

**LEGEND**

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

**NOTES**

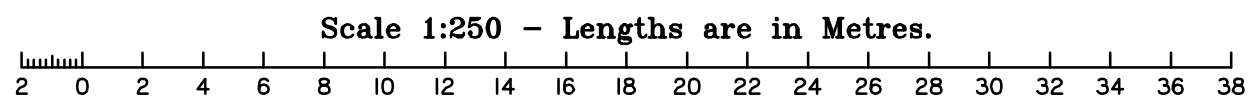
This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

Lot 502 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue

**saunders havill group**

Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com

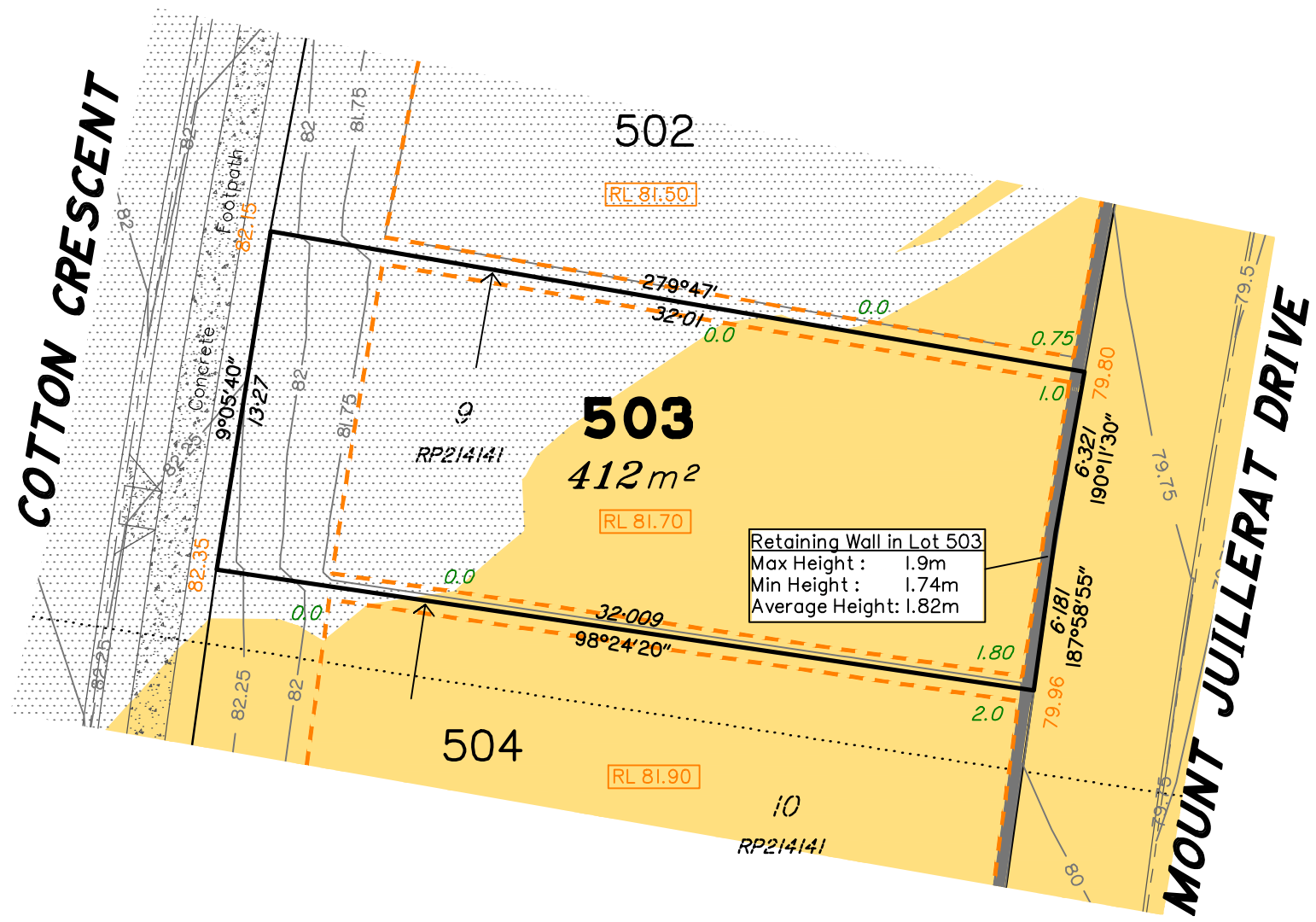
■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 502 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_502

Locality of Redbank Plains



**LEGEND**

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

**NOTES**

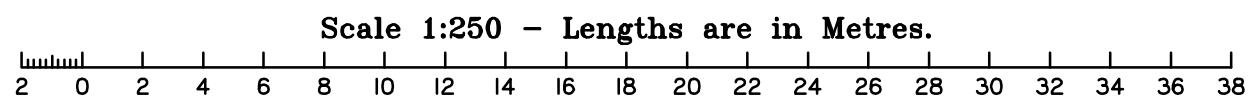
This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06 & 06/07/2017 by ETS Engineering.

Lot 503 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue

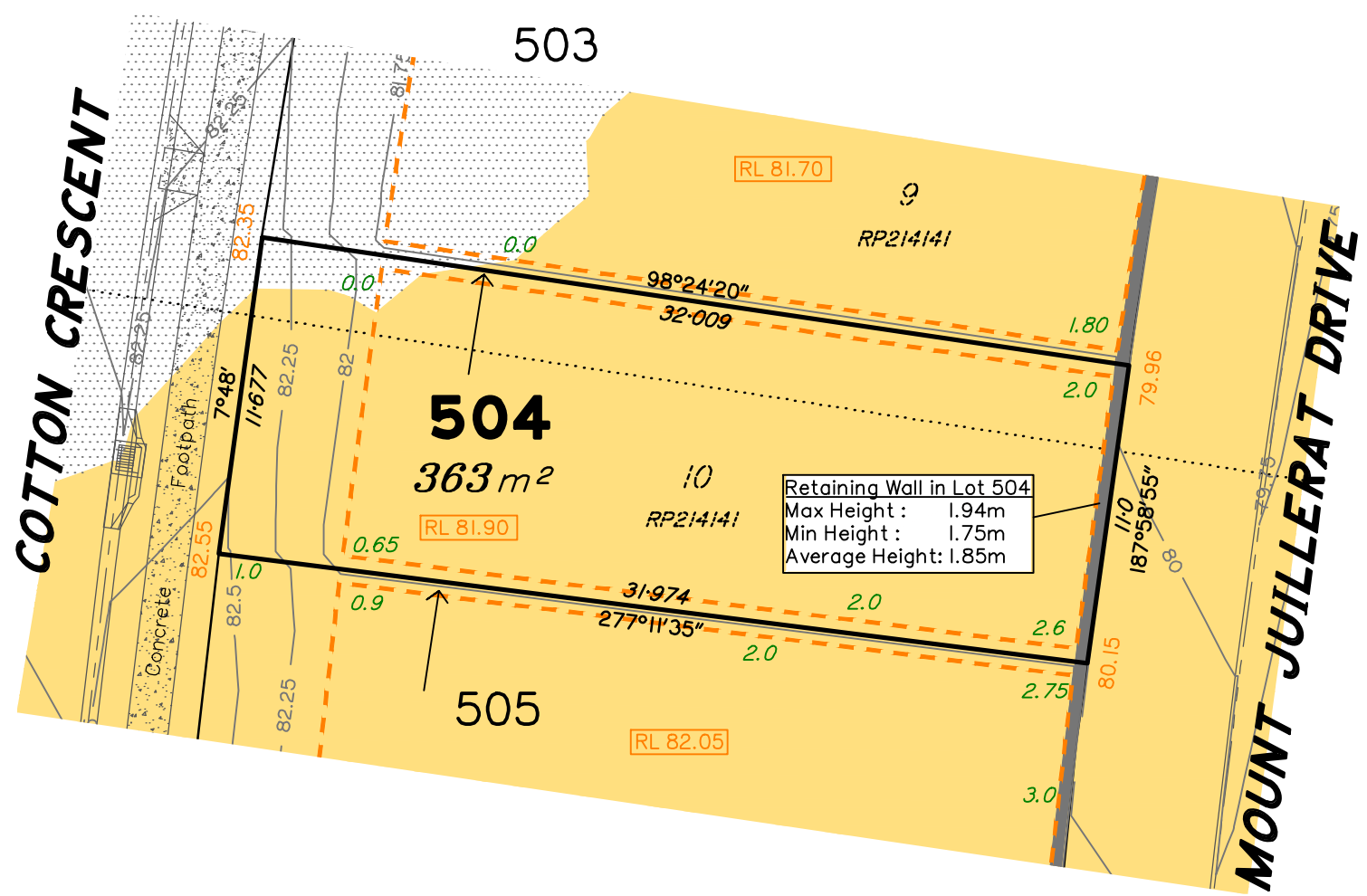
**saunders havill group**  
 Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com  
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 503 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_503

Locality of Redbank Plains



**LEGEND**

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

**NOTES**

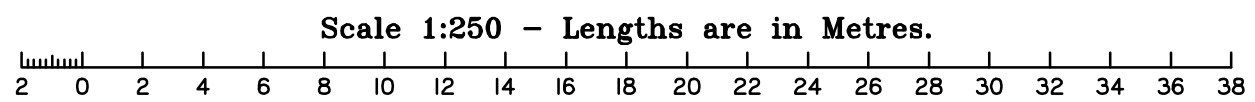
This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06 & 06/07/2017 by ETS Engineering.

Lot 504 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue

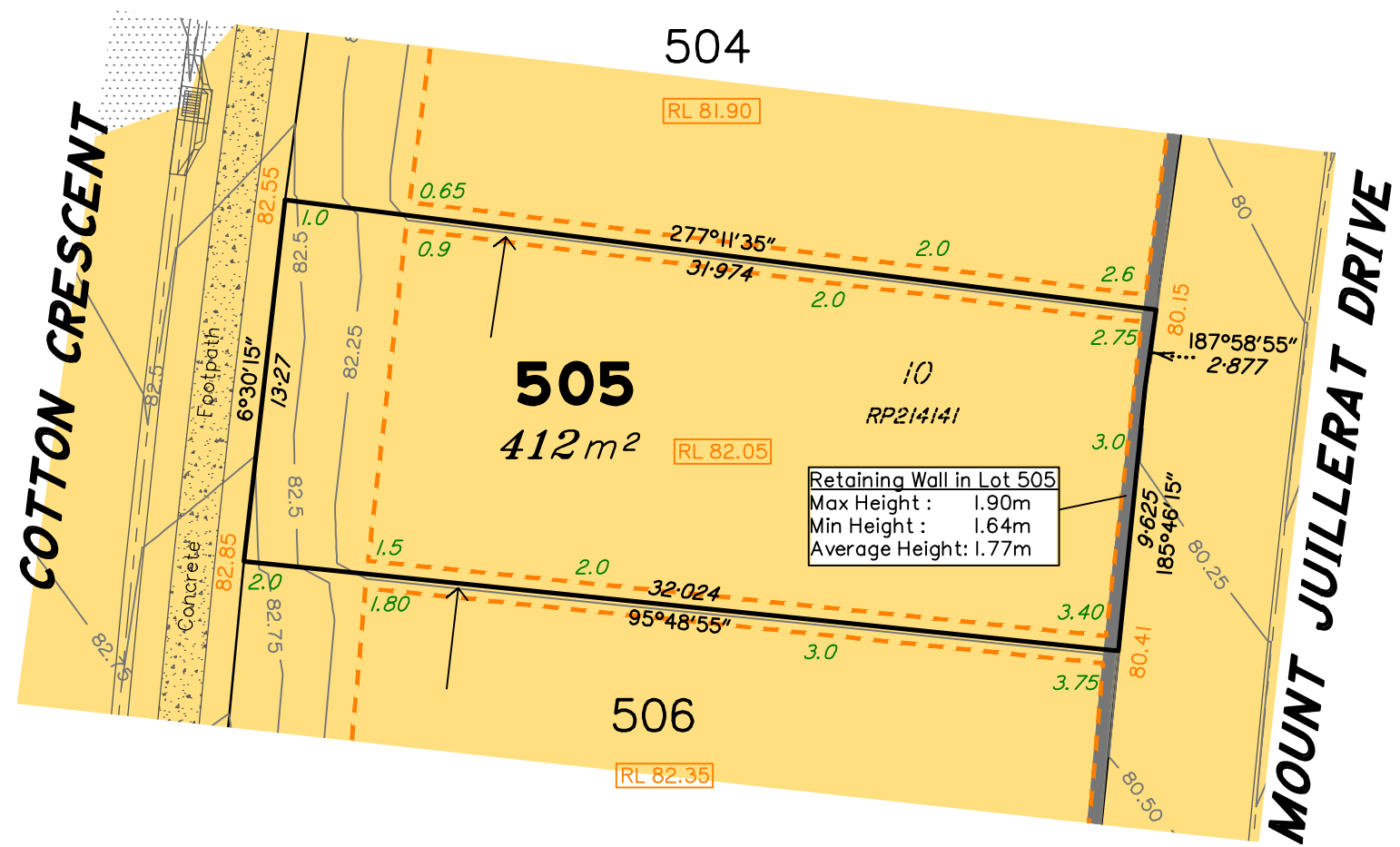
**saunders havill group**  
 Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com  
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 504 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_504

Locality of Redbank Plains



LEGEND	
	Area of Fill
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level
1.0	Depth of Fill

**NOTES**

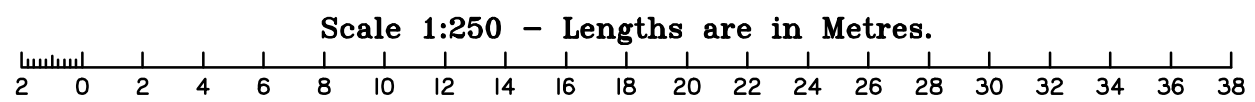
This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

Lot 505 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue

**saunders havill group**  
 Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com  
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

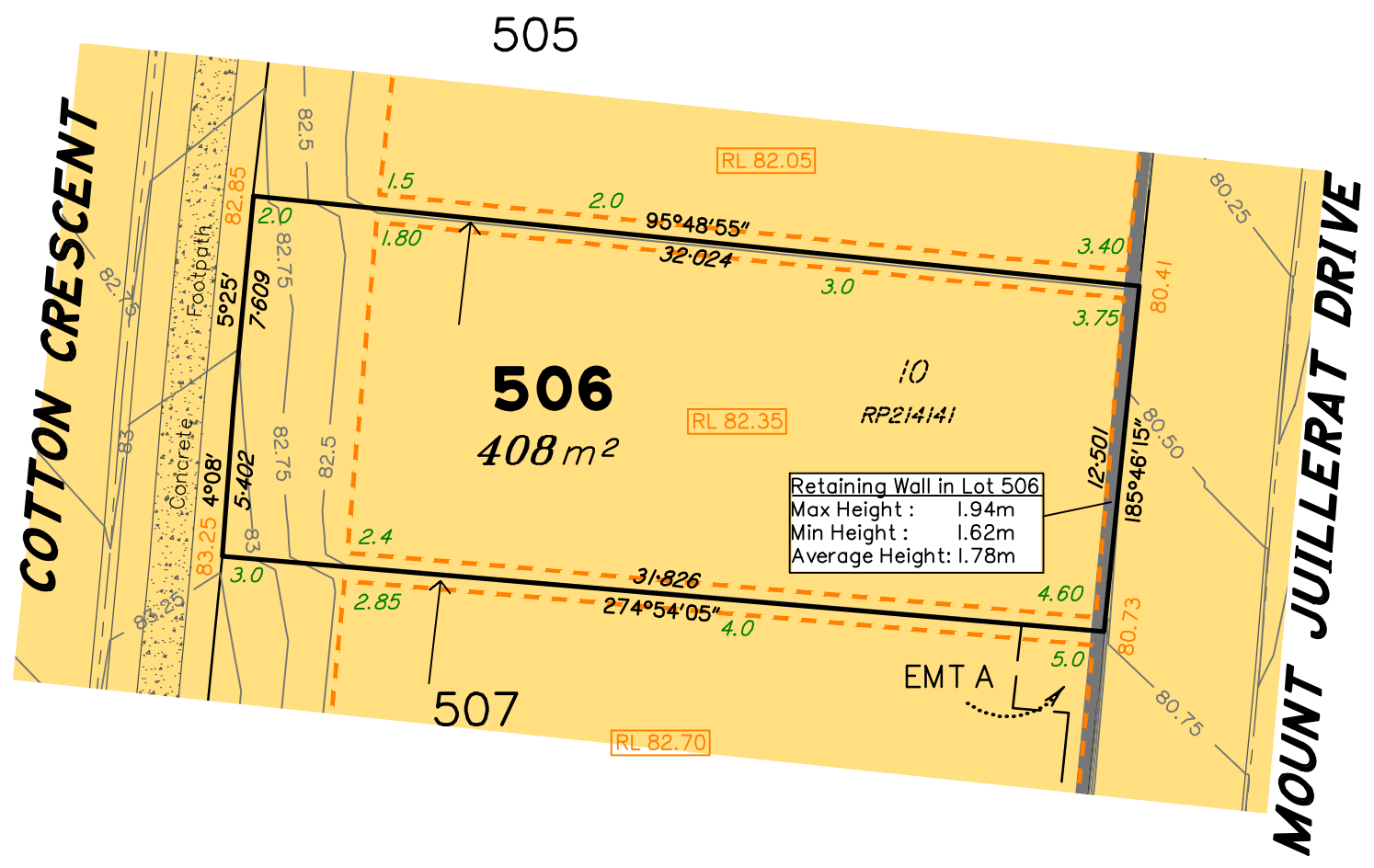
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 505 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_505

Locality of Redbank Plains





**LEGEND**

- Area of Fill
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

**NOTES**

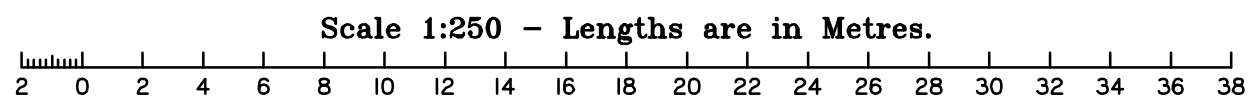
This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06 & 06/07/2017 by ETS Engineering.

Lot 506 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue

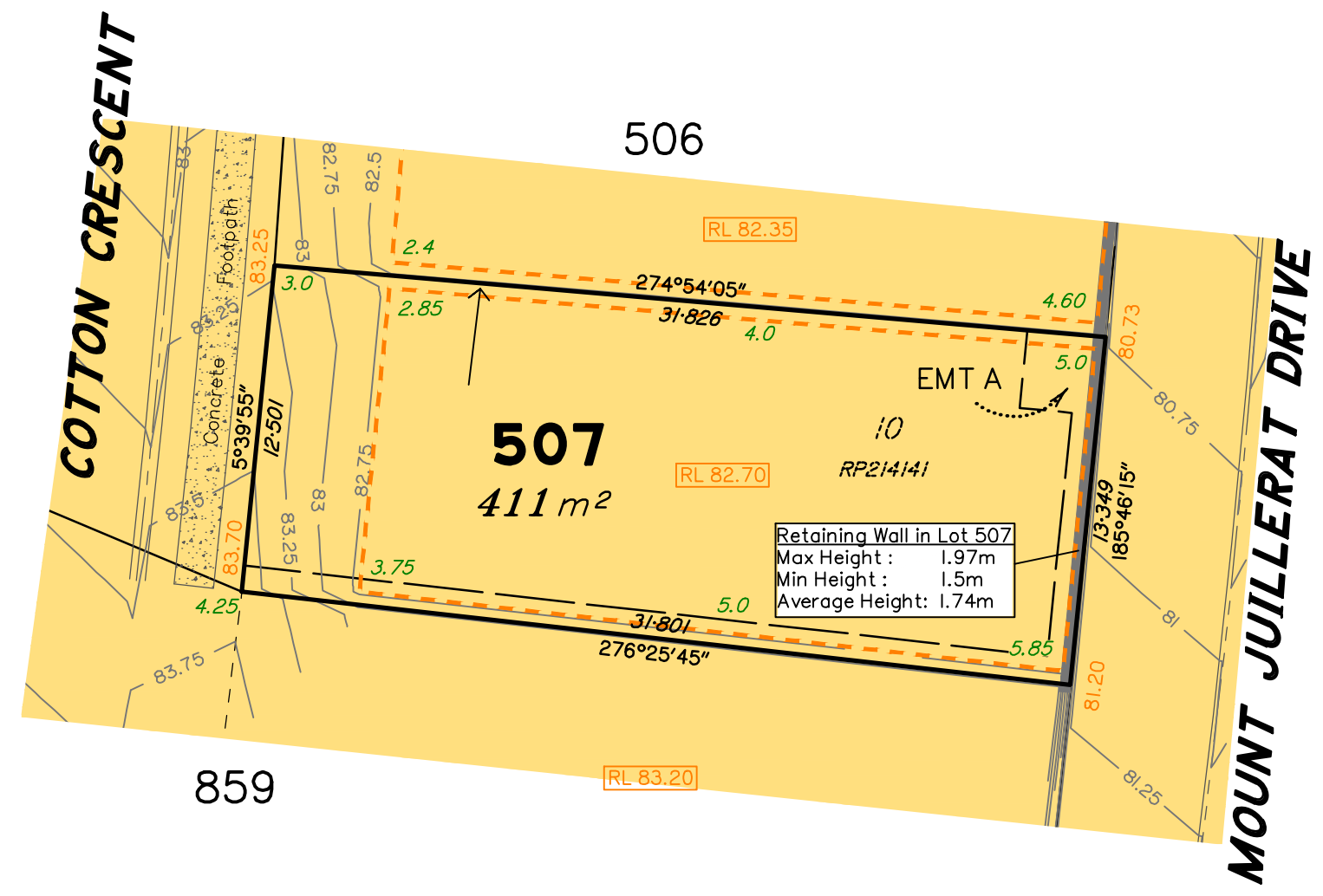
**saunders havill group**  
 Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com  
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 506 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_506

Locality of Redbank Plains



**LEGEND**

- Area of Fill
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

**NOTES**

This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06 & 06/07/2017 by ETS Engineering.

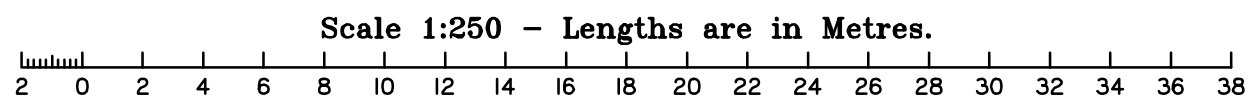
Lot 507 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

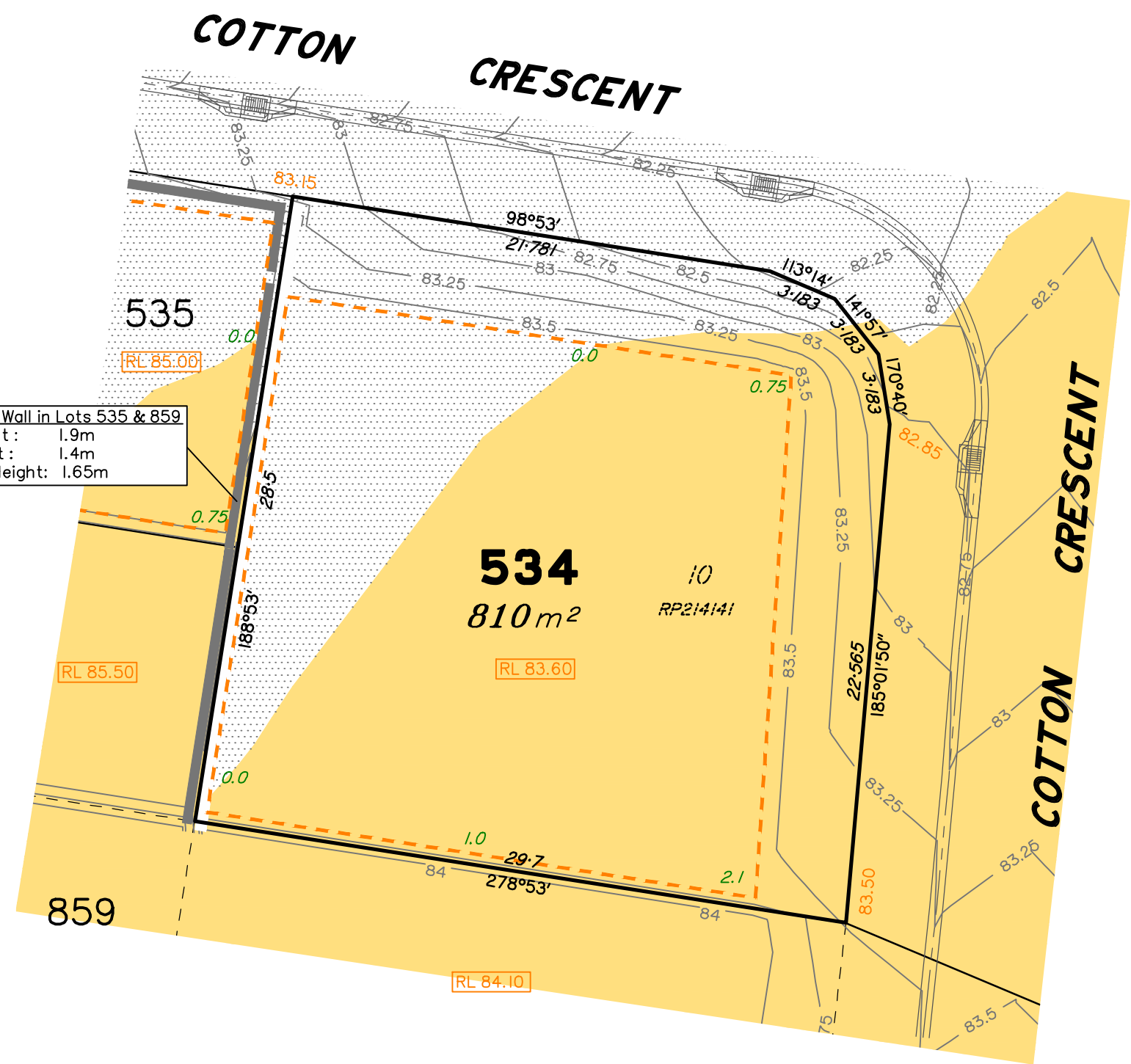
Lot 507 contains Easement A on SP292397 for services benefiting Queensland Urban Utilities.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue



Retaining Wall in Lots 535 & 859  
 Max Height : 1.9m  
 Min Height : 1.4m  
 Average Height: 1.65m



**LEGEND**

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

**NOTES**

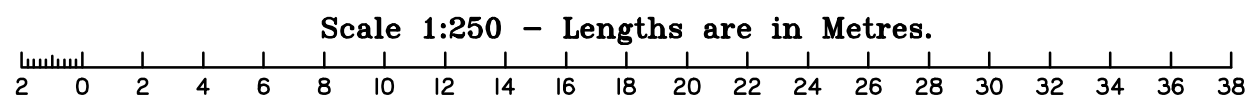
This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06 & 06/07/2017 by ETS Engineering.

Lot 534 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue

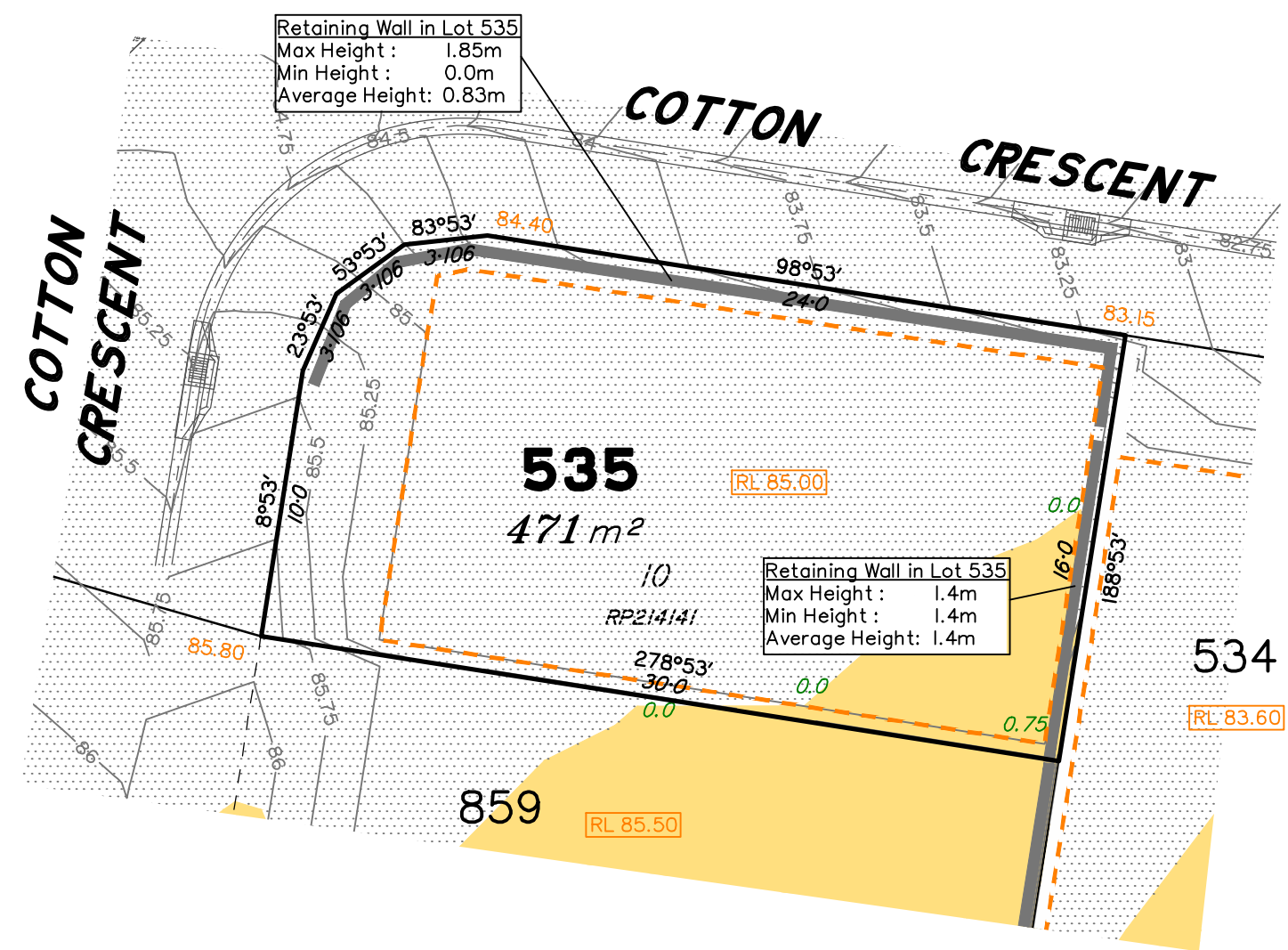
**saunders havill group**  
 Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com  
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 534 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_534

Locality of Redbank Plains



**LEGEND**

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

**NOTES**

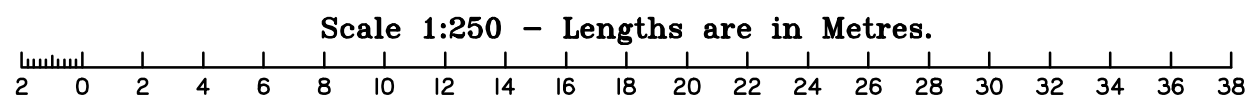
This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06 & 06/07/2017 by ETS Engineering.

Lot 535 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue

**saunders havill group**  
 Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com  
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

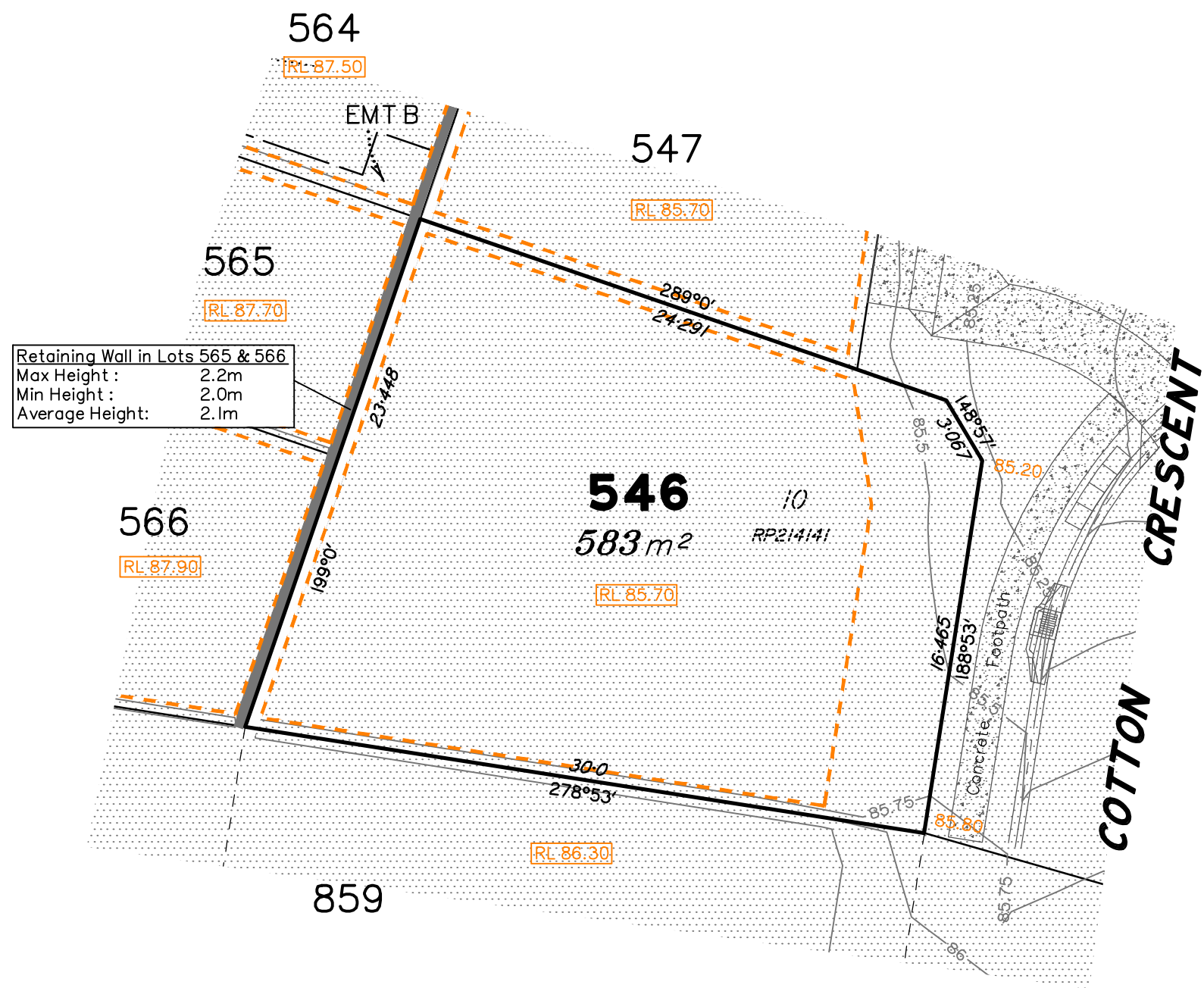
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 535 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_535

Locality of Redbank Plains





Retaining Wall in Lots 565 & 566  
 Max Height : 2.2m  
 Min Height : 2.0m  
 Average Height: 2.1m

**LEGEND**

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

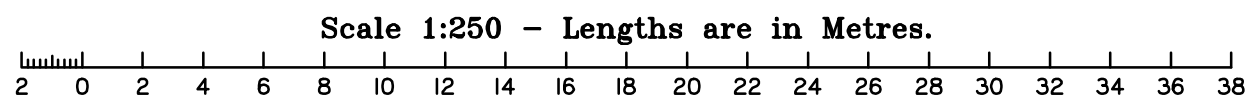
**NOTES**

This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

Lot 546 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue

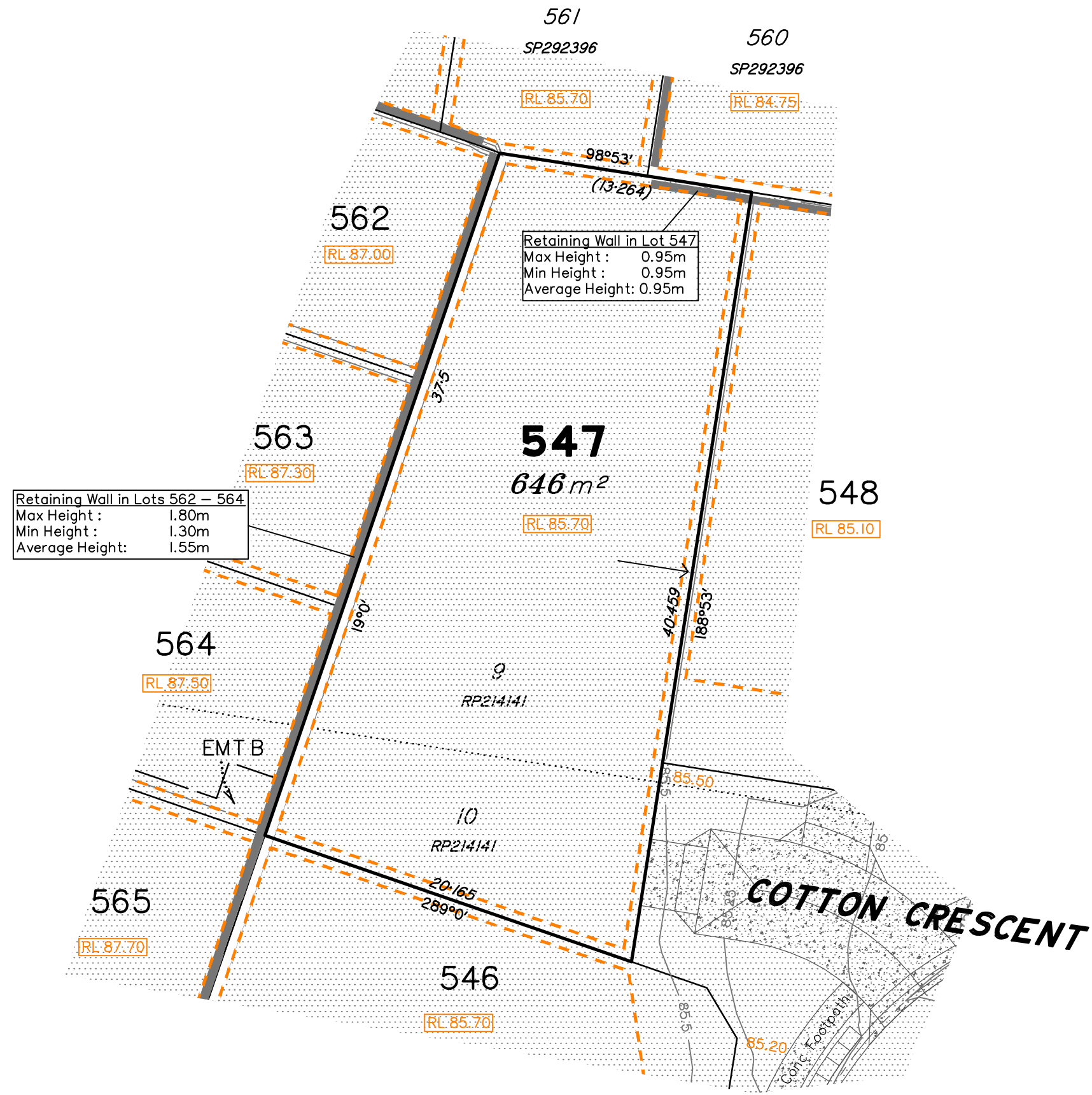
**saunders havill group**  
 Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com  
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 546 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_546

Locality of Redbank Plains



Retaining Wall in Lots 562 – 564  
 Max Height : 1.80m  
 Min Height : 1.30m  
 Average Height: 1.55m

Retaining Wall in Lot 547  
 Max Height : 0.95m  
 Min Height : 0.95m  
 Average Height: 0.95m

**LEGEND**

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

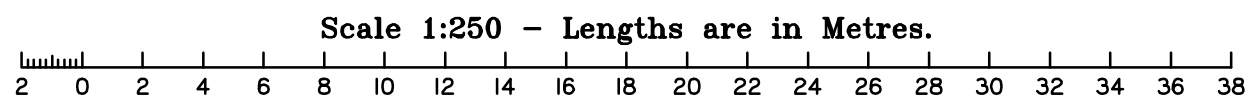
**NOTES**

This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

Lot 547 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue

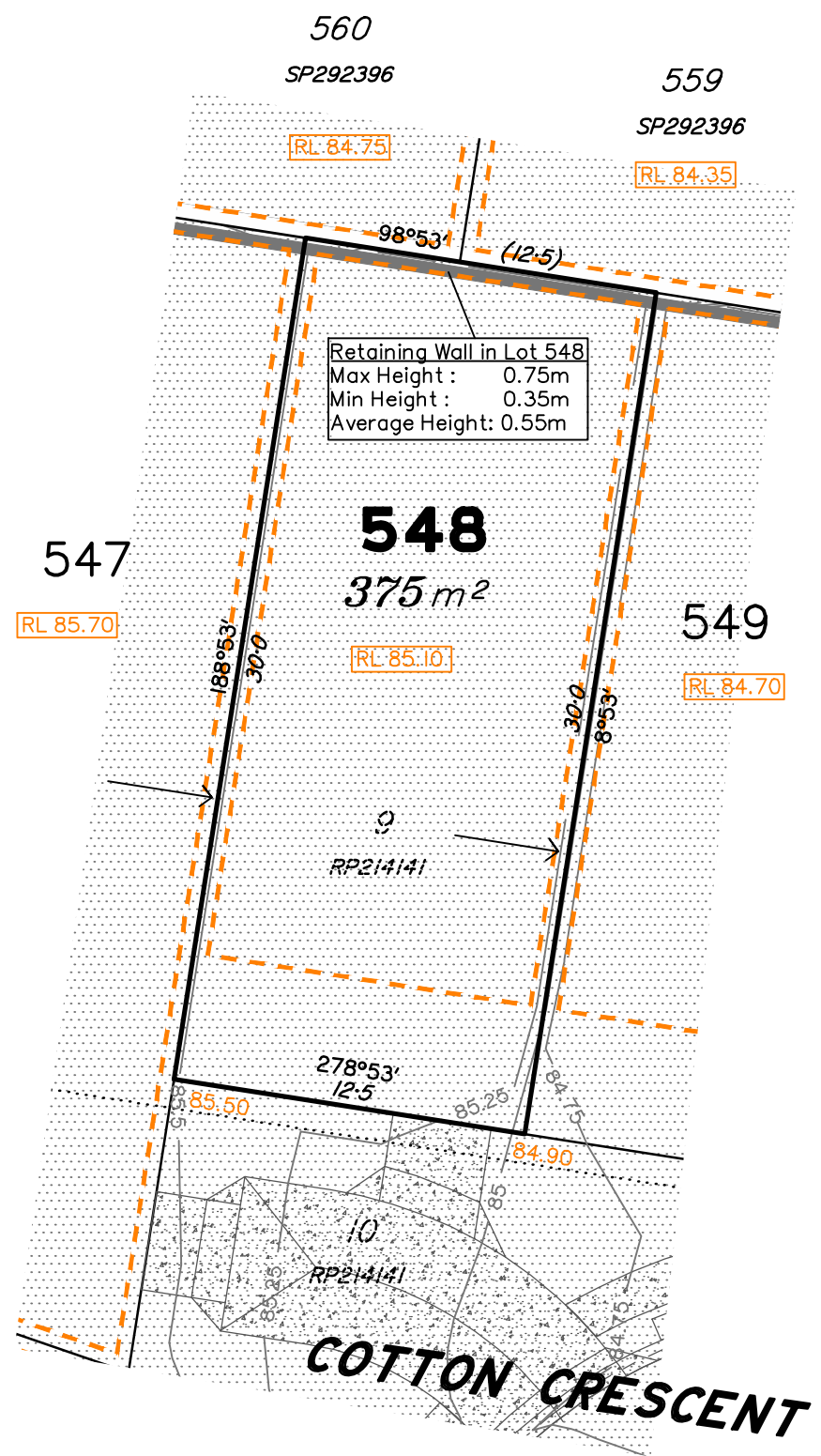
**saunders havill group**  
 Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com  
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 547 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_547

Locality of Redbank Plains



**LEGEND**

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

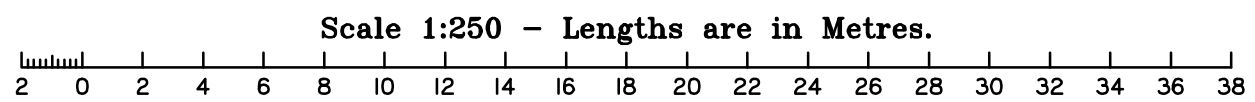
**NOTES**

This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06 & 06/07/2017 by ETS Engineering.

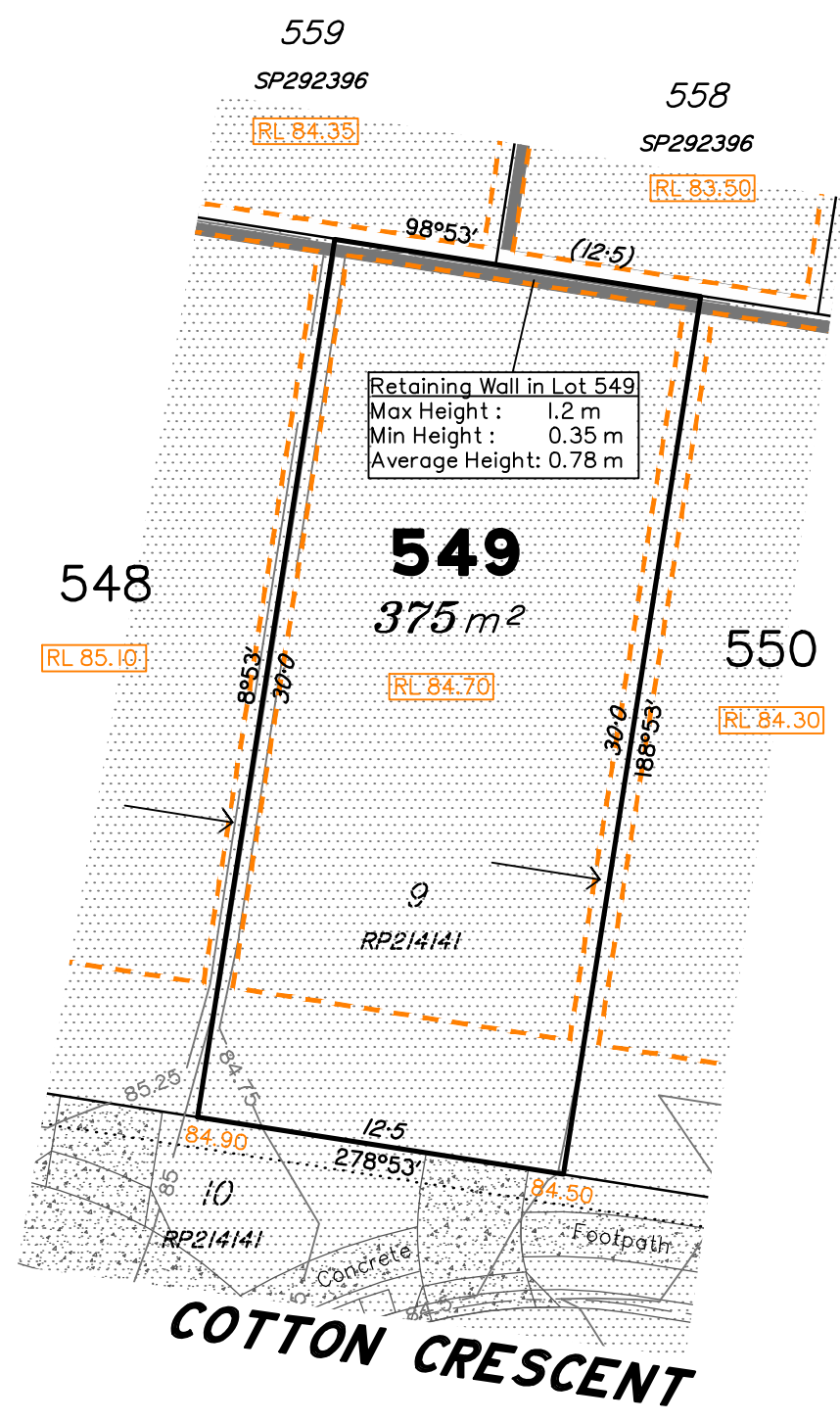
Lot 548 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue



**LEGEND**

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

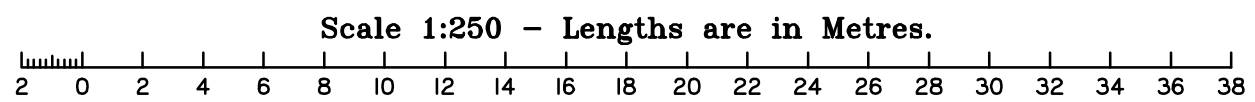
**NOTES**

This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

Lot 549 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue

**saunders havill group**

Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

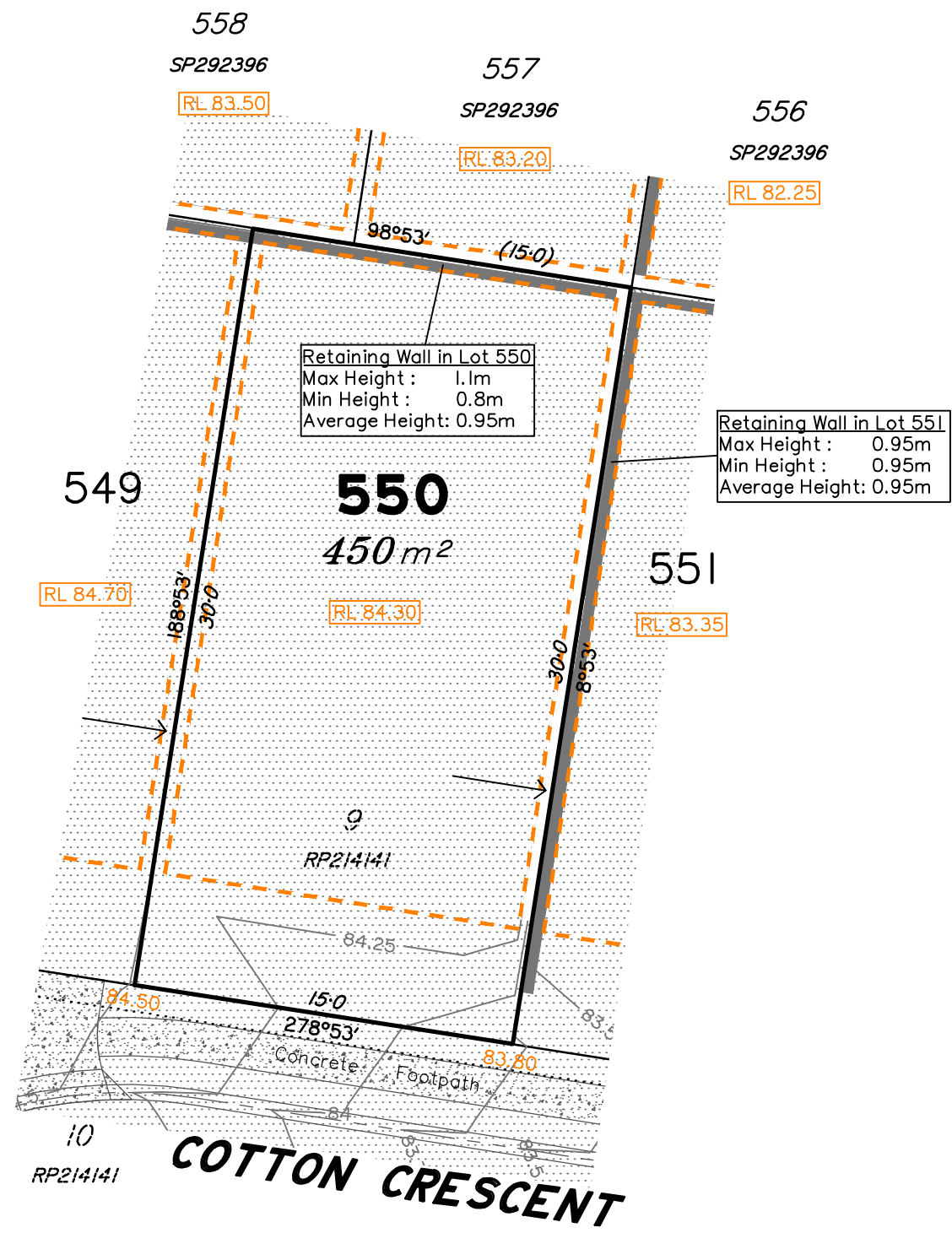
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 549 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_549

Locality of Redbank Plains





**LEGEND**

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

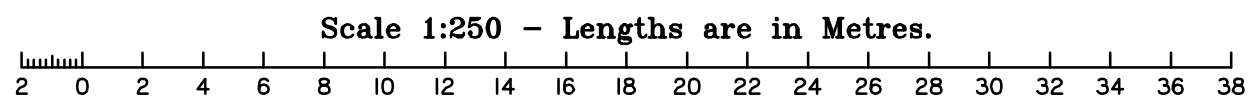
**NOTES**

This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

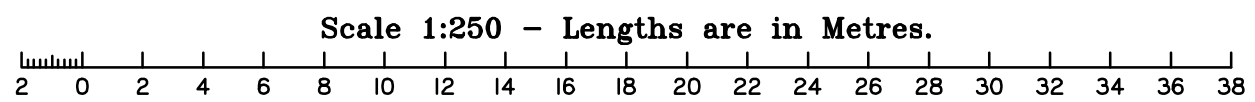
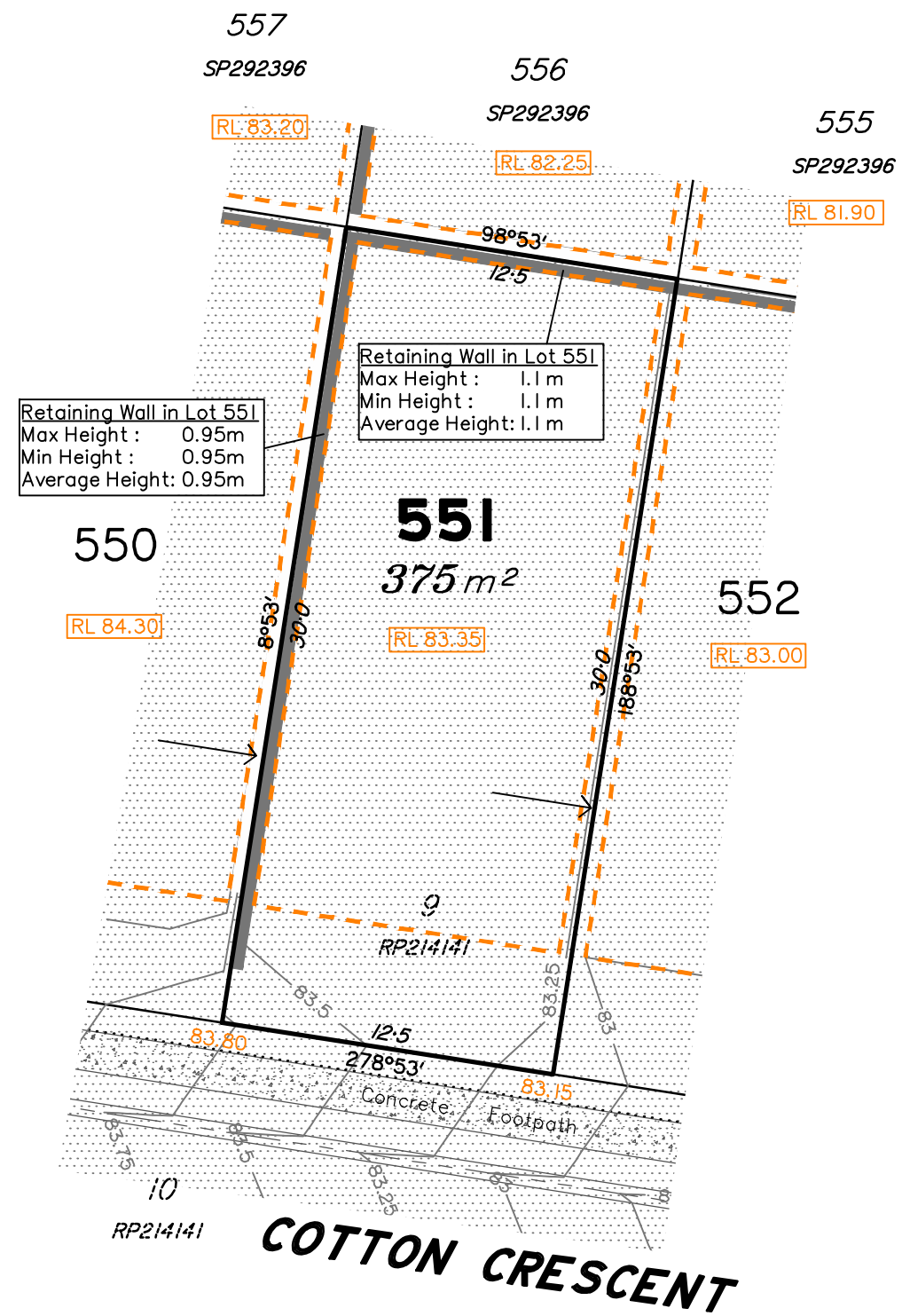
Lot 550 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue



**LEGEND**

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

**NOTES**

This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

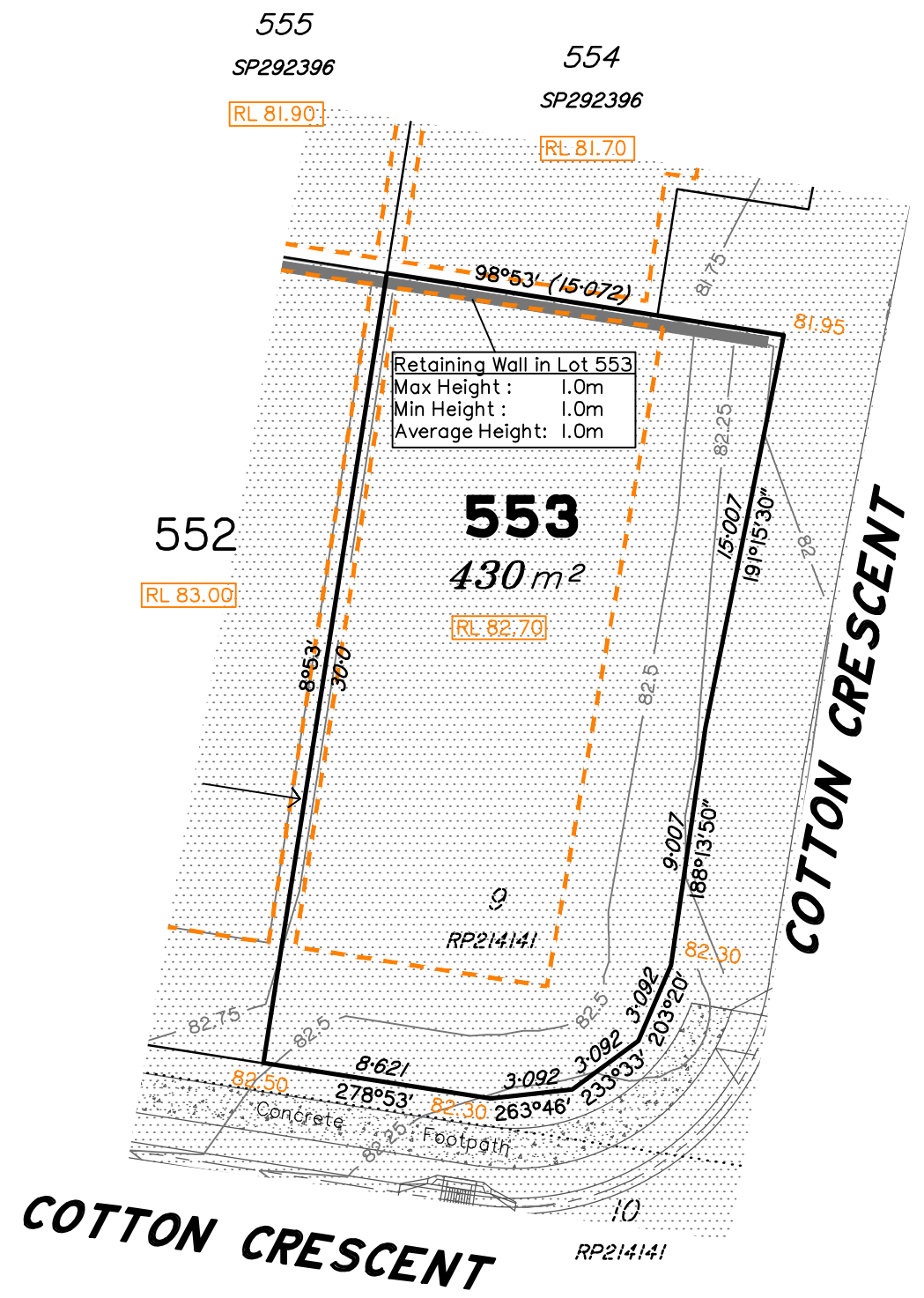
Lot 551 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

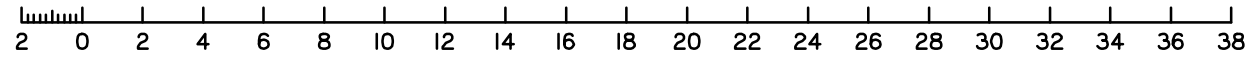
No.	by	Date	Description
A	TBG	06/07/17	Original Issue





**COTTON CRESCENT**

Scale 1:250 - Lengths are in Metres.



**LEGEND**

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

**NOTES**

This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

Lot 553 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

No.	by	Date	Description
A	TBG	06/07/17	Original Issue

**saunders havill group**  
 Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com  
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

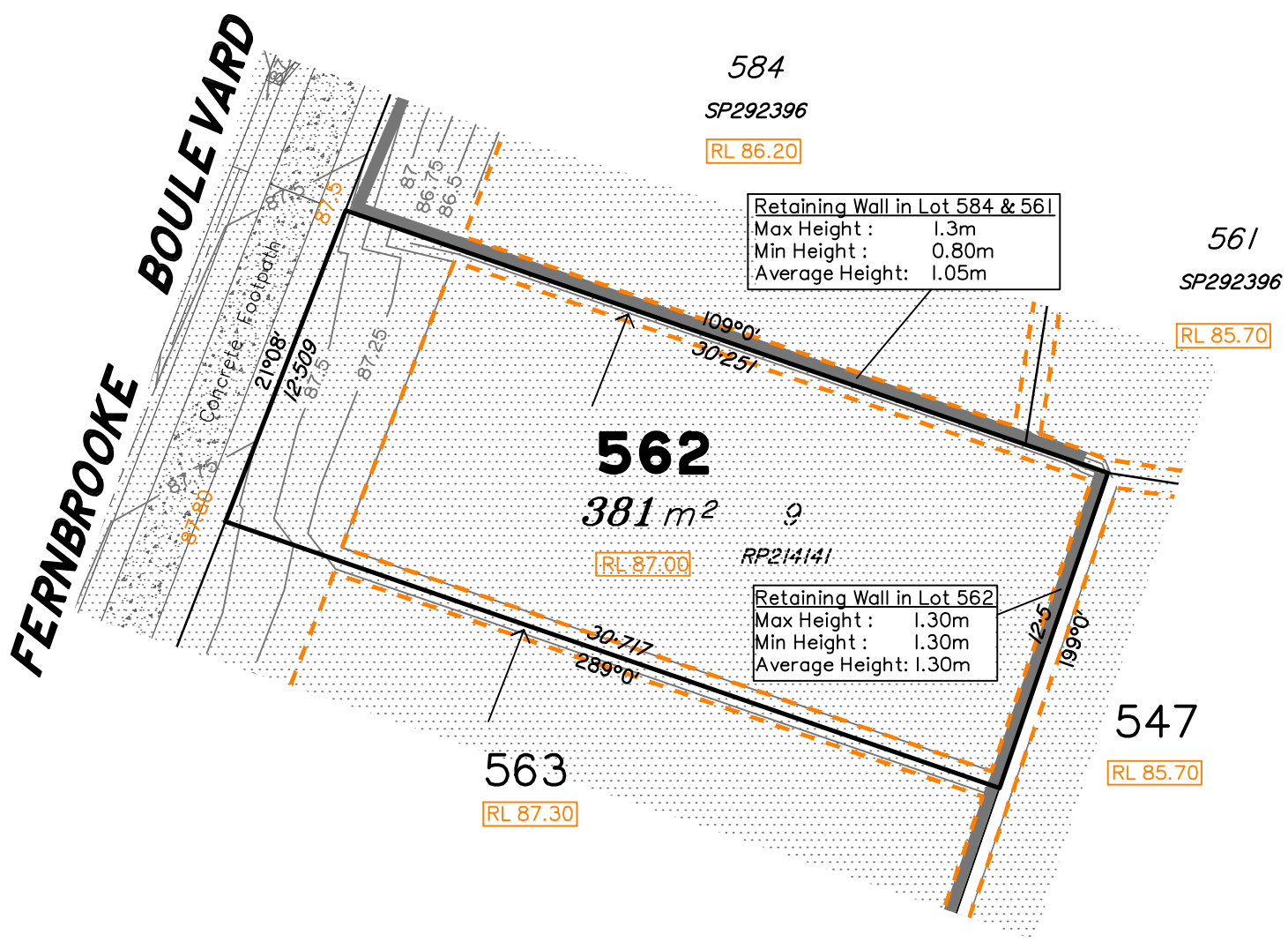
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 553 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_553

Locality of Redbank Plains





LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

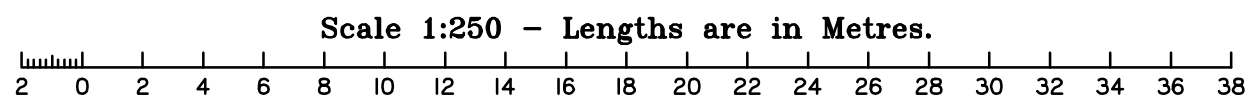
**NOTES**

This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

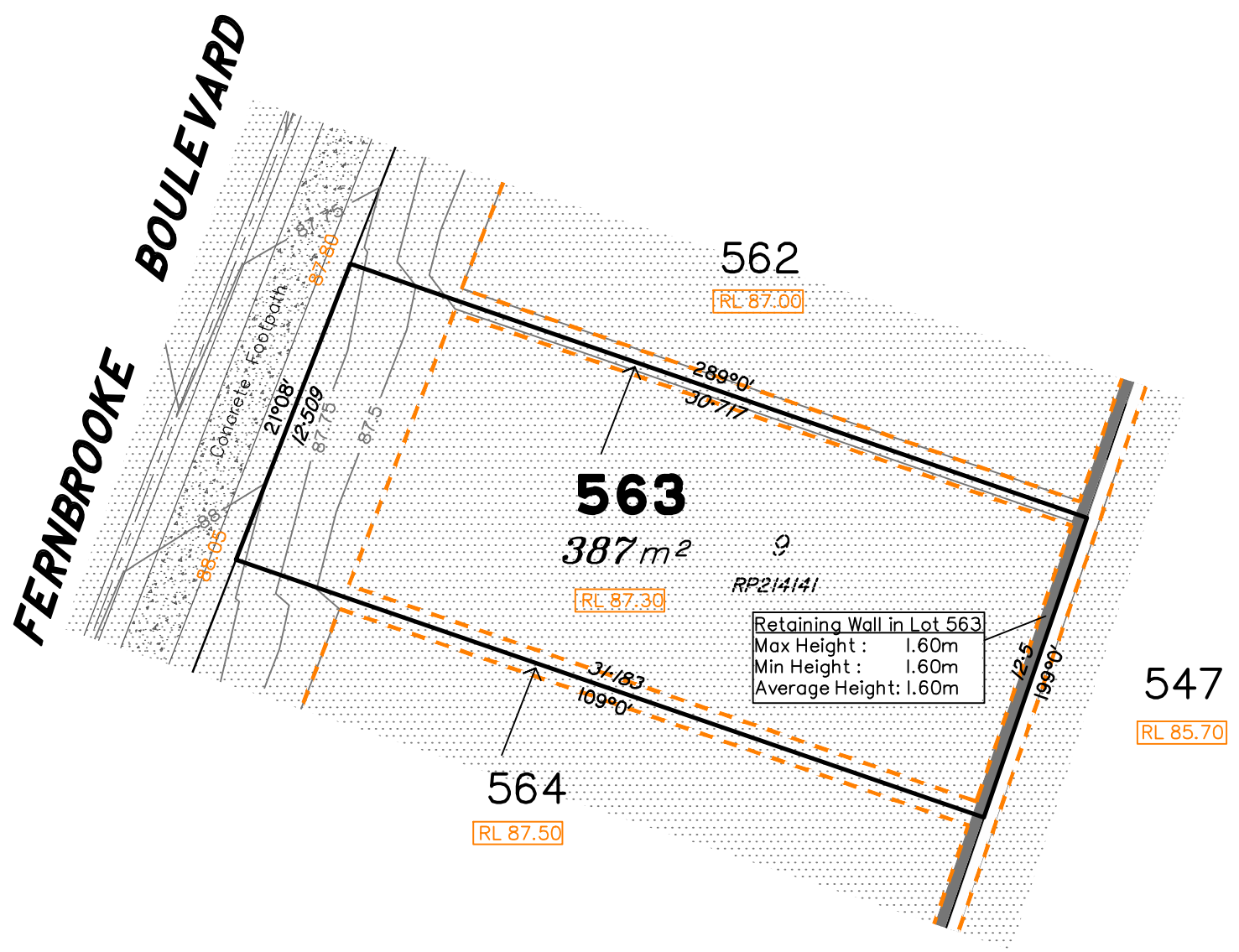
Lot 562 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue



LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

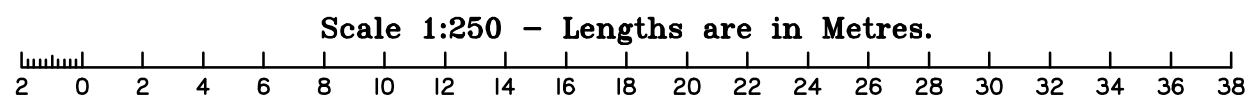
**NOTES**

This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

Lot 563 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue

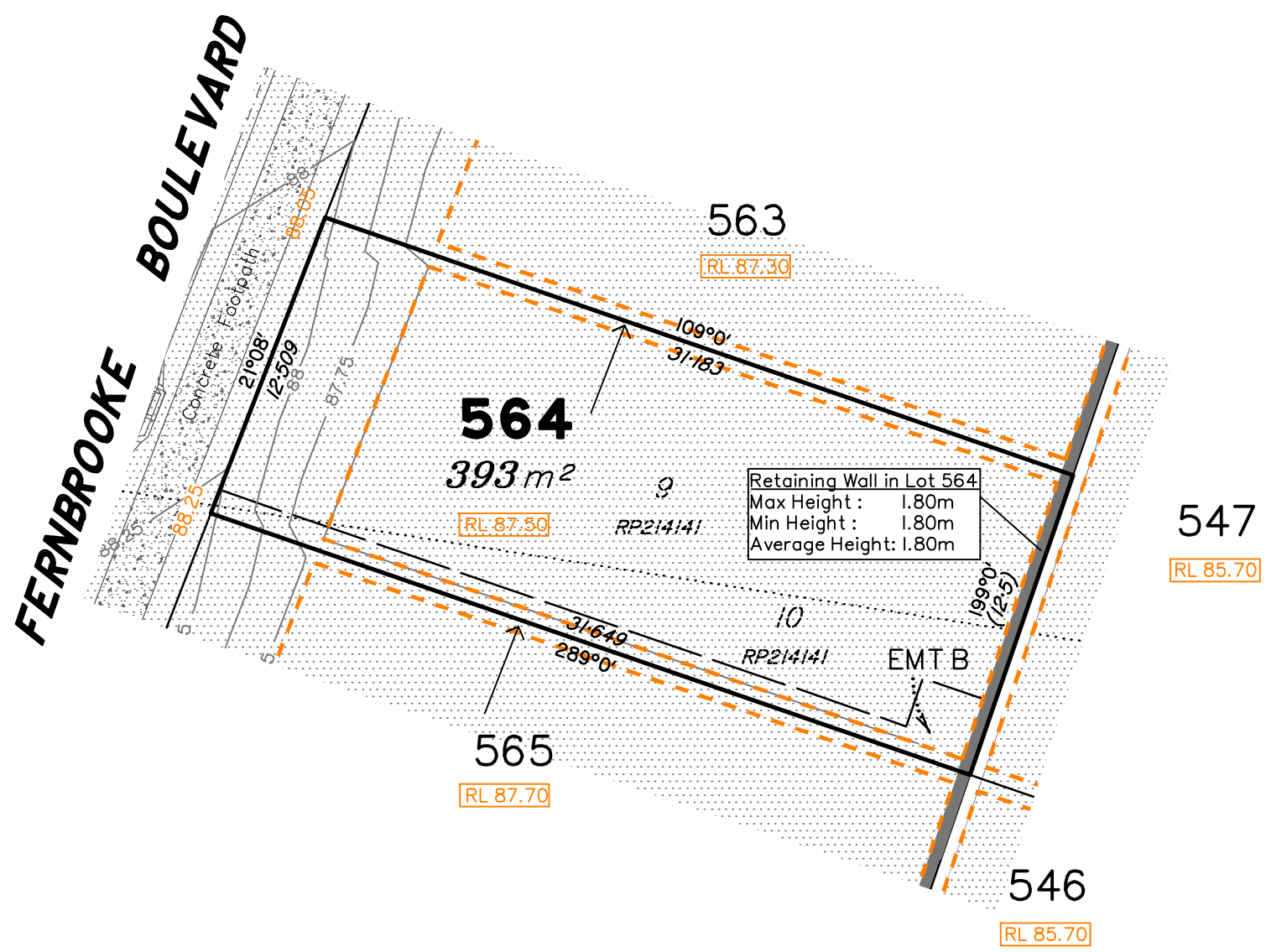
**saunders havill group**  
 Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com  
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 563 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_563

Locality of Redbank Plains



LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

**NOTES**

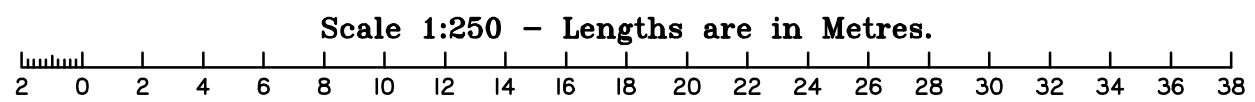
This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

Lot 564 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

Lot 507 contains Easement B on SP292397 for services benefiting Queensland Urban Utilities.

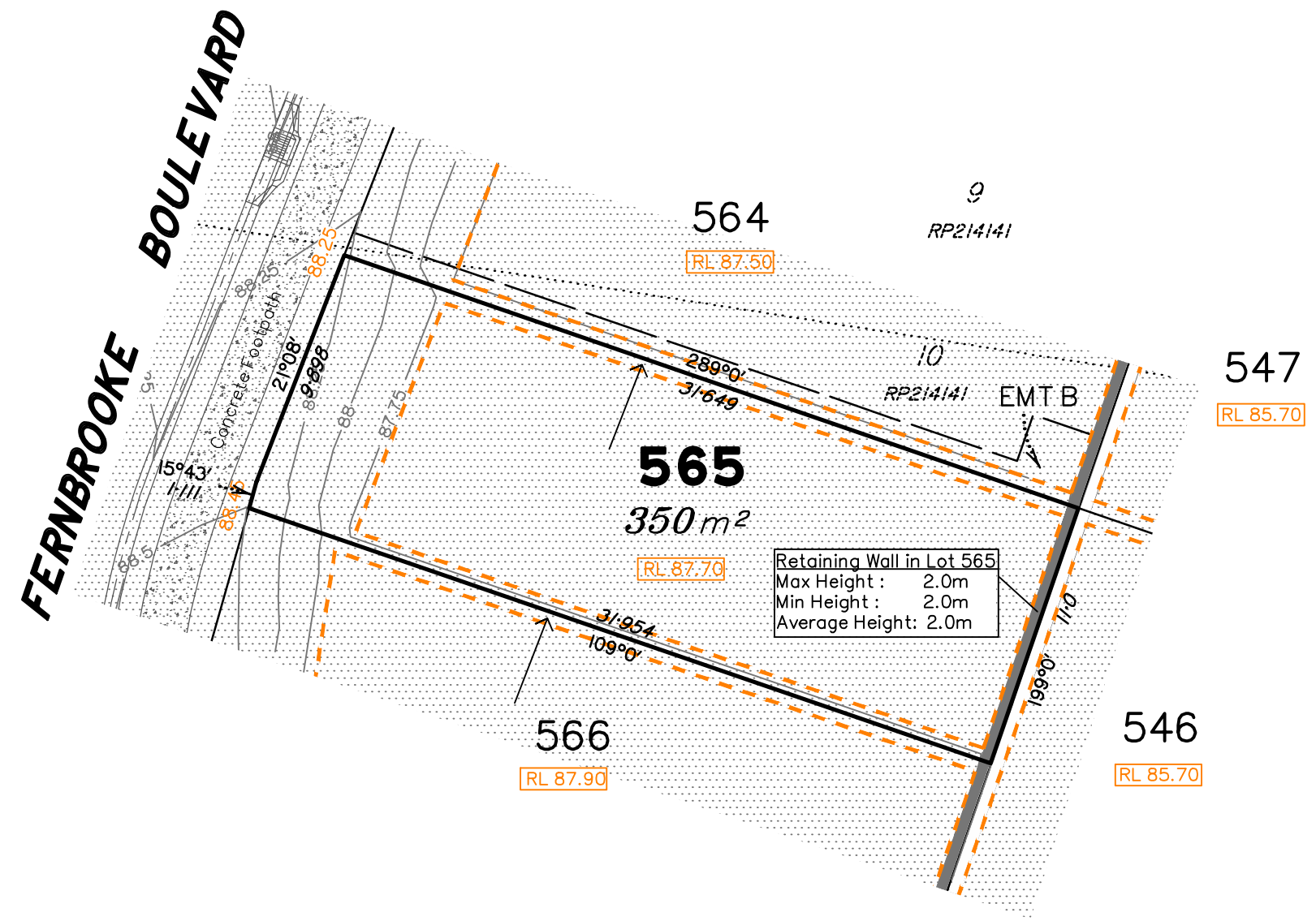


No.	by	Date	Description
A	TBG	06/07/17	Original Issue

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 564 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_564



LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

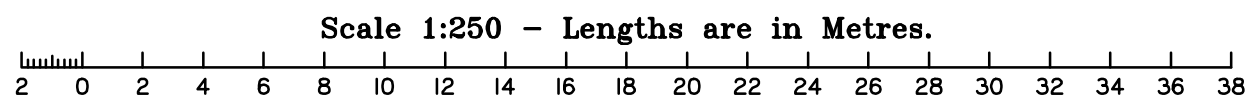
**NOTES**

This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

Lot 565 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

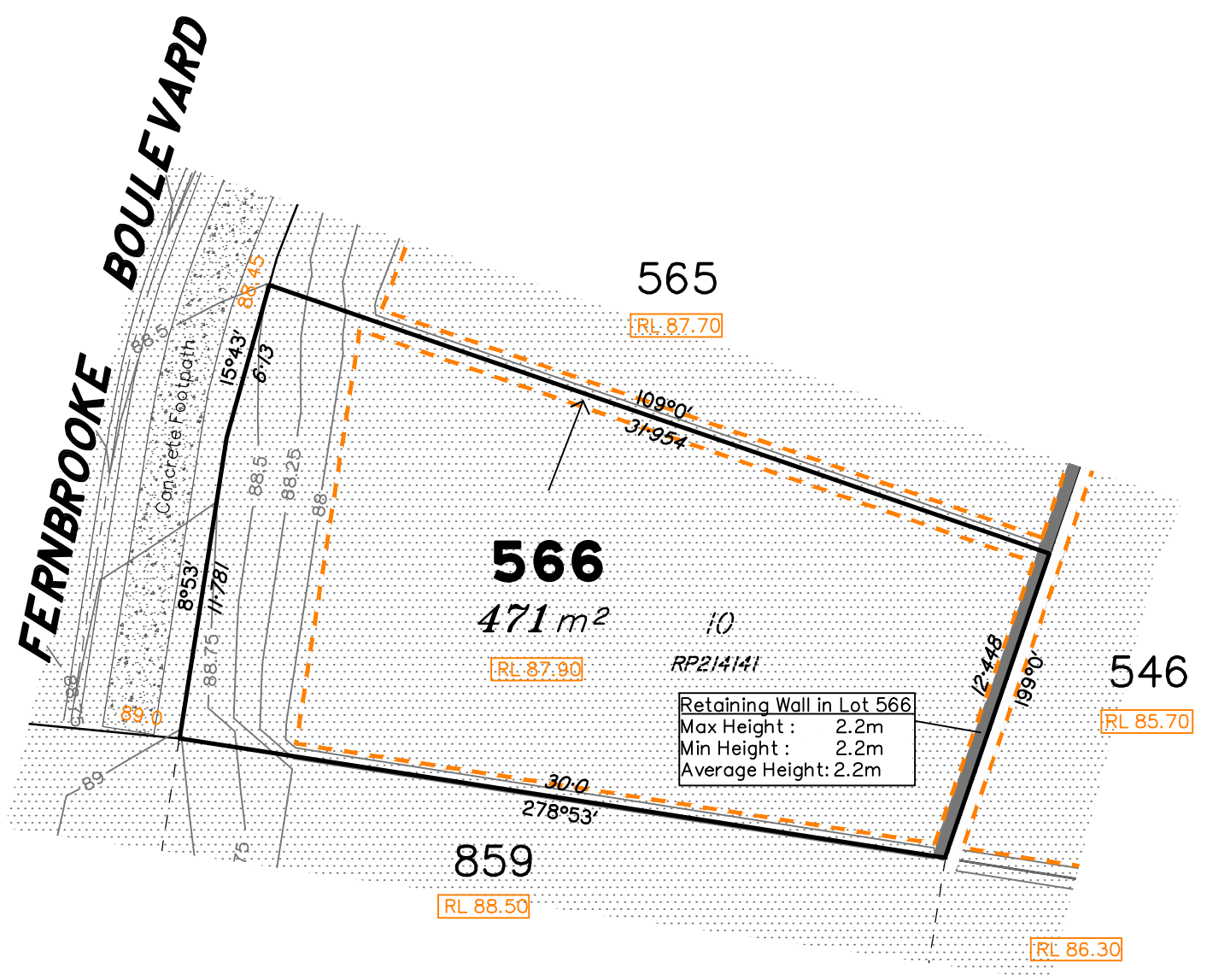
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue





**LEGEND**

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78** Finished Surface Design Level
- RL 38.78** Finished Pad Design Level

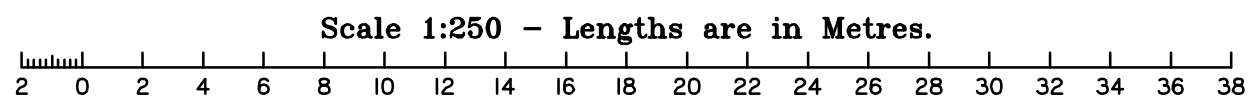
**NOTES**

This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

Lot 566 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue

**saunders havill group**

Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com

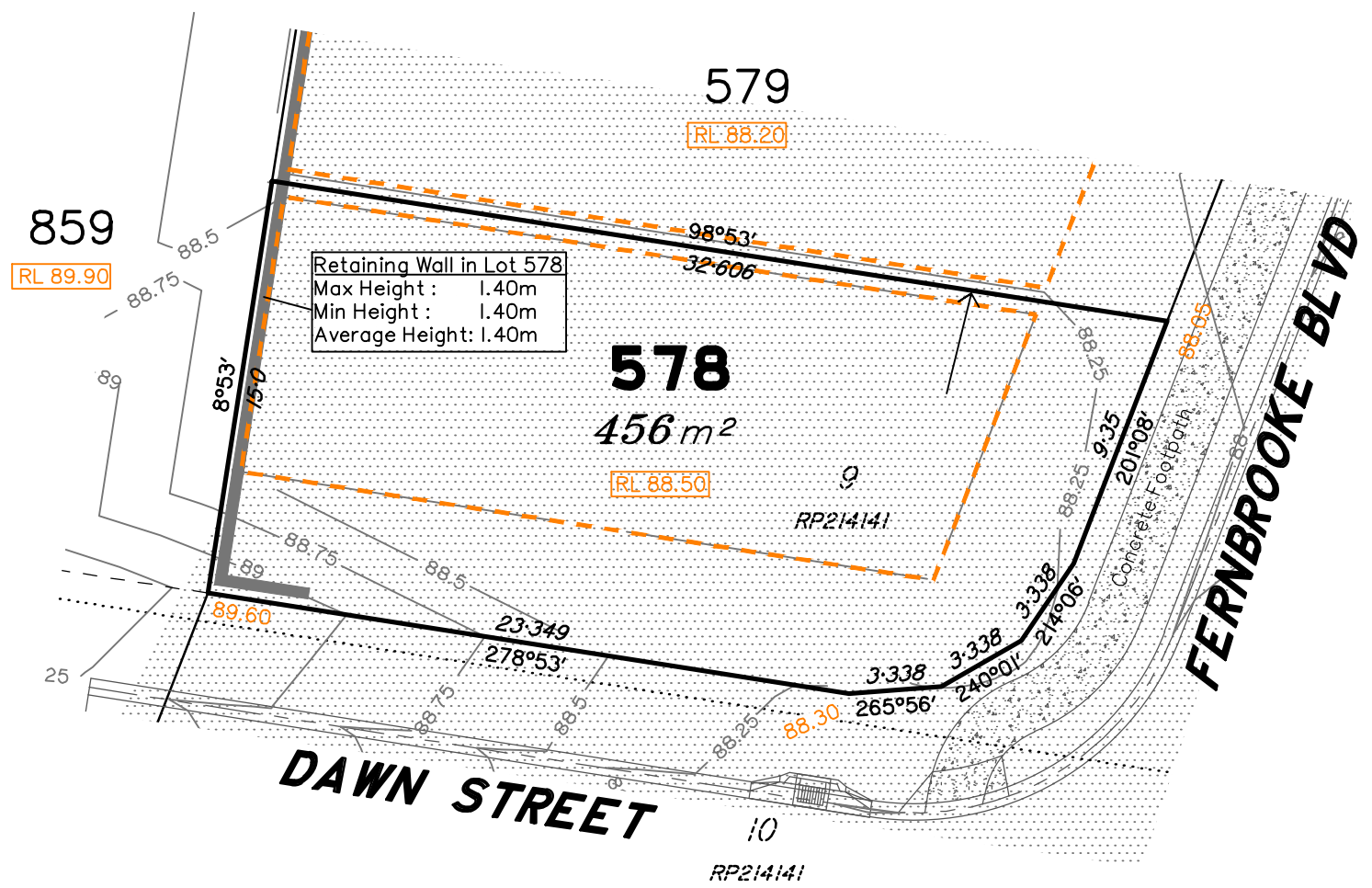
■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 566 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_566

Locality of Redbank Plains



**LEGEND**

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

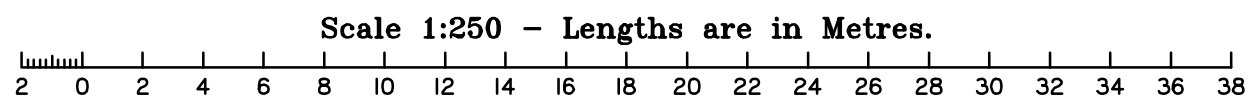
**NOTES**

This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

Lot 578 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue

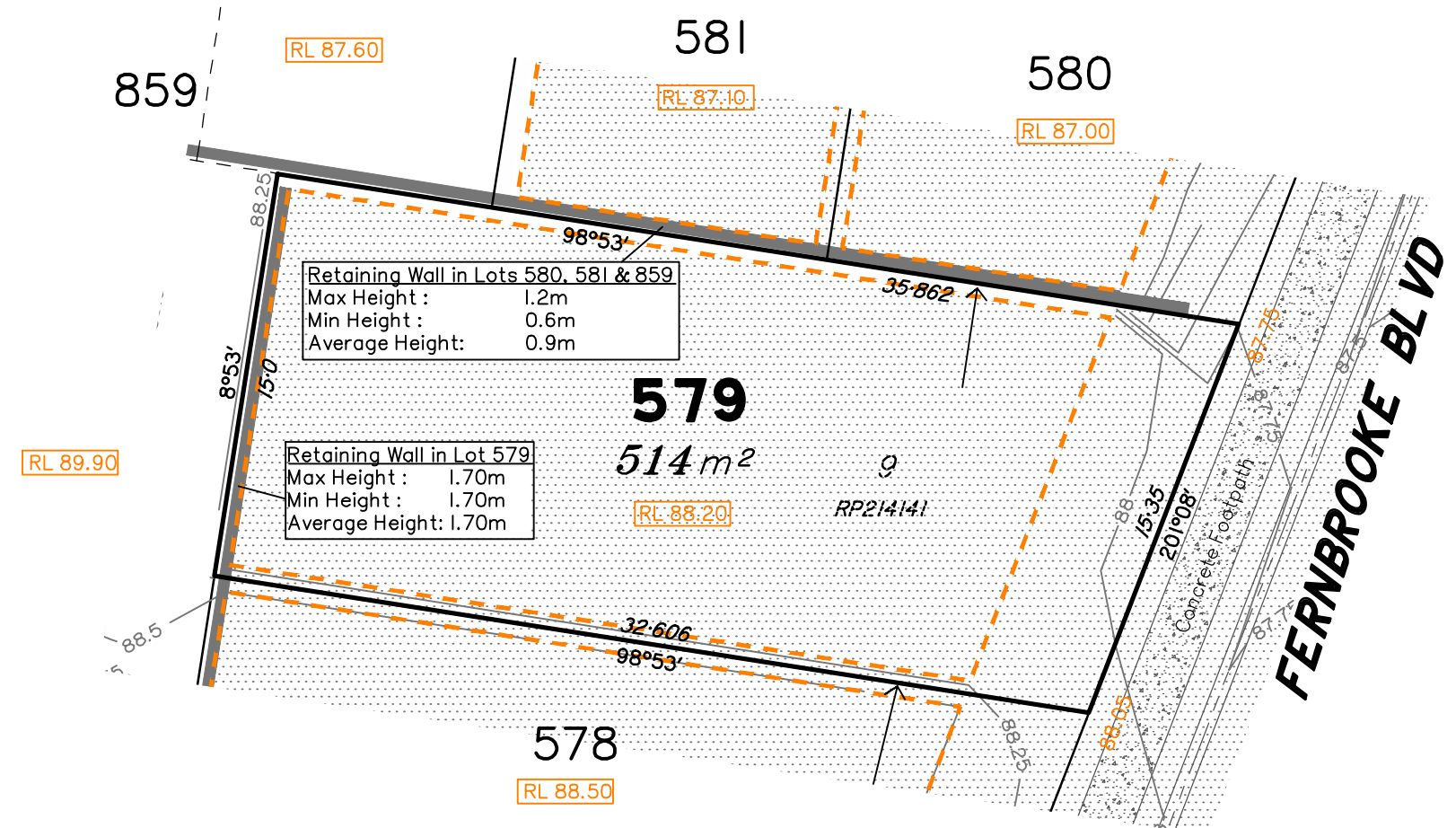
**saunders havill group**  
 Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com  
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 578 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_578

Locality of Redbank Plains



Retaining Wall in Lots 580, 581 & 859  
 Max Height : 1.2m  
 Min Height : 0.6m  
 Average Height: 0.9m

Retaining Wall in Lot 579  
 Max Height : 1.70m  
 Min Height : 1.70m  
 Average Height: 1.70m

**LEGEND**

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

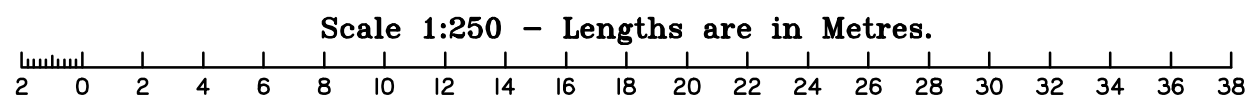
**NOTES**

This plan has been prepared from preliminary survey plan (SP292397) and engineering plans provided on the 13/6, 14/06, 23/06 & 26/06/2017 by ETS Engineering.

Lot 579 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.



No.	by	Date	Description
A	TBG	06/07/17	Original Issue

**saunders havill group**  
 Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane • Emerald • Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web www.saundershavill.com  
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 579 (Restricted) on SP292397**  
 Described as part of Lot 855 (Restricted) on SP279417  
 Existing Title Reference: 51016185

Level Datum: AHD der.  
 Origin of Levels: PM161439  
 RL of Origin: 78.888  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Dwg No. 8459 S 01 DP A\_579

Locality of Redbank Plains