
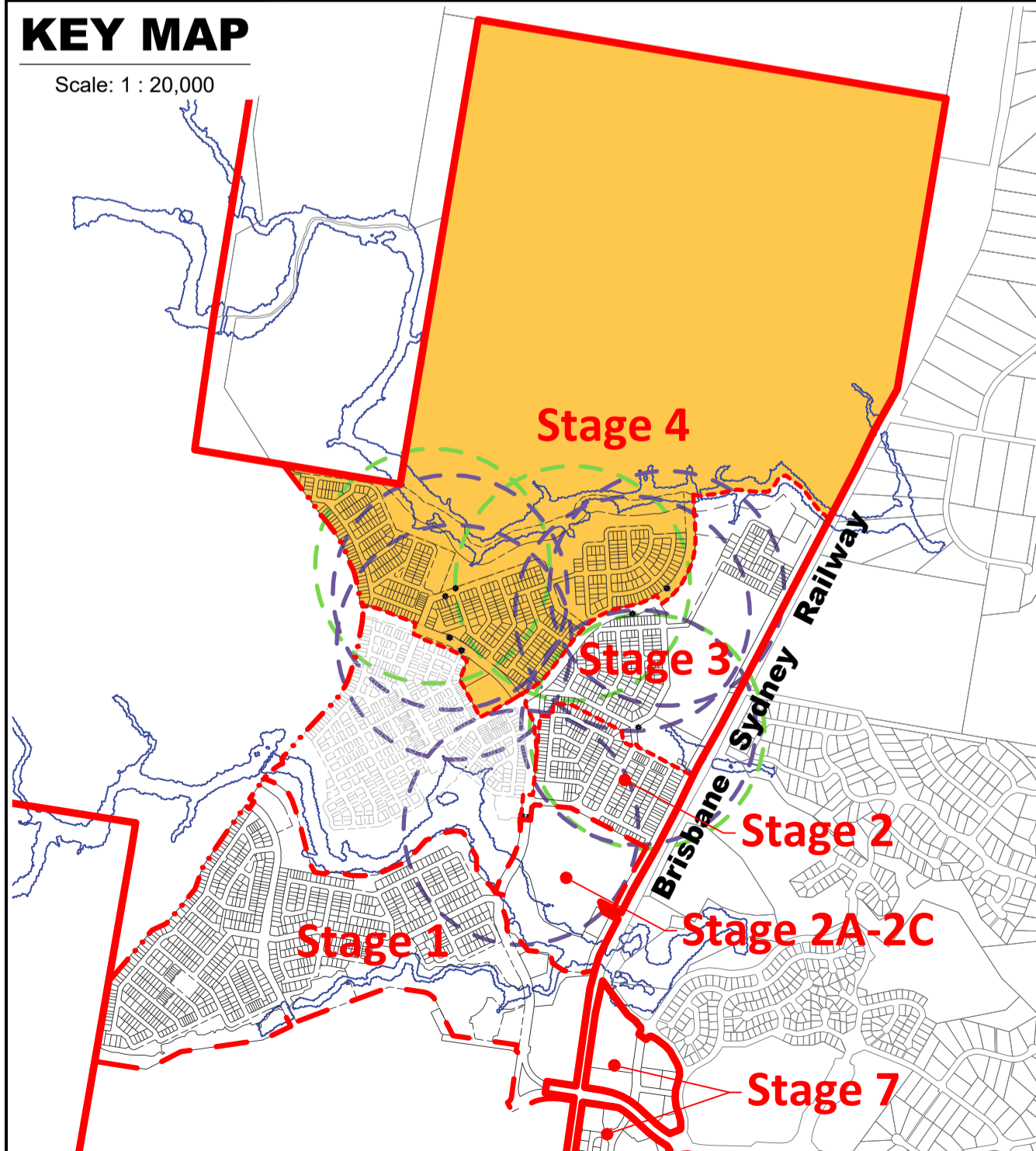


PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/128

Date: 04 April 2024

**TO BE READ IN CONJUNCTION WITH 110056 - 392**

**REVISION**

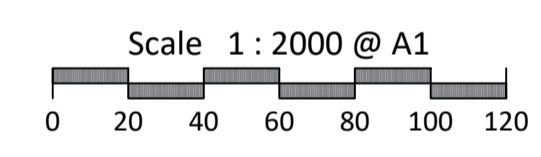
Y:	12/05/2022 Stage 5 Layout Change
Z:	08/06/2022 Entry Statement Lease Areas
AA:	18/06/2022 Temporary STIF Notation
AB:	20/09/2022 Stage 3 & 5 Layout Changes
AC:	14/11/2022 Stage 3 & 5 Boundary Changes
AD:	10/01/2023 Stage 3 & 4 Layout Changes
AE:	24/02/2023 Stage 3 & 5 Layout Changes
AF:	20/03/2023 Stage 3 & 5 Layout Changes
AG:	13/04/2023 Stage 3 & 5 Layout Changes
AH:	25/04/2023 Stage 4 Layout Changes
AI:	08/08/2023 Stage 5 Basin Change
AJ:	12/02/2024 Stage 5R Layout Change

**Note:**  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m<sup>2</sup>.  
The boundaries shown on this plan should not be used for final detailed engineers design.  
Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
**Site boundaries:** Registered Survey Plans / Veris.  
**Adjoining information:** DCDB.  
**Contours:** Bradlees.

**Legend**

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease
- Indicative Indented Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)



CLIENT **PEET**

PROJECT **Flagstone Precinct 1**

Plan of Subdivision  
Stage 4 Overall  
Allotment Layout

Date:	12 February 2024
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1 : 2000
Sheet:	A1
Plan Ref:	110056 - 391
Rev:	AJ

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**Yield Breakdown Stage 4**

Residential Allotments	Typical Size	Typical Area	Overall	
Urban & Nano Allotments Product			—	0.0%
Urban Loft	4.7 x 11.5m	50m <sup>2</sup>	—	0.0%
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	0.0%
Urban Terrace	6.2 x 27.5m	170m <sup>2</sup>	—	0.0%
Subtotal			—	0.0%
16m Deep Product				
Squat Allotment	14 x 16m	220m <sup>2</sup>	4	0.8%
Subtotal			4	0.8%
25m Deep Product				
Villa Allotment	10 x 25m	250m <sup>2</sup>	3	0.6%
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	0.0%
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	27	5.3%
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	6	1.2%
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	0.0%
Possible Multiple Residential Allotment	—	—	—	0.0%
Subtotal			36	6.5%
28m Deep Product				
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	5	1.0%
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	2	0.4%
Subtotal			7	1.4%
30m Deep Product				
Villa Allotment	10 x 30m	300m <sup>2</sup>	91	17.9%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	155	30.5%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	156	30.6%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	55	10.8%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	5	1.0%
Possible Multiple Residential Allotment	—	—	—	0.0%
Subtotal			462	90.8%
<b>Total Residential Allotments</b>			<b>509</b>	<b>99%</b>

**Land Budget Stage 4**

Land Use	Overall	
	Area	%
<b>Area of Subject Site</b>	<b>301.998 ha</b>	<b>100.0%</b>
<b>Saleable Area</b>		
Residential Allotments	22.160 ha	7.3%
Commercial Allotment	1.324 ha	0.4%
Balance Super Allotments	246.810 ha	81.7%
Community Facility	0.500 ha	0.2%
<b>Total Area of Allotments</b>	<b>270.794 ha</b>	<b>89.7%</b>
<b>Road</b>		
Collector Road	4.559 ha	1.5%
Local Road	9.665 ha	3.2%
Linear Connections	0.390 ha	0.1%
Entry Statements	—	0.0%
<b>Total Area of New Road</b>	<b>14.614 ha</b>	<b>4.8%</b>
<b>Open Space</b>		
Corridor Park	14.787 ha	4.9%
Conservation (Within Corridor Park)	6.357 ha	—
District Recreation Park	—	0.0%
Neighbourhood Recreation Park	1.803 ha	0.6%
Local Recreation Park	—	0.0%
Local Linear Recreation Park	—	0.0%
Stormwater Detention	—	0.0%
<b>Total Open Space</b>	<b>16.590 ha</b>	<b>5.5%</b>

Super Lots	Lots
Commercial Allotment	1
Community Facility	1
Balance Super Allotments	4
<b>Sub Total</b>	<b>6</b>
<b>Total Allotments</b>	<b>515</b>
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>	<b>509</b>
<b>Maximum Potential Net Residential Density</b>	<b>15.0 dw/ha</b>

### Yield Breakdown Stage 4

Residential Allotments	Typical Size	Typical Area	Stage 4A	Stage 4B	Stage 4C	Stage 4D	Stage 4E	Stage 4F	Stage 4G	Stage 4H	Stage 4I	Stage 4J	Stage 4K	Stage 4L	Stage 4M	Stage 4N	Stage 4O	Stage 4P	Stage 4Q	Overall	
<b>Urban &amp; Nano Allotments Product</b>																					
Urban Loft	4.7 x 11.5m	50m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
<b>16m Deep Product</b>																					
Squat Allotment	14 x 16m	220m²	—	—	4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4	0.8%
<b>Subtotal</b>			—	—	4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4	0.8%
<b>25m Deep Product</b>																					
Villa Allotment	10 x 25m	250m²	—	—	—	—	—	—	—	—	—	3	—	—	—	—	—	—	—	3	0.6%
Premium Villa Allotment	12.5 x 25m	313m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m²	6	2	2	—	—	—	—	—	—	8	6	3	—	—	—	—	—	27	5.3%
Premium Courtyard Allotment	16 x 25m	400m²	—	—	—	—	—	—	—	1	—	3	1	1	—	—	—	—	—	6	1.2%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			6	2	2	—	—	—	—	1	—	14	7	4	—	—	—	—	—	36	6.5%
<b>28m Deep Product</b>																					
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	—	—	—	—	—	5	—	—	—	—	—	—	—	—	5	1.0%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	—	—	—	—	—	2	—	—	—	—	—	—	—	—	2	0.4%
<b>Subtotal</b>			—	—	—	—	—	—	—	—	7	—	—	—	—	—	—	—	—	7	1.4%
<b>30m Deep Product</b>																					
Villa Allotment	10 x 30m	300m²	—	6	9	11	—	—	4	2	15	13	14	11	—	—	—	—	—	85	16.7%
Premium Villa Allotment	12.5 x 30m	375m²	18	18	13	13	—	5	8	13	20	19	15	11	—	—	—	—	—	153	30.1%
Courtyard Allotment	14 x 30m	420m²	17	14	19	18	—	18	8	24	14	8	11	6	—	—	—	—	—	157	30.8%
Traditional Allotment	20 x 30m	600m²	4	4	6	10	—	11	7	10	2	—	2	3	—	—	—	—	—	59	11.6%
Premium Traditional Allotment	25 x 30m	720m²	2	—	—	2	—	1	—	—	—	—	—	—	—	—	—	—	—	5	1.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			41	42	47	57	—	35	27	49	51	40	42	31	—	—	—	—	—	462	90.2%
<b>Total Residential Allotments</b>			47	44	53	57	—	35	27	50	58	54	49	35	—	—	—	—	—	509	99%
<b>Residential Net Density</b>			16.9 dw/ha	18.1 dw/ha	17.8 dw/ha	16.3 dw/ha	—	11.1 dw/ha	13.3 dw/ha	14.6 dw/ha	17.6 dw/ha	17.6 dw/ha	16.6 dw/ha	14.5 dw/ha	—	—	—	—	—	—	15.0 dw/ha
<b>Super Lots</b>			Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots
Commercial Allotment			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	1
Community Facility			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	1
Balance Super Allotments			—	—	—	1	1	—	—	—	—	—	—	1	—	—	—	—	—	1	4
<b>Sub Total</b>			—	—	—	1	1	—	—	—	—	—	—	1	—	—	—	—	2	1	6
<b>Total Allotments</b>			47	44	53	58	1	35	27	50	58	54	49	36	—	—	—	—	2	1	515
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>			47	44	53	57	—	35	27	50	58	54	49	35	—	—	—	—	—	—	509
<b>Maximum Potential Net Residential Density</b>			16.9 dw/ha	18.1 dw/ha	17.8 dw/ha	16.3 dw/ha	—	11.1 dw/ha	13.3 dw/ha	14.6 dw/ha	17.6 dw/ha	17.6 dw/ha	16.6 dw/ha	14.5 dw/ha	—	—	—	—	—	—	15.0 dw/ha

**PLANS AND DOCUMENTS** referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/128  
Date: 04 April 2024



Land Use	Stage 4A	Stage 4B	Stage 4C	Stage 4D	Stage 4E	Stage 4F	Stage 4G	Stage 4H	Stage 4I	Stage 4J	Stage 4K	Stage 4L	Stage 4M	Stage 4N	Stage 4Oi	Stage 4Oii	Stage 4Oiii	Stage 4P	Stage 4Q	Overall		
	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%
<b>Area of Subject Site</b>	3.296 ha	2.430 ha	3.583 ha	4.414 ha	1.711 ha	3.163 ha	2.034 ha	3.418 ha	3.296 ha	3.071 ha	2.955 ha	2.469 ha	0.889 ha	0.914 ha	8.867 ha	6.357 ha	0.864 ha	1.824 ha	246.443 ha	301.998 ha	100.0%	
<b>Saleable Area</b>																						
Residential Allotments	2.097 ha	1.816 ha	2.221 ha	2.480 ha	—	1.797 ha	1.410 ha	2.446 ha	2.222 ha	2.072 ha	2.003 ha	1.596 ha	—	—	—	—	—	—	—	22.160 ha	7.3%	
Commercial Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1.324 ha	—	1.324 ha	0.4%	
Balance Super Allotments	—	—	—	0.201 ha	0.119 ha	—	—	—	—	—	—	0.047 ha	—	—	—	—	—	—	—	246.443 ha	246.810 ha	81.7%
Community Facility	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.500 ha	—	0.500 ha	0.2%	
<b>Total Area of Allotments</b>	2.097 ha	1.816 ha	2.221 ha	2.681 ha	0.119 ha	1.797 ha	1.410 ha	2.446 ha	2.222 ha	2.072 ha	2.003 ha	1.643 ha	—	—	—	—	—	1.824 ha	246.443 ha	270.794 ha	89.7%	
<b>Road</b>																						
Collector Road	0.512 ha	—	0.600 ha	0.718 ha	1.428 ha	—	—	—	—	—	—	—	—	—	0.437 ha	—	0.864 ha	—	—	4.559 ha	1.5%	
Local Road	0.687 ha	0.614 ha	0.762 ha	0.970 ha	—	1.366 ha	0.557 ha	0.972 ha	0.996 ha	0.999 ha	0.916 ha	0.826 ha	—	—	—	—	—	—	—	9.665 ha	3.2%	
Linear Connections	—	—	—	0.045 ha	0.164 ha	—	0.067 ha	—	0.078 ha	—	0.036 ha	—	—	—	—	—	—	—	—	0.390 ha	0.1%	
Entry Statements	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
<b>Total Area of New Road</b>	1.199 ha	0.614 ha	1.362 ha	1.733 ha	1.592 ha	1.366 ha	0.624 ha	0.972 ha	1.074 ha	0.999 ha	0.952 ha	0.826 ha	—	—	0.437 ha	—	0.864 ha	—	—	14.614 ha	4.8%	
<b>Open Space</b>																						
Corridor Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	8.430 ha	6.357 ha	—	—	—	14.787 ha	4.9%	
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	6.357 ha	—	—	—	6.357 ha	—	
District Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	0.889 ha	0.914 ha	—	—	—	—	1.803 ha	0.6%	
Local Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Stormwater Detention	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
<b>Total Open Space</b>	—	—	—	—	—	—	—	—	—	—	—	—	0.889 ha	0.914 ha	8.430 ha	6.357 ha	—	—	—	16.590 ha	5.5%	

CLIENT  
**PEET**

PROJECT  
**Flagstone Precinct 1**

Plan of Subdivision Stage 4 Overall Statistics

Date: 12 February 2024

Comp By: NF

Checked By: MD

DWG Name: Precinct 1 Stage 4

Job Ref: 110056

Local Authority: Economic Development Queensland

Locality: Flagstone

Scale: NTS Sheet: A1

Plan Ref: 110056 - 392 Rev: AJ

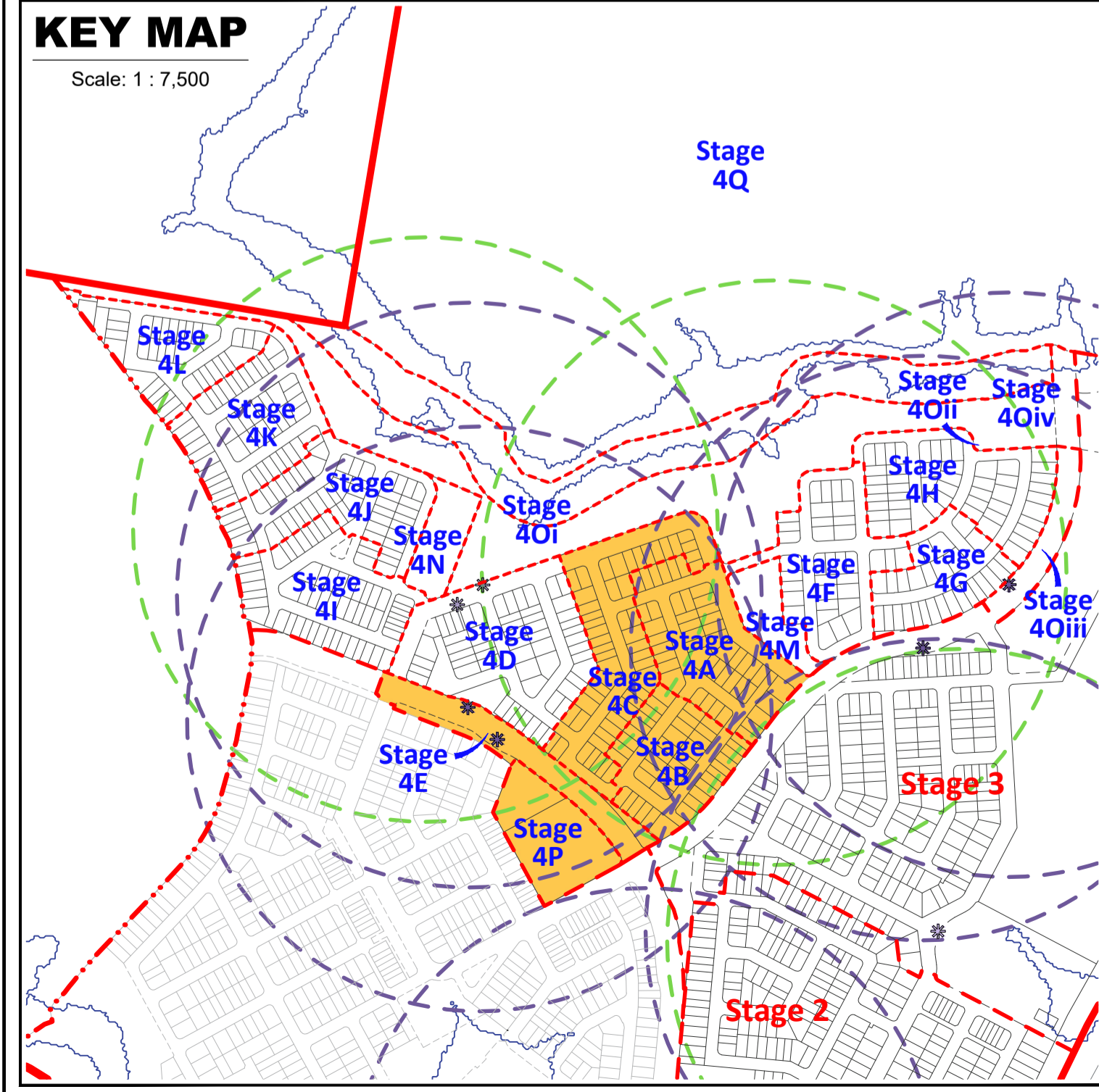
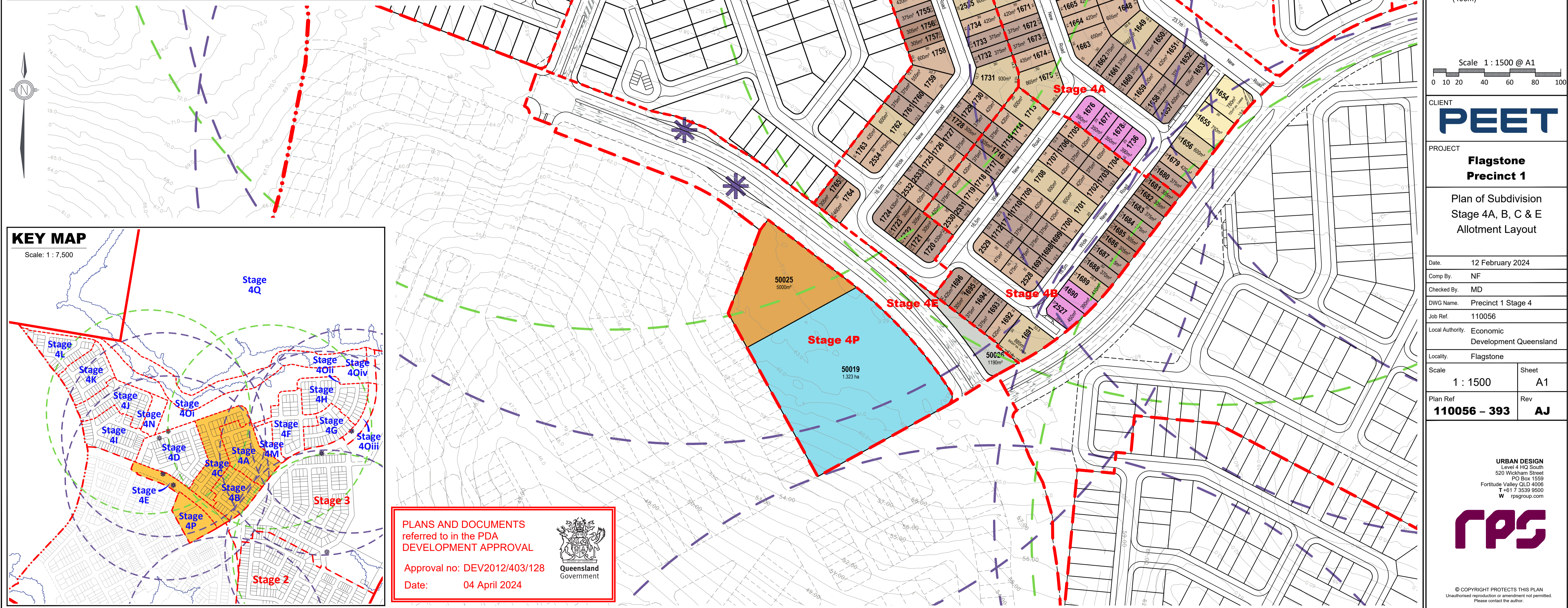
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Yield Breakdown Stage 4								
Residential Allotments	Typical Size	Typical Area	Stage	Stage	Stage	Stage	Stage	Overall
			4A	4B	4C	4E	4P	
<b>Urban &amp; Nano Allotments Product</b>								
Urban Loft	4.7 x 11.5m	50m <sup>2</sup>	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m <sup>2</sup>	—	—	—	—	—	0.0%
<b>Subtotal</b>								<b>0.0%</b>
<b>16m Deep Product</b>								
Squat Allotment	14 x 16m	220m <sup>2</sup>	—	—	4	—	—	2.8%
<b>Subtotal</b>					<b>4</b>			<b>2.8%</b>
<b>25m Deep Product</b>								
Villa Allotment	10 x 25m	250m <sup>2</sup>	—	—	—	—	—	0.0%
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	6	2	2	—	—	6.9%
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	—	—	—	—	—	0.0%
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			<b>6</b>	<b>2</b>	<b>2</b>			<b>6.9%</b>
<b>28m Deep Product</b>								
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	—	—	—	—	0.0%
<b>Subtotal</b>								<b>0.0%</b>
<b>30m Deep Product</b>								
Villa Allotment	10 x 30m	300m <sup>2</sup>	—	6	9	—	—	15.0%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	18	18	13	—	—	34.0%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	17	14	19	—	—	34.7%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	4	4	6	—	—	9.7%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	2	—	—	—	—	1.4%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			<b>41</b>	<b>42</b>	<b>47</b>			<b>90.3%</b>
<b>Total Residential Allotments</b>			<b>47</b>	<b>44</b>	<b>53</b>			<b>100%</b>
<b>Residential Net Density</b>			<b>16.9 dw/ha</b>	<b>18.1 dw/ha</b>	<b>17.8 dw/ha</b>			
<b>Super Lots</b>			<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	<b>Lots</b>
Commercial Allotment	—	—	—	—	—	1	—	1
Community Facility	—	—	—	—	—	—	1	1
Balance Super Allotments	—	—	—	—	—	1	—	1
<b>Sub Total</b>						<b>1</b>	<b>2</b>	<b>3</b>
<b>Total Allotments</b>			<b>47</b>	<b>44</b>	<b>53</b>	<b>1</b>	<b>2</b>	<b>147</b>
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>			<b>47</b>	<b>44</b>	<b>53</b>			<b>144</b>


Land Budget Stage 4						
Land Use	Stage 4A	Stage 4B	Stage 4C	Stage 4E	Stage 4P	Overall
Area of Subject Site	3.296 ha	2.430 ha	3.583 ha	1.711 ha	1.824 ha	11.020 ha
<b>Saleable Area</b>						
Residential Allotments	2.097 ha	1.816 ha	2.221 ha	—	—	6.134 ha
Commercial Allotment	—	—	—	—	1.324 ha	1.324 ha
Balance Super Allotments	—	—	—	0.119 ha	—	0.119 ha
Community Facility	—	—	—	—	0.500 ha	0.500 ha
<b>Total Area of Allotments</b>	<b>2.097 ha</b>	<b>1.816 ha</b>	<b>2.221 ha</b>	<b>0.119 ha</b>	<b>1.324 ha</b>	<b>7.577 ha</b>
<b>Road</b>						
Collector Road	0.512 ha	—	0.600 ha	1.428 ha	—	2.540 ha
Local Road	0.687 ha	0.614 ha	0.762 ha	—	—	2.063 ha
Linear Connections	—	—	—	0.164 ha	—	0.164 ha
Entry Statements	—	—	—	—	—	—
<b>Total Area of New Road</b>	<b>1.199 ha</b>	<b>0.614 ha</b>	<b>1.362 ha</b>	<b>1.592 ha</b>	<b>—</b>	<b>4.767 ha</b>
<b>Open Space</b>						
Corridor Park	—	—	—	—	—	—
Conservation (Within Corridor Park)	—	—	—	—	—	—
District Recreation Park	—	—	—	—	—	—
Neighbourhood Recreation Park	—	—	—	—	—	—
Local Recreation Park	—	—	—	—	—	—
Local Linear Recreation Park	—	—	—	—	—	—
Stormwater Detention	—	—	—	—	—	—
<b>Total Open Space</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>0.0%</b>



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/128

Date: 04 April 2024

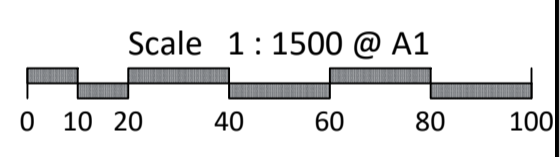


**REVISION**

Y: 12/05/2022 Stage 5 Layout Change  
 Z: 08/06/2022 Entry Statement Lease Areas  
 AA: 18/06/2022 Temporary STIF Notation  
 AB: 20/09/2022 Stage 3 & 5 Boundary Changes  
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 Road linemarkings and turn slots are indicative only and subject to detailed design.  
**Source Information:**  
 Site boundaries: Registered Survey Plans / Veris  
 Adjoining information: DCDB.  
 Contours: Bradlees.

- Legend**
- Site Boundary
  - - - Proposed Stage Boundary
  - - - Proposed Sub Stage Boundary
  - Existing Q100
  - ⊙ Possible Multiple Residential Allotment (Max. no. of dwellings)
  - Entry Statements - Lease
  - ⊙ Indicative Indented Bus Stop Location
  - ⊙ Indicative Temporary In-Line Bus Stop Location
  - Bus Stop Catchment (400m)
  - Neighbourhood Park Catchment (400m)




CLIENT  
**PEET**

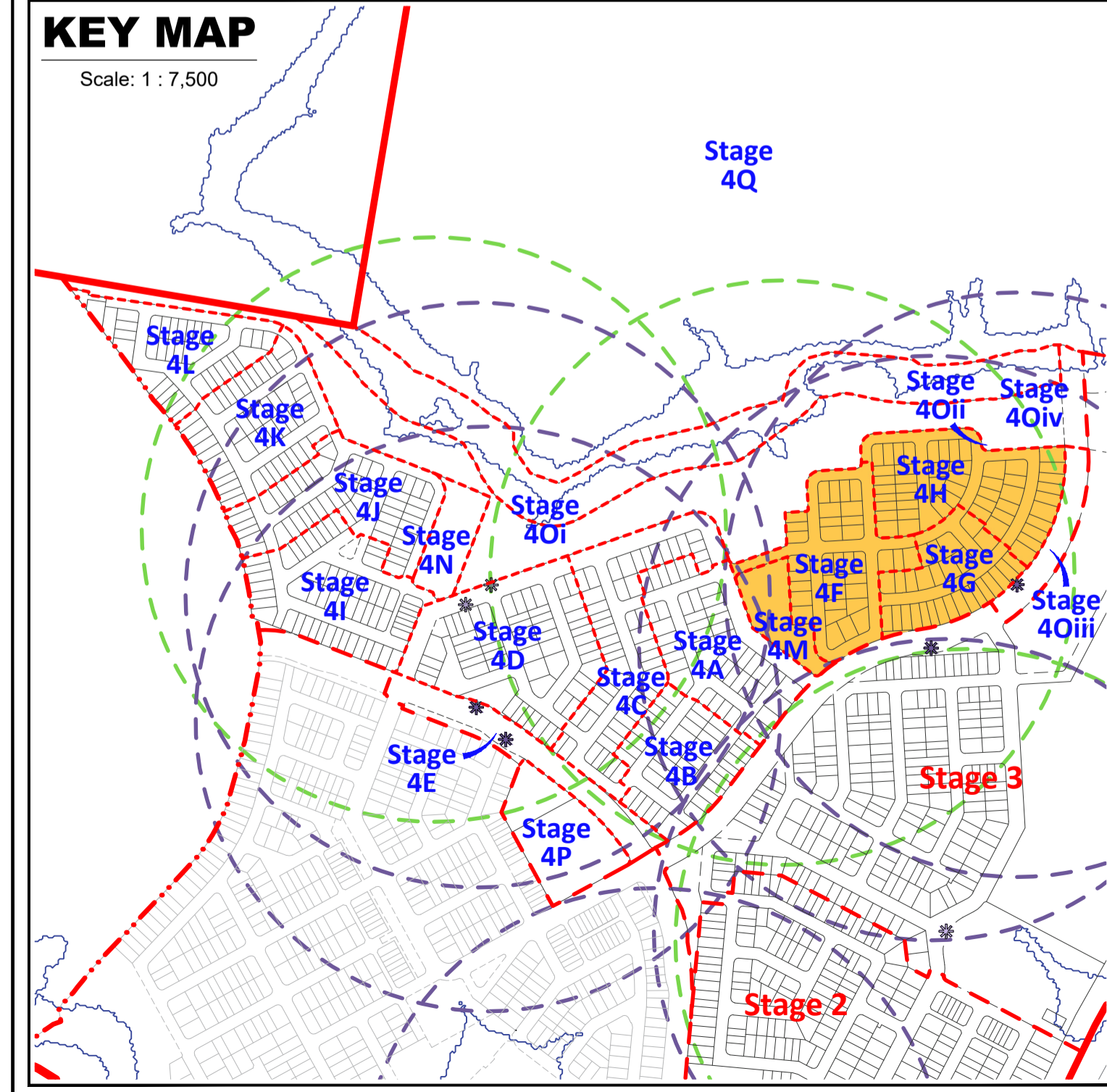
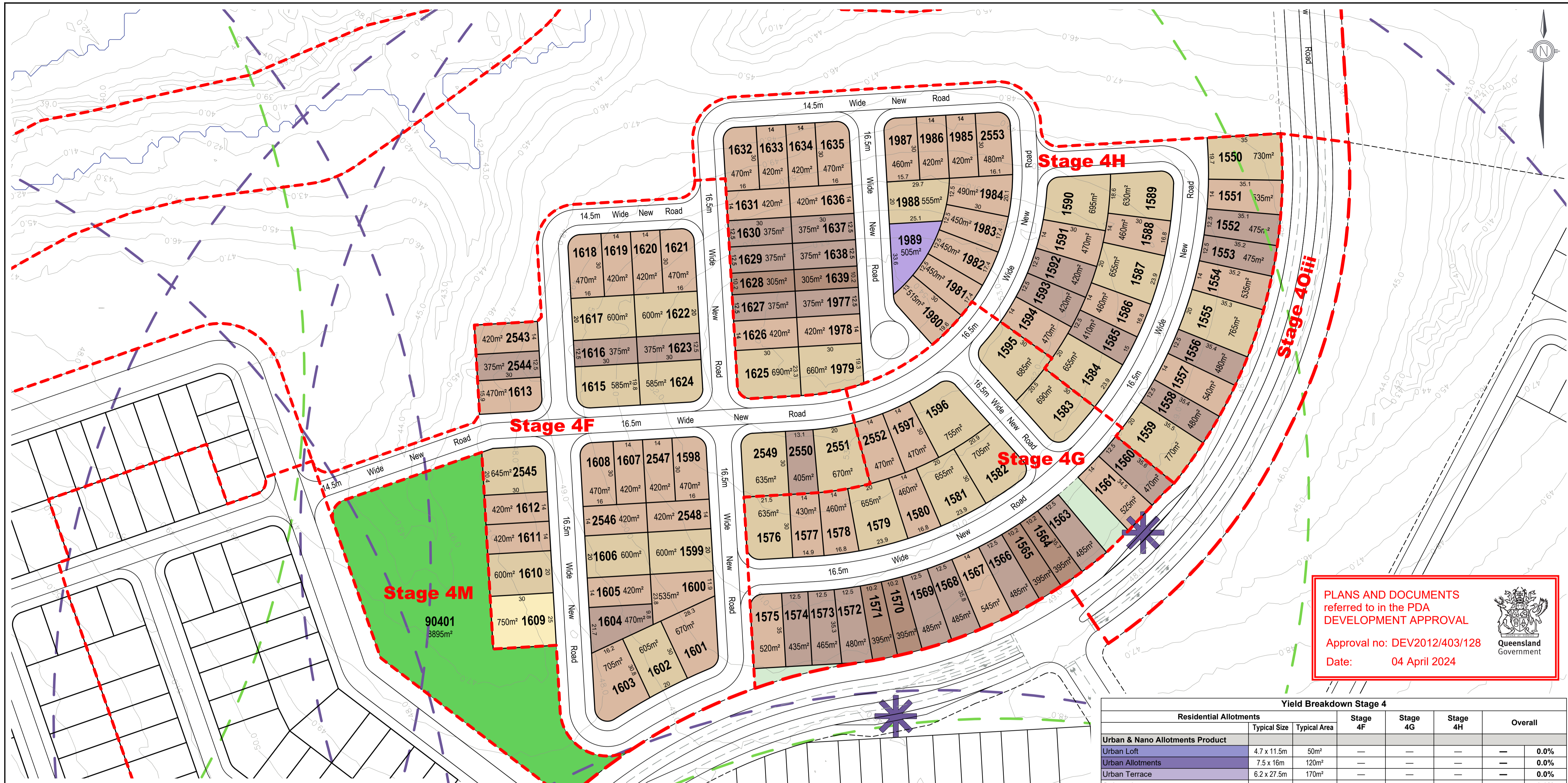
PROJECT  
**Flagstone Precinct 1**  
 Plan of Subdivision  
 Stage 4A, B, C & E  
 Allotment Layout

Date: 12 February 2024  
 Comp By: NF  
 Checked By: MD  
 DWG Name: Precinct 1 Stage 4  
 Job Ref: 110056  
 Local Authority: Economic Development Queensland  
 Locality: Flagstone  
 Scale: 1 : 1500  
 Sheet: A1  
 Plan Ref: 110056 - 393  
 Rev: AJ

URBAN DESIGN  
 Level 4 HQ South  
 520 Wickham Street  
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Scale: 1 : 7,500

Land Use	Stage 4				Overall	
	Area	Area	Area	Area	Area	%
<b>Area of Subject Site</b>	<b>3.163 ha</b>	<b>2.034 ha</b>	<b>3.418 ha</b>	<b>0.889 ha</b>	<b>9.504 ha</b>	<b>100.0%</b>
<b>Saleable Area</b>						
Residential Allotments	1.797 ha	1.410 ha	2.446 ha	—	5.653 ha	59.5%
Commercial Allotment	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	0.0%
Community Facility	—	—	—	—	—	0.0%
<b>Total Area of Allotments</b>	<b>1.797 ha</b>	<b>1.410 ha</b>	<b>2.446 ha</b>	<b>—</b>	<b>5.653 ha</b>	<b>59.5%</b>
<b>Road</b>						
Collector Road	—	—	—	—	—	0.0%
Local Road	1.366 ha	0.557 ha	0.972 ha	—	2.895 ha	30.5%
Linear Connections	—	0.067 ha	—	—	0.067 ha	0.7%
Entry Statements	—	—	—	—	—	0.0%
<b>Total Area of New Road</b>	<b>1.366 ha</b>	<b>0.624 ha</b>	<b>0.972 ha</b>	<b>—</b>	<b>2.962 ha</b>	<b>31.2%</b>
<b>Open Space</b>						
Corridor Park	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.889 ha	0.889 ha	9.4%
Local Recreation Park	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	0.0%
<b>Total Open Space</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>0.889 ha</b>	<b>0.889 ha</b>	<b>9.4%</b>

Yield Breakdown Stage 4							
Residential Allotments	Typical Size	Typical Area	Stage 4F	Stage 4G	Stage 4H	Overall	
<b>Urban &amp; Nano Allotments Product</b>							
Urban Loft	4.7 x 11.5m	50m <sup>2</sup>	—	—	—	0.0%	
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	—	0.0%	
Urban Terrace	6.2 x 27.5m	170m <sup>2</sup>	—	—	—	0.0%	
<b>Subtotal</b>						<b>0.0%</b>	
<b>16m Deep Product</b>							
Squat Allotment	14 x 16m	220m <sup>2</sup>	—	—	—	0.0%	
<b>Subtotal</b>						<b>0.0%</b>	
<b>25m Deep Product</b>							
Villa Allotment	10 x 25m	250m <sup>2</sup>	—	—	—	0.0%	
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—	—	0.0%	
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	—	—	—	0.0%	
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	—	—	1	0.9%	
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	—	0.0%	
<b>Subtotal</b>					<b>1</b>	<b>0.9%</b>	
<b>28m Deep Product</b>							
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	—	—	0.0%	
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	—	—	0.0%	
<b>Subtotal</b>						<b>0.0%</b>	
<b>30m Deep Product</b>							
Villa Allotment	10 x 30m	300m <sup>2</sup>	—	4	2	6	5.4%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	5	8	13	26	23.2%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	18	8	24	50	44.6%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	11	7	10	28	25.0%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	1	—	—	1	0.9%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			<b>35</b>	<b>27</b>	<b>49</b>	<b>111</b>	<b>99.1%</b>
<b>Total Residential Allotments</b>			<b>35</b>	<b>27</b>	<b>50</b>	<b>112</b>	<b>100%</b>
<b>Residential Net Density</b>			<b>11.1 dw/ha</b>	<b>13.3 dw/ha</b>	<b>14.6 dw/ha</b>		
<b>Super Lots</b>			<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	
Commercial Allotment	—	—	—	—	—	—	—
Community Facility	—	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	—	—
<b>Sub Total</b>							
<b>Total Allotments</b>			<b>35</b>	<b>27</b>	<b>50</b>	<b>112</b>	
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>			<b>35</b>	<b>27</b>	<b>50</b>	<b>112</b>	

**PLANS AND DOCUMENTS**  
referred to in the PDA  
**DEVELOPMENT APPROVAL**

Approval no: DEV2012/403/128  
Date: 04 April 2024

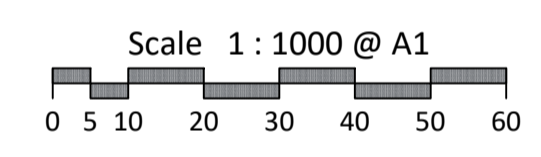


- REVISION**
- Z: 12/05/2022 Stage 5 Layout Change
  - AA: 16/06/2022 Temporary STIF Notation
  - AB: 20/09/2022 Stage 3 & 5 Layout Changes
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  - AD: 10/01/2023 Stage 3 & 4 Layout Changes
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**Source Information:**  
Site boundaries: Registered Survey Plans / Veris  
Adjoining information: DCDB.  
Contours: Bradlees.

- Legend**
- Site Boundary
  - Proposed Stage Boundary
  - - - Proposed Sub Stage Boundary
  - Existing Q100
  - ⊙ Possible Multiple Residential Allotment (Max. no. of dwellings)
  - ⊙ Indicative Indented Bus Stop Location
  - ⊙ Indicative Temporary In-Line Bus Stop Location
  - Bus Stop Catchment (400m)
  - Neighbourhood Park Catchment (400m)



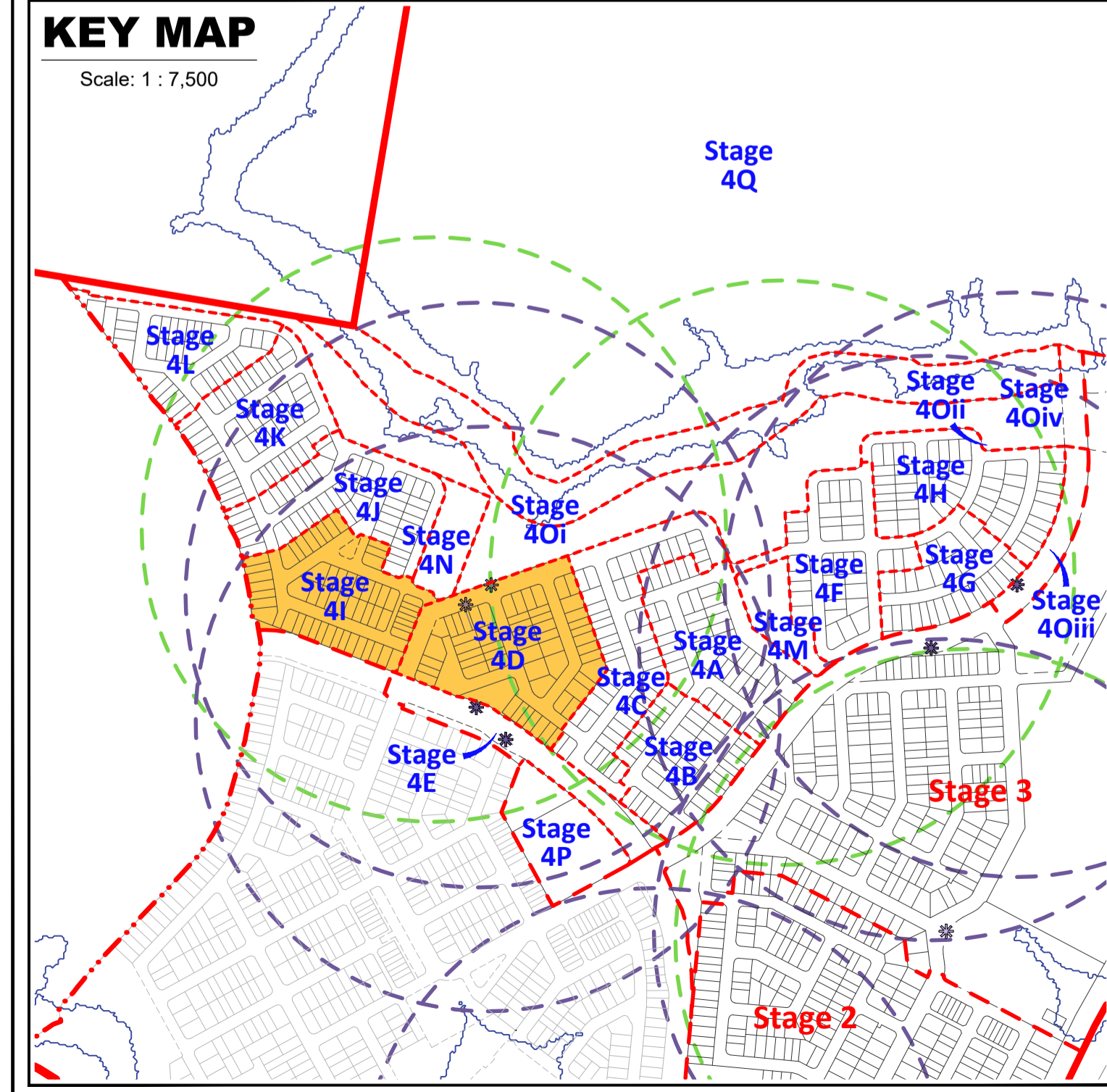
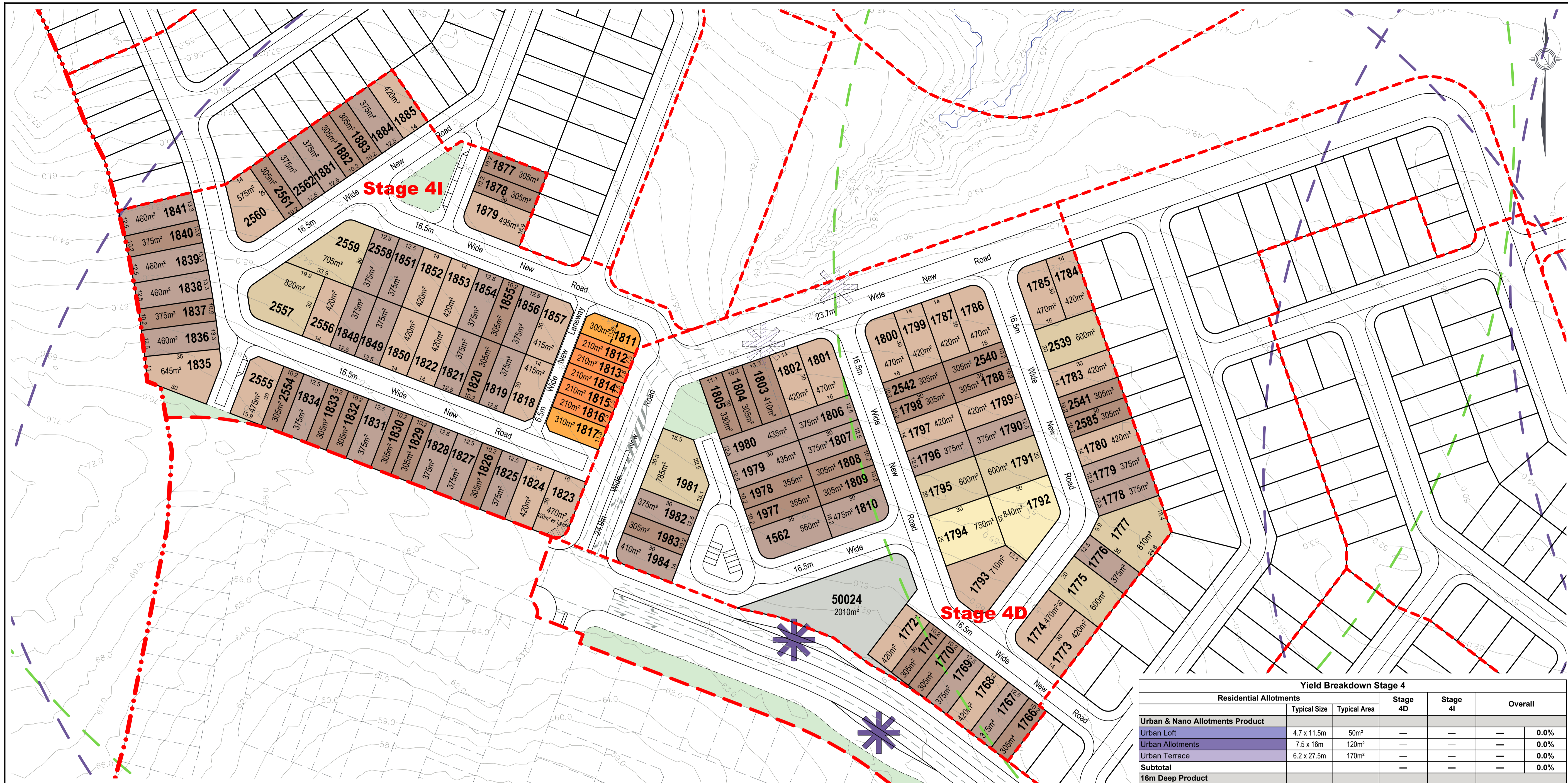
CLIENT  
**PEET**

PROJECT  
**Flagstone Precinct 1**  
Plan of Subdivision  
Stage 4F - H & M  
Allotment Layout

Date: 12 February 2024  
Comp By: NF  
Checked By: MD  
DWG Name: Precinct 1 Stage 4  
Job Ref: 110056  
Local Authority: Economic Development Queensland  
Locality: Flagstone  
Scale: 1 : 1000  
Sheet: A1  
Plan Ref: 110056 - 394  
Rev: AJ

**URBAN DESIGN**  
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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/128

Date: 04 April 2024



Land Use	Stage 4D		Stage 4I		Overall	
	Area	%	Area	%	Area	%
<b>Area of Subject Site</b>	<b>4.414 ha</b>	<b>100.0%</b>	<b>3.296 ha</b>	<b>100.0%</b>	<b>7.710 ha</b>	<b>100.0%</b>
<b>Saleable Area</b>						
Residential Allotments	2.480 ha	61.0%	2.222 ha	61.0%	4.702 ha	61.0%
Commercial Allotment	—	0.0%	—	0.0%	—	0.0%
Balance Super Allotments	0.201 ha	2.6%	—	0.0%	0.201 ha	2.6%
Community Facility	—	0.0%	—	0.0%	—	0.0%
<b>Total Area of Allotments</b>	<b>2.681 ha</b>	<b>60.6%</b>	<b>2.222 ha</b>	<b>61.0%</b>	<b>4.903 ha</b>	<b>63.6%</b>
<b>Road</b>						
Collector Road	0.718 ha	9.3%	—	0.0%	0.718 ha	9.3%
Local Road	0.970 ha	25.5%	0.996 ha	25.5%	1.966 ha	25.5%
Linear Connections	0.045 ha	1.6%	0.078 ha	1.6%	0.123 ha	1.6%
Entry Statements	—	0.0%	—	0.0%	—	0.0%
<b>Total Area of New Road</b>	<b>1.733 ha</b>	<b>39.3%</b>	<b>1.074 ha</b>	<b>30.0%</b>	<b>2.807 ha</b>	<b>36.4%</b>
<b>Open Space</b>						
Corridor Park	—	0.0%	—	0.0%	—	0.0%
Conservation (Within Corridor Park)	—	0.0%	—	0.0%	—	0.0%
District Recreation Park	—	0.0%	—	0.0%	—	0.0%
Neighbourhood Recreation Park	—	0.0%	—	0.0%	—	0.0%
Local Recreation Park	—	0.0%	—	0.0%	—	0.0%
Local Linear Recreation Park	—	0.0%	—	0.0%	—	0.0%
Stormwater Detention	—	0.0%	—	0.0%	—	0.0%
<b>Total Open Space</b>	<b>—</b>	<b>0.0%</b>	<b>—</b>	<b>0.0%</b>	<b>—</b>	<b>0.0%</b>

Yield Breakdown Stage 4						
Residential Allotments	Typical Size	Typical Area	Stage		Overall	
			4D	4I		
<b>Urban &amp; Nano Allotments Product</b>						
Urban Loft	4.7 x 11.5m	50m <sup>2</sup>	—	—	0.0%	
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	0.0%	
Urban Terrace	6.2 x 27.5m	170m <sup>2</sup>	—	—	0.0%	
<b>Subtotal</b>					<b>0.0%</b>	
<b>16m Deep Product</b>						
Squat Allotment	14 x 16m	220m <sup>2</sup>	—	—	0.0%	
<b>Subtotal</b>					<b>0.0%</b>	
<b>25m Deep Product</b>						
Villa Allotment	10 x 25m	250m <sup>2</sup>	—	—	0.0%	
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—	0.0%	
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	—	—	0.0%	
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	—	—	0.0%	
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	0.0%	
<b>Subtotal</b>					<b>0.0%</b>	
<b>28m Deep Product</b>						
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	5	4.3%	
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	2	1.7%	
<b>Subtotal</b>				<b>7</b>	<b>6.1%</b>	
<b>30m Deep Product</b>						
Villa Allotment	10 x 30m	300m <sup>2</sup>	17	15	32	27.8%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	15	20	35	30.4%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	17	14	31	27.0%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	6	2	8	7.0%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	2	—	2	1.7%
Possible Multiple Residential Allotment	—	—	—	—	—	0.0%
<b>Subtotal</b>			<b>57</b>	<b>51</b>	<b>108</b>	<b>93.9%</b>
<b>Total Residential Allotments</b>			<b>57</b>	<b>58</b>	<b>115</b>	<b>100%</b>
<b>Residential Net Density</b>			<b>16.3 dw/ha</b>	<b>17.6 dw/ha</b>		
<b>Super Lots</b>			<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	
Commercial Allotment	—	—	—	—	—	—
Community Facility	—	—	—	—	—	—
Balance Super Allotments	—	—	1	—	1	—
<b>Sub Total</b>			<b>1</b>	<b>—</b>	<b>1</b>	<b>—</b>
<b>Total Allotments</b>			<b>58</b>	<b>58</b>	<b>116</b>	
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>			<b>57</b>	<b>58</b>	<b>115</b>	
<b>Maximum Potential Net Residential Density</b>			<b>16.3 dw/ha</b>	<b>17.6 dw/ha</b>		

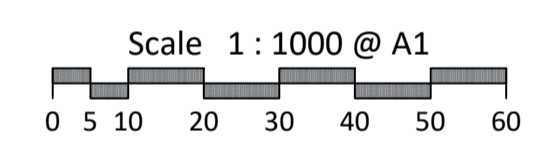
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 Contours: Bradlees.

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  - - - Existing Q100
  - Possible Multiple Residential Allotment (Max. no. of dwellings)
  - ▨ Entry Statements - Lease
  - ⊛ Indicative Indented Bus Stop Location
  - ⊛ Indicative Temporary In-Line Bus Stop Location
  - Bus Stop Catchment (400m)
  - Neighbourhood Park Catchment (400m)



CLIENT

**PEET**

PROJECT

**Flagstone Precinct 1**

Plan of Subdivision  
 Stage 4D & I  
 Allotment Layout

Date: 12 February 2024

Comp By: NF

Checked By: MD

DWG Name: Precinct 1 Stage 4

Job Ref: 110056

Local Authority: Economic Development Queensland

Locality: Flagstone

Scale: 1:1000

Sheet: A1

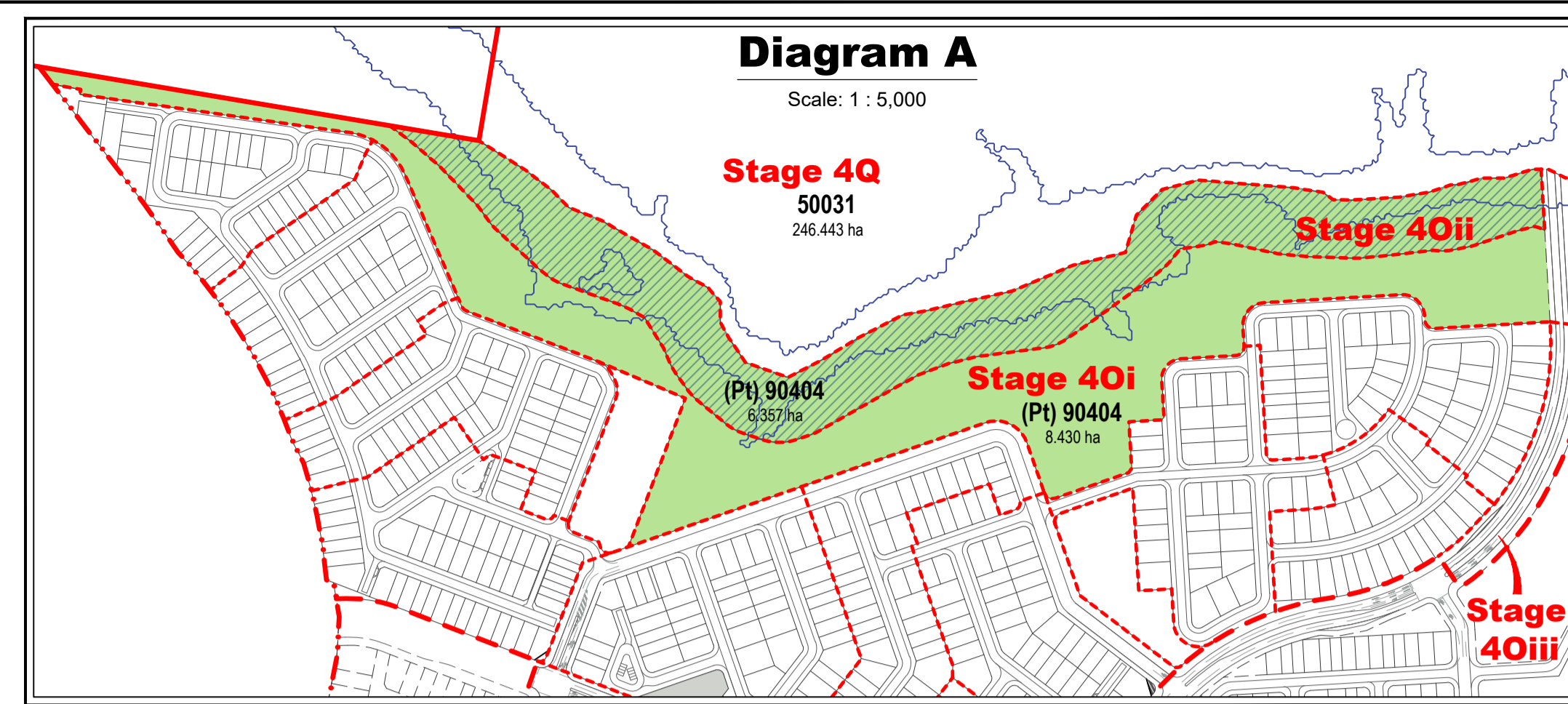
Plan Ref: 110056 - 395

Rev: AJ

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#### Land Budget Stage 4

Land Use	Stage 4J					Stage 4K					Stage 4L					Stage 4N					Overall		
	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%		
Area of Subject Site	3.071 ha	2.955 ha	2.469 ha	0.914 ha	9.409 ha	100.0%																	
Saleable Area																							
Residential Allotments	2.072 ha	2.003 ha	1.596 ha	—	5.671 ha	60.3%																	
Commercial Allotment	—	—	—	—	—	0.0%																	
Balance Super Allotments	—	—	0.047 ha	—	0.047 ha	0.5%																	
Community Facility	—	—	—	—	—	0.0%																	
<b>Total Area of Allotments</b>	<b>2.072 ha</b>	<b>2.003 ha</b>	<b>1.643 ha</b>	<b>—</b>	<b>5.718 ha</b>	<b>60.8%</b>																	
Road																							
Collector Road	—	—	—	—	—	0.0%																	
Local Road	0.999 ha	0.916 ha	0.826 ha	—	2.741 ha	29.1%																	
Linear Connections	—	0.036 ha	—	—	0.036 ha	0.4%																	
Entry Statements	—	—	—	—	—	0.0%																	
<b>Total Area of New Road</b>	<b>0.999 ha</b>	<b>0.952 ha</b>	<b>0.826 ha</b>	<b>—</b>	<b>2.777 ha</b>	<b>29.5%</b>																	
Open Space																							
Corridor Park	—	—	—	—	—	0.0%																	
Conservation (Within Corridor Park)	—	—	—	—	—	0.0%																	
District Recreation Park	—	—	—	—	—	0.0%																	
Neighbourhood Recreation Park	—	—	—	0.914 ha	0.914 ha	9.7%																	
Local Recreation Park	—	—	—	—	—	0.0%																	
Local Linear Recreation Park	—	—	—	—	—	0.0%																	
Stormwater Detention	—	—	—	—	—	0.0%																	
<b>Total Open Space</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>0.914 ha</b>	<b>0.914 ha</b>	<b>9.7%</b>																	

#### Yield Breakdown Stage 4

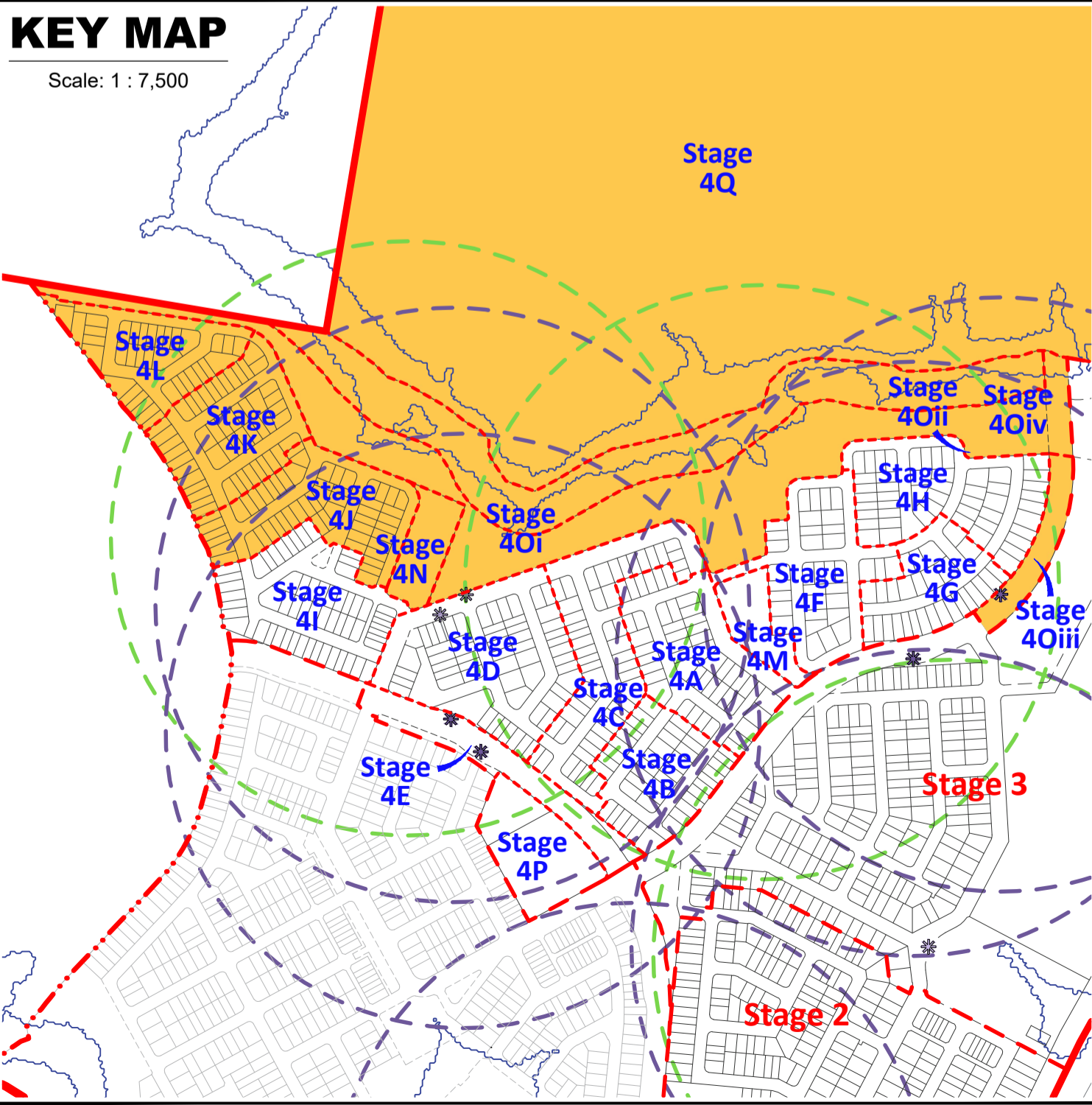
Residential Allotments	Typical Size	Typical Area	Stage				Overall
			4J	4K	4L	4Q	
<b>Urban &amp; Nano Allotments Product</b>							
Urban Loft	4.7 x 11.5m	50m <sup>2</sup>	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m <sup>2</sup>	—	—	—	—	0.0%
<b>Subtotal</b>							<b>0.0%</b>
<b>16m Deep Product</b>							
Squat Allotment	14 x 16m	220m <sup>2</sup>	—	—	—	—	0.0%
<b>Subtotal</b>							<b>0.0%</b>
<b>25m Deep Product</b>							
Villa Allotment	10 x 25m	250m <sup>2</sup>	3	—	—	—	3
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	8	6	3	—	17
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	3	1	1	—	5
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			<b>14</b>	<b>7</b>	<b>4</b>	<b>—</b>	<b>25</b>
<b>28m Deep Product</b>							
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	—	—	—	0.0%
<b>Subtotal</b>							<b>0.0%</b>
<b>30m Deep Product</b>							
Villa Allotment	10 x 30m	300m <sup>2</sup>	13	14	11	—	38
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	19	15	11	—	45
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	8	11	6	—	25
Traditional Allotment	20 x 30m	600m <sup>2</sup>	—	2	3	—	5
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			<b>40</b>	<b>42</b>	<b>31</b>	<b>—</b>	<b>113</b>
<b>Total Residential Allotments</b>			<b>54</b>	<b>49</b>	<b>35</b>	<b>—</b>	<b>138</b>
<b>Residential Net Density</b>			<b>17.6 dw/ha</b>	<b>16.6 dw/ha</b>	<b>14.5 dw/ha</b>	<b>—</b>	<b>98%</b>
<b>Super Lots</b>							
Commercial Allotment			Lots	Lots	Lots	Lots	Lots
Community Facility			—	—	—	—	—
Balance Super Allotments			—	—	1	1	2
<b>Sub Total</b>			<b>—</b>	<b>—</b>	<b>1</b>	<b>1</b>	<b>2</b>
<b>Total Allotments</b>			<b>54</b>	<b>49</b>	<b>36</b>	<b>1</b>	<b>140</b>
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>			<b>54</b>	<b>49</b>	<b>35</b>	<b>—</b>	<b>138</b>
<b>Maximum Potential Net Residential Density</b>			<b>17.6 dw/ha</b>	<b>16.6 dw/ha</b>	<b>14.5 dw/ha</b>	<b>—</b>	



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/128

Date: 04 April 2024



#### REVISION

Y: 12/05/2022 Stage 5 Layout Change  
 Z: 08/06/2022 Entry Statement Lease Areas  
 AA: 18/06/2022 Temporary STIF Notation  
 AB: 20/09/2022 Stage 3 & 5 Layout Changes  
 AC: 14/11/2022 Stage 3 & 5 Boundary Changes  
 AD: 10/01/2023 Stage 3 & 4 Layout Changes  
 AE: 24/02/2023 Stage 3 & 5 Layout Changes  
 AF: 20/03/2023 Stage 3 & 5 Layout Changes  
 AG: 13/04/2023 Stage 3 & 5 Layout Changes  
 AH: 25/04/2023 Stage 4 Layout Changes  
 AI: 08/08/2023 Stage 5 Basin Change  
 AJ: 12/02/2024 Stage 5R Layout Change

**Note:**  
 All dimensions and areas are approximate only, and are subject to survey and Council approval.  
 Dimensions have been rounded to the nearest 0.1 metres.  
 Areas have been rounded down to the nearest 5m<sup>2</sup>.  
 The boundaries shown on this plan should not be used for final detailed engineers design.  
 Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
 Site boundaries: Registered Survey Plans / Veris.  
 Adjoining information: DCDB.  
 Contours: Bradlees.

#### Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Scale: 1 : 1000 @ A1

CLIENT  
**PEET**

PROJECT  
**Flagstone Precinct 1**

Plan of Subdivision  
 Stage 4J, K, L, N, O & Q  
 Allotment Layout

Date: 12 February 2024

Comp By: NF

Checked By: MD

DWG Name: Precinct 1 Stage 4

Job Ref: 110056

Local Authority: Economic Development Queensland

Locality: Flagstone

Scale: 1 : 1000

Sheet: A1

Plan Ref: 110056 - 396

Rev: AJ

URBAN DESIGN  
 Level 4 HQ South  
 520 Wickham Street  
 PO Box 1559  
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 T +61 7 3539 9500  
 W rpsgroup.com

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 Please contact the author.

### Legend

#### General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease

#### Open Space

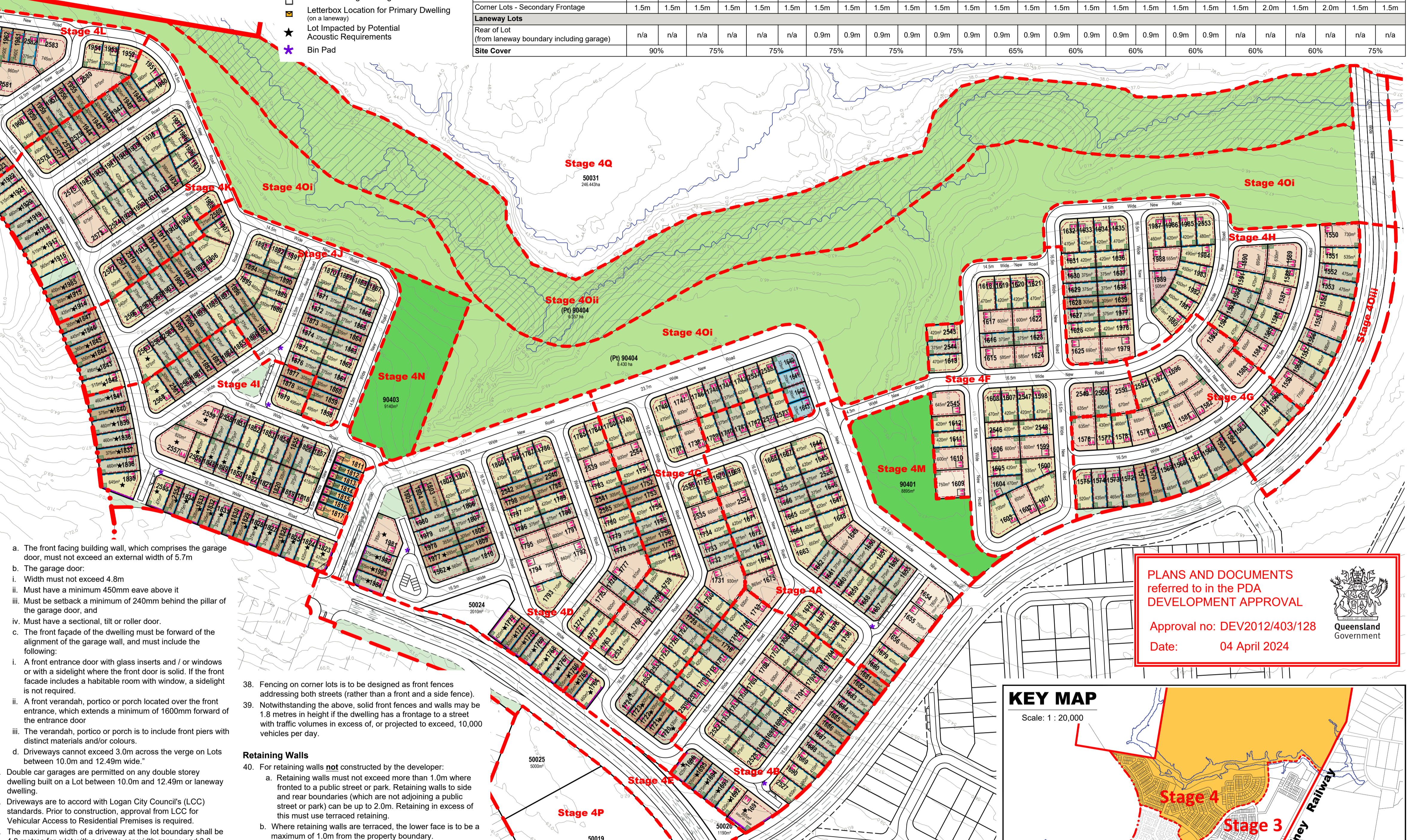
- District Recreation Park
- Corridor Park
- Conservation Within Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

#### Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

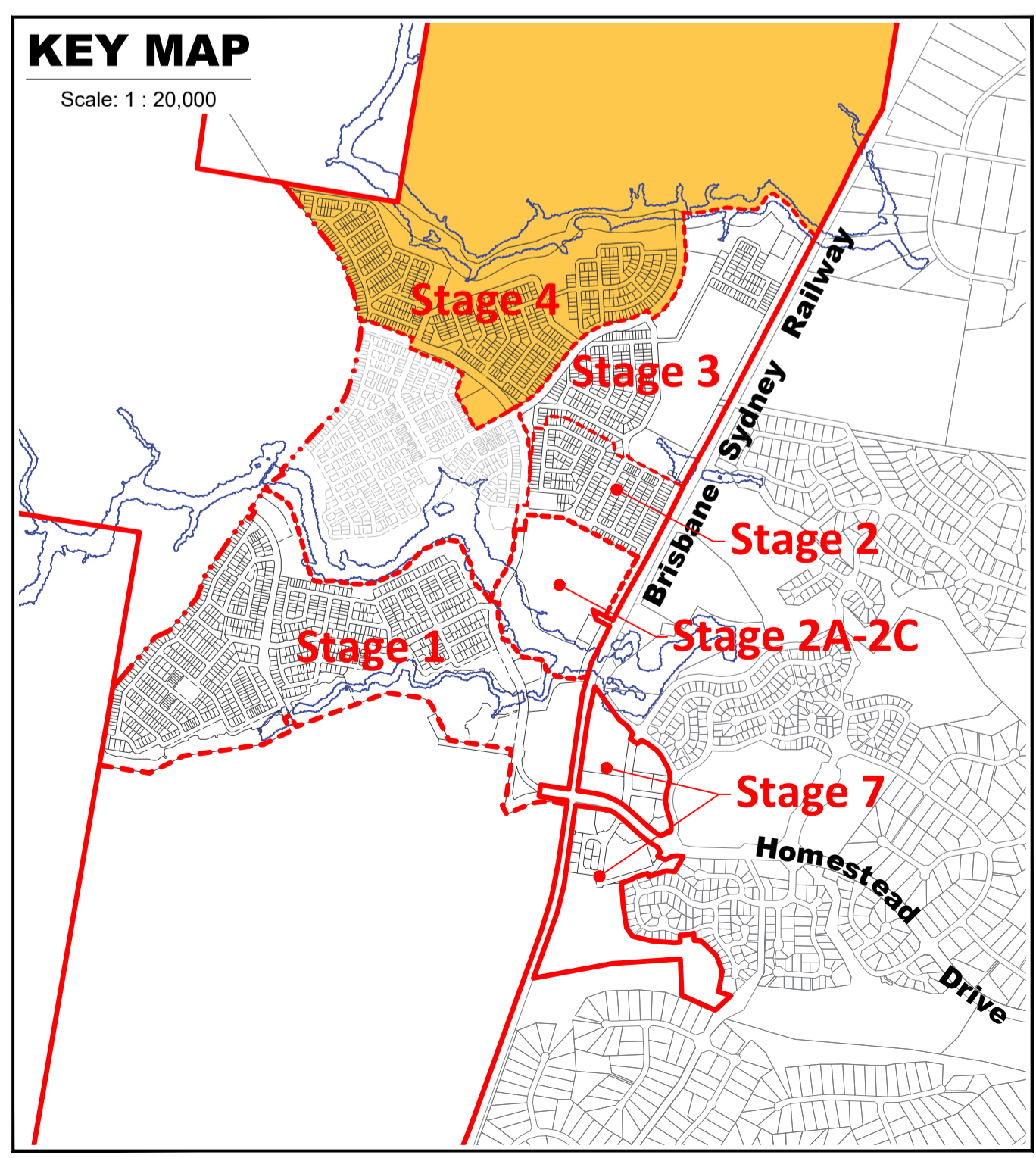
Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)			
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor		
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	4.5m	n/a	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	3.0m	
Rear	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	0.9m	0.9m	1.0m	1.5m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m		
* Additional setback required on some allotments - refer POD Notes 14-16.																												
<b>Side - General Lots</b>																												
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a	n/a	n/a	n/a	n/a	n/a	n/a	
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m		
<b>Laneway Lots</b>																												
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	n/a	
<b>Site Cover</b>	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		75%	

- ### Notes:
- #### General
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
  - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
  - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
  - All lots subject to an acoustic assessment to determine level of acoustic treatments.
  - Buildings shall be constructed in accordance with Bushfire AS3959.
  - Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>. Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
  - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
  - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- #### Setbacks
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
  - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
  - Boundary setbacks are measured to the wall of the structure.
  - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
  - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
  - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted. Lots 2501 - 2505 require a 2.5m rear setback.
  - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
  - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that have a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
  - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
    - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
    - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- #### Private Open Space
- Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
  - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
    - 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
    - 2 Bedroom - 9m<sup>2</sup> (minimum dimension on 2.4m);
    - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)
  - Private open space must be directly accessible from a living space.
- #### On-site car parking and driveways
- On-site car parking is to be provided in accordance with the following minimum requirements:
    - For lots up to 12.4 metres wide - 1 covered space per dwelling;
    - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
    - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
  - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
    - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m.
    - The garage door:
      - Width must not exceed 4.8m
      - Must have a minimum 450mm eave above it
      - Must be setback a minimum of 240mm behind the pillar of the garage door, and
      - Must have a sectional, tilt or roller door.
    - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
      - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
      - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
      - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
      - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."



- The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m.
  - The garage door:
    - Width must not exceed 4.8m
    - Must have a minimum 450mm eave above it
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    - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
    - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
  - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- #### Retaining Walls
- For retaining walls **not** constructed by the developer:
    - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
    - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
  - No timber retaining walls over 1.0m or adjoining parks or public streets.
  - Walls over 1.0m require RPEQ certification.
  - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- #### Building Articulation
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
    - Windows recessed into the facade or bay windows;
    - Balconies, porches or verandahs;
    - Articulation of roof lines
    - Window hoods; and/or
    - Use of multiple cladding materials
  - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
  - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
  - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
  - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
  - Homes must include a clearly identifiable and addressed front door and undercover point of entry.

- #### Slope and Building Footings
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
  - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
  - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- #### Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)
- Buildings must address all street frontages with driveways, pedestrian entries or both.
  - All dwellings must have a clearly identifiable front door, which is undercover.
  - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
  - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- #### Definitions
- Laneway Allotment - Allotments serviced by a laneway.



**PLANS AND DOCUMENTS**  
referred to in the PDA  
**DEVELOPMENT APPROVAL**

Approval no: DEV2012/403/128  
Date: 04 April 2024

- ### REVISION
- Y: 12/05/2022 Stage 5 Layout Change
  - Z: 08/06/2022 Entry Statement Lease Areas
  - AA: 16/06/2022 Temporary STIF Notation
  - AB: 20/09/2022 Stage 3 & 5 Boundary Changes
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**Note:**  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m<sup>2</sup>.  
The boundaries shown on this plan should not be used for final detailed engineers design.  
Road linemarkings and turn slots are indicative only and subject to detailed design.  
**Source Information:**  
Site boundaries: Registered Survey Plans / Veris  
Adjoining information: DCDB  
Contours: Bradlees.

Scale 1 : 2000 @ A1

CLIENT		<b>PEET</b>	
PROJECT		<b>Flagstone Precinct 1</b>	
Plan of Development Stage 4 Overall Residential Allotments			
Date:	12 February 2024	Comp By:	NF
Checked By:	MD	DWG Name:	Precinct 1 Stage 4
Job Ref:	110056	Local Authority:	Economic Development Queensland
Locality:	Flagstone	Scale:	1 : 2000
Sheet:	A1	Plan Ref:	110056 - 397
Rev:	AJ	URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com	
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- General**
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  - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
  - All lots subject to an acoustic assessment to determine level of acoustic treatments.
  - Buildings shall be constructed in accordance with Bushfire AS3959.
  - Secondary dwellings are not permitted on lots less than 400m².
  - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
  - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
  - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.

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- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
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  - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
  - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
  - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
  - Lots 2501 - 2505 require a 2.5m rear setback.
  - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
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    - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
    - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
  - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
    - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
    - 2 Bedroom - 9m² (minimum dimension of 2.4m);
    - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
  - Private open space must be directly accessible from a living space.

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- On-site car parking is to be provided in accordance with the following minimum requirements:
    - For lots up to 12.4 metres wide - 1 covered space per dwelling;
    - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
    - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
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    - The garage door:
      - Width must not exceed 4.8m
      - Must have a minimum 450mm eave above it
      - Must be setback a minimum of 240mm behind the pillar of the garage door, and
      - Must have a sectional, tilt or roller door.
    - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
      - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
      - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
      - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
    - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.\*
  - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
  - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
  - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
  - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
  - Maximum of one driveway per dwelling unless it is a MR lot.

- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
  - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
  - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
  - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
  - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
  - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

- Retaining Walls**
- For retaining walls **not** constructed by the developer:
    - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
    - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
  - No timber retaining walls over 1.0m or adjoining parks or public streets.
  - Walls over 1.0m require RPEQ certification.

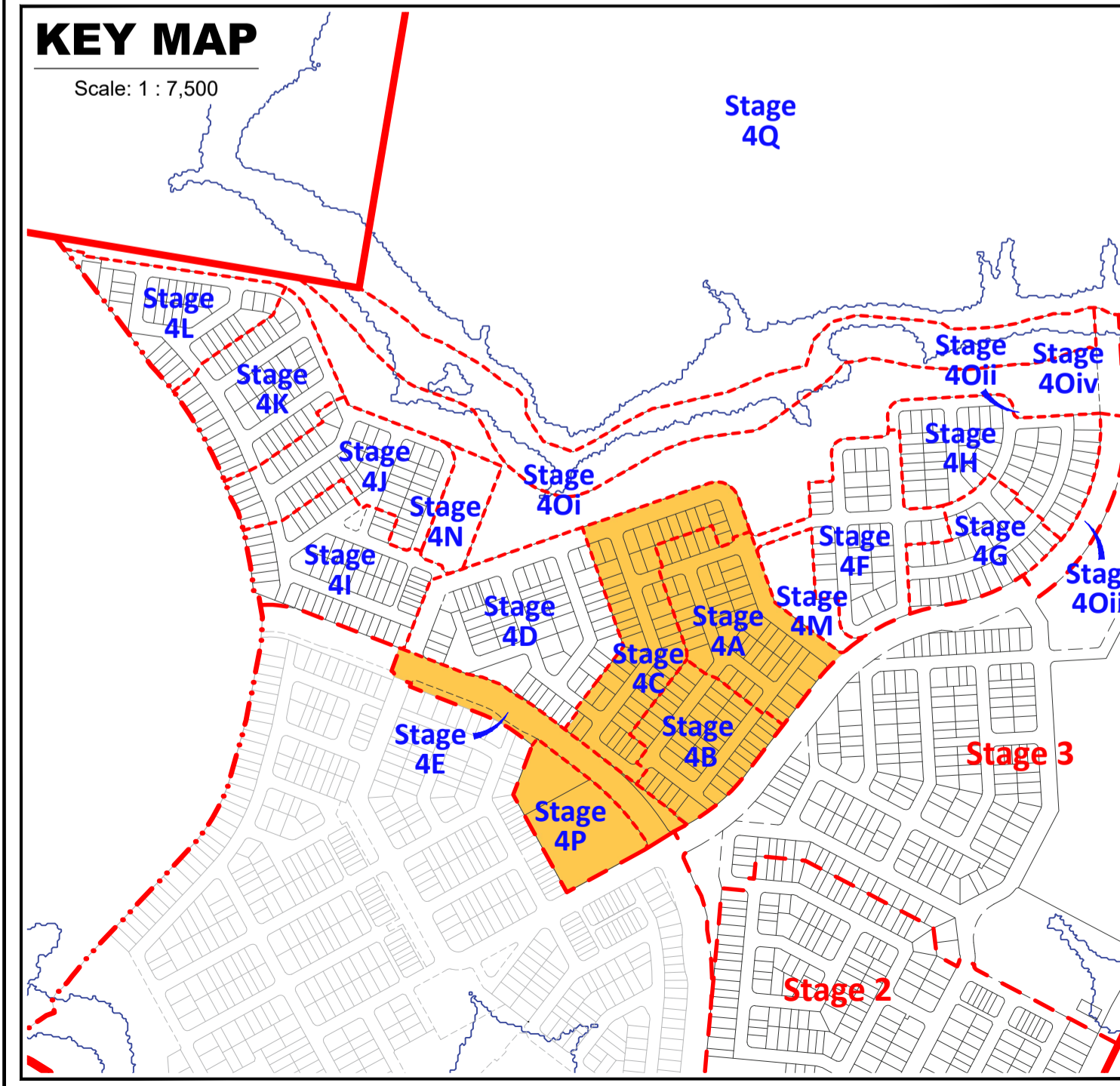
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
    - Windows recessed into the façade or bay windows;
    - Balconies, porches or verandahs;
    - Articulation of roof lines
    - Window hoods; and/or
    - Use of multiple cladding materials
  - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
  - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
  - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
  - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
  - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
  - Screened drying and rubbish bins area must be behind the main face of the dwelling.
  - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
  - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
  - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
  - All dwellings must have a clearly identifiable front door, which is undercover.
  - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
  - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
  - Materials, detailing, colours and roof form are consistent with those of the primary house.
  - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
  - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
  - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
  - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
  - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
  - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
  - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

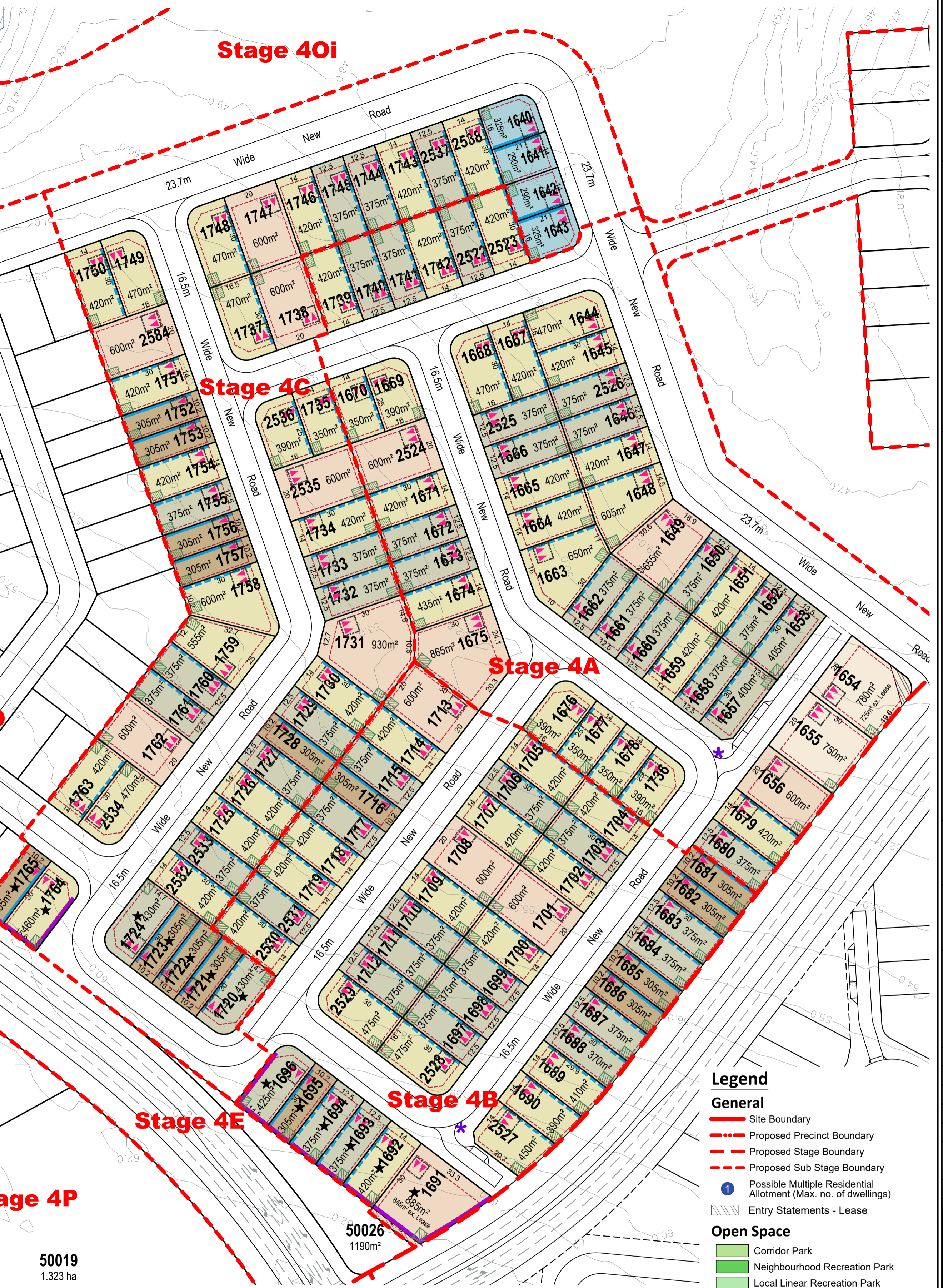
**Definitions**  
Laneway Allotment - Allotments serviced by a laneway.



**PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL**

Approval no: DEV2012/403/128  
Date: 04 April 2024

Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	n/a
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
<b>Side - General Lots</b>																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
<b>Laneway Lots</b>																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		75%



**Legend**

**General**

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease

**Open Space**

- Corridor Park
- Neighbourhood Recreation Park
- Local Linear Recreation Park
- Linear Connections

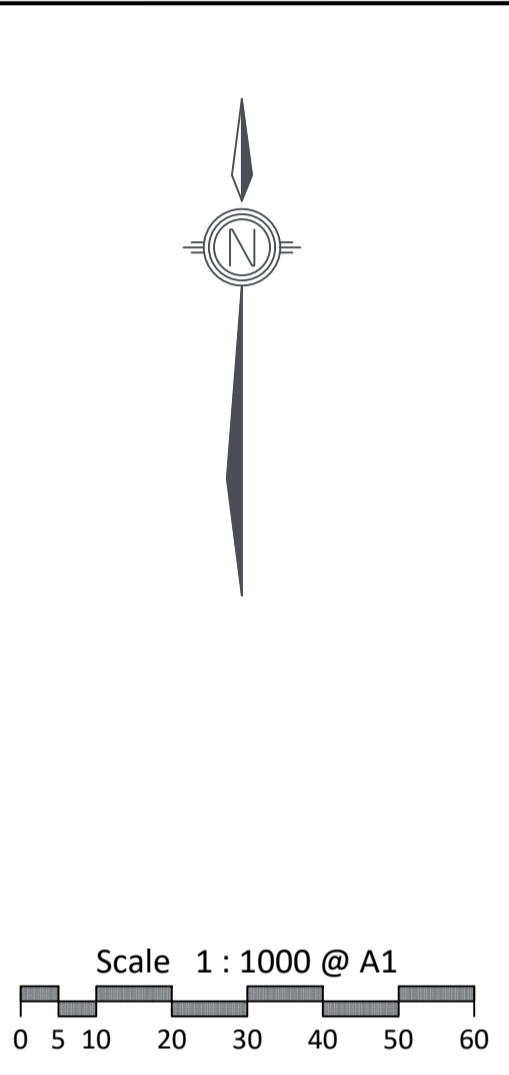
**Allotment Details**

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

**REVISION**

Y:	12/05/2022 Stage 5 Layout Change
Z:	16/06/2022 Entry Statement Lease Areas
AA:	16/06/2022 Temporary STIF Notation
AB:	20/09/2022 Stage 3 & 5 Boundary Changes
AC:	14/11/2022 Stage 3 & 5 Boundary Changes
AD:	10/01/2023 Stage 3 & 4 Layout Changes
AE:	24/02/2023 Stage 3 & 5 Layout Changes
AF:	20/03/2023 Stage 3 & 5 Layout Changes
AG:	13/04/2023 Stage 3 & 5 Layout Changes
AH:	25/04/2023 Stage 4 Layout Changes
AI:	08/08/2023 Stage 5 Basin Change
AJ:	12/02/2024 Stage 5R Layout Change

**Note:**  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m².  
The boundaries shown on this plan should not be used for final detailed engineers design.  
Road linemarkings and turn slots are indicative only and subject to detailed design.  
**Source Information:**  
Site boundaries: Registered Survey Plans / Veris.  
Adjoining information: DCDB.  
Contours: Bradlees.



**CLIENT**  
**PEET**

**PROJECT**  
**Flagstone Precinct 1**

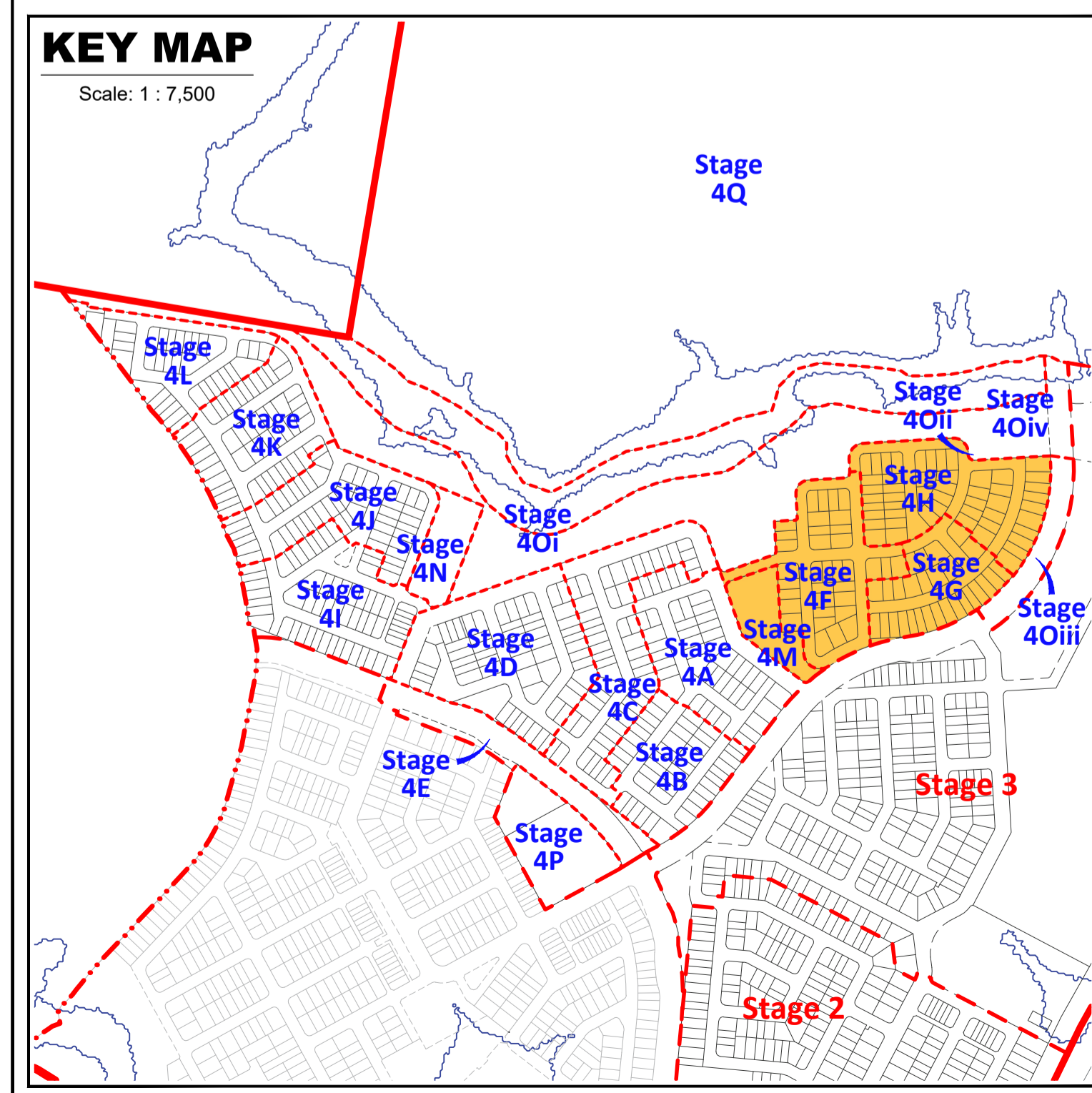
Plan of Development Stage 4A, B & C Residential Allotments

Date:	12 February 2024
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref.:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1 : 1000
Sheet:	A1
Plan Ref:	110056 - 398
Rev:	AJ

**URBAN DESIGN**  
Level 4 HQ South  
520 Wickham Street  
PO Box 1559  
Fortitude Valley QLD 4006  
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W rpsgroup.com

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Please contact the author.





### Legend

**General**

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

**Open Space**

- District Recreation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

**Allotment Details**

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Bin Pad

**Notes:**

- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
  - The maximum heights of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
  - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
  - All lots subject to an acoustic assessment to determine level of acoustic treatments.
  - Buildings shall be constructed in accordance with Bushfire AS3959.
  - Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>.
  - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
  - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
  - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
  - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
  - Boundary setbacks are measured to the wall of the structure.
  - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
  - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
  - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
  - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
  - Lots 2501 - 2505 require a 2.5m rear setback.
  - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.

- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that have a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
  - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
    - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
    - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space**
- Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
  - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
    - 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
    - 2 Bedroom - 9m<sup>2</sup> (minimum dimension of 2.4m);
    - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)
  - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
    - For lots up to 12.4 metres wide - 1 covered space per dwelling;
    - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
    - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
  - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
    - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
    - The garage door:
      - Width must not exceed 4.8m
      - Must have a minimum 450mm eave above it
      - Must be setback a minimum of 240mm behind the pillar of the garage door, and
      - Must have a sectional, tilt or roller door.
    - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
      - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
      - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
      - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
    - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.\*
  - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
  - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
  - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
  - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/Egress must be achieved for a B99 Vehicle.
  - Maximum of one driveway per dwelling unless it is a MR lot.

- REVISION**
- Y: 12/05/2022 Stage 5 Layout Change
  - Z: 06/06/2022 Entry Statement Lease Areas
  - AA: 16/06/2022 Temporary STIF Notation
  - AB: 20/09/2022 Stage 3 & 5 Boundary Changes
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- Source Information:**  
 Site boundaries: Registered Survey Plans / Veris  
 Adjoining information: DCDB.  
 Contours: Bradlees.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
  - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
  - Driveways must be completed prior to occupation of the dwelling.
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- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
  - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
  - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
  - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
  - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
  - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls **not** constructed by the developer:
    - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
    - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
  - No timber retaining walls over 1.0m or adjoining parks or public streets.
  - Walls over 1.0m require RPEP certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
    - Windows recessed into the façade or bay windows;
    - Balconies, porches or verandahs;
    - Articulation of roof lines
    - Window hoods; and/or
    - Use of multiple cladding materials
  - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
  - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
  - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
  - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
  - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
  - Screened drying and rubbish bins area must be behind the main face of the dwelling.
  - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
  - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
  - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
  - All dwellings must have a clearly identifiable front door, which is undercover.
  - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
  - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
  - Materials, detailing, colours and roof form are consistent with those of the primary house.
  - Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
  - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
  - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
  - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
  - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
  - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
  - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

**PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL**

Approval no: DEV2012/403/128  
 Date: 04 April 2024

**CLIENT**

**PEET**

**PROJECT**

**Flagstone Precinct 1**

**Plan of Development Stage 4F - H Residential Allotments**

Date: 12 February 2024

Comp By: NF

Checked By: MD

DWG Name: Precinct 1 Stage 4

Job Ref: 110056

Local Authority: Economic Development Queensland

Locality: Flagstone

Scale: 1 : 1000

Sheet: A1

Plan Ref: 110056 - 399

Rev: AJ

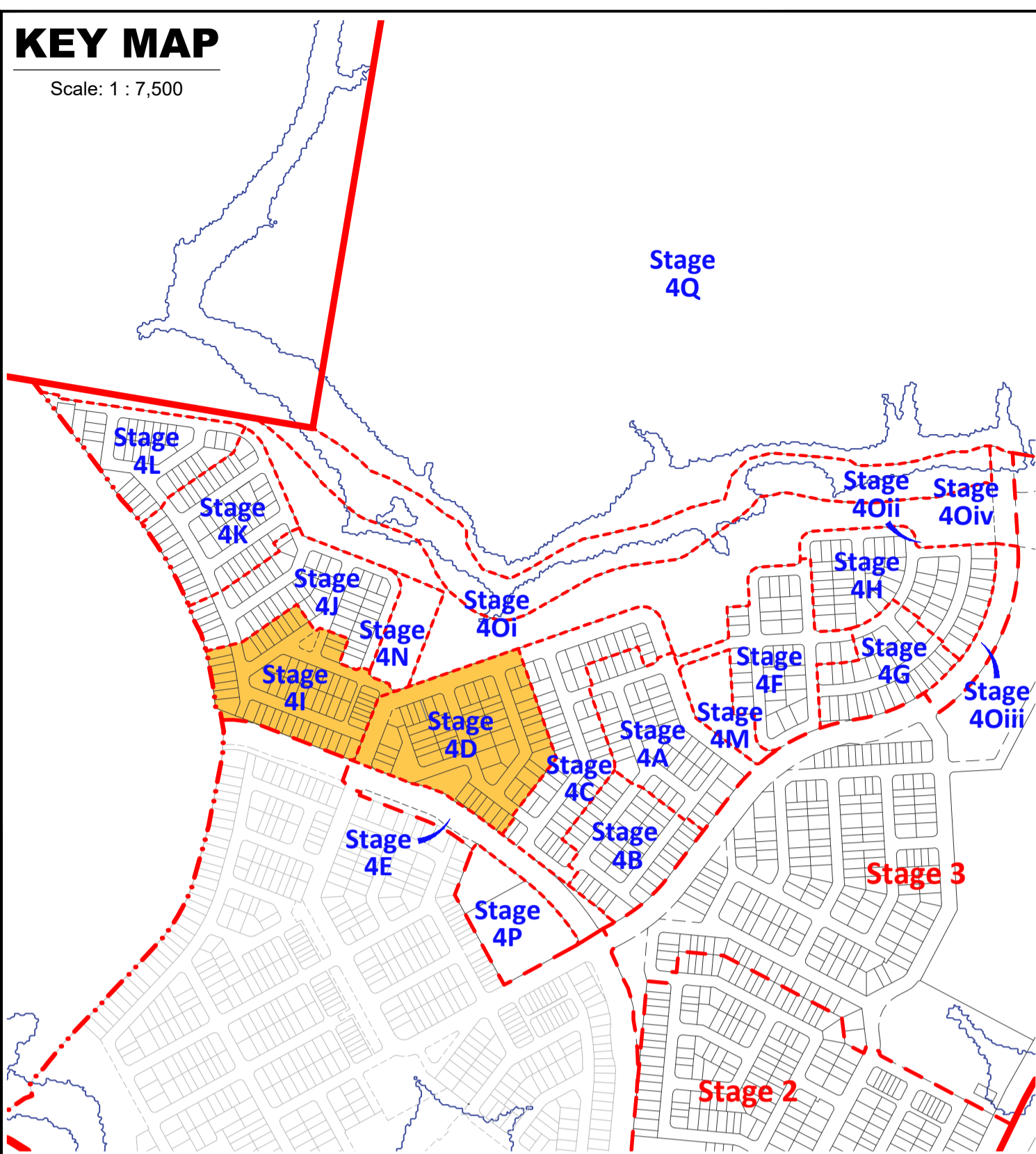
**URBAN DESIGN**  
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 520 Wickham Street  
 PO Box 1559  
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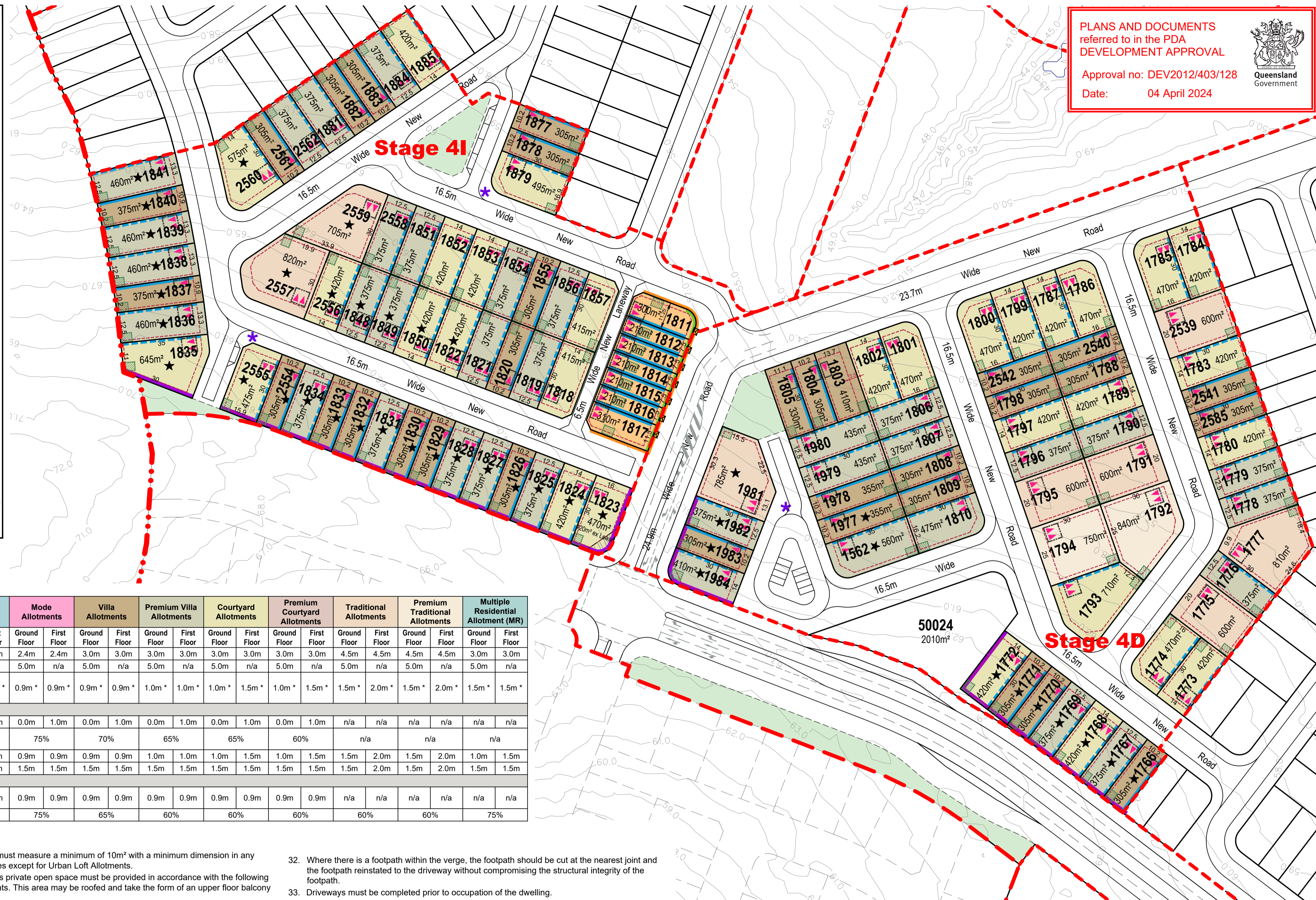
**KEY MAP**

Scale: 1 : 7,500



**PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL**

Approval no: DEV2012/403/128  
Date: 04 April 2024



**REVISION**

Z:	12/05/2022 Stage 5 Layout Change
AA:	18/06/2022 Entry Statement Lease Areas
AB:	20/09/2022 Stage 3 & 5 Boundary Changes
AC:	14/11/2022 Stage 3 & 5 Layout Changes
AD:	10/01/2023 Stage 3 & 4 Layout Changes
AE:	24/02/2023 Stage 3 & 5 Layout Changes
AF:	20/03/2023 Stage 3 & 5 Layout Changes
AG:	13/04/2023 Stage 3 & 5 Layout Changes
AH:	25/04/2023 Stage 4 Layout Changes
AI:	08/08/2023 Stage 5 Basin Change
AJ:	12/02/2024 Stage 5R Layout Change

**Note:**  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m<sup>2</sup>.  
The boundaries shown on this plan should not be used for final detailed engineers design.  
**Source Information:**  
Site boundaries: Registered Survey Plans / Varis.  
Adjoining information: DCDB.  
Contours: Bradlees.

Plan of Development Table	Urban Loft Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*		
* Additional setback required on some allotments - refer POD Notes 14-16.																									
<b>Side - General Lots</b>																									
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		n/a		n/a		n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
<b>Laneway Lots</b>																									
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		75%		

- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
  - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
  - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
  - All lots subject to an acoustic assessment to determine level of acoustic treatments.
  - Buildings shall be constructed in accordance with Bushfire AS3959.
  - Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>.
  - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
  - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
  - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
  - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
  - Boundary setbacks are measured to the wall of the structure.
  - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
  - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
  - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
  - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
  - Lots 2501 - 2505 require a 2.5m rear setback.
  - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
  - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
  - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
    - In the case of Urban Loft, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
    - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

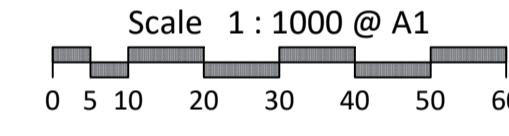
- Private Open Space**
- Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
  - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
    - 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
    - 2 Bedroom - 9m<sup>2</sup> (minimum dimension on 2.4m);
    - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)
  - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
    - For lots up to 12.4 metres wide - 1 covered space per dwelling;
    - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
    - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
  - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
    - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
    - The garage door:
      - Width must not exceed 4.8m
      - Must have a minimum 450mm eave above it
      - Must be setback a minimum of 240mm behind the pillar of the garage door, and
      - Must have a sectional, tilt or roller door.
    - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
      - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
      - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
      - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
    - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."
  - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
  - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
  - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
  - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
  - Maximum of one driveway per dwelling unless it is a MR lot.
  - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.

- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
  - Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
  - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
  - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
  - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
  - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
  - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls **not** constructed by the developer:
    - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
    - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
  - No timber retaining walls over 1.0m or adjoining parks or public streets.
  - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
    - Windows recessed into the façade or bay windows;
    - Balconies, porches or verandahs;
    - Articulation of roof lines
    - Window hoods; and/or
    - Use of multiple cladding materials
  - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
  - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
  - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
  - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.

- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
  - Screened drying and rubbish bins area must be behind the main face of the dwelling.
  - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
  - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
  - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
  - All dwellings must have a clearly identifiable front door, which is undercover.
  - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
  - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
  - Materials, detailing, colours and roof form are consistent with those of the primary house.
  - Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
  - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
  - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
  - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
  - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
  - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
  - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

**Legend**

- General**
- Site Boundary
  - Proposed Precinct Boundary
  - Proposed Stage Boundary
  - Proposed Sub Stage Boundary
  - Possible Multiple Residential Allotment (Max. no. of dwellings)
  - Entry Statements - Lease
- Open Space**
- District Recreation Park
  - Corridor Park
  - Neighbourhood Recreation Park
  - Local Recreation Park
  - Local Linear Recreation Park
  - Stormwater Detention
  - Linear Connections
- Allotment Details**
- Preferred Private Open Space Location
  - Maximum Building Location Envelope
  - Mandatory Built to Boundary Wall
  - Nominal Built to Boundary Wall
  - No Vehicle Access
  - Primary Frontage
  - 2m High Solid Timber Fence
  - Preferred Garage Location
  - Preferred Single Garage Location
  - Letterbox Location for Primary Dwelling (on a laneway)
  - Lot Impacted by Potential Acoustic Requirements
  - Bin Pad



CLIENT  
**PEET**

PROJECT  
**Flagstone Precinct 1**  
  
Plan of Development Stage 4D & I Residential Allotments

Date:	12 February 2024
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1 : 1000
Sheet:	A1
Plan Ref:	110056 - 400
Rev:	AJ

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Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
<b>Side - General Lots</b>																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m
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<b>Laneway Lots</b>																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a
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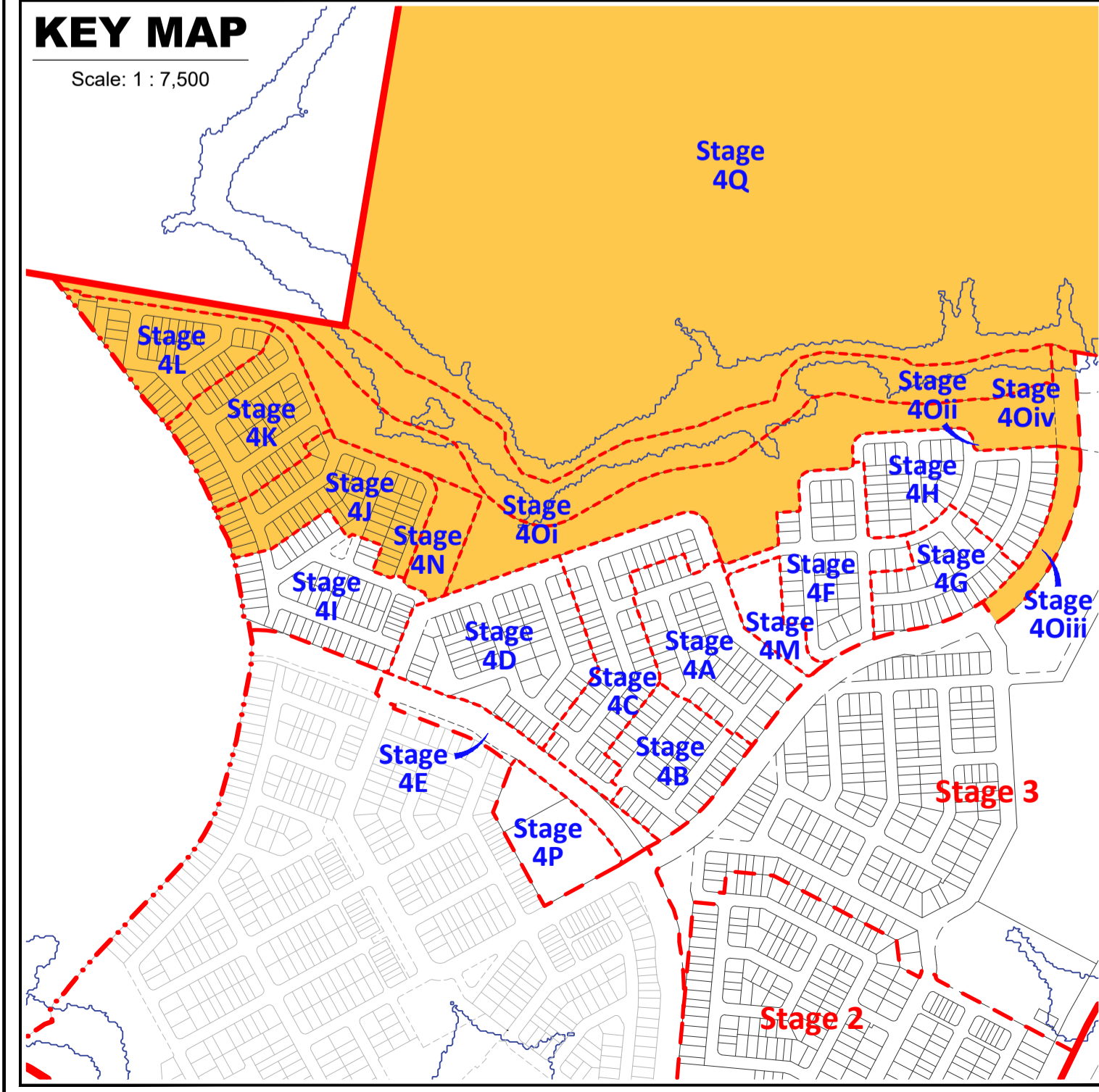
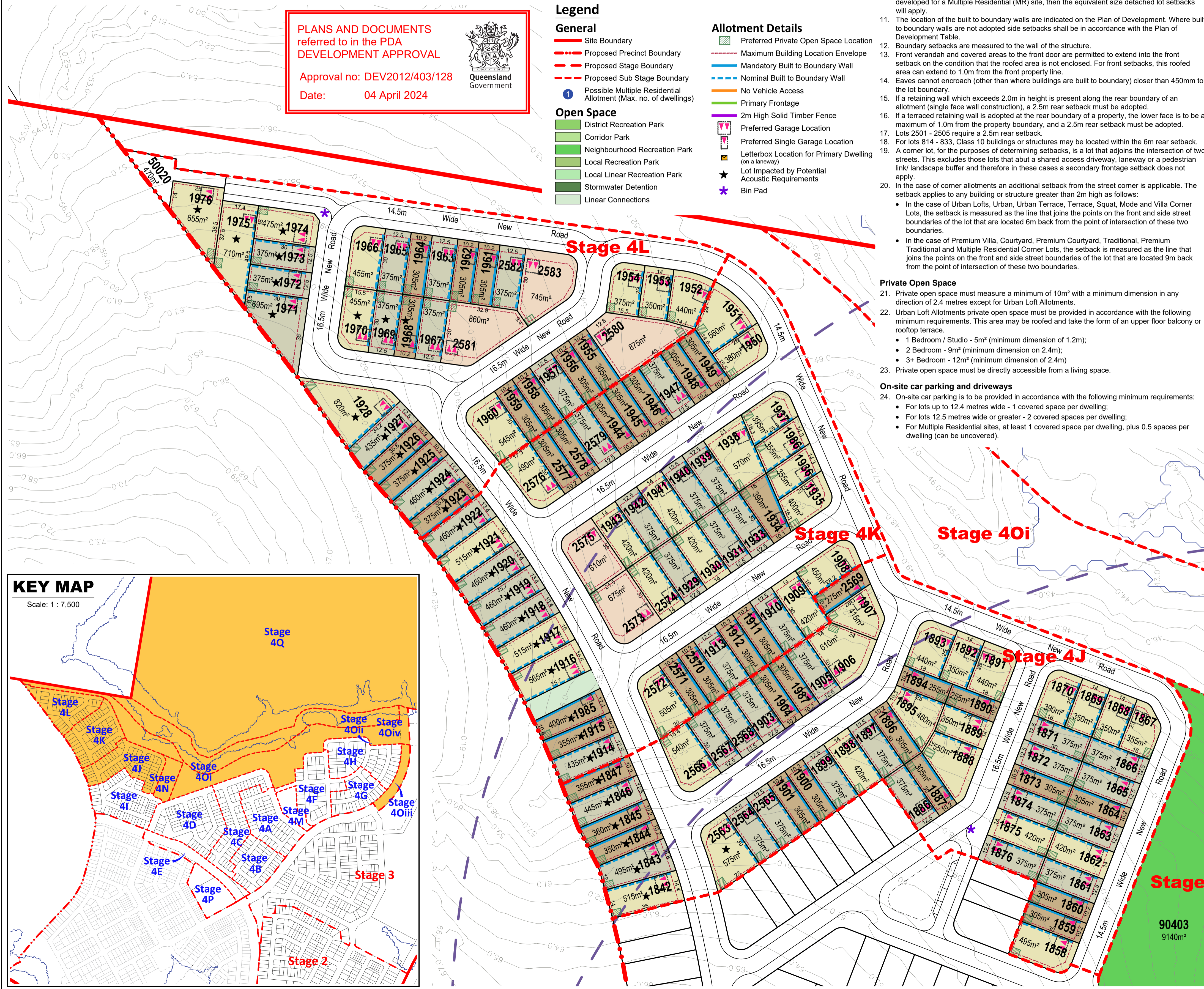
**PLANS AND DOCUMENTS**  
**REFERRED TO IN THE PDA**  
**DEVELOPMENT APPROVAL**

Approval no: DEV2012/403/128  
Date: 04 April 2024



**Legend**

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- Allotment Details**
- Preferred Private Open Space Location
  - Maximum Building Location Envelope
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- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that about a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
  - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
  - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

**Private Open Space**

- Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
  - 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
  - 2 Bedroom - 9m<sup>2</sup> (minimum dimension on 2.4m);
  - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

**On-site car parking and driveways**

- On-site car parking is to be provided in accordance with the following minimum requirements:
  - For lots up to 12.4 metres wide - 1 covered space per dwelling;
  - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
  - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).

- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
  - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
  - The garage door:
    - Width must not exceed 4.8m
    - Must have a minimum 450mm eave above it
    - Must be setback a minimum of 240mm behind the pillar of the garage door, and
    - Must have a sectional, tilt or roller door.
  - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
    - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
    - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
    - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
    - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

**Fencing**

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

**Retaining Walls**

- For retaining walls not constructed by the developer:
  - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
  - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

**Building Articulation**

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
  - Windows recessed into the facade or bay windows;
  - Balconies, porches or verandahs;
  - Articulation of roof lines
  - Window hoods; and/or
  - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

**Slope and Building Footings**

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

**Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

**Additional Criteria for Secondary Dwellings**

- Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

**Definitions**

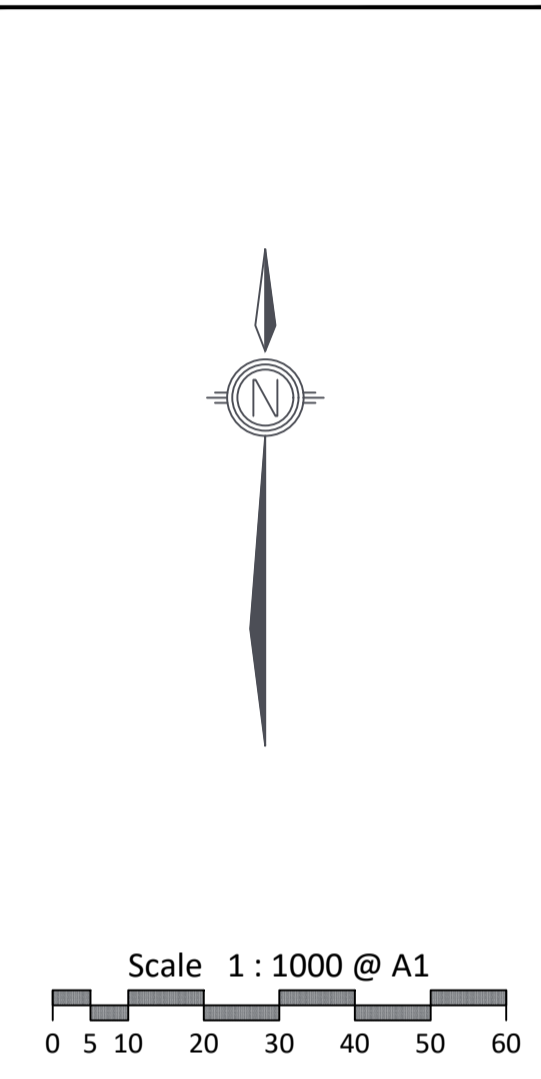
Laneway Allotment - Allotments serviced by a laneway.

**REVISION**

Y: 12/05/2022 Stage 5 Layout Change  
Z: 08/06/2022 Entry Statement Lease Areas  
AA: 18/08/2022 Temporary STIF Notation  
AB: 20/09/2022 Stage 3 & 5 Boundary Changes  
AC: 14/11/2022 Stage 3 & 4 Layout Changes  
AD: 24/02/2023 Stage 3 & 4 Layout Changes  
AE: 24/02/2023 Stage 3 & 5 Layout Changes  
AF: 20/03/2023 Stage 3 & 5 Layout Changes  
AG: 13/04/2023 Stage 3 & 5 Layout Changes  
AH: 25/04/2023 Stage 4 Layout Changes  
AI: 08/08/2023 Stage 5 Basin Change  
AJ: 12/02/2024 Stage 5R Layout Change

**Note:**  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m<sup>2</sup>.  
The boundaries shown on this plan should not be used for final detailed engineers design.  
Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
Site boundaries: Registered Survey Plans 1 Veris  
Adjoining information: DCDB  
Contours: Bradlees.



CLIENT  
**PEET**

PROJECT  
**Flagstone Precinct 1**

Plan of Development  
Stage 4J, K & L  
Residential Allotments

Date:	12 February 2024
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1 : 1000
Sheet:	A1
Plan Ref:	110056 - 401
Rev:	AJ

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**PLANS AND DOCUMENTS**  
referred to in the PDA  
**DEVELOPMENT APPROVAL**

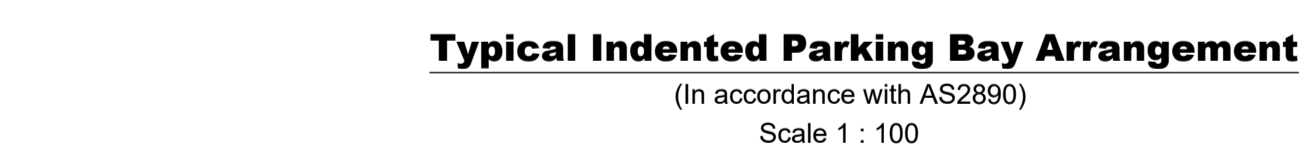
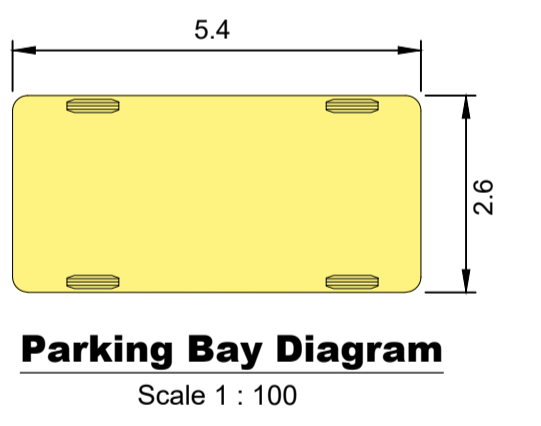
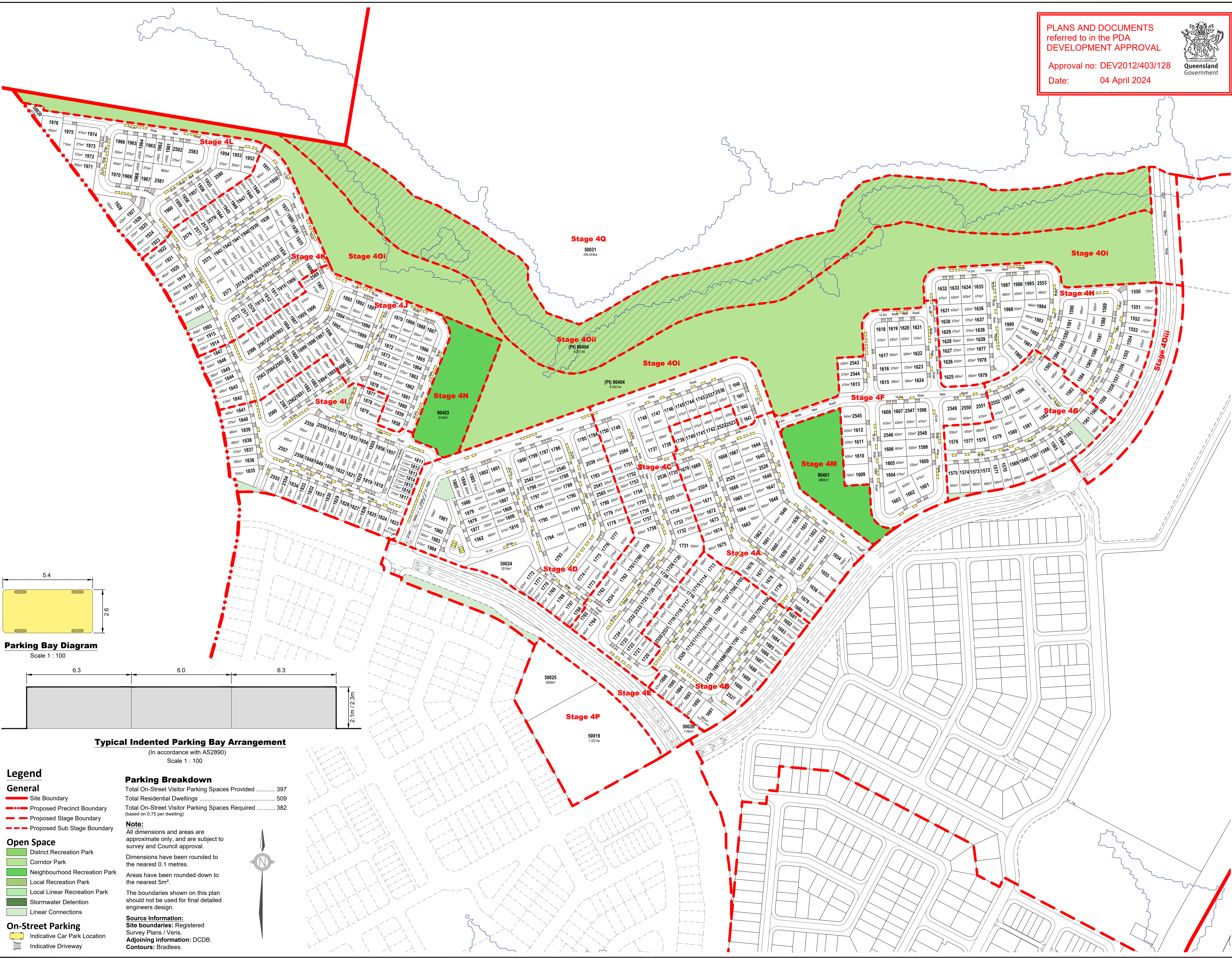
Approval no: DEV2012/403/128  
Date: 04 April 2024



REVISION

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Adjoining information: DCDB.  
Contours: Bradlees.

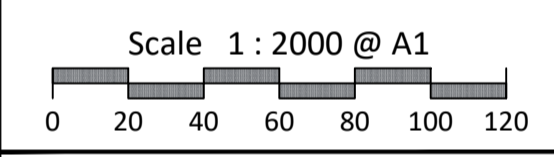


- Legend**
- General**
- Site Boundary
  - Proposed Precinct Boundary
  - Proposed Stage Boundary
  - Proposed Sub Stage Boundary
- Open Space**
- District Recreation Park
  - Corridor Park
  - Neighbourhood Recreation Park
  - Local Recreation Park
  - Local Linear Recreation Park
  - Stormwater Detention
  - Linear Connections
- On-Street Parking**
- Indicative Car Park Location
  - Indicative Driveway

**Parking Breakdown**

Total On-Street Visitor Parking Spaces Provided	397
Total Residential Dwellings	509
Total On-Street Visitor Parking Spaces Required (based on 0.75 per dwelling)	382

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Areas have been rounded down to the nearest 5m<sup>2</sup>.  
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Site boundaries: Registered Survey Plans / Veris.  
Adjoining information: DCDB.  
Contours: Bradlees.



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**PEET**

PROJECT  
**Flagstone Precinct 1**

Plan of Subdivision  
Stage 4 Overall  
Parking Management Plan

Date:	12 February 2024
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1 : 2000
Sheet:	A1
Plan Ref:	110056 - 402
Rev:	AJ

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