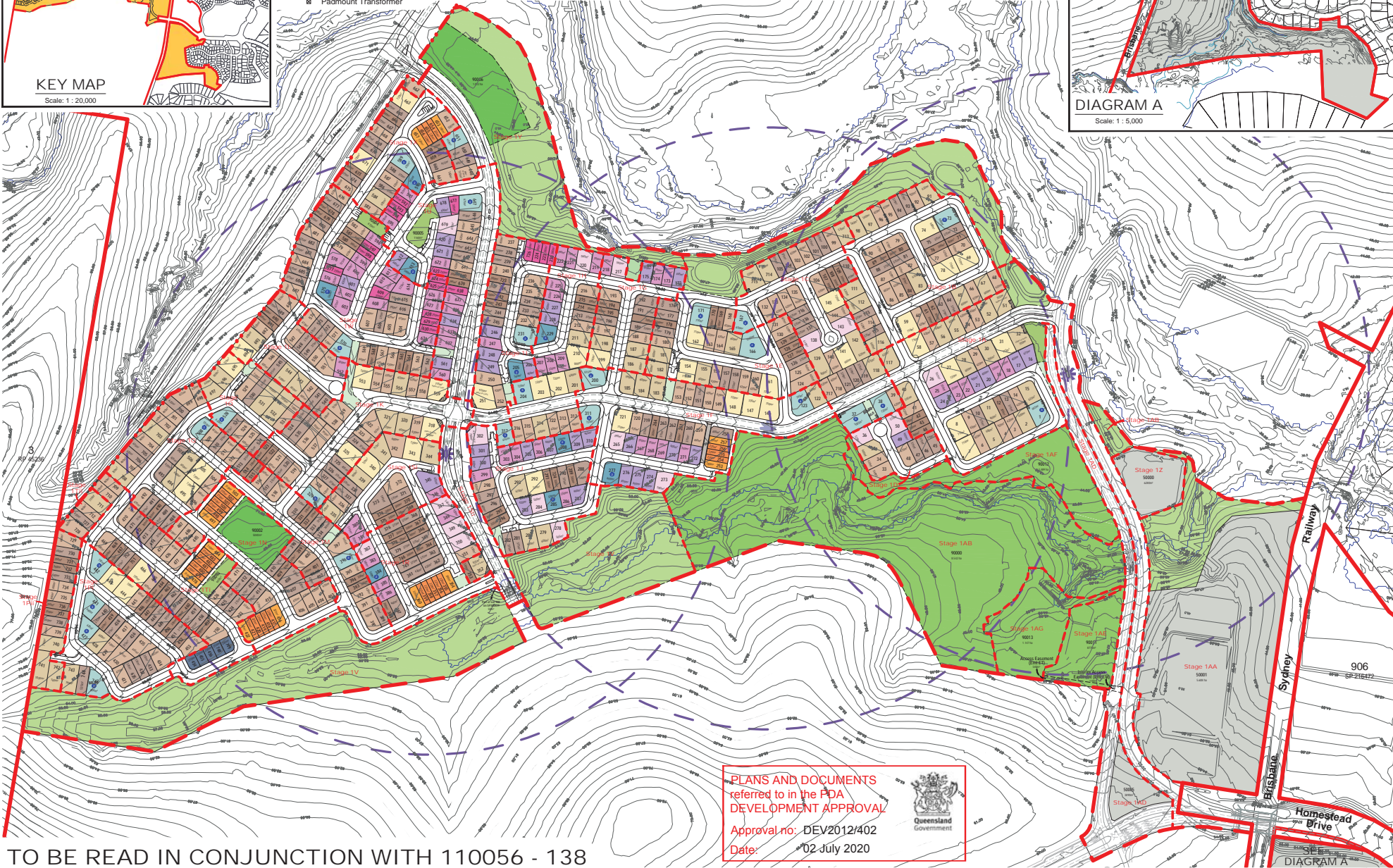
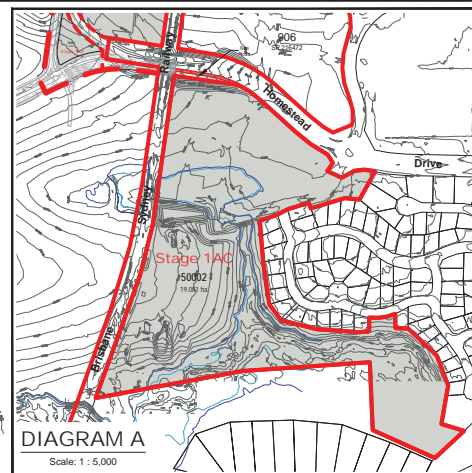


- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Super Stage Boundary
 - Proposed Sub Stage Boundary
 - Entry Statements - Lease
 - Existing Q5
 - Existing Q100
 - Alternative Road Alignment
 - 400m Catchment Area
 - Maximum Potential Residential Dwellings
 - Indicative In-line Bus Stop
 - Indicative Bus Stop Location
 - Padmount Transformer
- Open Space**
- Regional Recreation Park
 - Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
 - Entry Statements
 - Retained Vegetation - Flagstone & Sandy Creek (updated as per Saunders Havill email 10/11/14)
 - Retained Vegetation - Other Areas (updated as per Saunders Havill email 10/11/14)
- Legend**
- 20m Deep Allotments**
- Ascot Allotment
 - Villa Allotment
 - Courtyard Allotment
 - Premium Courtyard Allotment
 - Premium Traditional Allotment
 - Possible Multiple Residential Allotment
- 25m Deep Allotments**
- Villa Allotment
 - Courtyard Allotment
 - Premium Courtyard Allotment
 - Premium Traditional Allotment
 - Possible Multiple Residential Allotment
- 28m Deep Allotments**
- 7.5m Terrace Allotment
 - 9.5m End Terrace Allotment
- Allotments**
- Villa Allotment
 - Premium Villa Allotment
 - Courtyard Allotment
 - Traditional Allotment
 - Premium Traditional Allotment
 - Possible Multiple Residential Allotment
 - Super Allotment
- 30m Deep Allotments**
- Villa Allotment
 - Premium Villa Allotment
 - Courtyard Allotment
 - Traditional Allotment
 - Premium Traditional Allotment
 - Possible Multiple Residential Allotment
 - Super Allotment
- Super Allotments**
- Super Allotment

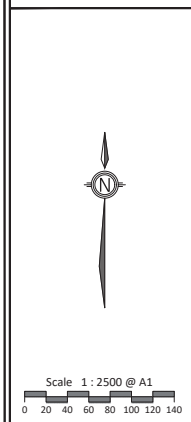


REVISION

AA:	17/05/18 Amend Stage 1P
AB:	06/09/18 Amend Stage 1V, 1W, 1X, 1Y, 1Z
AC:	24/01/19 Sub-Staging 1S & 1AG
AD:	20/03/19 POD Amendments & Site EM
AE:	18/06/19 Amend Stage 1H, 1I, 1R, 1S, 1T and 1U
AF:	19/08/19 POD Control Amendments
AG:	16/12/19 POD Amendments Stage 1P, 1R, 1S and 1T
AH:	23/09/20 Amend POD Lots 205 & 609

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DCCB.
Contours: Carcho Bulk Earthworks



CLIENT
PEET

PROJECT
FLAGSTONE
PRECINCT 1
**PLAN OF SUBDIVISION
STAGE 1
ALLOTMENT LAYOUT**

Date:	23 June 2020
Comp By:	WNW
Checked By:	MD / DG
Draw Name:	Precinct 1 Stage 1
Job Reference:	110056
Local Authority:	ECONOMIC DEVELOPMENT QUEENSLAND
Locality:	JIMBOOMBA
Scale:	1 : 2500
Sheet:	A1
Plan Ref:	110056 - 121
Rev:	AH

RPS

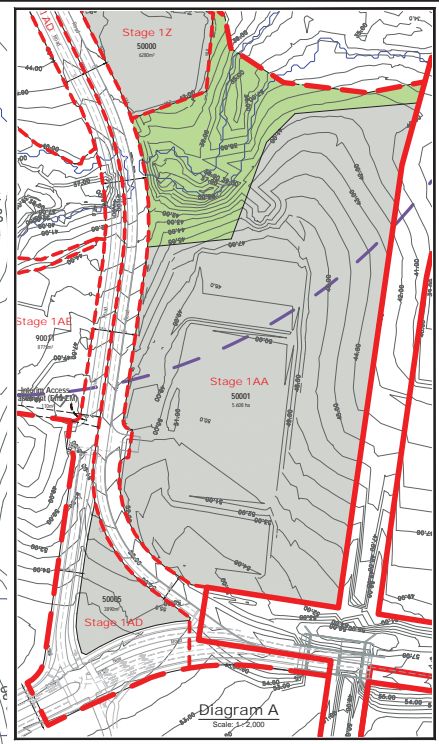
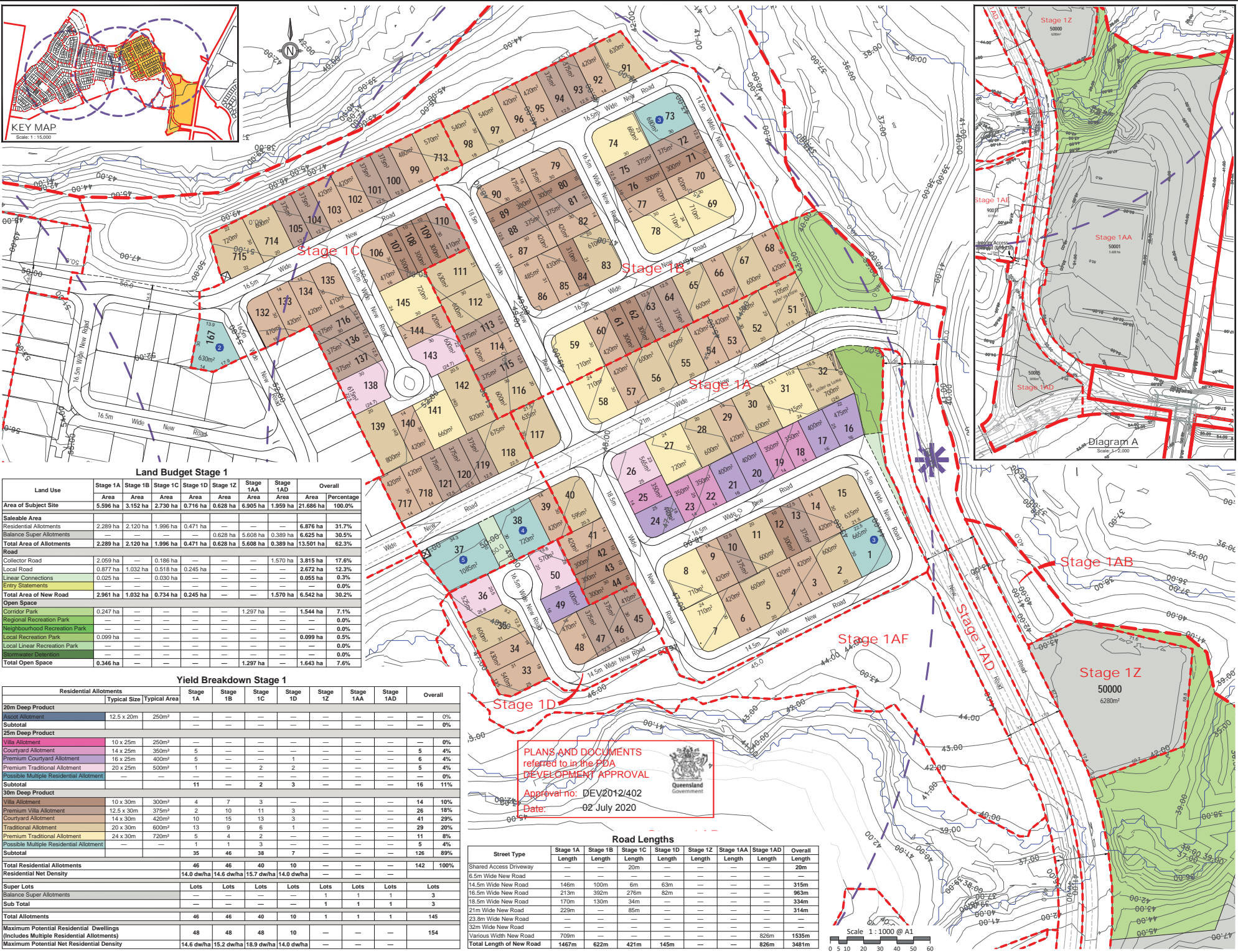
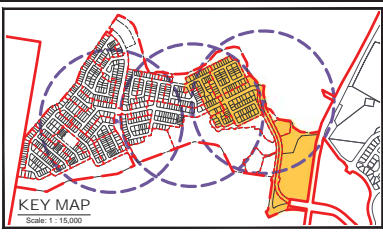
RPS Australia East Pty Ltd
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ABN 44 140 292 762

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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2012/402
Date: 02 July 2020

TO BE READ IN CONJUNCTION WITH 110056 - 138



Land Budget Stage 1

Land Use	Stage 1A	Stage 1B	Stage 1C	Stage 1D	Stage 1Z	Stage 1AA	Stage 1AD	Overall
	Area	Area	Area	Area	Area	Area	Area	
Area of Subject Site	5.996 ha	3.152 ha	2.730 ha	0.716 ha	0.628 ha	6.905 ha	1.959 ha	21.686 ha 100.0%
Saleable Area	2.289 ha	2.120 ha	1.996 ha	0.471 ha	0.628 ha	5.608 ha	0.389 ha	6.876 ha 31.7%
Residential Allotments	2.289 ha	2.120 ha	1.996 ha	0.471 ha	0.628 ha	5.608 ha	0.389 ha	6.876 ha 31.7%
Balance Super Allotments	—	—	—	—	—	—	—	—
Total Area of Allotments	2.289 ha	2.120 ha	1.996 ha	0.471 ha	0.628 ha	5.608 ha	0.389 ha	13.501 ha 62.3%
Road	2.059 ha	—	0.186 ha	—	—	1.570 ha	3.815 ha	17.6%
Collector Road	0.877 ha	1.032 ha	0.518 ha	0.245 ha	—	—	2.672 ha	12.3%
Local Road	0.025 ha	—	0.030 ha	—	—	—	0.055 ha	0.3%
Linear Connections	—	—	—	—	—	—	—	—
Entry Statements	—	—	—	—	—	—	—	—
Total Area of New Road	2.961 ha	1.032 ha	0.734 ha	0.245 ha	—	1.570 ha	6.542 ha	30.2%
Open Space	0.247 ha	—	—	—	—	1.297 ha	—	1.544 ha 7.1%
Corridor Park	—	—	—	—	—	—	—	—
Regional Recreation Park	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	0.0%
Local Recreation Park	0.099 ha	—	—	—	—	—	0.099 ha	0.5%
Local Linear Recreation Park	—	—	—	—	—	—	—	0.0%
Scenic Open Space	—	—	—	—	—	—	—	0.0%
Total Open Space	0.346 ha	—	—	—	—	1.297 ha	—	1.643 ha 7.6%

Yield Breakdown Stage 1

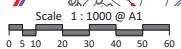
Residential Allotments	Typical Size		Typical Area		Stage 1A	Stage 1B	Stage 1C	Stage 1D	Stage 1Z	Stage 1AA	Stage 1AD	Overall
	Typical Size	Typical Area	Area	Area	Area	Area	Area	Area	Area	Area		
20m Deep Product	12.5 x 20m	250m ²	—	—	—	—	—	—	—	—	—	0%
Subtotal	—	—	—	—	—	—	—	—	—	—	—	0%
25m Deep Product	10 x 25m	250m ²	—	—	—	—	—	—	—	—	—	0%
Villa Allotment	14 x 25m	350m ²	5	—	—	—	—	—	—	—	—	5
Courtyard Allotment	16 x 25m	400m ²	—	—	—	—	—	—	—	—	—	4
Premium Courtyard Allotment	20 x 25m	500m ²	—	—	—	—	—	—	—	—	—	4
Premium Traditional Allotment	—	—	—	—	—	—	—	—	—	—	—	4
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	0%
Subtotal	—	—	—	—	11	—	2	3	—	—	—	16
30m Deep Product	10 x 30m	300m ²	4	7	3	—	—	—	—	—	—	14
Villa Allotment	12.5 x 30m	375m ²	2	10	11	3	—	—	—	—	—	26
Premium Villa Allotment	14 x 30m	420m ²	10	15	13	3	—	—	—	—	—	41
Courtyard Allotment	20 x 30m	600m ²	13	9	6	1	—	—	—	—	—	29
Traditional Allotment	—	—	—	—	—	—	—	—	—	—	—	20
Premium Traditional Allotment	—	—	—	—	—	—	—	—	—	—	—	11
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	5
Subtotal	—	—	—	—	35	46	38	7	—	—	—	126
Total Residential Allotments	—	—	46	46	40	10	—	—	—	—	—	142
Residential Net Density	14.6 dwha	14.6 dwha	15.7 dwha	14.0 dwha	—	—	—	—	—	—	—	100%
Super Lots	—	—	—	—	—	—	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	—	—	—	—	—	—	3
Sub Total	—	—	—	—	—	—	—	—	—	—	—	3
Total Allotments	—	—	46	46	40	10	1	1	1	1	1	145
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)	—	—	48	48	48	10	—	—	—	—	—	154
Maximum Potential Net Residential Density	14.6 dwha	15.2 dwha	18.9 dwha	14.0 dwha	—	—	—	—	—	—	—	—

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
 Approval no: DEV2012/402
 Date: 02 July 2020



Road Lengths

Street Type	Stage 1A	Stage 1B	Stage 1C	Stage 1D	Stage 1Z	Stage 1AA	Stage 1AD	Overall
	Length	Length	Length	Length	Length	Length	Length	Length
Shared Access Driveway	—	—	20m	—	—	—	—	20m
6.5m Wide New Road	—	—	—	—	—	—	—	—
14.5m Wide New Road	146m	100m	6m	63m	—	—	—	315m
21.5m Wide New Road	213m	392m	216m	82m	—	—	—	903m
18.5m Wide New Road	170m	130m	34m	—	—	—	—	334m
21m Wide New Road	229m	—	85m	—	—	—	—	314m
23.8m Wide New Road	—	—	—	—	—	—	—	—
32m Wide New Road	—	—	—	—	—	—	—	—
Various Width New Road	709m	—	—	—	—	—	—	1535m
Total Length of New Road	1467m	622m	421m	145m	—	—	—	826m 3481m



REVISION
 AA: 17/05/19 Amend Stage 1P
 AB: 06/06/19 Amend Stage 1Z, 1W, 1X, 1Y, 1Z
 AC: 24/01/19 Sub-Staging 1S & 1AG
 AD: 20/03/19 POD Amendments & 5m EM
 AE: 16/06/19 Amend Stage 1H, 1I, 1R, 1S
 AF: 19/08/19 POD Control Amendments
 AG: 16/10/19 POD Amendments Stage 1P
 AH: 1R, 1S and 1T
 AH: 23/09/20 Amend POD Lots 205 & 609

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.
 Source Information:
 Site boundaries: Registered Survey Plans.
 Adjoining information: DCCB, Contours: Cartho Bulk Earthworks

Legend
 — Site Boundary
 - - - Proposed Precinct Boundary
 - - - Proposed Stage Boundary
 - - - Proposed Sub Stage Boundary
 — Existing O5
 — Existing O100
 — Retained Vegetation - Flagstone & Sandy Creek
 — Retained Vegetation - Other Areas
 — 400m Catchment Area
 — Possible Multiple Residential Allotment (Max. no. of dwellings)
 * Indicative Bus Stop Location
 * Padmount Transformer

CLIENT
PEET

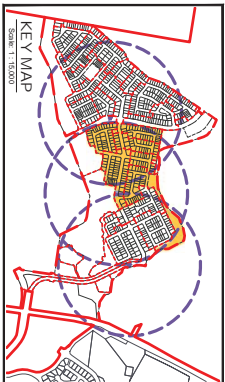
PROJECT
FLAGSTONE PRECINCT 1

PLAN OF SUBDIVISION
 STAGE 1A - 1D,
 1Z - 1AA & 1AD
 ALLOTMENT LAYOUT

Date: 23 June 2020
 Comp By: WNW
 Checked By: MD / DG
 Draw Name: Precinct 1 Stage 1
 Job Reference: 110056

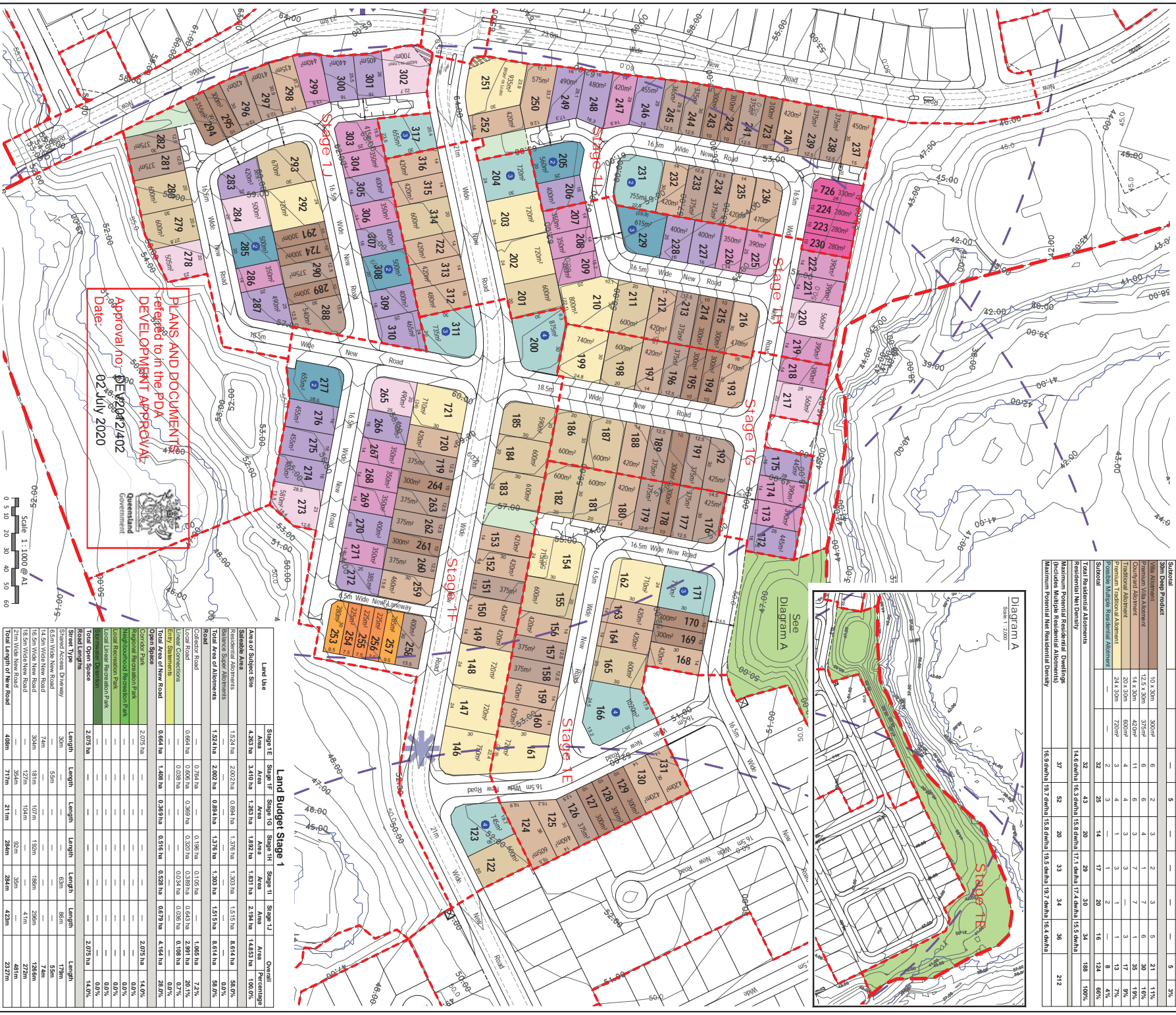
Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND
 Locality: JIMBOOMBA
 Scale: 1:1000 Sheet: A1
 Plan Ref: 110056 - 122 Rev: AH

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Legend

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Existing OS
- Empty Statements - Lease
- Retained Vegetation - Pasture & Sandy Creek
- Retained Vegetation - Other Areas
- 40m Catchment Area
- Possible Multiple Residential Allotment (Max. no of dwellings)
- Indicative Main Bus Stop
- Indicative Bus Stop Location
- Padmount Transformer



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
 Approval no. **DEP/2012/02**
 Date: **02 July 2020**



Yield Breakdown Stage 1

Residential Allotments	Typical Size	Type	Area	TE	Stage 1F	Stage 1G	Stage 1H	Stage 1I	Stage 1J	Overall
20m Deep Product	12.5 x 20m	250m ²	—	—	—	—	—	—	—	5%
20m Deep Product	10 x 20m	200m ²	—	—	—	—	—	—	—	5%
20m Deep Product	10 x 20m	200m ²	—	—	—	—	—	—	—	2%
20m Deep Product	14 x 20m	280m ²	—	—	—	—	—	—	—	11%
20m Deep Product	16 x 20m	320m ²	—	—	—	—	—	—	—	22%
20m Deep Product	20 x 25m	500m ²	—	—	—	—	—	—	—	4%
20m - 50m Deep Product	—	—	13	6	12	10	18	59	31%	—
20m - 50m Deep Product	7.5 x 20m	210m ²	—	—	—	—	—	—	—	2%
20m - 50m Deep Product	9.5 x 20m	200m ²	—	—	—	—	—	—	—	2%
20m - 50m Deep Product	10 x 30m	300m ²	—	—	—	—	—	—	—	3%
20m - 50m Deep Product	12.5 x 30m	375m ²	—	—	—	—	—	—	—	3%
20m - 50m Deep Product	14 x 30m	420m ²	—	—	—	—	—	—	—	3%
20m - 50m Deep Product	20 x 30m	600m ²	—	—	—	—	—	—	—	3%
20m - 50m Deep Product	24 x 30m	720m ²	—	—	—	—	—	—	—	3%
20m - 50m Deep Product	—	—	2	4	3	3	1	13	7%	—
20m - 50m Deep Product	—	—	2	3	4	1	2	16	8%	—
20m - 50m Deep Product	—	—	2	25	14	17	20	18	124	65%
20m - 50m Deep Product	—	—	32	43	20	29	30	34	188	100%
Total Residential Allotments	—	—	—	—	—	—	—	—	—	—
Residential Net Density	143.6 dw/ha (16.3 dw/ha) (5.8 dw/ha) (7.1 dw/ha) (17.4 dw/ha) (5.5 dw/ha)	—	—	—	—	—	—	—	—	—
Maximum Potential Residential Dwellings	—	—	—	—	—	—	—	—	—	—
Maximum Potential Residential Allotments	—	—	—	—	—	—	—	—	—	—
Maximum Potential Net Residential Density	163.9 dw/ha (19.7 dw/ha) (8.8 dw/ha) (13.5 dw/ha) (19.7 dw/ha) (6.4 dw/ha)	—	—	—	—	—	—	—	—	—



Land Budget Stage 1

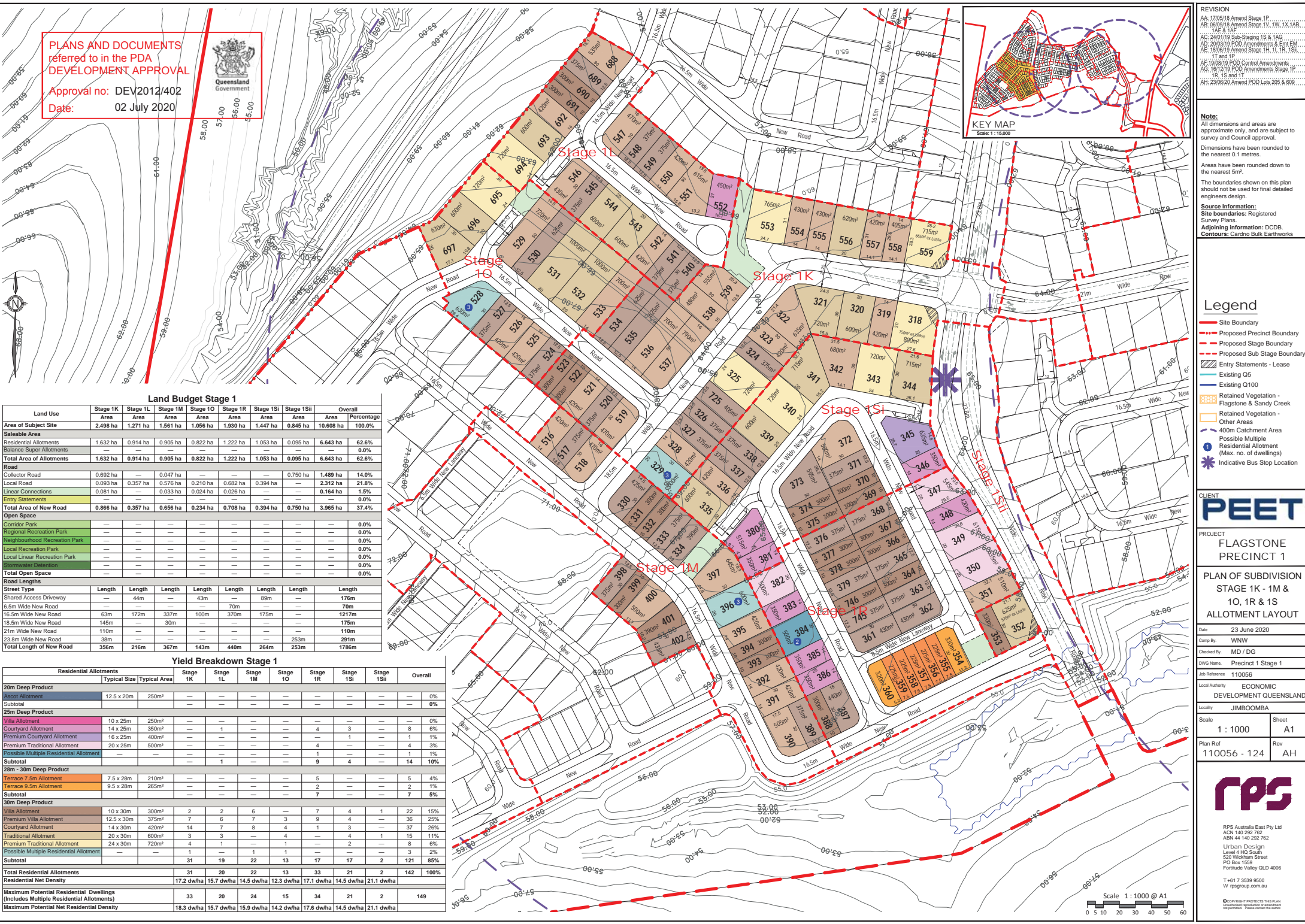
Land Use	Stage 1E	Stage 1F	Stage 1G	Stage 1H	Stage 1I	Stage 1J	Overall
Area of Subject Site	4,833 ha	3,410 ha	1,263 ha	1,922 ha	1,831 ha	2,194 ha	14,553 ha
Sustainable Area	1,524 ha	2,022 ha	0,884 ha	1,376 ha	1,303 ha	1,515 ha	8,614 ha
Reserve/Retained Allotments	1,524 ha	2,022 ha	0,884 ha	1,376 ha	1,303 ha	1,515 ha	8,614 ha
Reserve/Retained Allotments	1,524 ha	2,022 ha	0,884 ha	1,376 ha	1,303 ha	1,515 ha	8,614 ha
Collector Road	0.762 ha	—	0.196 ha	0.107 ha	—	—	1,065 ha
Local Road	0.664 ha	0.062 ha	0.389 ha	0.203 ha	0.653 ha	2,291 ha	20.1%
Drainage Connections	0.038 ha	—	0.033 ha	—	0.038 ha	0.188 ha	0.2%
Open Space (New Road)	0.664 ha	1,408 ha	0.362 ha	0.816 ha	0.829 ha	4,164 ha	29.5%
Regional Recreation Park	—	—	—	—	—	—	2,075 ha
Regional Recreation Park	—	—	—	—	—	—	14.0%
Local Recreation Park	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	2,075 ha
Street Type	Length	Length	Length	Length	Length	Length	Length
Shared Access Driveway	30m	—	—	—	—	—	—
6.5m Wide New Road	70m	—	—	—	—	—	55m
10.5m Wide New Road	30m	181m	107m	150m	180m	250m	1435m
15.5m Wide New Road	127m	104m	—	—	—	—	222m
21m Wide New Road	50m	—	—	—	—	—	48m
Total Length of New Road	400m	177m	21m	264m	284m	423m	2377m

REVISION	A1: 17/01/20 Approved Stage 1P B1: 18/03/20 Approved Stage 1Q, 1R, 1S, 1T, 1U, 1V, 1W, 1X, 1Y, 1Z C1: 24/01/20 Approved Stage 1A & 1B D1: 24/01/20 Approved Stage 1C & 1D E1: 24/01/20 Approved Stage 1E & 1F F1: 24/01/20 Approved Stage 1G & 1H G1: 24/01/20 Approved Stage 1I & 1J H1: 24/01/20 Approved Stage 1K & 1L I1: 24/01/20 Approved Stage 1M & 1N J1: 24/01/20 Approved Stage 1O & 1P K1: 24/01/20 Approved Stage 1Q & 1R L1: 24/01/20 Approved Stage 1S & 1T M1: 24/01/20 Approved Stage 1U & 1V N1: 24/01/20 Approved Stage 1W & 1X O1: 24/01/20 Approved Stage 1Y & 1Z
PROJECT	FLAGSTONE PRECINCT 1 Job Ref: 110056 Date: 23 June 2020 Comp By: WINW DWG Name: Precinct 1 Stage 1 Created By: MJD/DG Locality: JIMBOOMBA Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND
CLIENT	PEET PLAN OF SUBDIVISION STAGE 1E - 1J ALLOTMENT LAYOUT
Scale	1 : 1000
Sheet	A1
Plan Ref	1100556 - 123
Rev	AH

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/402

Date: 02 July 2020



REVISION

AA: 17/05/18 Amend Stage 1P
AB: 06/09/18 Amend Stage 1K, 1L, 1M, 1S, 1Si, 1AE & 1AF
AC: 24/01/19 Sub-Staging 1S & 1AG
AD: 20/03/19 POD Amendments & 5m E&M
AE: 16/06/19 Amend Stage 1K, 1L, 1R, 1S, 1Si, 1T and 1P
AF: 16/09/19 POD Control Amendments
AG: 16/12/19 POD Amendments Stage 1P
AH: 1R, 1S and 1T
AJ: 23/09/20 Amend POD Lots 205 & 209

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DCCB.
Contours: Cadbro Bulk Earthworks

Legend

- Site Boundary
- - - Proposed Precinct Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Entry Statements - Lease
- Existing Q15
- Existing Q100
- Retained Vegetation - Flagstone & Sandy Creek
- Retained Vegetation - Other Areas
- 400m Catchment Area
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- * Indicative Bus Stop Location

Land Budget Stage 1

Land Use	Stage							Overall Area	Percentage
	1K	1L	1M	1O	1R	1S	1Si		
Area of Subject Site	2,498 ha	1,271 ha	1,561 ha	1,056 ha	1,930 ha	1,447 ha	0,845 ha	10,608 ha	100.0%
Sales Area									
Residential Allotments	1,632 ha	0,914 ha	0,905 ha	0,822 ha	1,222 ha	1,053 ha	0,095 ha	6,643 ha	62.6%
Balance Super Allotments	—	—	—	—	—	—	—	—	0.0%
Total Area of Allotments	1,632 ha	0,914 ha	0,905 ha	0,822 ha	1,222 ha	1,053 ha	0,095 ha	6,643 ha	62.6%
Road									
Collector Road	0.692 ha	—	0.047 ha	—	—	—	0.750 ha	1.489 ha	14.0%
Local Road	0.093 ha	0.357 ha	0.576 ha	0.210 ha	0.682 ha	0.394 ha	—	2.312 ha	21.8%
Linear Connections	0.081 ha	—	0.033 ha	0.024 ha	—	—	—	0.164 ha	1.5%
Entry Statements	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	0.866 ha	0.357 ha	0.656 ha	0.234 ha	0.708 ha	0.394 ha	0.750 ha	3.965 ha	37.4%
Open Space									
Corridor Park	—	—	—	—	—	—	—	—	0.0%
Regional Recreation Park	—	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	—	—	0.0%
Road Lengths									
Street Type	Length	Length	Length	Length	Length	Length	Length	Length	
Shared Access Driveway	—	44m	—	43m	—	89m	—	176m	
15.5m Wide New Road	—	—	—	—	70m	—	—	70m	
16.5m Wide New Road	63m	172m	337m	100m	370m	175m	—	1217m	
19.5m Wide New Road	145m	—	30m	—	—	—	—	175m	
21m Wide New Road	110m	—	—	—	—	—	—	110m	
23.8m Wide New Road	38m	—	—	—	—	—	—	291m	
Total Length of New Road	356m	216m	367m	143m	440m	264m	253m	1786m	

Yield Breakdown Stage 1

Residential Allotments	Typical Size	Typical Area	Stage							Overall
			1K	1L	1M	1O	1R	1S	1Si	
20m Deep Product										
Adapt Allotment	12.5 x 20m	250m ²	—	—	—	—	—	—	—	0%
Subtotal	—	—	—	—	—	—	—	—	—	0%
25m Deep Product										
Villa Allotment	10 x 25m	250m ²	—	—	—	—	—	—	—	0%
Courtyard Allotment	14 x 25m	350m ²	—	—	—	—	—	—	—	0%
Premium Courtyard Allotment	16 x 25m	400m ²	—	1	—	—	—	—	—	1%
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	4	—	—	4%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	1%
Subtotal	—	—	—	1	—	—	9	4	—	14%
28m - 30m Deep Product										
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	—	5	—	4%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	—	2	—	1%
Subtotal	—	—	—	—	—	—	—	7	—	7%
30m Deep Product										
Villa Allotment	10 x 30m	300m ²	2	2	6	—	7	4	1	22%
Premium Villa Allotment	12.5 x 30m	375m ²	7	6	7	3	9	4	—	36%
Courtyard Allotment	14 x 30m	420m ²	14	7	8	4	1	3	—	37%
Traditional Allotment	20 x 30m	600m ²	3	3	—	—	4	—	1	15%
Premium Traditional Allotment	24 x 30m	720m ²	4	1	—	—	—	2	—	6%
Possible Multiple Residential Allotment	—	—	—	1	—	—	—	—	—	3%
Subtotal	—	—	31	19	22	13	17	17	2	121%
Total Residential Allotments			31	20	22	13	33	21	2	142%
Residential Net Density			17.2 dwha	15.7 dwha	14.5 dwha	12.3 dwha	17.1 dwha	14.5 dwha	21.1 dwha	100%
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			33	20	24	15	34	21	2	149
Maximum Potential Net Residential Density			18.3 dwha	15.7 dwha	15.9 dwha	14.2 dwha	17.6 dwha	14.5 dwha	21.1 dwha	

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PROJECT
FLAGSTONE PRECINCT 1

PLAN OF SUBDIVISION
STAGE 1K - 1M & 1O, 1R & 1S
ALLOTMENT LAYOUT

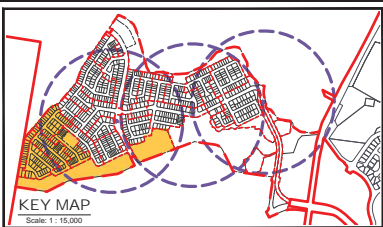
Date: 23 June 2020
Comp By: WNW
Checked By: MD / DG
DWG Name: Precinct 1 Stage 1
Job Reference: 110056
Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND
Locality: JIMBOOMBA

Scale: 1 : 1000 Sheet: A1
Plan Ref: 110056 - 124 Rev: AH

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ABN 44 140 292 762
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Scale 1:1000 @ A1
0 5 10 20 30 40 50 60



KEY MAP
Scale: 1:15,000



Scale: 1:2,000

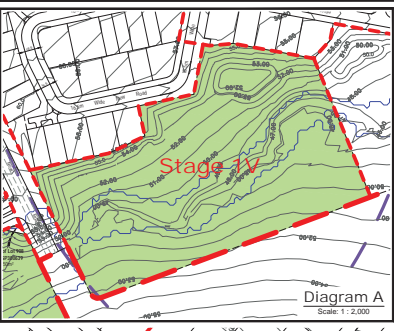
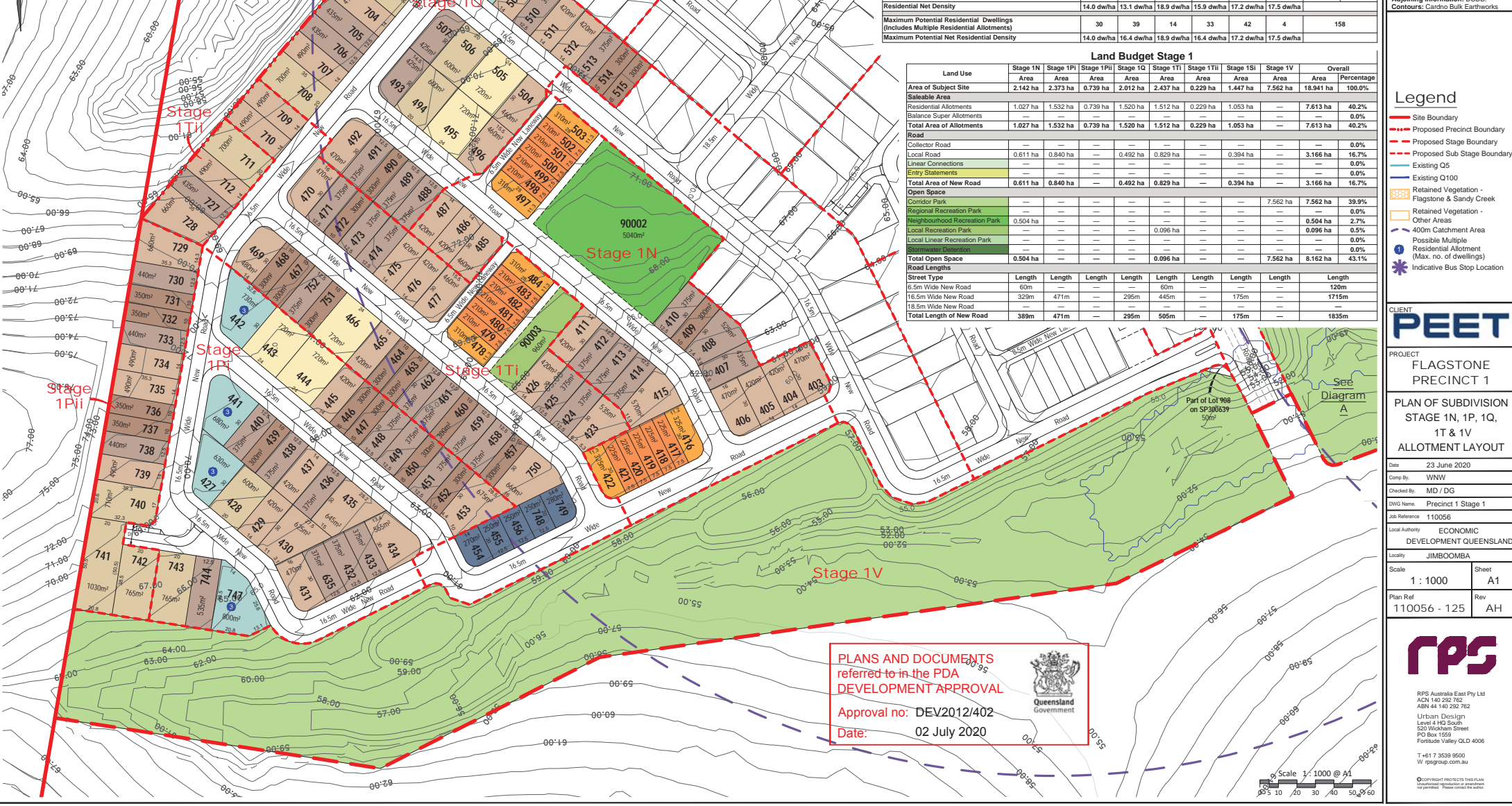


Diagram A
Scale: 1:2,000

Yield Breakdown Stage 1

Residential Allotments	Typical Size	Typical Area	Stage					Overall		
			1N	1P	1Q	1T	1V			
20m Deep Product										
Ascot Allotment	12.5 x 20m	250m ²	—	—	—	5	—	5	3%	
Subtotal						5	—	5	3%	
25m Deep Product										
Village Allotment	10 x 25m	250m ²	—	—	—	—	—	—	0%	
Courtyard Allotment	14 x 25m	350m ²	—	—	—	—	—	—	0%	
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	—	—	—	—	0%	
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—	—	0%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	0%	
Subtotal						—	—	—	0%	
28m - 30m Deep Product										
Terrace 7.5m Allotment	7.5 x 28m	210m ²	10	—	—	—	5	—	10%	
Terrace 4.5m Allotment	9.5 x 28m	265m ²	4	—	—	—	2	—	4%	
Subtotal			14	—	—	—	7	—	14%	
30m Deep Product										
Villa Allotment	10 x 30m	300m ²	1	5	4	3	8	—	14%	
Premium Villa Allotment	12.5 x 30m	375m ²	6	10	3	10	10	1	39	26%
Courtyard Allotment	14 x 30m	420m ²	9	8	4	12	11	2	44	30%
Traditional Allotment	20 x 30m	600m ²	—	2	3	4	—	1	9	6%
Premium Traditional Allotment	24 x 30m	720m ²	—	2	2	—	1	—	5	3%
Possible Multiple Residential Allotment	—	—	—	4	—	—	—	—	5	3%
Subtotal			16	31	14	32	30	4	123	83%
Total Residential Allotments			30	31	14	32	42	4	149	100%
Residential Net Density			14.0 dw/ha	13.1 dw/ha	18.9 dw/ha	15.9 dw/ha	17.2 dw/ha	17.5 dw/ha		
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			30	39	14	33	42	4	158	
Maximum Potential Net Residential Density			14.0 dw/ha	16.4 dw/ha	18.9 dw/ha	16.4 dw/ha	17.2 dw/ha	17.5 dw/ha		

Land Budget Stage 1

Land Use	Stage 1N		Stage 1P		Stage 1Q		Stage 1T		Stage 1V		Overall	
	Area	Percentage	Area	Percentage	Area	Percentage	Area	Percentage	Area	Percentage		
Area of Subject Site	2.142 ha	100.0%	2.373 ha	100.0%	0.739 ha	100.0%	1.520 ha	100.0%	1.512 ha	100.0%	18.941 ha	100.0%
Saleable Area												
Residential Allotments	1.027 ha	48.0%	1.532 ha	64.6%	0.739 ha	100.0%	1.520 ha	100.0%	1.512 ha	100.0%	7.613 ha	40.2%
Balance Super Allotments	—	0.0%	—	0.0%	—	0.0%	—	0.0%	—	0.0%	—	0.0%
Total Area of Allotments	1.027 ha	48.0%	1.532 ha	64.6%	0.739 ha	100.0%	1.520 ha	100.0%	1.512 ha	100.0%	7.613 ha	40.2%
Road												
Collector Road	—	0.0%	—	0.0%	—	0.0%	—	0.0%	—	0.0%	—	0.0%
Local Road	0.611 ha	28.5%	0.840 ha	35.4%	0.492 ha	66.4%	0.829 ha	54.9%	0.394 ha	26.1%	3.166 ha	16.7%
Linear Connections	—	0.0%	—	0.0%	—	0.0%	—	0.0%	—	0.0%	—	0.0%
Entry Statements	—	0.0%	—	0.0%	—	0.0%	—	0.0%	—	0.0%	—	0.0%
Total Area of New Road	0.611 ha	28.5%	0.840 ha	35.4%	0.492 ha	66.4%	0.829 ha	54.9%	0.394 ha	26.1%	3.166 ha	16.7%
Open Space												
Corridor Park	—	0.0%	—	0.0%	—	0.0%	—	0.0%	7.562 ha	48.0%	7.562 ha	39.9%
Regional Recreation Park	—	0.0%	—	0.0%	—	0.0%	—	0.0%	—	0.0%	—	0.0%
Neighbourhood Recreation Park	0.504 ha	23.5%	—	0.0%	—	0.0%	—	0.0%	—	0.0%	0.504 ha	2.7%
Local Recreation Park	—	0.0%	—	0.0%	—	0.0%	0.096 ha	6.3%	—	0.0%	0.096 ha	0.5%
Local Linear Recreation Park	—	0.0%	—	0.0%	—	0.0%	—	0.0%	—	0.0%	—	0.0%
Total Open Space	0.504 ha	23.5%	—	0.0%	0.096 ha	12.7%	—	0.0%	7.562 ha	48.0%	8.162 ha	43.1%
Road Lengths												
Street Type	Length	Length	Length	Length	Length	Length	Length	Length	Length	Length	Length	
6.5m Wide New Road	60m	—	—	—	60m	—	—	—	—	—	120m	
16.5m Wide New Road	329m	471m	—	295m	445m	—	175m	—	—	—	1715m	
18.5m Wide New Road	—	—	—	—	—	—	—	—	—	—	—	
Total Length of New Road	389m	471m	—	295m	505m	—	175m	—	—	—	1835m	

REVISION

AA: 17/06/18 Amend Stage 1P
 AB: 06/08/18 Amend Stage 1V, 1W, 1X, 1Y, 1Z
 AC: 24/01/19 Sub-Stage 1S & 1AG
 AD: 20/03/19 POD Amendments & 5m EM
 AE: 18/06/19 Amend Stage 1H, 1I, 1R, 1S
 AF: 18/08/19 POD Control Amendments
 AG: 16/12/19 POD Amendments Stage 1P
 AH: 1R, 1S and 1T
 AI: 23/09/20 Amend POD Lots 205 & 209

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final design or engineering design.
Site Information:
 Site boundaries: Registered Survey Plans.
 Adjoining information: DCCB.
 Contours: Canbro Bulk Earthworks

Legend

- Site Boundary
- - - Proposed Precinct Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing Q5
- Existing Q100
- Retained Vegetation - Flagstone & Sandy Creek
- Retained Vegetation - Other Areas
- 400m Catchment Area
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Bus Stop Location

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PROJECT
 FLAGSTONE
 PRECINCT 1

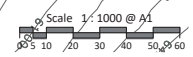
PLAN OF SUBDIVISION
 STAGE 1N, 1P, 1Q,
 1T & 1V
 ALLOTMENT LAYOUT

Date: 23 June 2020
 Comp By: WNW
 Checked by: MD / DG
 DWG Name: Precinct 1 Stage 1
 Job Reference: 110056
 Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND
 Locality: JIMBOOMBA
 Scale: 1:1000 Sheet: A1
 Plan Ref: 110056 - 125 Rev: AH

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

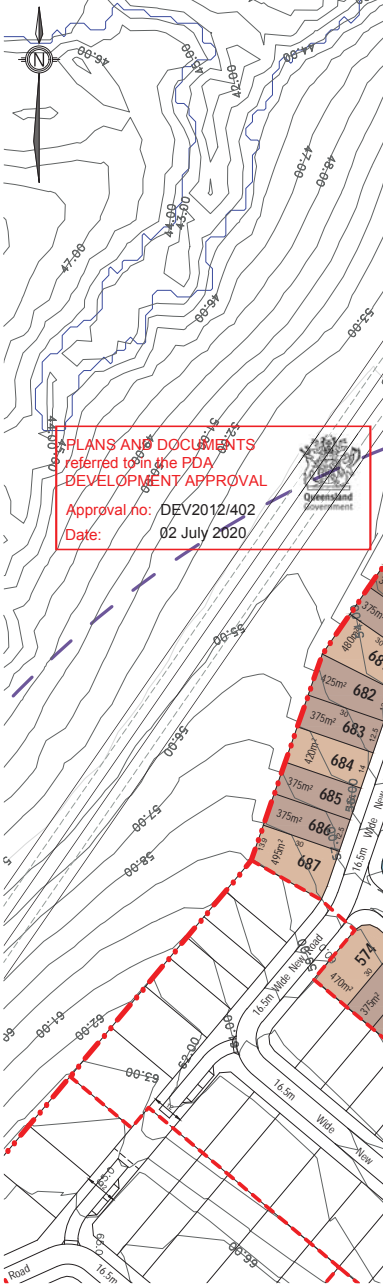
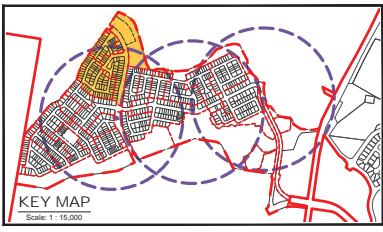
Approval no: DEV2012/402

Date: 02 July 2020



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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
 Approval no: DEV2012/402
 Date: 02 July 2020

Yield Breakdown Stage 1

	Residential Allotments		Stage 1U	Stage 1W	Stage 1X	Stage 1Y	Overall
	Typical Size	Typical Area					
20m Deep Product	12.5 x 20m	250m ²	—	—	—	—	0%
Subtotal							0%
25m Deep Product							
Villa Allotment	10 x 25m	250m ²	6	9	—	—	15 12%
Courtyard Allotment	14 x 25m	350m ²	8	14	—	—	22 18%
Premium Courtyard Allotment	16 x 25m	400m ²	6	1	—	—	7 6%
Premium Traditional Allotment	20 x 25m	500m ²	1	—	—	—	1 1%
Possible Multiple Residential Allotment	—	—	1	1	1	—	3 2%
Subtotal			22	25	1	—	48 39%
28m - 30m Deep Product							
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	3	—	3 2%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	2	—	2 2%
Subtotal					5	—	5 4%
30m Deep Product							
Villa Allotment	10 x 30m	300m ²	2	7	4	—	13 10%
Premium Villa Allotment	12.5 x 30m	375m ²	3	12	8	2	25 20%
Courtyard Allotment	14 x 30m	420m ²	3	15	6	2	26 21%
Traditional Allotment	20 x 30m	600m ²	—	—	1	—	1 1%
Premium Traditional Allotment	24 x 30m	720m ²	—	—	1	—	1 1%
Possible Multiple Residential Allotment	—	—	1	1	1	1	4 3%
Subtotal			9	35	22	5	71 57%
Total Residential Allotments			31	60	28	5	124 100%
Residential Net Density			20.4 dw/ha	19.4 dw/ha	17.3 dw/ha	3.8 dw/ha	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			34	63	31	7	135
Maximum Potential Net Residential Density			22.3 dw/ha	20.4 dw/ha	19.2 dw/ha	5.3 dw/ha	

Land Budget Stage 1

Land Use	Stage 1U	Stage 1W	Stage 1X	Stage 1Y	Overall
	Area	Area	Area	Area	Area
Area of Subject Site	2.705 ha	3.280 ha	1.616 ha	3.852 ha	11.453 ha
Saleable Area					
Residential Allotments	1.199 ha	2.301 ha	1.156 ha	0.249 ha	4.905 ha
Balance Super Allotments	—	—	—	—	0.0%
Total Area of Allotments	1.199 ha	2.301 ha	1.156 ha	0.249 ha	4.905 ha
Road					
Collector Road	1.183 ha	0.194 ha	—	0.307 ha	1.774 ha
Local Road	0.177 ha	0.689 ha	0.460 ha	—	1.326 ha
Linear Connections	0.030 ha	0.028 ha	—	—	0.058 ha
Entry Statements	—	—	—	—	0.0%
Total Area of New Road	1.390 ha	0.911 ha	0.460 ha	0.307 ha	3.158 ha
Open Space					
Condonor Park	—	—	—	2.142 ha	2.142 ha
Regional Recreation Park	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	1.012 ha	1.012 ha
Local Recreation Park	0.116 ha	0.068 ha	—	—	0.184 ha
Local Linear Recreation Park	—	—	—	0.052 ha	0.052 ha
Stormwater Detention	—	—	—	—	0.0%
Total Open Space	0.116 ha	0.068 ha	—	3.206 ha	3.390 ha
Road Lengths					
Street Type	Length	Length	Length	Length	Length
Shared Access Driveway	56m	39m	—	—	95m
14.5m Wide New Road	—	—	—	—	—
16.5m Wide New Road	72m	374m	248m	—	694m
18.5m Wide New Road	161m	112m	—	—	273m
23.8m Wide New Road	307m	—	—	154m	461m
Total Length of New Road	596m	525m	248m	154m	1523m

REVISION
 AA: 17/05/18 Amend Stage 1P
 AB: 06/06/18 Amend Stage 1X, 1W, 1Y, 1AE & 1AF
 AC: 24/01/19 Sub-Stage 1S & 1AG
 AD: 20/03/19 POD Amendments & 5m EM
 AE: 18/06/19 Amend Stage 1H, 1I, 1R, 1S
 AF: 19/08/19 POD Control Amendments
 AG: 16/12/19 POD Amendments Stage 1P
 AH: 1R, 1S and 1T
 AH: 23/09/20 Amend POD Lots 205 & 209

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.
 Source Information:
 Site boundaries: Registered Survey Plans.
 Adjoining information: DCDB.
 Contours: Cadbro Bulk Earthworks

- ### Legend
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Entry Statements - Lease
 - Existing Q5
 - Existing Q100
 - Retained Vegetation - Flagstone & Sandy Creek
 - Retained Vegetation - Other Areas
 - 400m Catchment Area
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - Indicative Bus Stop Location
 - Padmount Transformer

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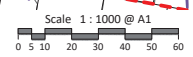
PROJECT
FLAGSTONE PRECINCT 1

PLAN OF SUBDIVISION
 STAGE 1U & 1W - 1Y
 ALLOTMENT LAYOUT

Date: 23 June 2020
 Comp By: WNW
 Checked by: MD / DG
 DWG Name: Precinct 1 Stage 1
 Job Reference: 110056
 Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND
 Locality: JIMBOOMBA
 Scale: 1 : 1000 Sheet: A1
 Plan Ref: 110056 - 126 Rev: AH

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Plan of Development Table

	Terrace Allotments		Ascot Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	75%	0.9m	65%	1.0m	70%	1.0m	65%	1.0m	65%	1.0m	60%	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Laneway Lots																		
Rear of Lot (from laneway boundary including garage)	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	75%		60%		60%		60%		60%		60%		60%		60%		75%	

Note: Setbacks apply as per lot coding colour

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
 Approval no: DEV2012/402
 Date: 02 July 2020



REVISION
 AA: 17/05/18 Amend Stage 1P
 AB: 06/06/18 Amend Stage 1P, 1X, 1Y, 1Z, 1AA, 1AB, 1AC, 1AD, 1AE & 1AF
 AC: 24/01/19 Sub-Staging 1S & 1AG
 AD: 20/01/19 POD Control Amendments
 AE: 18/06/19 Amend Stage 1H, 1I, 1J, 1K, 1LA, 1LB, 1LC, 1LD, 1LE, 1LF, 1LG, 1LH, 1LI, 1LJ, 1LK, 1LL, 1LM, 1LN, 1LO, 1LP, 1LQ, 1LR, 1LS and 1LT
 AH: 23/09/20 Amend POD Lots 205 & 209

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
 Site boundaries: Registered Survey Plans
 Adjoining Information: DCCB
 Contours: Carcho Bulk Earthworks

- Legend**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Entry Statements - Lease
 - Retained Vegetation - Flagstone & Sandy Creek
 - Retained Vegetation - Other Areas
 - 400m Catchment Area
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - Indicative In-line Bus Stop
 - Indicative Bus Stop Location
 - Padmount Transformer Allotment Details
 - Preferred Private Open Space Location
 - Maximum Building Location Envelope
 - Mandatory Built to Boundary Wall
 - Nominal Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - Preferred Garage Location
 - Letterbox Location for Primary Dwelling (on a laneway)
 - Solid Fence to be Constructed by Developer

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PROJECT
 FLAGSTONE
 PRECINCT 1

PLAN OF DEVELOPMENT
 STAGE 1
 RESIDENTIAL LOTS

Date: 23 June 2020
 Comp By: WNW
 Checked by: MD / DG
 DWG Name: Precinct 1 Stage 1
 Job Reference: 110056
 Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND
 Locality: JIMBOOMBA

Scale: 1:2500 Sheet: A1
 Plan Ref: 110056 - 129 Rev: AH

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 ABN 44 140 292 762
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 Level 14/2 South
 520 Wickham Street
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Scale 1:2500 @ A1
 0 20 40 60 80 100 120 140

Notes:

- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys.
 - Maximum building location envelopes are subject to future proposed assessments and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Building AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - All lots (excluding multiple residential allotments) must contain a house.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach further than where buildings are built to boundary closer than 450mm to the lot boundary.
 - Buildings to be sited in accordance with the 'Special Siting Requirements for Corner Allotments'

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof).
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.49 metres wide - 1 covered space per dwelling
 - For Ascot Allotments - 2 spaces per dwelling, one of which must be capable of being covered;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling.
- For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered);
- For lots 12.5 metres wide or greater - 2 covered spaces per dwelling.

Garages for a single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:

- The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
- The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
- The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.

Double car garages are permitted on any double storey dwelling or laneway dwelling built on a Lot between 10.0m and 12.49m.

- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary. Ingress/egress must be achieved for a 899 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut 300mm from the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

Fencing

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.

- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence)
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining walls must not exceed more than 1.0 metres where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0 metres. Retaining access to this must use terraced retaining. No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Buildings that do not comply may be assessed on architectural merit when accompanied by a report from a Registered Architect
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites, must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.

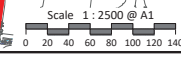
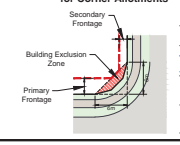
Additional Criteria for Multiple Residential Allotments

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Have drying and rubbish bin areas behind the main face of the dwelling or suitably screened from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (6m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Special Siting Requirements for Corner Allotments



Notes:

- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - All lots (excluding multiple residential allotments) must contain a house.

- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent site detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted site setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - Buildings to be sited in accordance with the 'Special Siting Requirements for Corner Allotments'.

- Private Open Space**
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- On-site car parking and driveways**

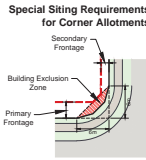
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 - For Ascot Allotments - 2 spaces per dwelling, one of which must be capable of being covered;
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 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered);
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 4.7m.
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 100mm forward of the entrance door
 - The verandah, portico or porch is to include front steps with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on lots between 10.0m and 12.49m wide.
- Double car garages are permitted on any double storey dwelling or laneway dwelling built on a lot between 10.0m and 12.49m.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

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- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
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 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carports and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
 - Retaining walls must not exceed more than 1.0 metres where fronting to a public street or park. Retaining walls to side and rear boundaries which are not adjoining a public street or park) can be up to 2.0 metres. Retaining in excess of this must use terraced retaining.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.

- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
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 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 Buildings that do not comply may be assessed on architectural merit when accompanied by a report from a Registered Architect.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

- Scope and Building Footings**
- Buildings on sloping sites, must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

- Additional Criteria for Multiple Residential Allotments**
- Buildings must address all street frontages with driveways, pedestrianist entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway must be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a viable door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.



- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.



Plan of Development Table	Terrace Allotments		Ascot Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR) (1)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
	Front/Primary Frontage	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	3.0m	3.0m	3.0m	3.0m	3.0m
Rear	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m
Garage	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	n/a	1.5m
Side - General Lots	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Built to Boundary	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Maximum 6TB Wall Length (% of boundary length)	75%																		
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	1.5m
Laneway Lots																			
Rear of Lot (from laneway boundary including garage)	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	75%																		
Notes: Setbacks apply as per lot coding colour																			

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/402

Date: 02 July 2020



REVISION

AA: 17/05/19 Amend Stage 1P
AB: 06/08/19 Amend Stage 1P, 1A, 1B, 1C, 1D, 1E, 1F, 1G, 1H, 1I, 1J, 1K, 1L, 1M, 1N, 1O, 1P, 1Q, 1R, 1S, 1T, 1U, 1V, 1W, 1X, 1Y, 1Z
AC: 24/01/19 Sub-Staging 1S & 1AG
AD: 20/03/19 POC Amendments & 5m Easement
AE: 16/06/19 Amend Stage 1H, 1I, 1R, 1S, 1T and 1U
AF: 09/09/19 POC Control Amendments
AG: 16/12/19 POC Amendments Stage 1P, 1R, 1S and 1T
AH: 23/09/20 Amend POC Lots 205 & 609

- Note:**
- All dimensions and areas are approximate only, and are subject to survey and Council approval.
 - Dimensions have been rounded to the nearest 0.1 metres.
 - Areas have been rounded down to the nearest 5m².
 - The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site Contours: Registered Survey Plans.
Adjoining information: DCDB.
Contours: Cadstro Bulk Earthworks

- Legend**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Existing C100
 - Retained Vegetation - Flagstone & Sandy Creek
 - Retained Vegetation - Other Areas
 - 400m Catchment Area
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - Indicative In-line Bus Stop
 - Indicative Bus Stop Location
 - Padmount Transformer

- Allotment Details**
- Preferred Private Open Space Location
 - Maximum Building Location Envelope
 - Mandatory Built to Boundary Wall
 - Nominal Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - Preferred Garage Location
 - Letterbox Location for Primary Dwelling (on a laneway)

CLIENT

PEET

PROJECT
FLAGSTONE PRECINCT 1

PLAN OF DEVELOPMENT
STAGE 1A - 1D
RESIDENTIAL LOTS

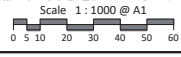
Date	23 June 2020
Check By	WNW
Compiled by	MD / DG
DWG Name	Precinct 1 Stage 1
Job Reference	110056
Local Authority	ECONOMIC DEVELOPMENT QUEENSLAND
Locality	JIMBOOMBA
Scale	1 : 1000
Sheet	A1
Plan Ref	110056 - 130
Rev	AH

RPS

RPS Australia East Pty Ltd
ACN 449 292 762
ABN 44 140 292 762

Urban Design
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006

Tel: 1 359 9500
W: rpsgroup.com.au



Notes:

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- Secondary dwellings are not permitted on lots less than 400m².
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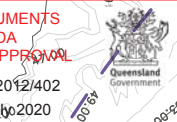
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 Approval no: DEV2012/402
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Queensland Government



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- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
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- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites, must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or retaining limitations) on adjoining allotments, particularly in relation to retaining walls.

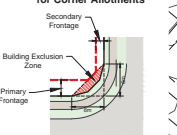
Additional Criteria for Multiple Residential Allotments

- Buildings must address all street frontages with driveways, pedestrian entries to both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 2 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (6m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 2 metres and a maximum width of 4 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Special Siting Requirements for Corner Allotments



Definitions

Laneway Allotment - Allotments serviced by a laneway.

Plan of Development Table	Terrace Allotments		Ascot Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR) Ⓡ	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Garage	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.5m	1.5m	1.5m	2.0m	2.0m	1.5m	1.5m	1.5m	1.5m
Side - General Lots																		
Built to Boundary	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	75%		65%		70%		65%		65%		60%		n/a		n/a		n/a	
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Laneway Lots																		
Rear of Lot (from laneway boundary including garage)	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	75%		60%		60%		60%		60%		60%		60%		60%		75%	

Note: Setbacks apply as per lot coding colour

REVISION

- AA: 12/05/18 Amend Stage 1P
- AB: 06/10/18 Amend Stage 1K, 1L, 1M, 1N, 1O, 1P, 1Q, 1R, 1S, 1T, 1U, 1V, 1W, 1X, 1Y, 1Z
- AC: 24/01/19 Sub-Staging 1S & 1AG
- AD: 20/02/19 POD Control Amendments
- AE: 16/06/19 Amend Stage 1H, 1I, 1J, 1K, 1L, 1M, 1N, 1O, 1P, 1Q, 1R, 1S, 1T and 1U
- AF: 16/06/19 POD Control Amendments
- AG: 16/12/19 POD Amendments Stage 1P, 1Q, 1R, 1S and 1T
- AH: 23/09/20 Amend POD Lots 295 & 300

Note:
 All dimensions and areas are approximate only and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Registered Survey Plans
Adjoining information: DCCB
Contours: Carido Bulk Earthworks

Legend

- Site Boundary
- - - Proposed Precinct Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Entry Statements - Lease
- Retained Vegetation - Flagstone & Sandy Creek
- Retained Vegetation - Other Areas
- 400m Catchment Area
- Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Bus Stop Location

Allotment Details

- Preferred Privation
- Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Footprint
- Preferred Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)

CLIENT
PEET

PROJECT
 FLAGSTONE PRECINCT 1

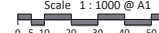
PLAN OF DEVELOPMENT
 STAGE 1K - 1M & 10, 1R - S
 RESIDENTIAL LOTS

Date: 23 June 2020
 Comp By: WNW
 Checked By: MD / DG
 DWG Name: Precinct 1 Stage 1
 Job Reference: 110056
 Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND
 Locality: JIMBOOMBA

Scale: 1 : 1000 Sheet: A1
 Plan Ref: 110056 - 132 Rev: AH

RPS

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 ADN 400 292 762
 ABN 44 140 292 762
 Urban Design
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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/1402
Date: 02 July 2020



- Notes:**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - All lots (excluding multiple residential allotments) must contain a house.
- Setbacks:**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted site setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - Buildings to be sited in accordance with the Special Siting Requirements for Corner Allotments.
- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof).
 - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.49 metres wide - 1 covered space per dwelling;
 - For Ascot Allotments - 2 spaces per dwelling, one of which must be capable of being covered;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered);
 - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm save above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a side-light where the front door is solid. If the front facade includes a habitable room with window, a side-light is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
 - Double car garages are permitted on any double storey dwelling or laneway dwelling built on a Lot between 10.0m and 12.49m.
 - Driveways are to be constructed in accordance with the standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
 - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary. Ingress/egress must be achieved for a B99 Vehicle.
 - Maximum of one driveway per dwelling unless it is a MR lot.
 - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
 - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
 - Driveways must be completed prior to occupation of the dwelling.

- Fencing**
- Ornamented by Feet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2 metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of or projected to exceed 10,000 vehicles per day.
 - Retaining walls must not exceed more than 1.0 metres where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0 metres. Retaining in excess of this must use terraced retaining.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 Buildings that do not comply may be assessed on architectural merit when accompanied by a report from a Registered Architect
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - All-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites, must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

- Additional Criteria for Multiple Residential Allotments**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 6m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (6m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.
- Special Siting Requirements for Corner Allotments**
-

Plan of Development Table	Terrace Allotments		Ascot Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR) ①	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Front/Primary Frontage	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Garage	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Side - General Lots																		
Built to Boundary	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	75%		65%		70%		65%		65%		60%		n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Laneway Lots																		
Rear of Lot (from laneway boundary including garage)	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a
Site Cover																		
Rear of Lot (from laneway boundary including garage)	75%		60%		60%		60%		60%		60%		60%	n/a	n/a	60%	n/a	75%

Note: Setbacks apply as per lot coding colour

- REVISION**
- AA: 12/05/18 Amend Stage 1P
 - AB: 26/05/18 Amend Stage 1P, 1Q, 1R, 1S, 1T, 1U, 1V
 - AC: 24/07/19 Sub-Staging 1S & 1AG
 - AD: 20/03/19 POD Amendments & 5m EM
 - AE: 18/06/19 Amend Stage 1H, 1I, 1R, 1S, 1T and 1U
 - AF: 18/06/19 POD Amendments
 - AG: 16/12/19 POD Amendments Stage 1P, 1R, 1S and 1T
 - AH: 23/09/20 Amend POD Lots 205 & 209

Note:

All dimensions and areas are approximated only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineering design.

Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DCDB.
Contours: Cadbro Bulk Earthworks

Legend

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing OS
- Existing O/D
- Retained Vegetation
- Flagstone & Sandy Creek
- Retained Vegetation - Other Areas
- 400m Catchment Area
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Bus Stop Location

Allotment Details

- Preferred Privately Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Normal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- Preferred Garage Location
- Letterbox Location for Primary Dwelling (along a laneway)

CLIENT
PEET

PROJECT
FLAGSTONE PRECINCT 1

PLAN OF DEVELOPMENT STAGE 1N, 1P, 1Q & 1T RESIDENTIAL LOTS

Date: 23 June 2020
Comp By: WNW
Checked By: MD / DG
DWG Name: Precinct 1 Stage 1
Job Reference: 110056
Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND
Locality: JIMBOOMBA
Scale: 1 : 1000
Sheet: A1
Plan Ref: 110056 - 133
Rev: AH

RPS

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ABN 44 140 292 762
Urban Design
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520 Wickham Street
PO Box 1059
Forde Valley QLD 4606
T 417 3539 9600
W rpsgroup.com.au

Plan of Development Table

	Terrace Allotments		Ascot Allotments		Villa Allotments		Premium Villa Allotments		Court yard Allotments		Premium Court yard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR) 1	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Rear	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Side - General Lots	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	0.0m	1.0m	0.0m	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	75%		65%		70%		65%		65%		60%		n/a		n/a		n/a	
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
Rear of Lot (from laneway boundary including garage)	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	
Site Cover		75%		60%		60%		60%		60%		60%		60%		n/a	75%	

Note: Setbacks apply as per lot coding colour

Notes:

- 1. All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- 2. The maximum height of buildings shall not exceed two (2) storeys.
- 3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- 4. All lots subject to an acoustic assessment to determine level of acoustic treatments.
- 5. Buildings shall be constructed in accordance with Bushfire AS3959.
- 6. Secondary dwellings are not permitted on lots not exceeding 400m².
- 7. All lots (excluding multiple residential allotments) must contain a house.

Setbacks

- 8. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- 9. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table. Boundary setbacks are measured to the wall of the structure.
- 11. Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- 12. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- 13. Buildings to be sited in accordance with the 'Special Siting Requirements for Corner Allotments'.

Private Open Space

- 14. Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof).
- 15. Private open space must be directly accessible from a living space.

On-site car parking and driveways

- 16. On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.49 metres wide - 1 covered space per dwelling;
 - For Ascot Allotments - 2 spaces per dwelling, one of which must be capable of being covered;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- 17. Garages for any single story dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m.
 - b. The garage door:
 - i. Width must not exceed 4.8m
 - ii. Must have a minimum 450mm eave above it
 - iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - iv. Must have a sectional, tilt or roller door.
 - c. The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - i. A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - ii. A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - iii. The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - iv. Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.

- 18. Double car garages are permitted on any double story dwelling or laneway dwelling built on a Lot between 10.0m and 12.49m.
- 19. Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- 20. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- 21. Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary. Ingress/egress must be achieved for a 800V Vehicle.
- 22. Maximum of one driveway per dwelling unless it is a MR lot.
- 23. Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- 24. Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- 25. Driveways must be completed prior to occupation of the dwelling.

Fencing

- 26. Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- 27. Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- 28. Fencing on all park or street frontages is constructed with visible posts, which are at least 1200mm x 1200mm and 100mm higher than the infill palings or panels.
- 29. Fencing on lanes can be screen fenced at 1.8m high where along private open space, carparking and service areas.
- 30. Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- 31. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- 32. Retaining walls must not exceed more than 1.0 metres where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0 metres. Retaining in excess of this must use terraced retaining.
- 33. No timber retaining walls over 1.0m or adjoining parks or public streets.
- 34. Walls over 1.0m require RPEQ certification.

Building Articulation

- 35. All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materialsBuildings that do not comply may be assessed on architectural merit when accompanied by a report from a Registered Architect.
- 36. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- 37. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.

- 38. Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- 39. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- 40. Screened drying and rubbish bins area must be behind the main face of the dwelling.
- 41. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- 42. Buildings on sloping sites, must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- 43. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- 44. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments

- 45. Buildings must address all street frontages with driveways, pedestrian entries or both.
- 46. All dwellings must have a clearly identifiable front door, which is undercover.
- 47. Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
- 48. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

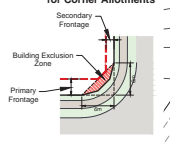
Additional Criteria for Secondary Dwellings

- 49. Floor area must be between a minimum of 30m² and 75m².
- 50. Materials, detailing, colours and roof form are consistent with those of the primary house.
- 51. Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- 52. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- 53. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- 54. A minimum of one (6m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- 55. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- 56. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- 57. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

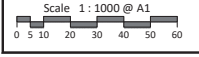
Definitions

Laneway Allotment - Allotments serviced by a laneway.

Special Siting Requirements for Corner Allotments



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2012/402
Date: 02 July 2020



REVISION

AA: 17/05/19 Amend Stage 1P
AB: 26/01/19 Amend Stage 1P, 1W, 1X, 1Y, 1Z
AC: 24/01/19 Sub-Staging 1S & 1AG
AD: 20/01/19 POA Amendments & EMI EM
AE: 18/06/19 Amend Stage 1H, 1I, 1J, 1K, 1L, 1M, 1N, 1O, 1P, 1Q, 1R, 1S and 1T
AF: 19/01/19 POA Control Amendments
AG: 16/12/19 POA Amendments Stage 1P
AH: 1R, 1S and 1T
AJ: 23/09/20 Amend POC Lots 205 & 209

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineering design.

Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DCDB.
Contours: Cadbro Walk Earthworks

Legend

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Entry Statements - Lease
- Existing OS
- Existing O100
- Retained Vegetation - Flagstone & Sandy Creek
- Retained Vegetation - Other Areas
- 400m Catchment Area
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Bus Stop Location
- Airport Details
 - Preferred Private Open Space Location
 - Maximum Building Location Envelope
 - Mandatory Built to Boundary Wall
 - Nominal Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - Preferred Garage Location
 - Letterbox Location for Primary Dwelling (on a laneway)

CLIENT
PEET

PROJECT
FLAGSTONE
PRECINCT 1

PLAN OF DEVELOPMENT
STAGE 1U & 1W - 1Y
RESIDENTIAL LOTS

Date: 23 June 2020
Comp By: WNW
Checked By: MD / DG
DWG Name: Precinct 1 Stage 1
Job Reference: 110056
Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND
Locality: JIMBOOMBA

Scale: 1: 1000 Sheet: A1
Plan Ref: 110056 - 134 Rev: AH

RPS

RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Urban Design
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Legend

General

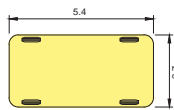
- Site Boundary
- - - Proposed Precinct Boundary
- - - - Proposed Super Stage Boundary
- - - - - Proposed Sub Stage Boundary
- - - - - 400m Catchment Area
- * Indicative Bus Stop Location
- Padmount Transformer

Open Space

- Regional Recreation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections
- Entry Statements

On-Street Parking

- Indicative Car Park Location
- Indicative 3.5m Wide Driveway



Parking Bay Diagram

Scale 1 : 100

Parking Breakdown

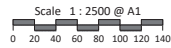
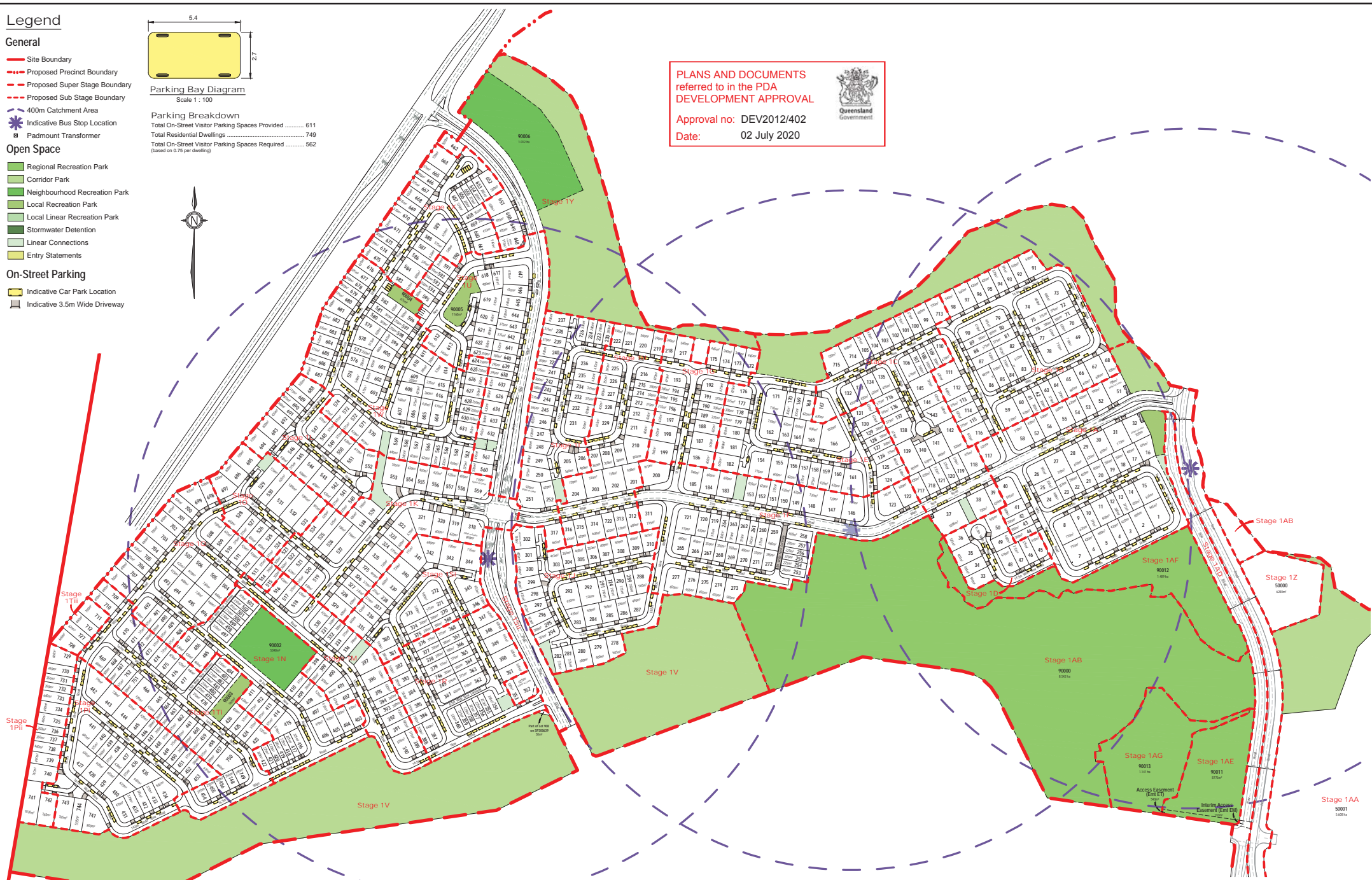
Total On-Street Visitor Parking Spaces Provided 611
 Total Residential Dwellings 749
 Total On-Street Visitor Parking Spaces Required 562
(based on 0.75 per dwelling)



**PLANS AND DOCUMENTS
 referred to in the PDA
 DEVELOPMENT APPROVAL**



Approval no: DEV2012/402
 Date: 02 July 2020



REVISION
AA: 17/09/18 Amend Stage 1P
AB: 18/09/18 Amend Stage 1V, 1W, 1X, 1AB, 1AC, 1AD, 1AE, 1AF
AC: 24/07/19 Sub-Staging 1B & 1AG
AD: 20/03/19 PCO Amendments & Entry EKI
AE: 18/09/18 Amend Stage 1H, 1I, 1R, 1S, 1T and 1U
AF: 18/09/18 PCO Central Amendments
AG: 16/12/19 PCO Amendments Stage 1P, 1R, 1S and 1T
AH: 18/09/18 Amend PCO 1A, 208 & 609

PROJECT		CLIENT	
FLAGSTONE PRECINCT 1		PEET	
Job Ref. 110056	Date 23 June 2020	PLAN OF DEVELOPMENT STAGE 1 PARKING MANAGEMENT PLAN	
Comp By: WNW	DWG Name: Precinct 1 Stage 1		
Checked By: MD / DG	Locality JIMBOOMBA		
Local Authority ECONOMIC DEVELOPMENT QUEENSLAND			

rps	RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762			Urban Design Level 4 HQ South 530 Wickham Street PO Box 1559 Fortitude Valley QLD 4008 T +61 7 3539 9500 W rpsgroup.com.au
	Scale 1 : 2000	Sheet A1	Plan Ref 110056 - 137	Rev AH