULK EARTHWORKS TYPICAL SECTIONS SHEET 2 OF 2
- 18-0214-208 CUT AND FILL DEPTH RANGE LAYOUT PLAN SHEET 1 OF 2
- 18-0214-209 CUT AND FILL DEPTH RANGE LAYOUT PLAN SHEET 2 OF 2



LOCALITY PLAN  
SCALE 1:2500 (A1)  
SCALE 1:5000 (A3)

<b>PROJECT INFORMATION SUMMARY:</b>	
No. OF LOTS = 108	
AREA OF SITE = 15.80 ha	
RP DESCRIPTION	LOT 1 ON RP57746 & LOT 1 ON RP105238
DATUM LEVEL AND LOCATION	GNSS - PIN 9900 RL 27.432 AHD LOCATED AT RP105238
LOCAL AUTHORITY: MORETON BAY REGIONAL COUNCIL	
COUNCIL REFERENCE NUMBER: -	

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH:

- VEGETATION MANAGEMENT PLAN
- LANDSCAPE ARCHITECT'S PLANS
- ELECTRICAL, COMMUNICATIONS AND GAS CONSULTANT'S PLANS
- SAFETY IN DESIGN REPORT

**WARNING! - EXISTING SERVICES**  
EXTREME CARE SHOULD BE TAKEN WHEN EXCAVATING IN THIS AREA. THE FOLLOWING EXISTING SERVICES ARE LIKELY TO BE PRESENT IN THE VICINITY OF THE SITE:

- ELECTRICAL CABLES
- TELECOMMUNICATIONS CABLES
- GAS MAINS
- WATER MAINS
- SEWER MAINS

THE CONTRACTOR SHOULD CONTACT THE SERVICE PROVIDER FOR FURTHER INFORMATION AND SATISFY THEMSELVES OF ANY SPECIFIC TREATMENT OR REQUIREMENTS.

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REV	DATE	DESIGN	DRAWN	REVISION DETAILS	DRAWN	STATUS	 ENQUIRIES@PEAKURBAN.COM.AU	SCALE	CLIENT	PROJECT NAME	DRAWING TITLE			
A	29.10.19	DC	DC	ISSUED FOR CONSTRUCTION	DC	ISSUED FOR CONSTRUCTION		1:2500 50 0 50 100 A1 1:5000	PEET LIMITED	PROPOSED DEVELOPMENT	COVER PLAN			
					DESIGN	APPROVED		ASSOCIATED CONSULTANT		PROJECT No.		DRAWING No.	REVISION	
					DC	RYAN ASHWORTH RPEQ 19674		RPS AUSTRALIA (07) 3539 9500		84 SAMSONVALE ROAD STRATHPINE		18-0214	200	A
					Ryan Ashworth FOR AND ON BEHALF OF PEAKURBAN PTY LTD									

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, PLANT AND EQUIPMENT TO CONSTRUCT THE WORKS AS DOCUMENTED AND STRICTLY IN ACCORDANCE WITH THE RELEVANT AUTHORITY STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
2. THE EXISTING SERVICES THAT ARE SHOWN ON THE DRAWINGS ARE PROVIDED FOR INFORMATION PURPOSES ONLY. NO RESPONSIBILITY IS TAKEN BY THE SUPERINTENDENT OR THE PRINCIPAL FOR INFORMATION THAT HAS BEEN SUPPLIED BY OTHERS, OR ANY EXISTING SERVICES THAT MAY BE PRESENT NOT SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE POSITION OF ANY UNDERGROUND SERVICES WITHIN THE AREAS OF WORKS AND SHALL BE RESPONSIBLE FOR MAKING GOOD ANY DAMAGE THERETO. ANY ALTERATION WORKS TO SERVICES WILL BE CARRIED OUT ONLY BY THE SERVICE OWNER AUTHORITY UNLESS APPROVED OTHERWISE.
3. ALL CONSTRUCTION ACTIVITIES UNDERTAKEN SHALL COMPLY WITH CURRENT WORKPLACE HEALTH AND SAFETY REQUIREMENTS AND LEGISLATION.
4. PRIOR TO COMMENCING WORK, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL RELEVANT LOCAL AUTHORITY PERMITS.
5. THE CONTRACTOR SHALL NOT COMMENCE THE DEMOLITION OF ANY EXISTING BUILDINGS AND/OR STRUCTURES WITHOUT APPROVAL FROM THE SUPERINTENDENT.
6. THE CONTRACTOR SHALL APPLY INDUSTRY BEST PRACTICE SO WORKS SHALL NOT DISTURB OR AFFECT NEARBY RESIDENTS EITHER BY DUST, NOISE, FLOODING OR DISCONNECTION OF SERVICES. CONTRACTOR TO ENSURE THAT ACCESS AND SERVICES TO EXISTING PROPERTIES ARE AVAILABLE AT ALL TIMES.
7. THE CONTRACTOR SHALL VERIFY LEVELS OF EXISTING SERVICE CROSSINGS AND CONNECTION POINTS PRIOR TO COMMENCEMENT OF WORKS AND NOTIFY SUPERINTENDENT OF ANY DISCREPANCIES BETWEEN ACTUAL AND PROPOSED DESIGN LEVELS.
8. THESE ENGINEERING DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE APPROVED VEGETATION MANAGEMENT PLAN, WHERE APPLICABLE. WHEN IN DOUBT, ALL EXISTING TREES ARE TO REMAIN UNLESS DIRECTED OTHERWISE.
9. **HOLD POINT:** ONCE THE BASE OF MANHOLES, INSPECTION PITS, GULLIES AND FIELD INLETS FOR STORMWATER DRAINAGE AND SEWER RETICULATION HAVE BEEN POURED, CONSTRUCTION SHALL ONLY RE-COMMENCE ONCE THE SUPERINTENDENT AND/OR ENGINEER HAVE INSPECTED THE WORKS.
10. THE CONTRACTOR SHALL NOTE DURING THE COURSE OF THE WORKS WHEN JOINT INSPECTIONS WITH THE AUTHORITY AND THE SUPERINTENDENT ARE REQUIRED. THESE INCLUDE PRE-STARTS, SUBGRADES, PRE-SEALS, CLEARING, AND OTHER SUCH INSPECTIONS AS NOMINATED IN THE APPROVAL AND THE SPECIFICATIONS. THE CONTRACTOR SHALL ENSURE NO WORKS PROCEED PAST THE INSPECTION POINT UNTIL THE JOINT INSPECTION HAS BEEN SUCCESSFULLY COMPLETED.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SAFE MOVEMENT OF TRAFFIC AND THE PROTECTION OF PERSON AND PROPERTY THROUGH AND AROUND THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC MANAGEMENT INCLUDING THE DESIGN, CONSTRUCTION, MAINTENANCE AND REMOVAL OF TEMPORARY ROADWAYS, DETOURS, SIGNS, LIGHTS AND BARRIER AS REQUIRED STRICTLY IN ACCORDANCE WITH THE RELEVANT AUTHORITY REQUIREMENTS.

**BULK EARTHWORKS NOTES**

1. NOTWITHSTANDING THE EXTENTS OF CUTTING AND FILLING SHOWN ON DRAWINGS, THE SUPERINTENDENT RESERVES THE RIGHT TO ADJUST THE FINISHED SURFACE LEVELS AND EARTHWORKS EXTENTS THROUGH WRITTEN DIRECTION.
2. THE CONTRACTOR SHALL UNDERTAKE ALL CLEARING USING INDUSTRY BEST PRACTICE INCLUDING CONSIDERATION OF FAUNA RELOCATION.
3. THE CONTRACTOR SHALL UNDERTAKE ALL EARTHWORKS IN ACCORDANCE WITH AS3798-2007 AND LOCAL AUTHORITY REQUIREMENTS. LEVEL 1 SUPERVISION IS REQUIRED.
4. THE CONTRACTOR SHALL CONSIDER LOADS GENERATED BY THE EARTHWORKS OPERATIONS SO AS TO AVOID DAMAGE TO ALL PIPES, SERVICES AND STRUCTURES.
5. THE EARTHWORKS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT'S SEDIMENT AND EROSION CONTROL PLAN, WHERE APPLICABLE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANNING, DESIGN, CERTIFICATION, IMPLEMENTATION AND MAINTENANCE OF AN EROSION AND SEDIMENT CONTROL PLAN THAT IS COMPLIANT WITH THE INTERNATIONAL EROSION CONTROL ASSOCIATION (IECA) GUIDELINE 'BEST PRACTICE EROSION AND SEDIMENT CONTROL' AND RELEVANT COUNCIL POLICIES.
7. THE CONTRACTOR IS RESPONSIBLE FOR ENGAGING THE SERVICES OF AN RPEQ GEOTECHNICAL ENGINEER TO DESIGN / CERTIFY BULK EARTHWORKS FILLING WHERE DEPTHS OF FILL EXCEED THAT COVERED BY AS3798-2007. THE CONTRACTOR IS WHOLLY RESPONSIBLE FOR COORDINATING THEIR WORKS TO OBTAIN THIS CERTIFICATION.
8. THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND CERTIFYING ALL RETAINING WALLS SHOWN ON THE PLAN AND SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY STANDARDS / AUSTRALIAN STANDARDS. THE CONTRACTOR SHALL PROVIDE A FORM 15 & 16 TO COVER ALL WORKS

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					DC	APPROVED RYAN ASHWORTH RPEQ 19674 <i>Ryan Ashworth</i> FOR AND ON BEHALF OF PEAKURBAN PTY LTD		ASSOCIATED CONSULTANT RPS AUSTRALIA (07) 3539 9500	84 SAMSONVALE ROAD STRATHPINE	PROJECT No. <b>18-0214</b> DRAWING No. <b>201</b> REVISION <b>A</b>

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DEVELOPMENT ENGINEERS • ADVISORS

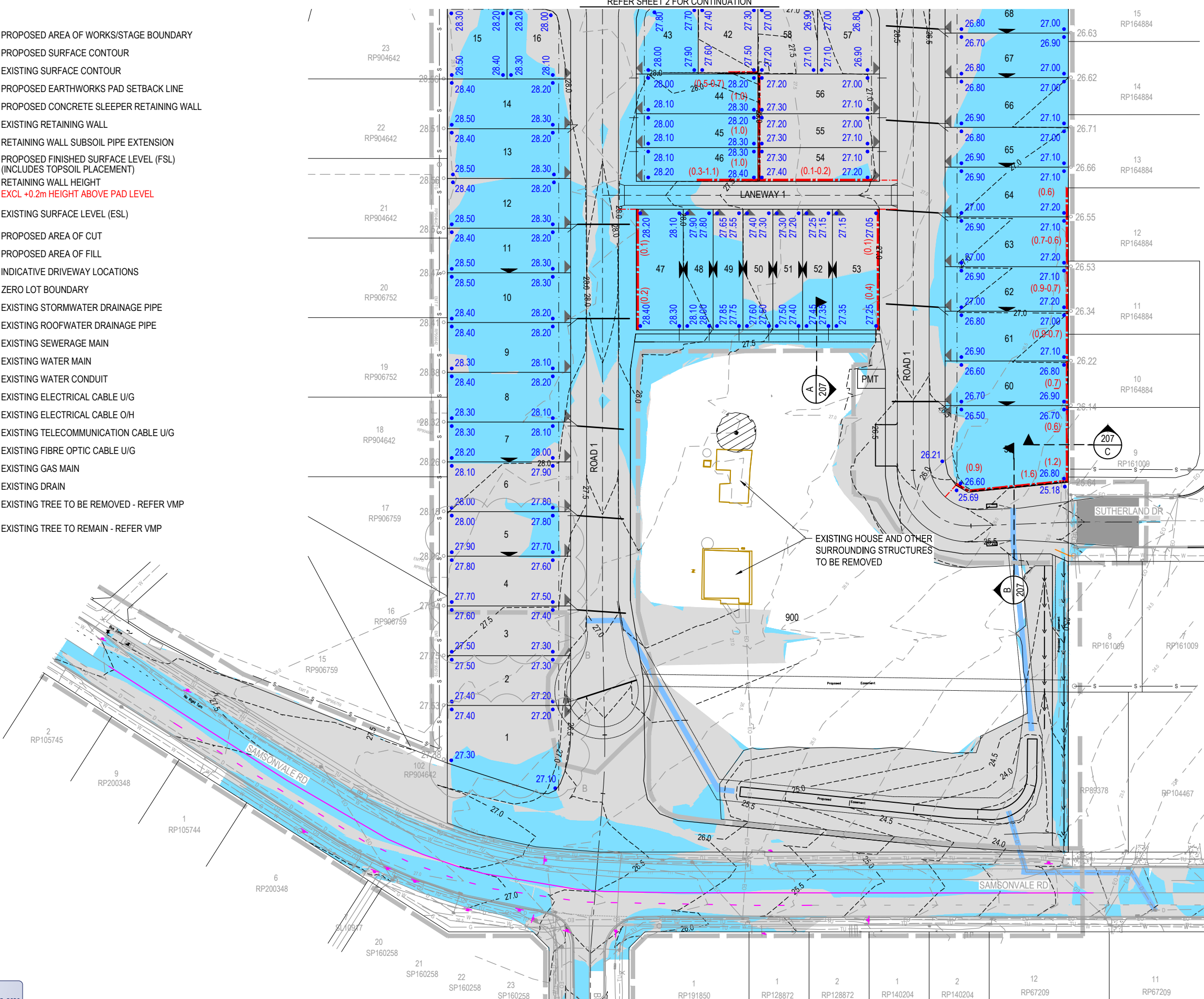
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**LEGEND**

- PROPOSED AREA OF WORKS/STAGE BOUNDARY
- PROPOSED SURFACE CONTOUR
- EXISTING SURFACE CONTOUR
- PROPOSED EARTHWORKS PAD SETBACK LINE
- PROPOSED CONCRETE SLEEPER RETAINING WALL
- EXISTING RETAINING WALL
- RETAINING WALL SUBSOIL PIPE EXTENSION
- 24.60 PROPOSED FINISHED SURFACE LEVEL (FSL) (INCLUDES TOPSOIL PLACEMENT)
- 1.00 RETAINING WALL HEIGHT  
● EXCL +0.2m HEIGHT ABOVE PAD LEVEL
- 24.60 EXISTING SURFACE LEVEL (ESL)
- PROPOSED AREA OF CUT
- PROPOSED AREA OF FILL
- INDICATIVE DRIVEWAY LOCATIONS
- ZERO LOT BOUNDARY
- EXISTING STORMWATER DRAINAGE PIPE
- EXISTING ROOFWATER DRAINAGE PIPE
- EXISTING SEWERAGE MAIN
- EXISTING WATER MAIN
- EXISTING WATER CONDUIT
- EXISTING ELECTRICAL CABLE U/G
- EXISTING ELECTRICAL CABLE O/H
- EXISTING TELECOMMUNICATION CABLE U/G
- EXISTING FIBRE OPTIC CABLE U/G
- EXISTING GAS MAIN
- EXISTING DRAIN
- EXISTING TREE TO BE REMOVED - REFER VMP
- EXISTING TREE TO REMAIN - REFER VMP

REFER SHEET 2 FOR CONTINUATION



**WARNING! - EXISTING SERVICES**

EXTREME CARE SHOULD BE TAKEN WHEN EXCAVATING IN THIS AREA. THE FOLLOWING EXISTING SERVICES ARE LIKELY TO BE PRESENT IN THE VICINITY OF THE SITE:

- ELECTRICAL CABLES
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- GAS MAINS
- WATER MAINS
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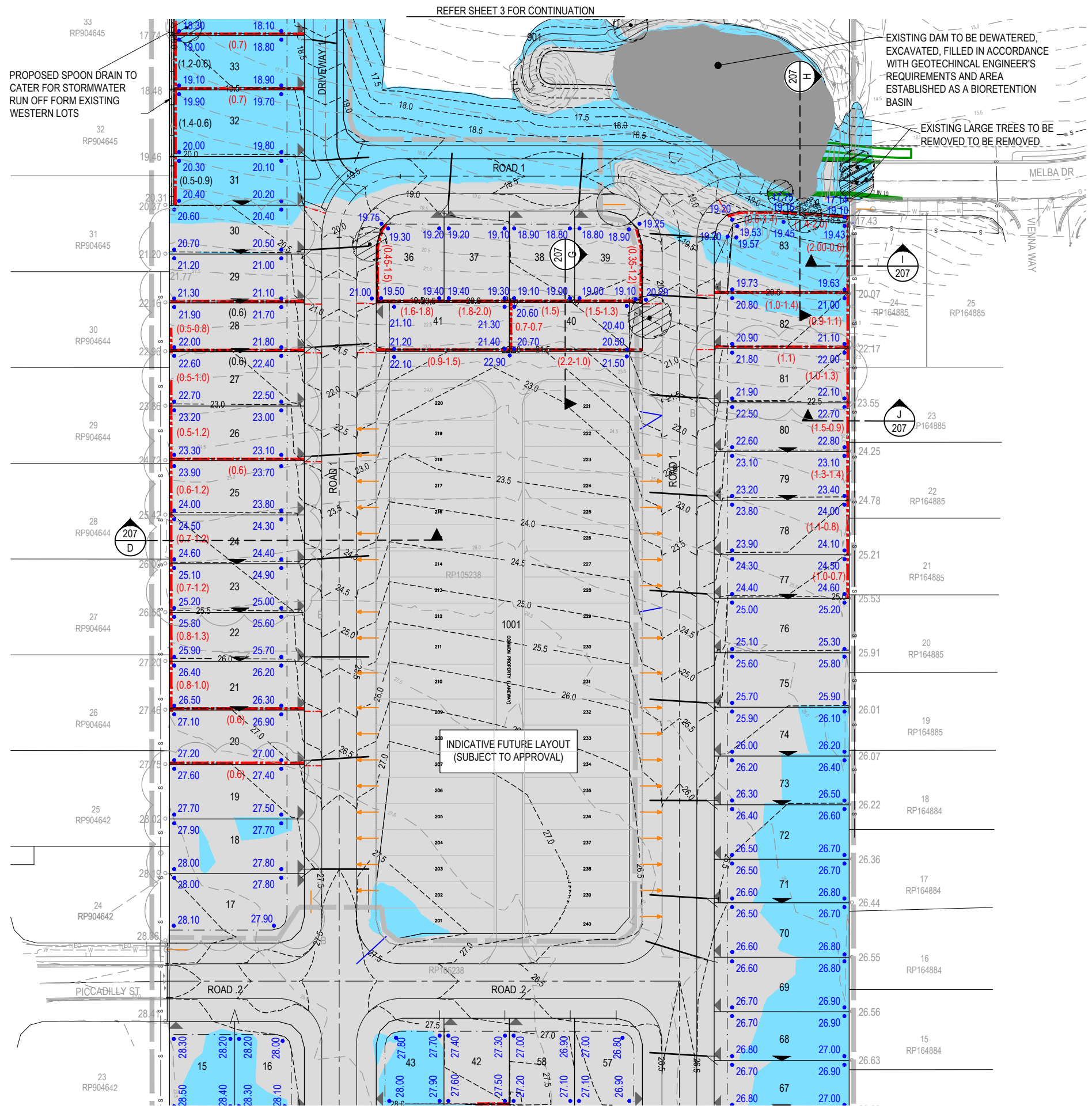
THE CONTRACTOR SHOULD CONTACT THE SERVICE PROVIDER FOR FURTHER INFORMATION AND SATISFY THEMSELVES OF ANY SPECIFIC TREATMENT OR REQUIREMENTS.

**RETAINING WALL NOTES:**

1. ALL RETAINING WALLS ARE TO BE STRUCTURALLY DESIGNED AND CERTIFIED. FORMS 15 AND 16 ARE TO BE PROVIDED.
2. DESIGN OF WALLS TO CONSIDER ALL LOADS (FENCES, DWELLINGS ETC) AND ASSOCIATED IMPACTS FROM ANY ADJACENT SERVICES - FOOTING DEPTHS TO BE EXTENDED AS REQUIRED.
3. GEOTECHNICAL CONDITIONS ARE TO BE CONFIRMED AND APPROPRIATELY CONSIDERED FOR ALL WALLS.
3. REFER LANDSCAPE DRAWINGS FOR FURTHER INFORMATION ON RETAINING WALLS, PARTICULARLY RELATING TO FINISHES.
4. TEMPORARY SAFETY FENCING TO BE INSTALLED BEHIND ALL WALLS 1.0m HIGH AND GREATER.
5. WALLS TO BE DESIGNED TO ACCOMMODATE A SURCHARGE SUITABLE FOR A RESIDENTIAL HOUSE IMMEDIATELY BEHIND THE WALL. REFER TYPICAL DETAIL.

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B	03.02.20	DC	DC	LEVELS AMENDED LOTS 1 & 3-5		DC	DESIGN APPROVED			RPS AUSTRALIA (07) 35399500	84 SAMSONVALE ROAD STRATHPINE	PROJECT No. 18-0214 DRAWING No. 202 REVISION B	
				APPROVED <b>Ryan Ashworth</b> RPEQ 19674 Ryan Ashworth FOR AND ON BEHALF OF PEAKURBAN PTY LTD				<b>PEAKURBAN</b> DEVELOPMENT ENGINEERS • ADVISORS ENQUIRIES@PEAKURBAN.COM.AU					



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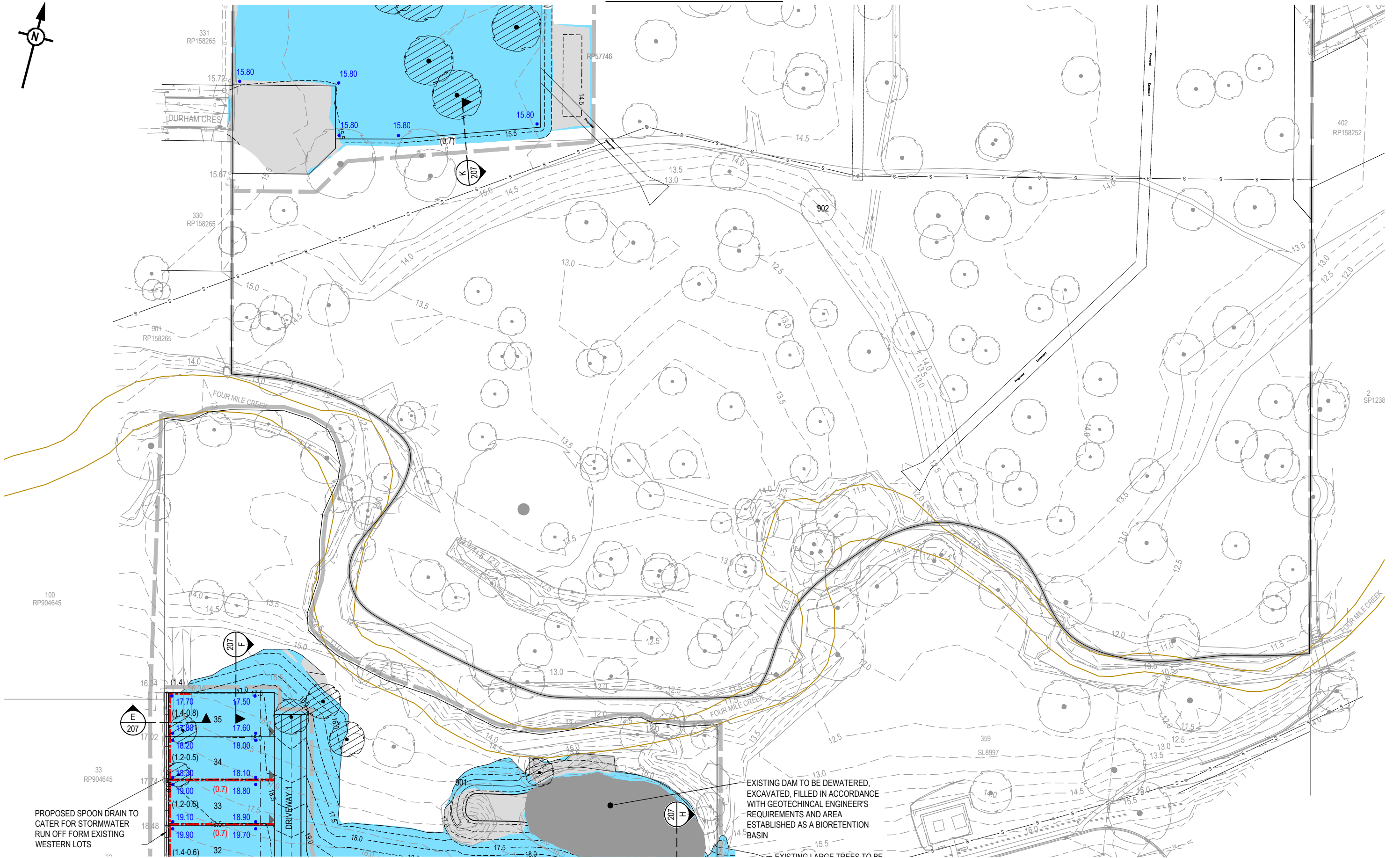
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											DRAWING No. <b>203</b>
											REVISION <b>B</b>

REFER SHEET 4 FOR CONTINUATION

REFER SHEET 2 FOR CONTINUATION



PROPOSED SPOON DRAIN TO CATER FOR STORMWATER RUN OFF FORM EXISTING WESTERN LOTS

EXISTING DAM TO BE DEWATERED, EXCAVATED, FILLED IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S REQUIREMENTS AND AREA ESTABLISHED AS A BIORETENTION BASIN

EXISTING LARGE TREES TO BE

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DESIGN	APPROVED
DC	RYAN ASHWORTH RPEQ 19674
	Ryan Ashworth
	FOR AND ON BEHALF OF PEAKURBAN PTY LTD

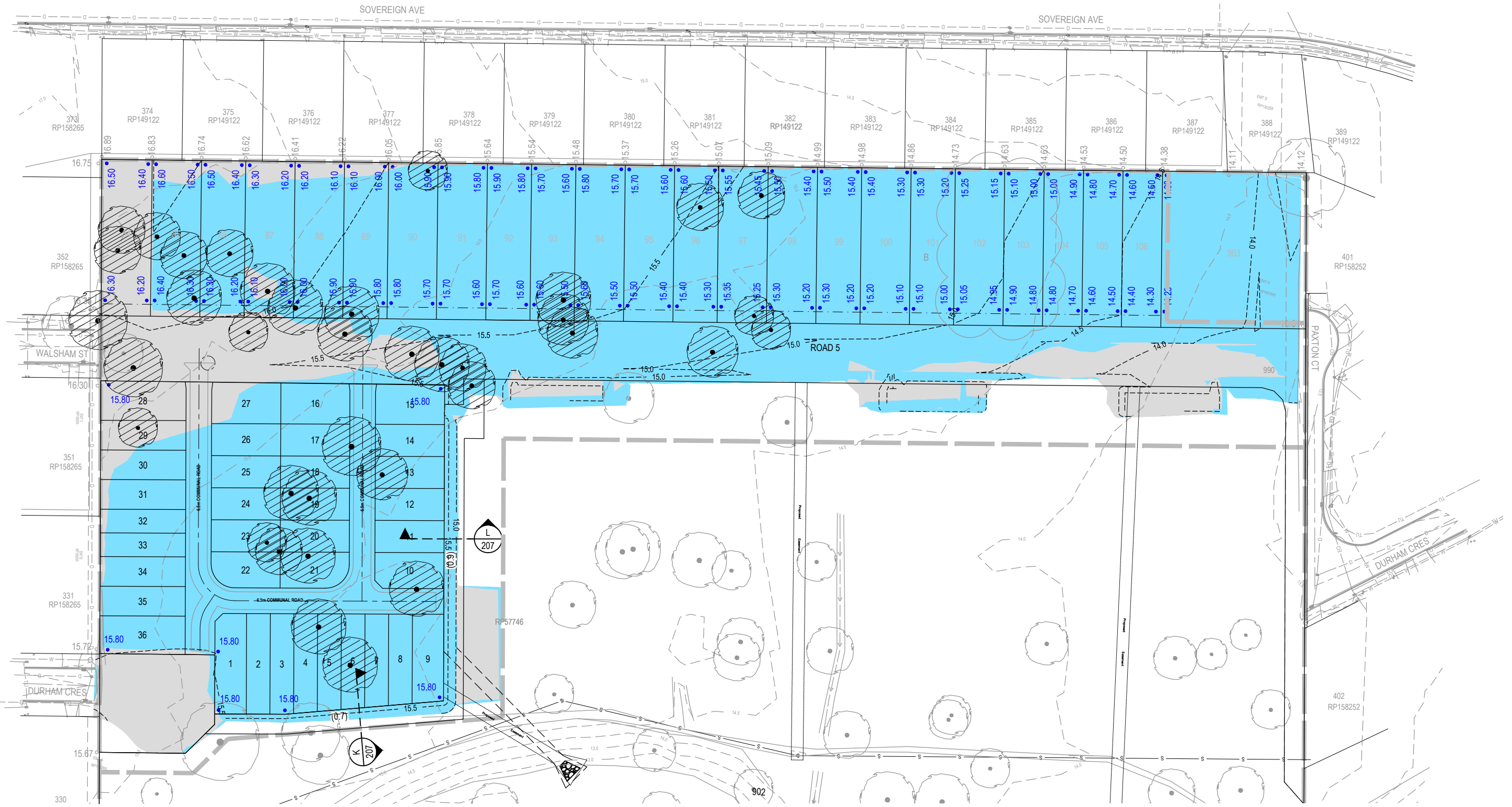
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DEVELOPMENT ENGINEERS • ADVISORS  
ENQUIRIES@PEAKURBAN.COM.AU

SCALE  
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1:1000

CLIENT  
**PEET LIMITED**  
ASSOCIATED CONSULTANT  
RPS AUSTRALIA  
(07) 3539 9500

PROJECT NAME  
**PROPOSED DEVELOPMENT**  
84 SAMSONVALE ROAD  
STRATHPINE

DRAWING TITLE  
**BULK EARTHWORKS LAYOUT PLAN SHEET 3 OF 4**  
PROJECT No. **18-0214**  
DRAWING No. **204**  
REVISION **A**

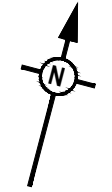
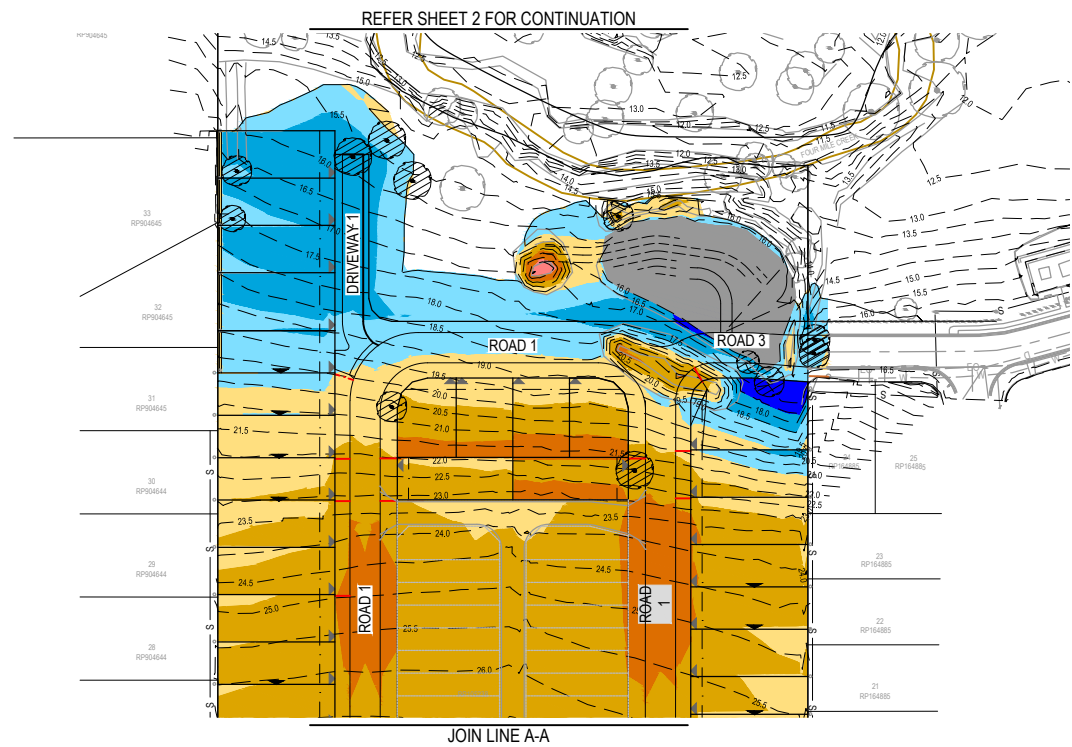


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A	29.10.19	DPC	CL	ISSUED FOR CONSTRUCTION	DC	ISSUED FOR CONSTRUCTION	1:500 10 5 0 10 20 A1 1:1000	PEET LIMITED	Samsonvale Road	BULK EARTHWORKS LAYOUT PLAN SHEET 4 OF 4	
B	03.02.20	DC	DC	LEVELS AMENDED LOTS 103 & 104	DC						
APPROVED RYAN ASHWORTH RPEQ 19674 <i>Ryan Ashworth</i> FOR AND ON BEHALF OF PEAKURBAN PTY LTD							ASSOCIATED CONSULTANT RPS AUSTRALIA (07) 35399500	84 SAMSONVALE ROAD STRATHPINE	PROJECT No. 18-0214	DRAWING No. 205	REVISION B



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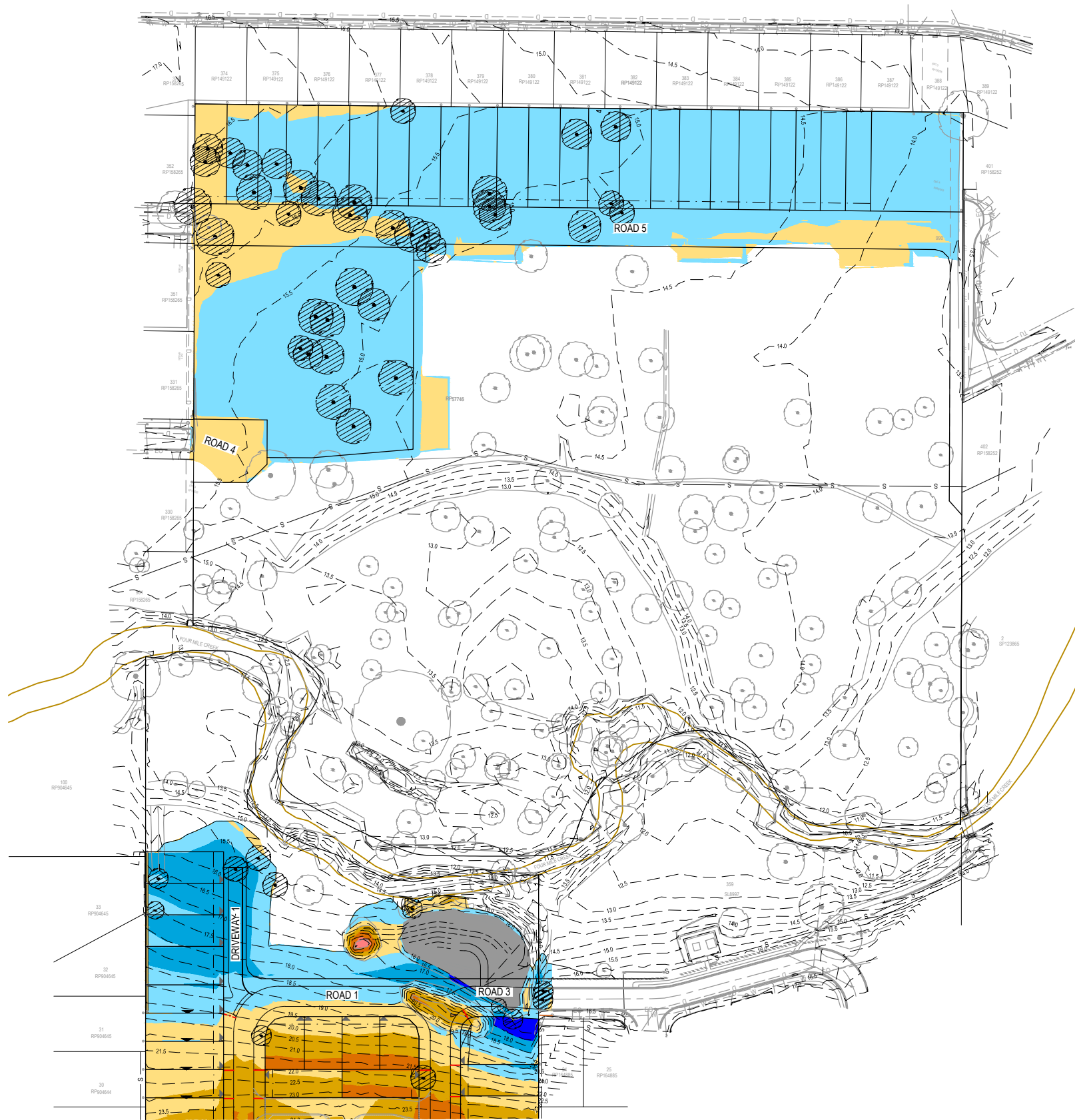


LEGEND	
<span style="display:inline-block; width:15px; height:15px; background-color:red;"></span>	CUT 10.0 - 5.0m
<span style="display:inline-block; width:15px; height:15px; background-color:orange;"></span>	CUT 5.0 - 4.0m
<span style="display:inline-block; width:15px; height:15px; background-color:lightcoral;"></span>	CUT 4.0 - 3.0m
<span style="display:inline-block; width:15px; height:15px; background-color:darkorange;"></span>	CUT 3.0 - 2.0m
<span style="display:inline-block; width:15px; height:15px; background-color:gold;"></span>	CUT 2.0 - 1.0m
<span style="display:inline-block; width:15px; height:15px; background-color:yellow;"></span>	CUT 1.0 - 0m
<span style="display:inline-block; width:15px; height:15px; background-color:lightblue;"></span>	FILL 0 - 1.0m
<span style="display:inline-block; width:15px; height:15px; background-color:blue;"></span>	FILL 1.0 - 2.0m
<span style="display:inline-block; width:15px; height:15px; background-color:darkblue;"></span>	FILL 2.0 - 3.0m
<span style="display:inline-block; width:15px; height:15px; background-color:magenta;"></span>	FILL 3.0 - 4.0m
<span style="display:inline-block; width:15px; height:15px; background-color:purple;"></span>	FILL 4.0 - 5.0m
<span style="display:inline-block; width:15px; height:15px; background-color:darkpurple;"></span>	FILL 5.0 - 10.0m

**RECEIVED**  
By Document Control at 8:57 am, Feb 05, 2020

REV	DATE	DESIGN	DRAWN	REVISION DETAILS	DRAWN	STATUS	SCALE	CLIENT	PROJECT NAME	DRAWING TITLE
A	29.10.19	DPC	CL	ISSUED FOR CONSTRUCTION	DC	ISSUED FOR CONSTRUCTION	1:500 1:1000	PEET LIMITED	PROPOSED DEVELOPMENT	CUT AND FILL DEPTH RANGE LAYOUT PLAN SHEET 1 OF 2
					DC	APPROVED RYAN ASHWORTH RPEQ 19674 <i>Ryan Ashworth</i> FOR AND ON BEHALF OF PEAKURBAN PTY LTD	1:500 10 5 0 10 20 A1 1:1000	ASSOCIATED CONSULTANT RPS AUSTRALIA (07) 3539 9500	84 SAMSONVALE ROAD STRATHPINE	PROJECT No. <b>18-0214</b> DRAWING No. <b>208</b> REVISION <b>A</b>





LEGEND	
[Red]	CUT 10.0 - 5.0m
[Red]	CUT 5.0 - 4.0m
[Pink]	CUT 4.0 - 3.0m
[Orange]	CUT 3.0 - 2.0m
[Yellow]	CUT 2.0 - 1.0m
[Yellow]	CUT 1.0 - 0m
[Light Blue]	FILL 0 - 1.0m
[Blue]	FILL 1.0 - 2.0m
[Dark Blue]	FILL 2.0 - 3.0m
[Purple]	FILL 3.0 - 4.0m
[Purple]	FILL 4.0 - 5.0m
[Purple]	FILL 5.0 - 10.0m

REFER SHEET 1 FOR CONTINUATION

**RECEIVED**  
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REV	DATE	DESIGN	DRAWN	REVISION DETAILS	DRAWN	STATUS	SCALE	CLIENT	PROJECT NAME	DRAWING TITLE
A	29.10.19	DPC	CL	ISSUED FOR CONSTRUCTION	DC	ISSUED FOR CONSTRUCTION	1:500 1:1000	PEET LIMITED	PROPOSED DEVELOPMENT	CUT AND FILL DEPTH RANGE LAYOUT PLAN SHEET 2 OF 2
					DC	APPROVED RYAN ASHWORTH RPEQ 19674 Ryan Ashworth FOR AND ON BEHALF OF PEAKURBAN PTY LTD	10 5 0 10 20 A1 1:1000	ASSOCIATED CONSULTANT RPS AUSTRALIA (07) 3539 9500	84 SAMSONVALE ROAD STRATHPINE	PROJECT No. 18-0214 DRAWING No. 209 REVISION A



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## Appendix 2

# Field Compaction Tests



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Location Tested	Depth Below L	Field Moisture Content	Compaction Ratio
Lot 1 – South Side	Final Level	14.0	98.0
Lot 5 – Front	Final Level	14.3	98.1
Lot 64 – Centre	Final Level	14.2	98.1
Lot 65 – Centre	Final Level	13.8	97.9
Lot 66 – Centre	Final Level	17.3	95.4
Lot 67 – Centre	Final Level	15.4	98.4
Lot 68 – Centre	Final Level	15.2	97.9
Lot 69 – Rear	Final Level	18.0	99.2
Lot 70 – Rear	Final Level	13.9	96.4
Lot 71 – Centre	Final Level	15.4	98.2
Lot 72 – Centre	Final Level	16.4	98.6
Lot 73 – Rear	Final Level	14.3	99.0
Lot 74 – Rear	Final Level	17.1	96.4
Lot 47 – Centre	Final Level	16.2	98.4
Lot 48 – Centre	Final Level	17.4	99.1
Lot 49 – Centre	Final Level	15.6	97.4
Lot 50 – Rear	Final Level	17.6	96.1
Lot 51 – Rear	Final Level	13.8	96.2
Lot 52 – Rear	Final Level	14.3	98.4
Lot 53 – Rear	Final Level	16.2	95.6
Lot 46 – Centre	Final Level	13.9	98.1
Lot 45 – Centre	Final Level	13.6	96.6
Lot 44 – Centre	Final Level	15.4	97.4
Lot 43 – Centre	Final Level	13.1	99.0
Lot 15 / 16 – Centre	Final Level	14.6	96.7
Lot 7 – Centre	Final Level	16.2	98.1
Lot 8 – Centre	Final Level	19.0	96.9
Lot 9 – Centre	Final Level	14.6	97.8
Lot 10 – Centre	Final Level	16.3	95.9
Lot 11 – Centre	Final Level	18.2	98.2
Lot 12 – Centre	Final Level	15.4	99.1
Lot 13 – Centre	Final Level	15.3	98.4
Lot 14 – Centre	Final Level	14.2	96.6
Lot 31 – Centre	Final Level	12.9	98.4
Lot 32 – Centre	Final Level	14.7	99.1
Lot 33 – Centre	1 <sup>st</sup> Lift	13.8	96.6
Lot 34 – Centre	1 <sup>st</sup> Lift	15.4	97.1
Lot 33 – Centre	2 <sup>nd</sup> Lift	16.4	98.6
Lot 34 – Centre	2 <sup>nd</sup> Lift	18.1	99.1
Lot 35 – Centre	2 <sup>nd</sup> Lift	14.3	96.6
Lot 33 – Centre (1000 Series)	Final Level	12.9	98.1
Lot 34 – Centre (1000 Series)	Final Level	14.6	96.6
Existing Dam Backfill – Centre	1 <sup>st</sup> Lift	16.7	96.7
Lot 59	2 <sup>nd</sup> Lift	16.1	95.1
Lot 60	Final Level	17.4	96.2
Lot 61	Final Level	15.4	96.1
Lot 83	1.5m Below FL	14.6	97.9

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Lot 83	1.0m Below FL	14.3	98.8
Lot 82 / 83 – Boundary	0.5m Below FL	13.7	98.0
Lot 62	Final Level	15.4	98.1
Lot 89	Final Level	17.6	99.0
Lot 87 / 86 – Boundary	Final Level	16.4	96.9
Lot 86 / 85 – Boundary	Final Level	18.3	98.1
Old Dam – South West Corner	11 <sup>th</sup> Lift	16.3	98.5
Old Dam – South East Corner	11 <sup>th</sup> Lift	18.4	98.3
Old Dam – South West Side	0.4m Below FL	12.9	98.1
Old Dam – South East Side	0.4m Below FL	15.1	97.4
Old Dam – North West Corner	Final Level	15.1	97.1
Old Dam – North East Corner	Final Level	14.8	96.9
Lot 31 – Centre (1000 Series)	Final Level	14.6	98.1
Lot 32 – Centre (1000 Series)	Final Level	11.9	98.0
Lot 30 – Centre (1000 Series)	Final Level	12.3	96.2
Lot 29 – Centre (1000 Series)	Final Level	16.1	98.0
Lot 35 – Centre (1000 Series)	Final Level	18.6	97.4
Lot 36 – Centre (1000 Series)	Final Level	15.4	96.1
Lot 1 – Centre (1000 Series)	Final Level	18.3	96.4
Lot 2 – Centre (1000 Series)	Final Level	20.4	98.1
Lot 3 – Centre (1000 Series)	Final Level	16.2	98.0
Lot 4 – Centre (1000 Series)	Final Level	14.9	97.4
Lot 5 – Centre (1000 Series)	Final Level	17.2	98.2
Lot 6 – Centre (1000 Series)	Final Level	16.4	99.0
Lot 19 – Centre (1000 Series)	2 <sup>nd</sup> Lift	17.4	96.4
Lot 20 – Centre (1000 Series)	2 <sup>nd</sup> Lift	19.1	98.1
Lot 21 – Centre (1000 Series)	2 <sup>nd</sup> Lift	14.7	97.4
Lot 22 – Centre (1000 Series)	2 <sup>nd</sup> Lift	15.4	96.7
Lot 23 – Centre (1000 Series)	2 <sup>nd</sup> Lift	16.7	98.4
Lot 24 – Centre (1000 Series)	2 <sup>nd</sup> Lift	15.4	97.4
Lot 16 – Centre (1000 Series)	Final Level	17.4	96.6
Lot 26 – Centre (1000 Series)	Final Level	20.0	98.1
Lot 27 – Centre (1000 Series)	Final Level	16.6	98.0
Lot 201 / 202 – Centre	Final Level	16.1	96.4
Lot 18 – Centre	Final Level	12.9	98.0
Lot 82 / 83 – Centre	Final Level	14.3	98.9
Lot 7 – Centre (1000 Series)	Final Level	17.2	99.1
Lot 8 – Centre (1000 Series)	Final Level	17.0	97.4
Lot 9 – Centre (1000 Series)	Final Level	15.6	98.2
Lot 10 – Centre (1000 Series)	Final Level	13.9	96.1
Lot 11 – Centre (1000 Series)	Final Level	15.4	98.4
Lot 12 – Centre (1000 Series)	Final Level	17.6	99.0
Lot 13 – Centre (1000 Series)	Final Level	14.8	98.0
Lot 14 – Centre (1000 Series)	Final Level	17.4	97.1
Lot 15 – Centre (1000 Series)	Final Level	16.1	97.0
Lot 35 / 36 – Centre (1000 Series)	Final Level	16.2	96.6
Lot 25 – Centre (1000 Series)	Final Level	14.2	98.5
Lot 17 / 18 – Centre (1000 Series)	Final Level	14.3	97.9

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Lot 90	1 <sup>st</sup> Lift	11.9	98.4
Lot 91	1 <sup>st</sup> Lift	12.5	96.4
Lot 92	1 <sup>st</sup> Lift	12.8	97.4
Lot 93	1 <sup>st</sup> Lift	8.4	98.4
Lot 94	1 <sup>st</sup> Lift	9.1	96.6
Lot 95	1 <sup>st</sup> Lift	8.9	96.1
Lot 96	1 <sup>st</sup> Lift	10.1	97.7
Lot 903	0.4m Below FL	11.4	98.1
Lot 903	Final Level	13.9	98.2
Lot 106 – Centre	1 <sup>st</sup> Lift	11.6	97.4
Lot 103 – Centre	1 <sup>st</sup> Lift	10.6	97.0
Lot 104 – Centre	1 <sup>st</sup> Lift	10.1	99.1
Lot 105 – Centre	1 <sup>st</sup> Lift	11.6	97.6
Lot 100 – Centre	1 <sup>st</sup> Lift	11.6	95.5
Lot 101 – Centre	1 <sup>st</sup> Lift	10.8	99.0
Lot 102 – Centre	1 <sup>st</sup> Lift	11.8	97.2
Lot 97 – Centre	1 <sup>st</sup> Lift	10.6	98.1
Lot 98 – Centre	1 <sup>st</sup> Lift	10.6	95.9
Lot 99 – Centre	1 <sup>st</sup> Lift	11.2	96.2
Lot 103 – Centre	2 <sup>nd</sup> Lift	10.9	97.4
Lot 100 – Centre	2 <sup>nd</sup> Lift	11.6	97.4
Lot 101 – Centre	2 <sup>nd</sup> Lift	11.2	100.4
Lot 102 – Centre	2 <sup>nd</sup> Lift	12.4	99.6
Intersection – Road 3 / Road 1	1.0m Below FL	13.4	98.1
Intersection – Road 3 / Road 1	0.6m Below FL	14.1	97.4
Intersection – Road 3 / Road 1	0.2m Below FL	14.2	97.1
Lot 35 – North West Corner	Final Level	14.2	96.4
Lot 16	0.4m Below FL	14.6	98.1
Lot 63	0.8m Below FL	15.4	97.4



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## Appendix 3

# Typical Site Conditions

W182/1  
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MATERIALS

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## Typical Site Conditions



## Typical Site Conditions



# Typical Site Conditions





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## Appendix 4

# Site Information

W182/1  
CONSTRUCTION

MATERIALS

06/06/18  
TESTING

# Information

## Important Information about your Report

As a client of Wagner Soil Testing Pty Ltd you should know that site subsurface conditions cause more construction problems than any other factor. These notes have been provided to help you interpret and understand the limitations of your report.

### **Your report is project specific**

Your report has been developed on the basis of your unique project specific requirements as understood by Wagner Soil Testing and applies only to the site investigated. Project criteria typically include the general nature of the project; its size and configuration; the location of any structure on the site; other site improvements; the presence of underground utilities; and the additional risk imposed by scope-of-surface limitations imposed by the client. Your report should not be used if there are any changes to the project without first asking Wagner Soil Testing to assess how factors that changed subsequent to the date of the report affect the report's recommendations. Wagner Soil Testing cannot accept responsibility for problems that may occur due to changed factors if they are not consulted. Our report does not take into account any existing filled ground or any other unforeseen subsurface conditions that may change anticipated site classification.

### **Subsurface conditions can change**

A geotechnical engineering report is based on conditions that existed at the time the study was performed. Do not rely on a geotechnical engineering report whose adequacy may have been affected by: the passage of time; by man-made events, such as construction on or adjacent to the site; or by natural events, such as floods, earthquakes, or groundwater fluctuations. Always contact Wagner Soil Testing before applying the report to determine if it is still reliable. A minor amount of additional testing or analysis could prevent major problems.

### **Interpretation of factual data**

Site assessment identifies actual subsurface conditions only at those points where samples are taken and when they are taken. Data derived from literature and external data source review, sampling and subsequent laboratory testing are interpreted by geologists, engineers or scientists to provide an opinion about overall site conditions, their likely impact on the proposed development and recommended actions. Actual conditions may differ from those inferred to exist, because no professional, no matter how qualified, can reveal what is hidden by earth, rock and time. The actual interface between materials may be far more gradual or abrupt than assumed based on the facts obtained. Nothing can be done to change the actual site conditions which exist, but steps can be taken to reduce the impact of unexpected conditions. For this reason, owners

should retain the services of Wagner Soil Testing through the development stage, to identify variances, conduct additional tests if required, and recommend solutions to problems encountered on site.

### **Your report will only give preliminary recommendations**

Your report is based on the assumption that the site conditions as revealed through selective point sampling are indicative of actual conditions throughout an area. This assumption cannot be substantiated until project implementation has commenced and therefore your report recommendations can only be regarded as preliminary. Only Wagner Soil Testing, who prepared the report, is fully familiar with the background information needed to assess whether or not the report's recommendations are valid and whether or not changes should be considered as the project develops. If another party undertakes the implementation of recommendations of this report there is a risk that the report will be misinterpreted and Wagner Soil Testing cannot be held responsible for such misinterpretation.

### **Your report is prepared for specific purposes and persons**

To avoid misuse of the information contained in your report it is recommended that you confer with Wagner Soil Testing before passing your report on to another party who may not be familiar with the background and purpose of the report. Your report should not be applied to any project other than that originally specified at the time the report was issued.

It is a requirement that the client contacts Wagner Soil Testing Pty Ltd when the exact position of the proposed building is confirmed so we can check if our Boreholes fall in the footing area [our borelogs are only presumed indicative of the whole area until this is confirmed]. In the case of a cracked house investigation more testing may be required to conclude all possible causes of settlement and or movement. Initial drilling and lab testing may only identify some of the causes of the problem. Wagner Soil Testing should be contacted when additional testing is required. It is a company policy that Wagner Soil Testing are contacted if the development (including any portion and/or envelope) is sold and/or changes title as the report is only for the use of our direct client. If the development is sold and/or changes title Wagner Soil Testing must be contacted and subsequently will carry out a comprehensive site inspection – evaluation at no cost to ensure the preliminary report is relevant and no changes whatsoever have been made.

W184/1 06/06/18

CONSTRUCTION

MATERIALS

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