

Retaining Wall in Lot 857
 Max Height : 1.0m
 Min Height : 1.0m
 Average Height: 1.0m

LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

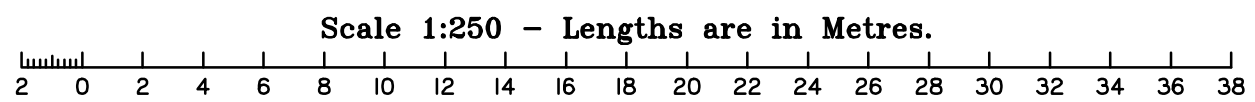
Lot 446 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

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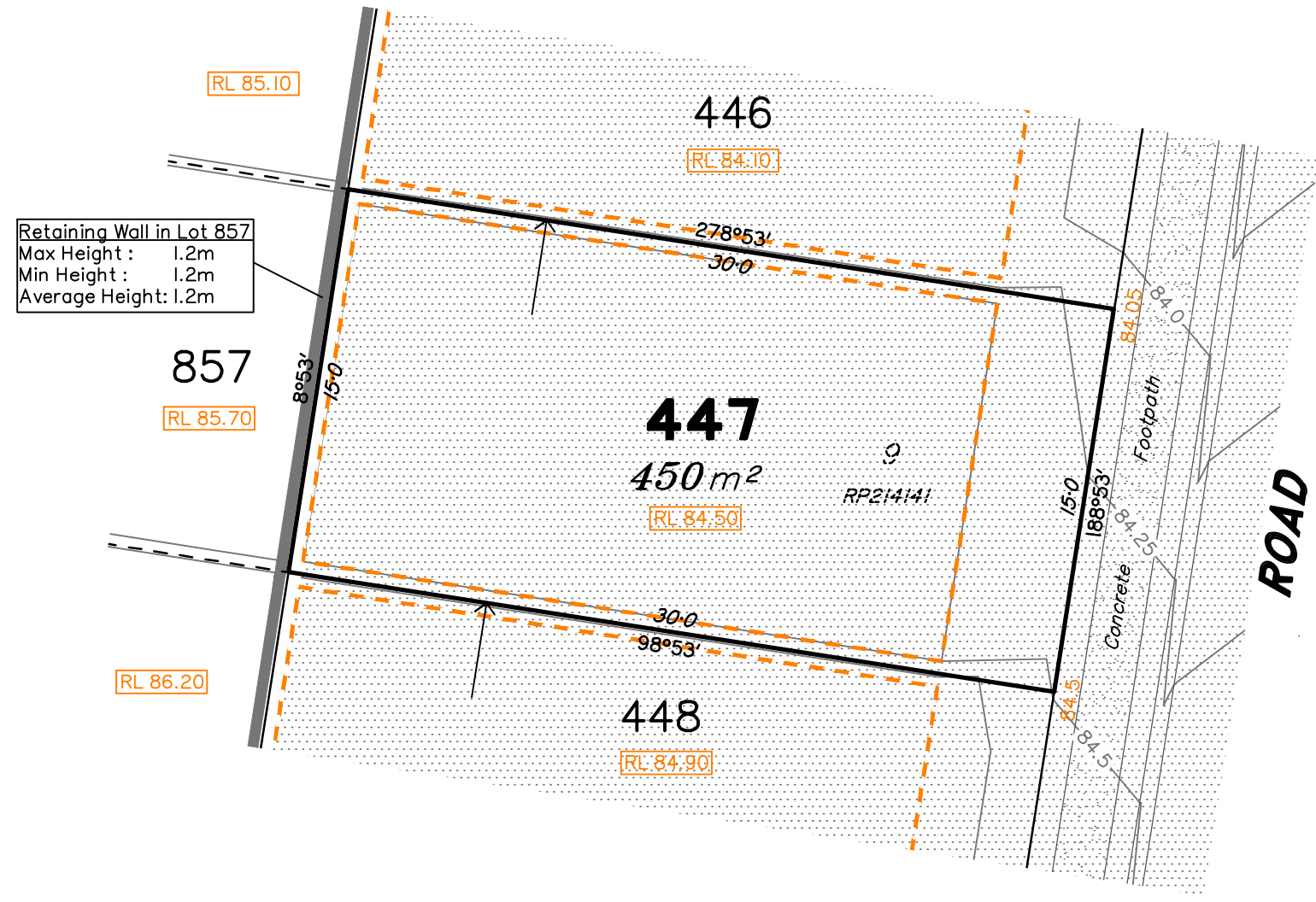


No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council approval status updated.

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Disclosure Plan for Proposed Lot 446 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP C_446



Retaining Wall in Lot 857
 Max Height : 1.2m
 Min Height : 1.2m
 Average Height: 1.2m

LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

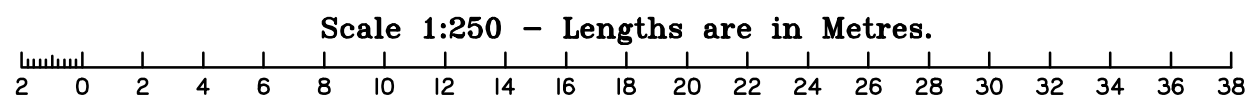
NOTES

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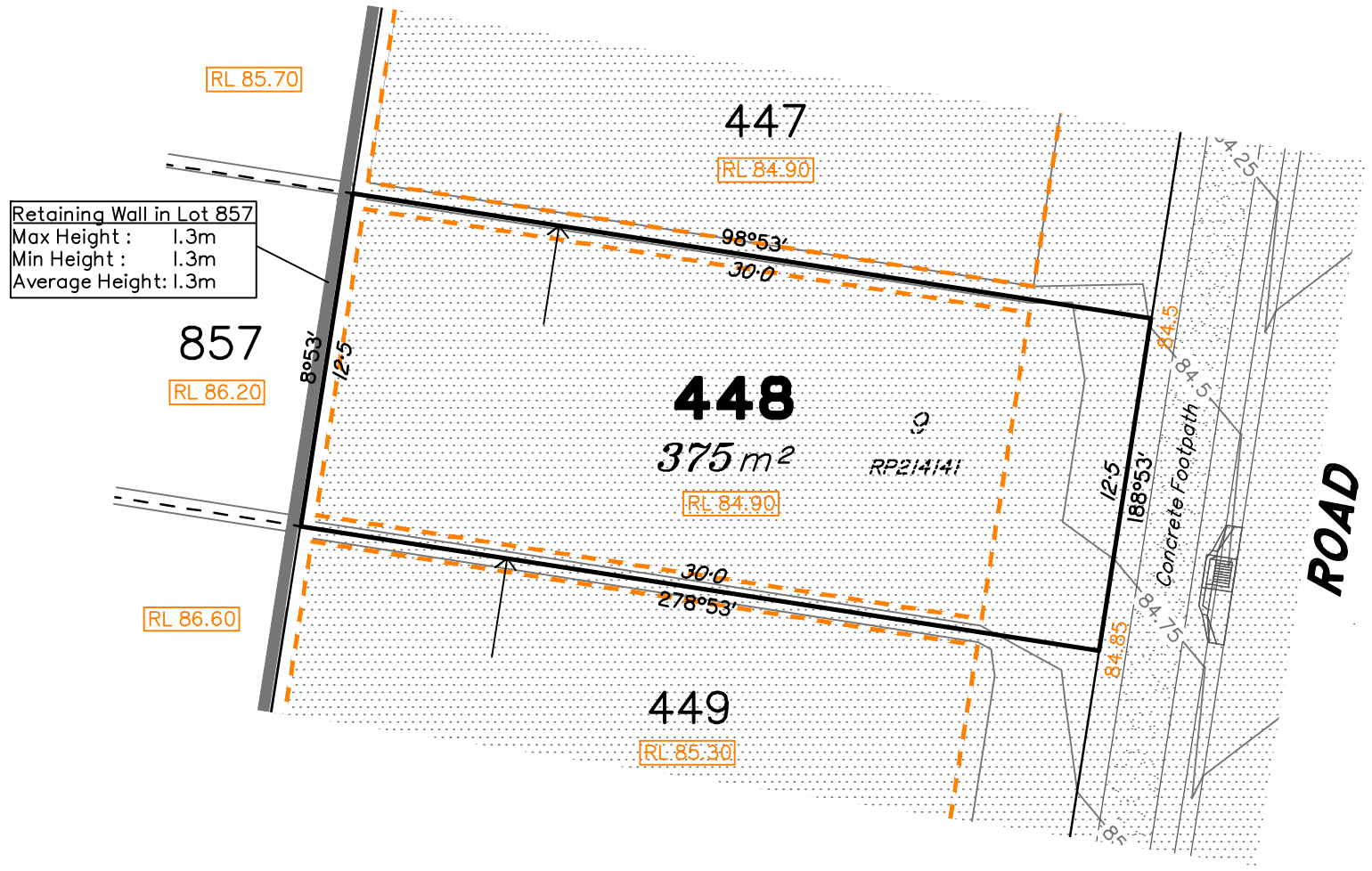
Lot 447 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.



No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council approval status updated.



Retaining Wall in Lot 857
 Max Height : 1.3m
 Min Height : 1.3m
 Average Height: 1.3m

LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

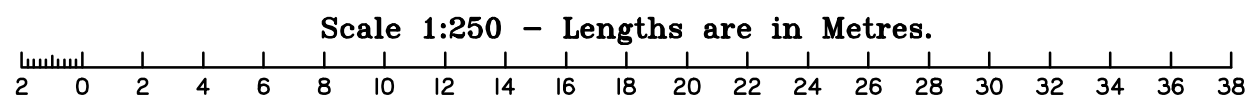
NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 448 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

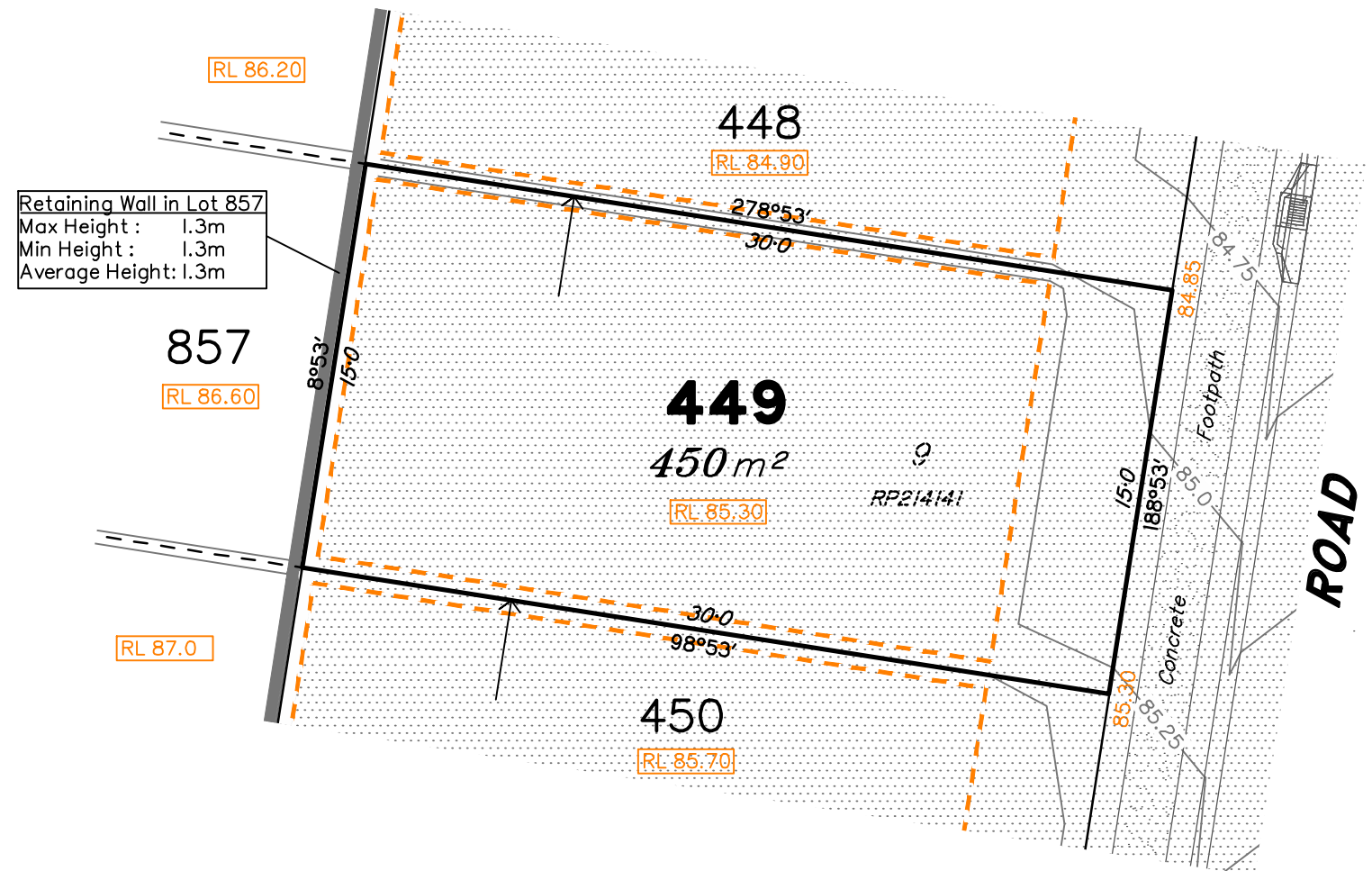


No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council approval status updated.

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Disclosure Plan for Proposed Lot 448 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP C_448



LEGEND

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

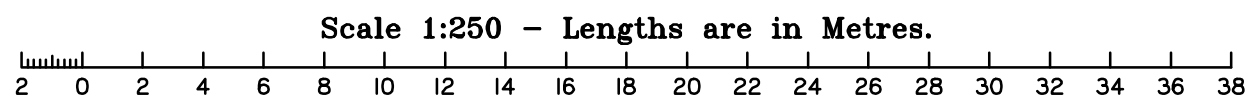
NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

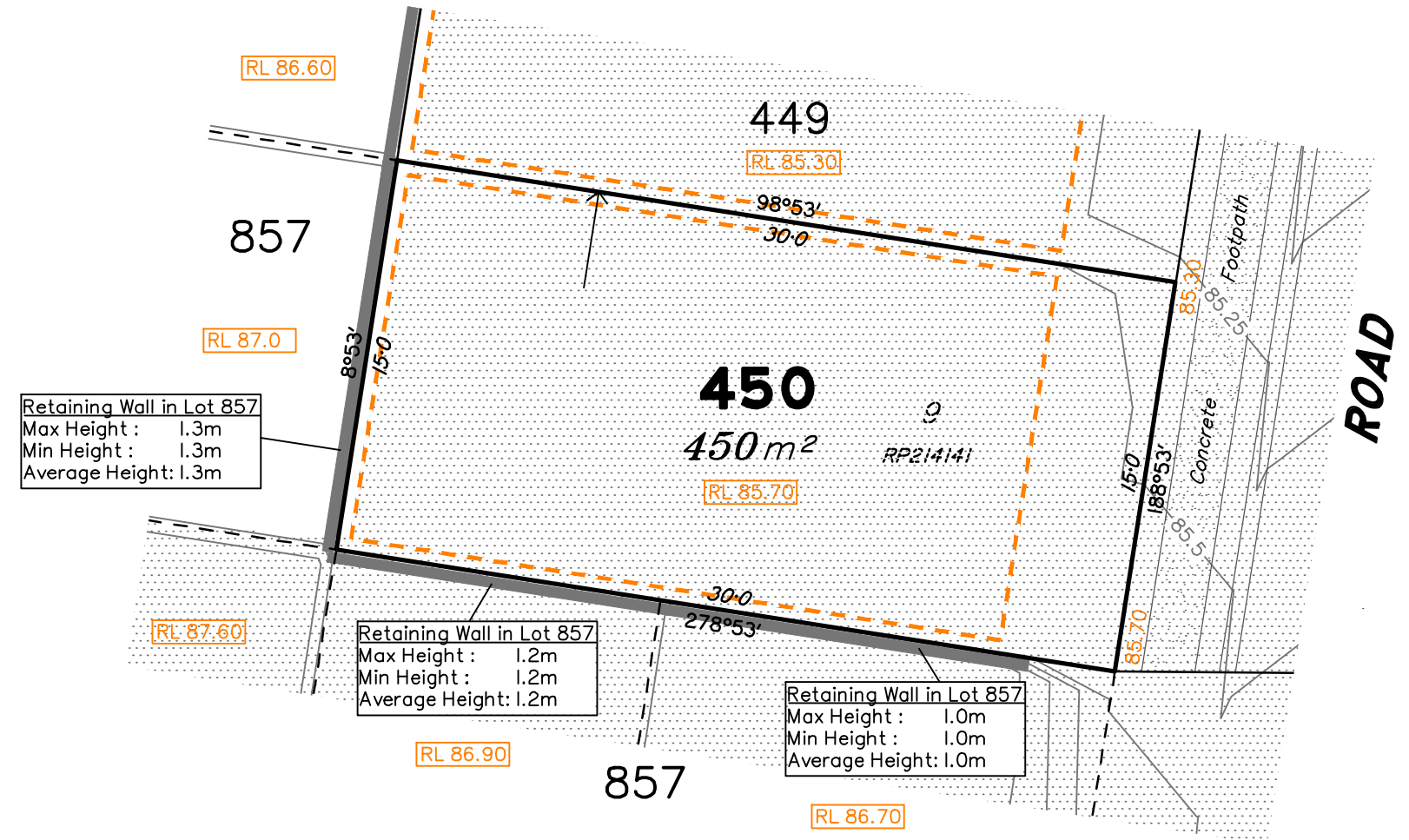
Lot 449 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.



No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.



LEGEND

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 450 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

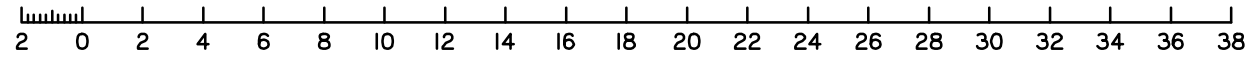
Development Approval has not been granted for Operational Works for the proposed lot.

Retaining Wall in Lot 857
Max Height : 1.3m
Min Height : 1.3m
Average Height: 1.3m

Retaining Wall in Lot 857
Max Height : 1.2m
Min Height : 1.2m
Average Height: 1.2m

Retaining Wall in Lot 857
Max Height : 1.0m
Min Height : 1.0m
Average Height: 1.0m

Scale 1:250 – Lengths are in Metres.



No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.

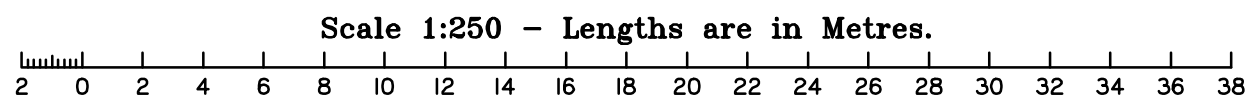
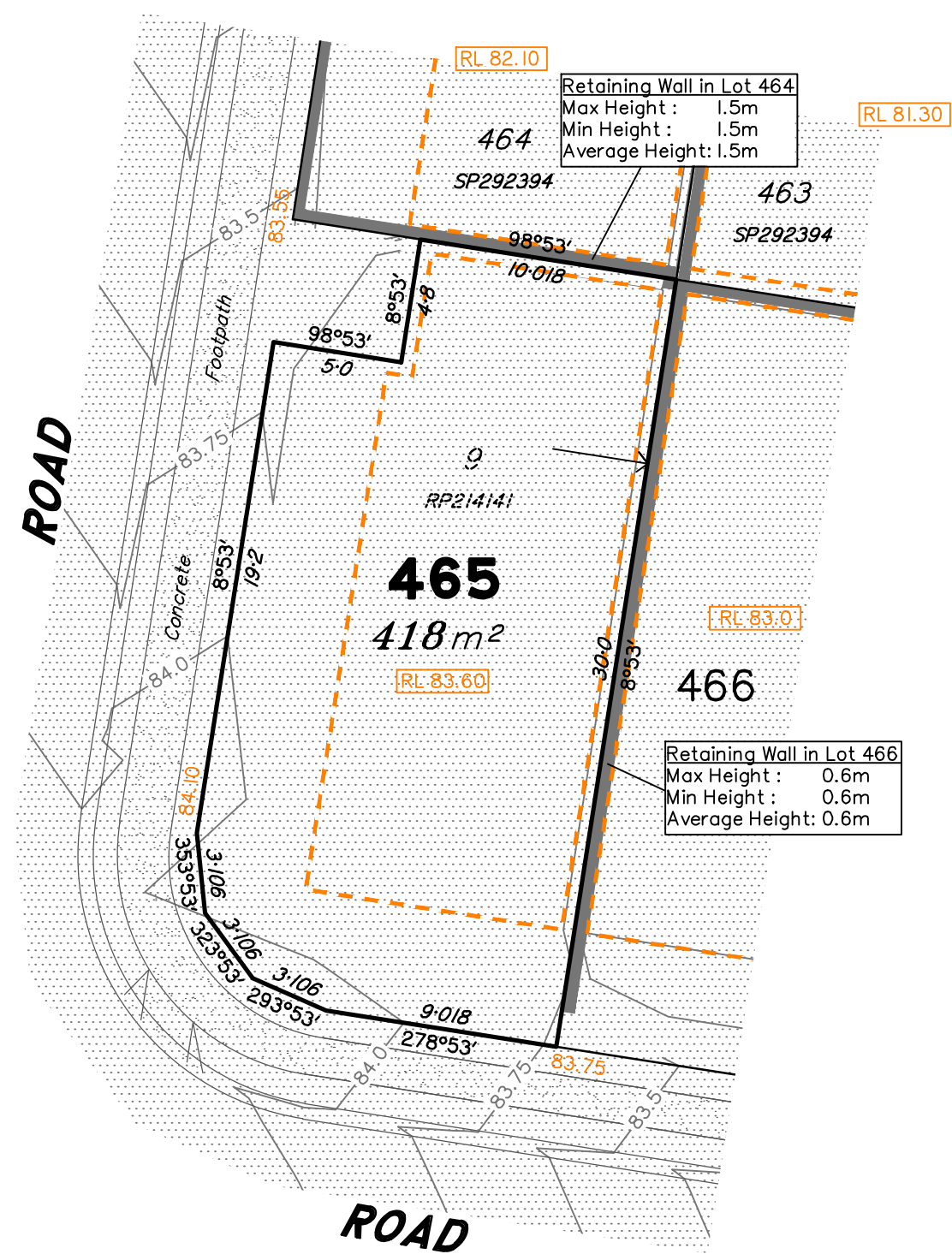
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Disclosure Plan for Proposed Lot 450 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP C_450

Locality of Redbank Plains



LEGEND

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering; and by Robin Russell and Associates P/L on the 09/02/2017.

Lot 465 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

No.	by	Date	Description
C	TBG	21/02/17	PMT Site Added. Ret Wall moved to 464.
D	TBG	27/02/17	Dimensions amended as per SP. Area recalc
E	TBG	02/03/17	Ret Wall & Pad heights reduced

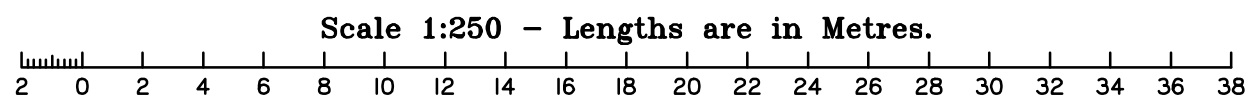
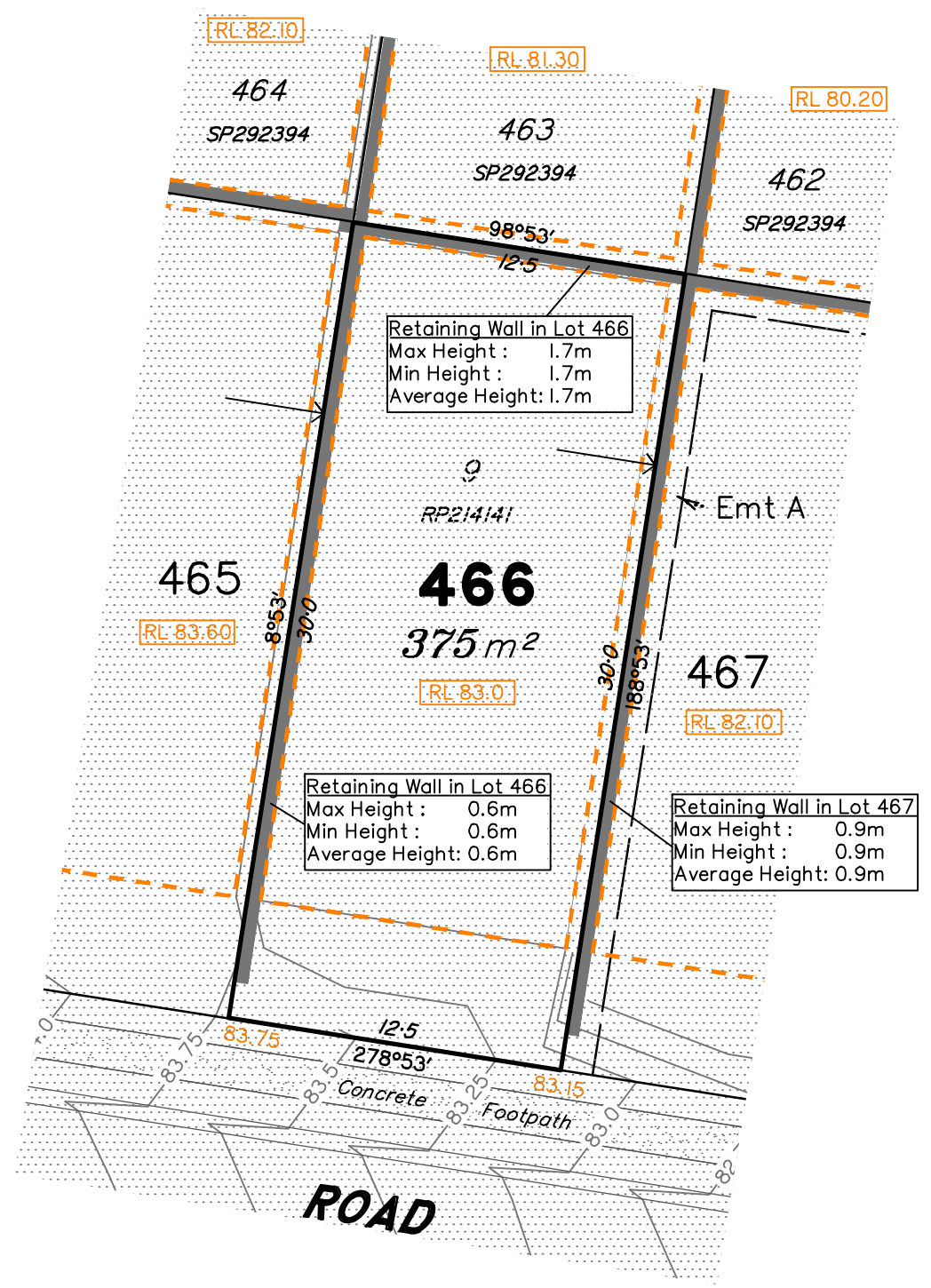
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Disclosure Plan for Proposed Lot 465 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP E_465

Locality of Redbank Plains



LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 & 02/03/17 by ETS Engineering.

Lot 466 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

No.	by	Date	Description
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.
D	TBG	02/03/17	Ret wall on western bdy reduced.

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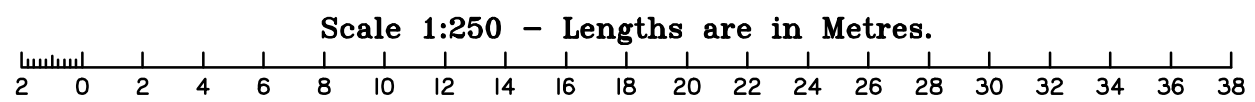
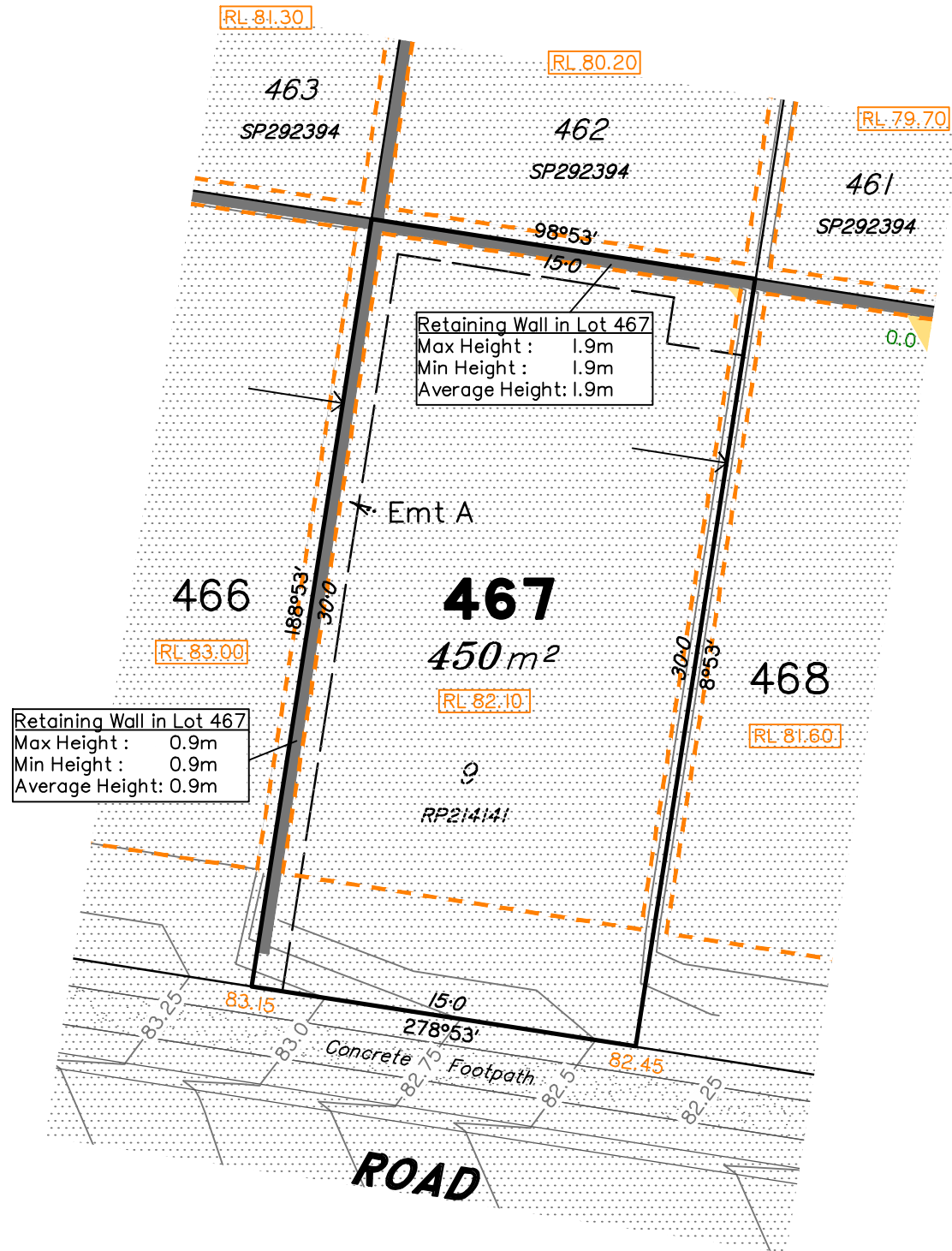
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Disclosure Plan for Proposed Lot 466 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP D_466

Locality of Redbank Plains



LEGEND

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 467 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

Lot 467 contains Emt A on SP292395 for services benefiting Queensland Urban Utilities.

No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.

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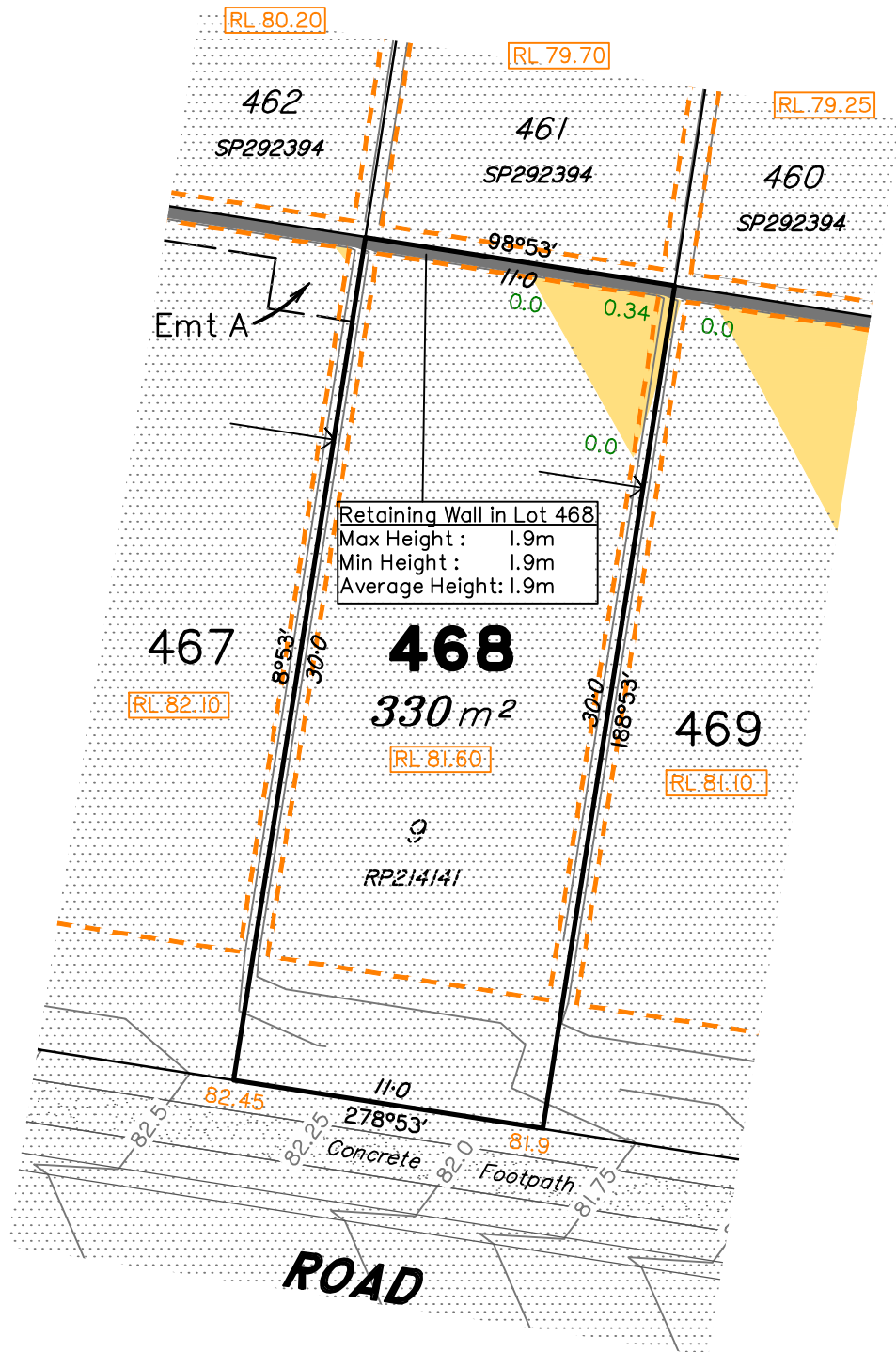
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Disclosure Plan for Proposed Lot 467 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP C_467

Locality of Redbank Plains



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

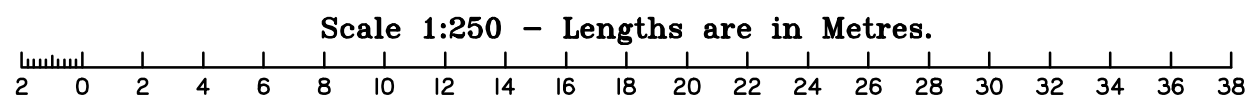
This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 468 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.

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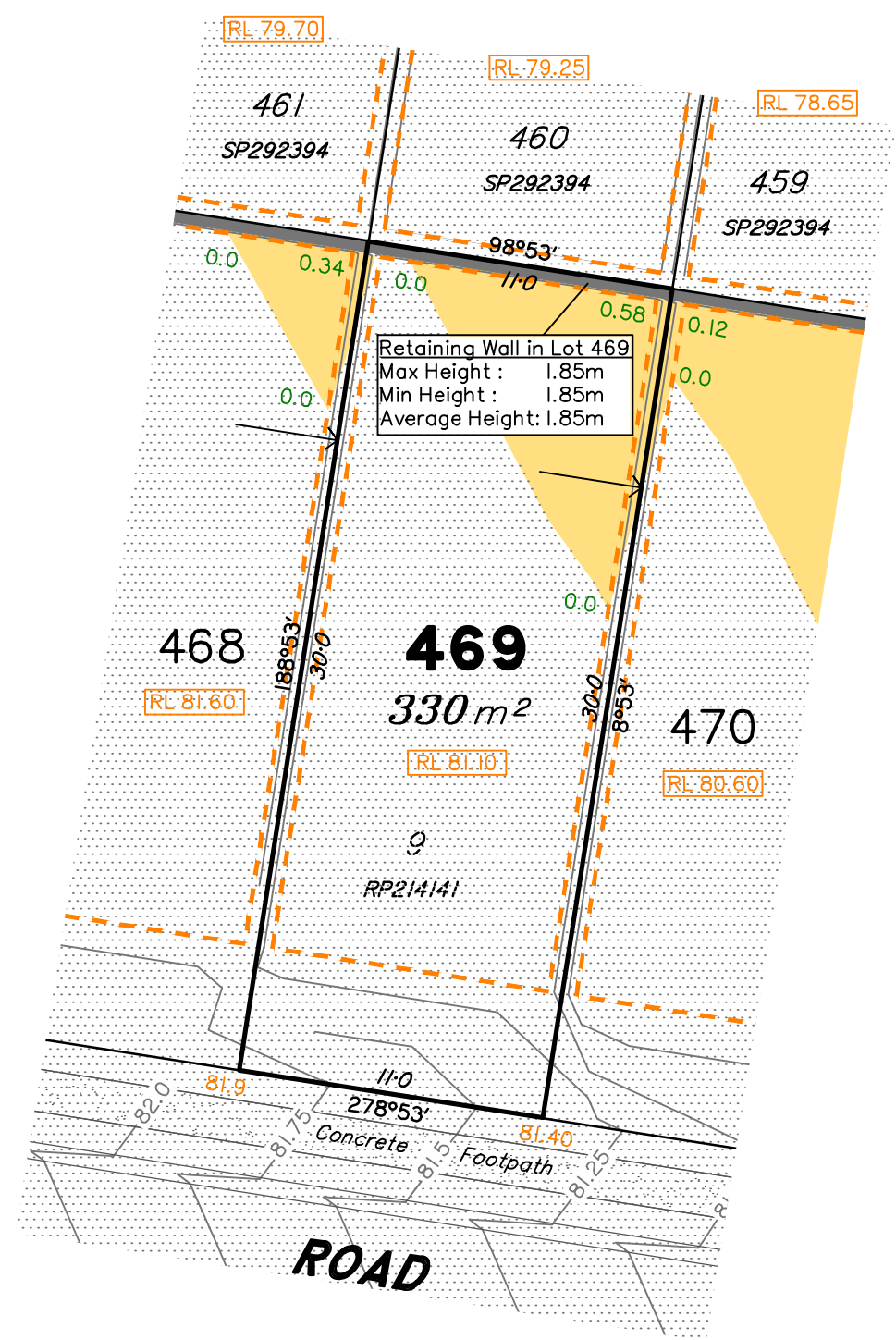
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Disclosure Plan for Proposed Lot 468 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP C_468

Locality of Redbank Plains



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

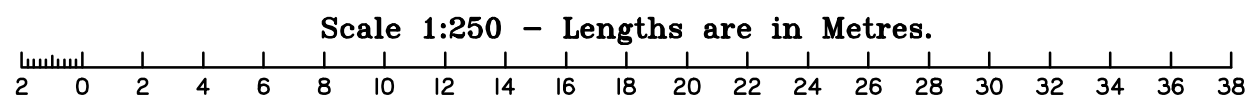
This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 469 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.

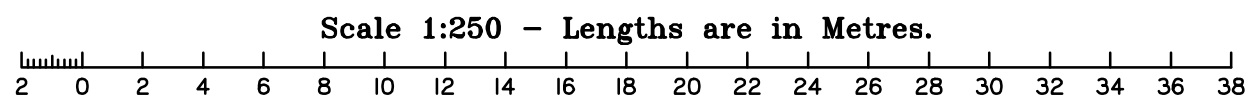
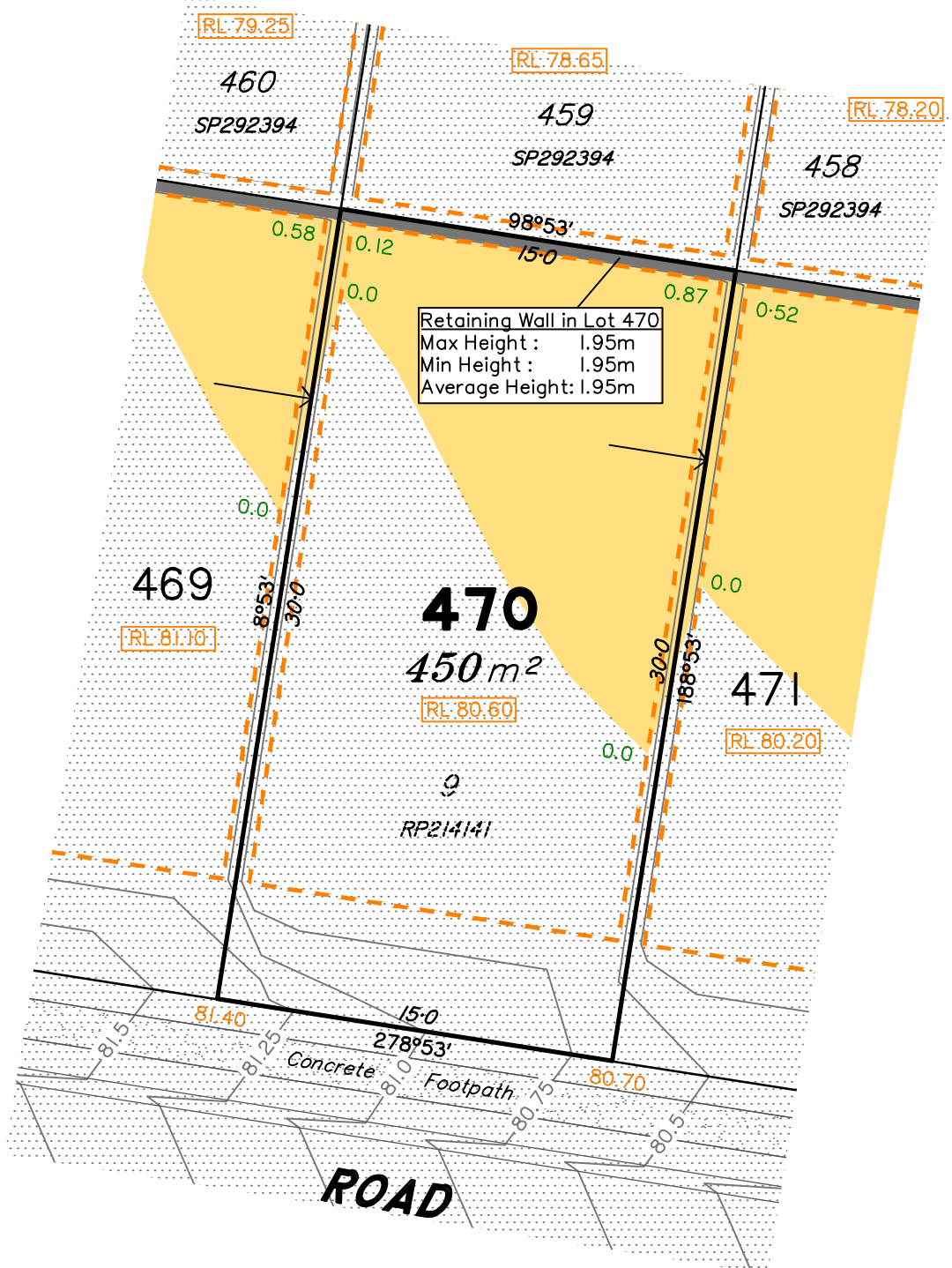
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Disclosure Plan for Proposed Lot 469 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP C_469

Locality of Redbank Plains



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

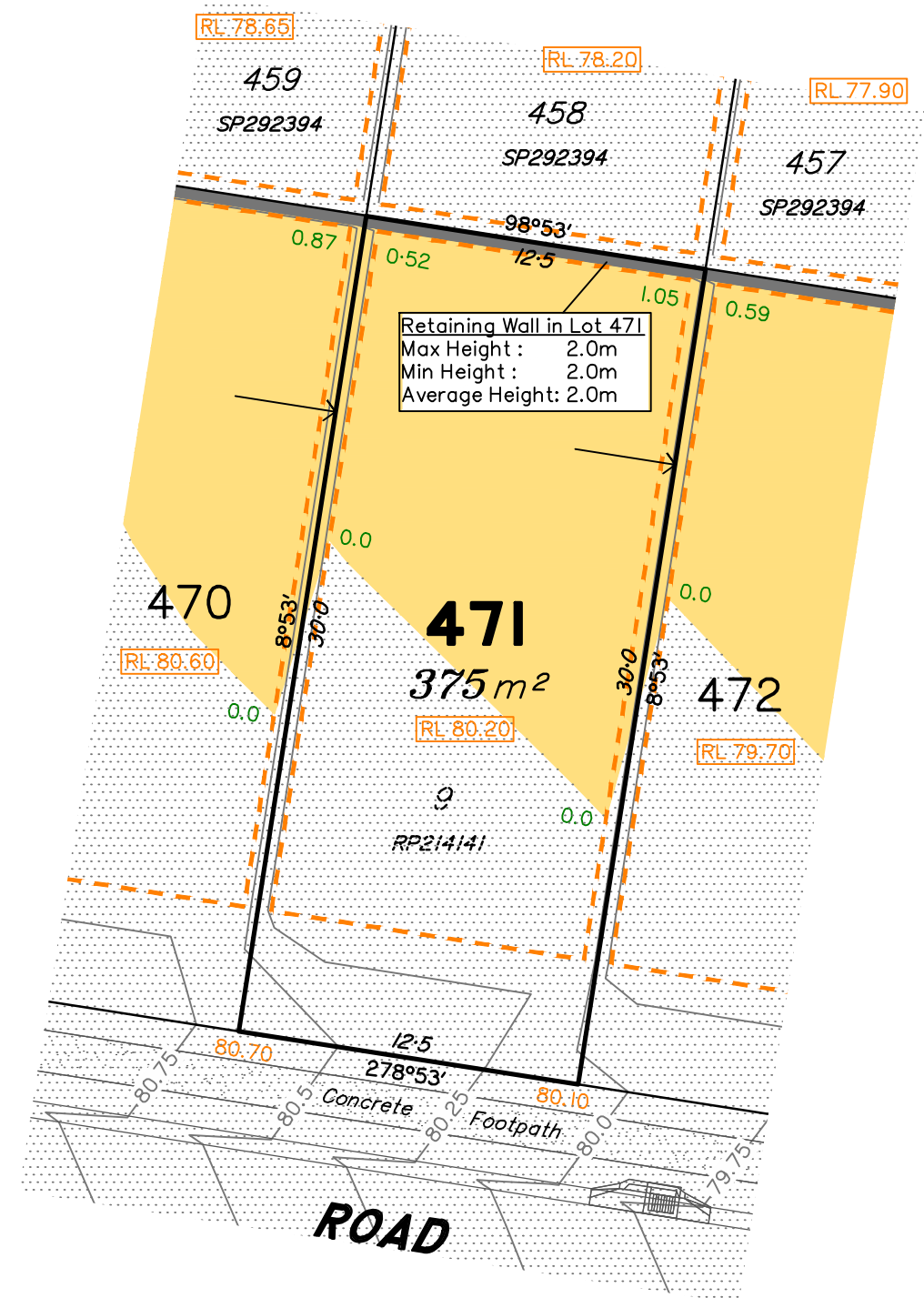
Lot 470 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 471 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.

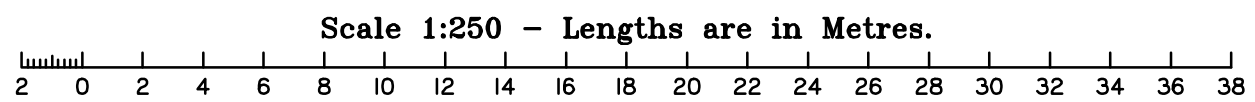
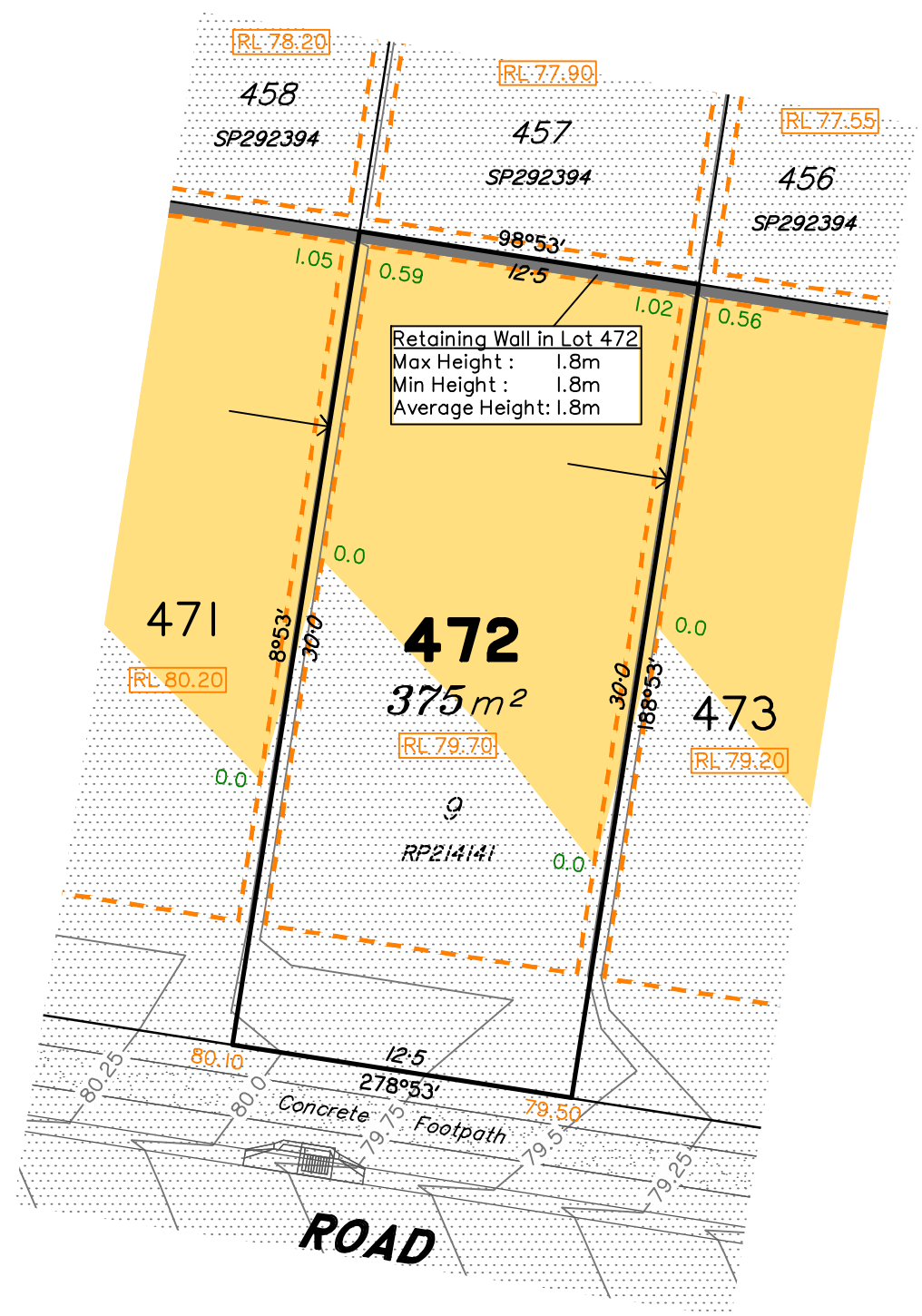
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Disclosure Plan for Proposed Lot 471 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP C_471

Locality of Redbank Plains



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 472 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.

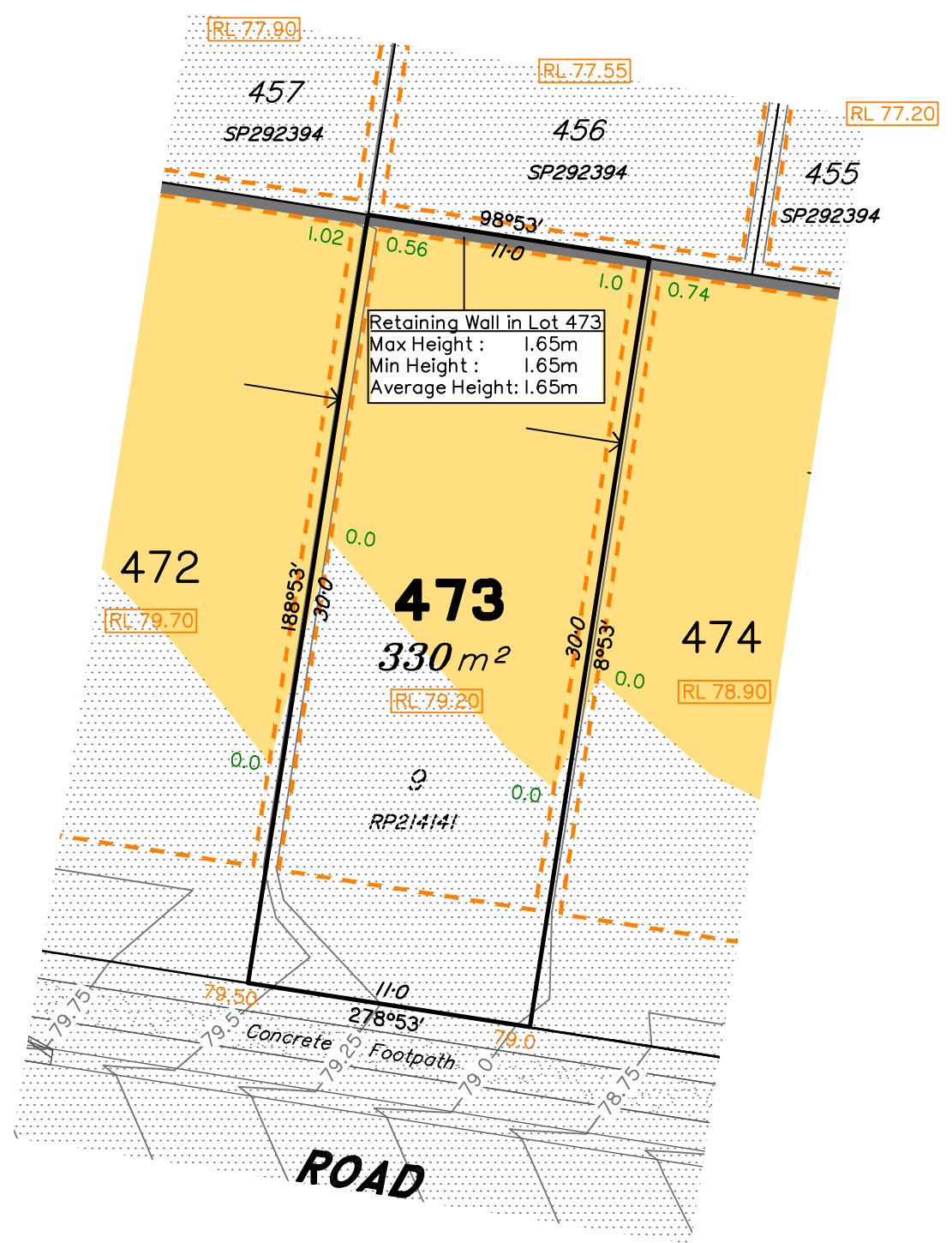
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Disclosure Plan for Proposed Lot 472 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP C_472

Locality of Redbank Plains



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

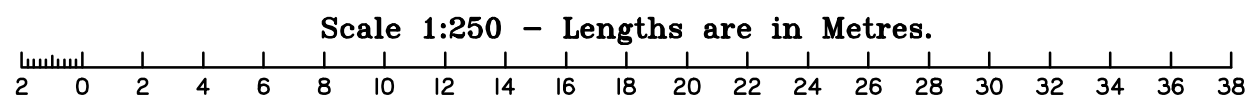
This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 473 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

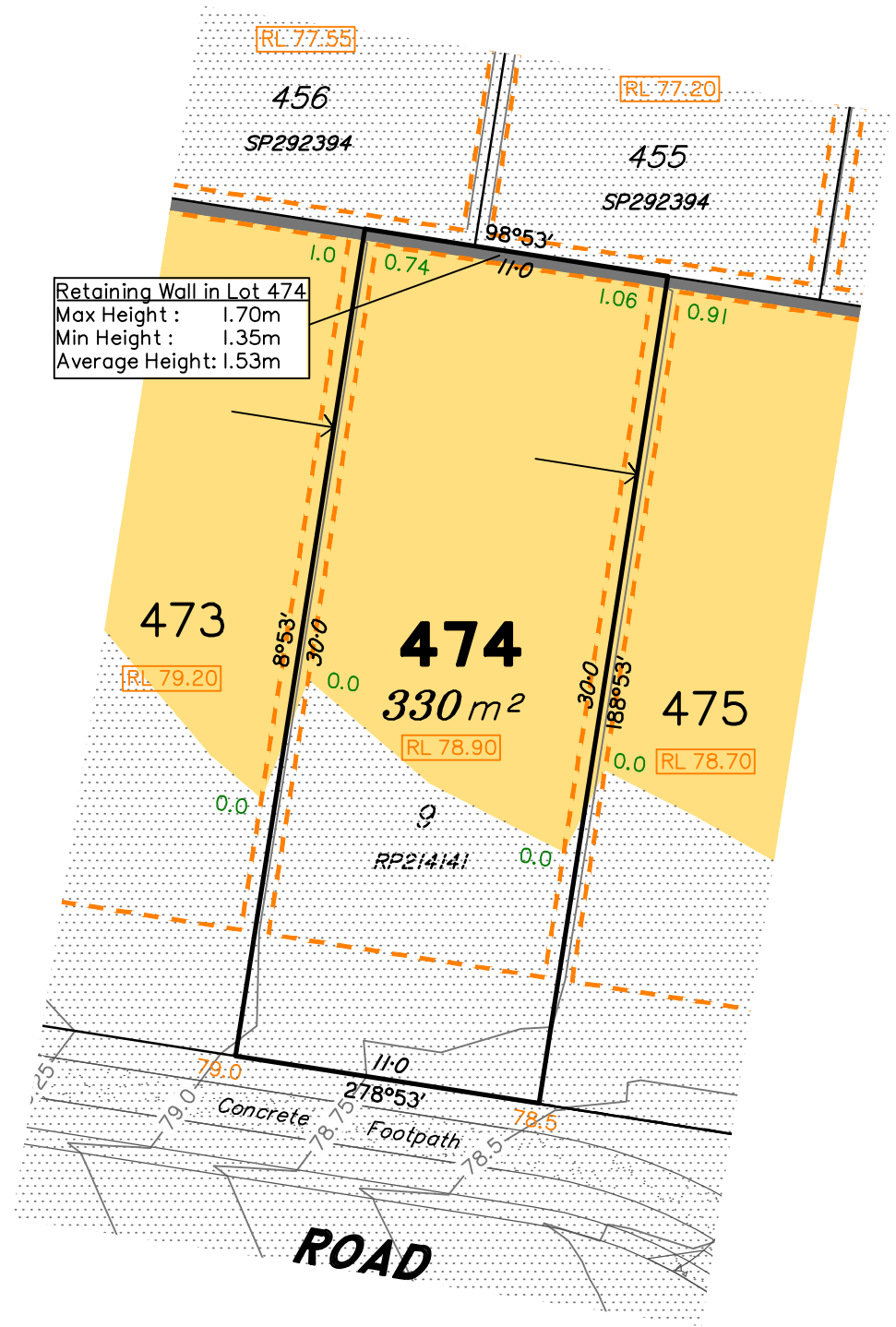


Issues	No.	by	Date	Description
	A	TBG	15/11/16	Original Issue
	B	TBG	02/02/17	Some contours removed
	C	TBG	21/02/17	Council Approval status amended.

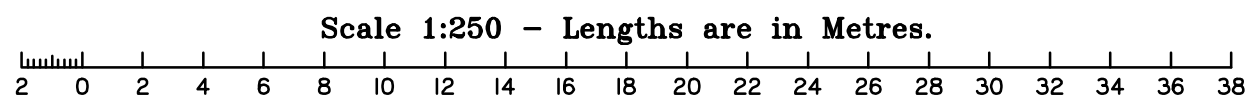
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 473 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP C_473



Retaining Wall in Lot 474
 Max Height : 1.70m
 Min Height : 1.35m
 Average Height: 1.53m



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

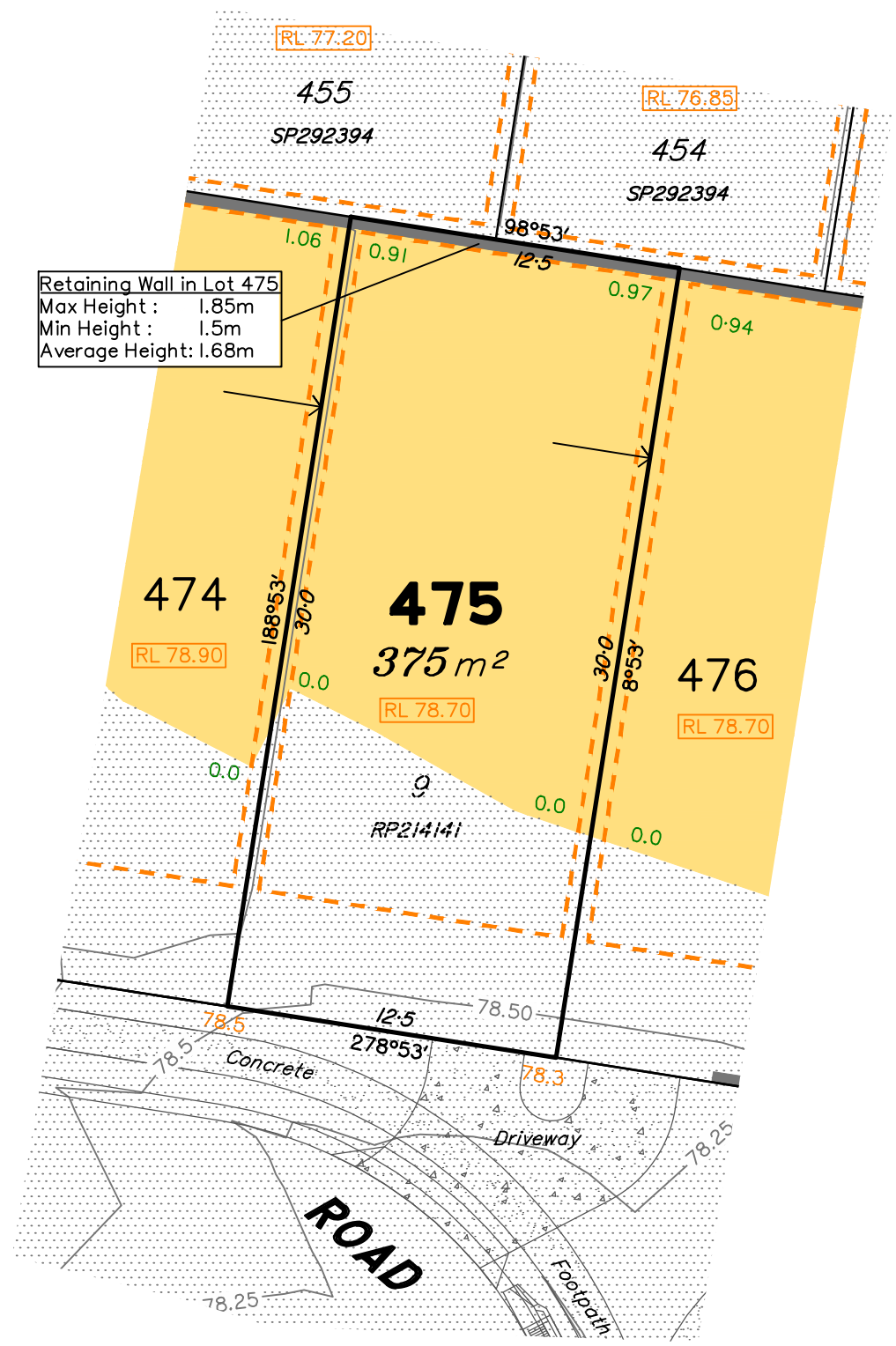
Lot 474 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

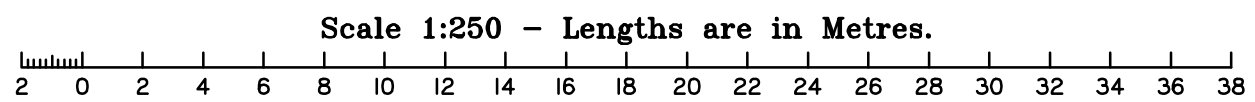
Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.



Retaining Wall in Lot 475
 Max Height : 1.85m
 Min Height : 1.5m
 Average Height: 1.68m



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 12/10/16, 01/11/16, 04/11/16, 10/11/16 & 15/02/17 by ETS Engineering.

Lot 475 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Driveway Added. Council approval updated.
D	TBG	27/02/17	Emt B in adjoining Lot 476 removed

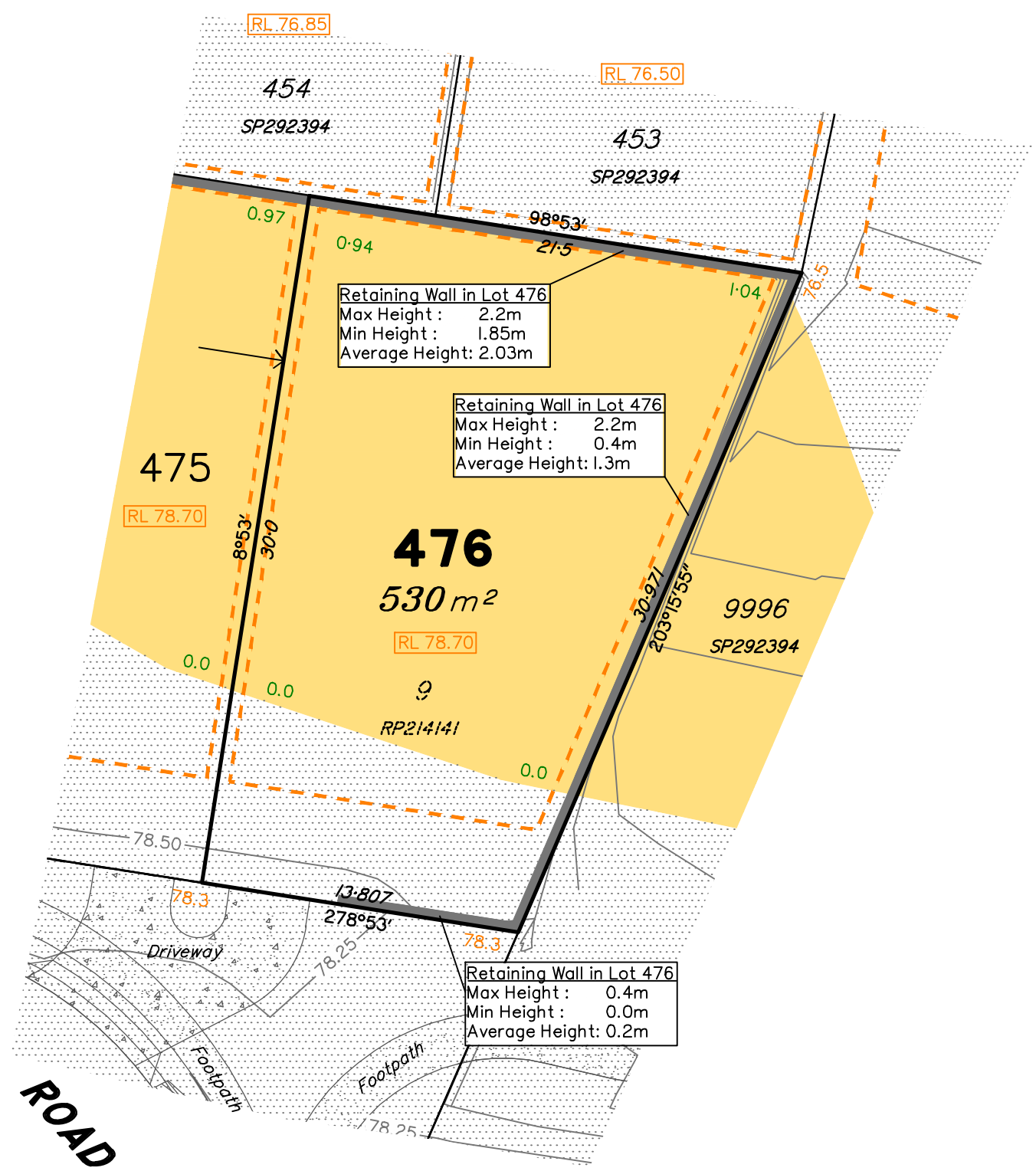
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 phone 1300 123 SHG web www.saundershavill.com
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Disclosure Plan for Proposed Lot 475 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP D_475

Locality of Redbank Plains



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

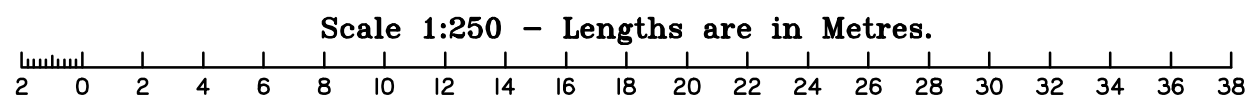
This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 12/10/16, 01/11/16, 04/11/16, 10/11/16 & 15/02/17 by ETS Engineering.

Lot 476 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

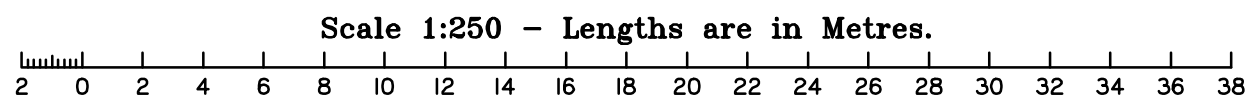
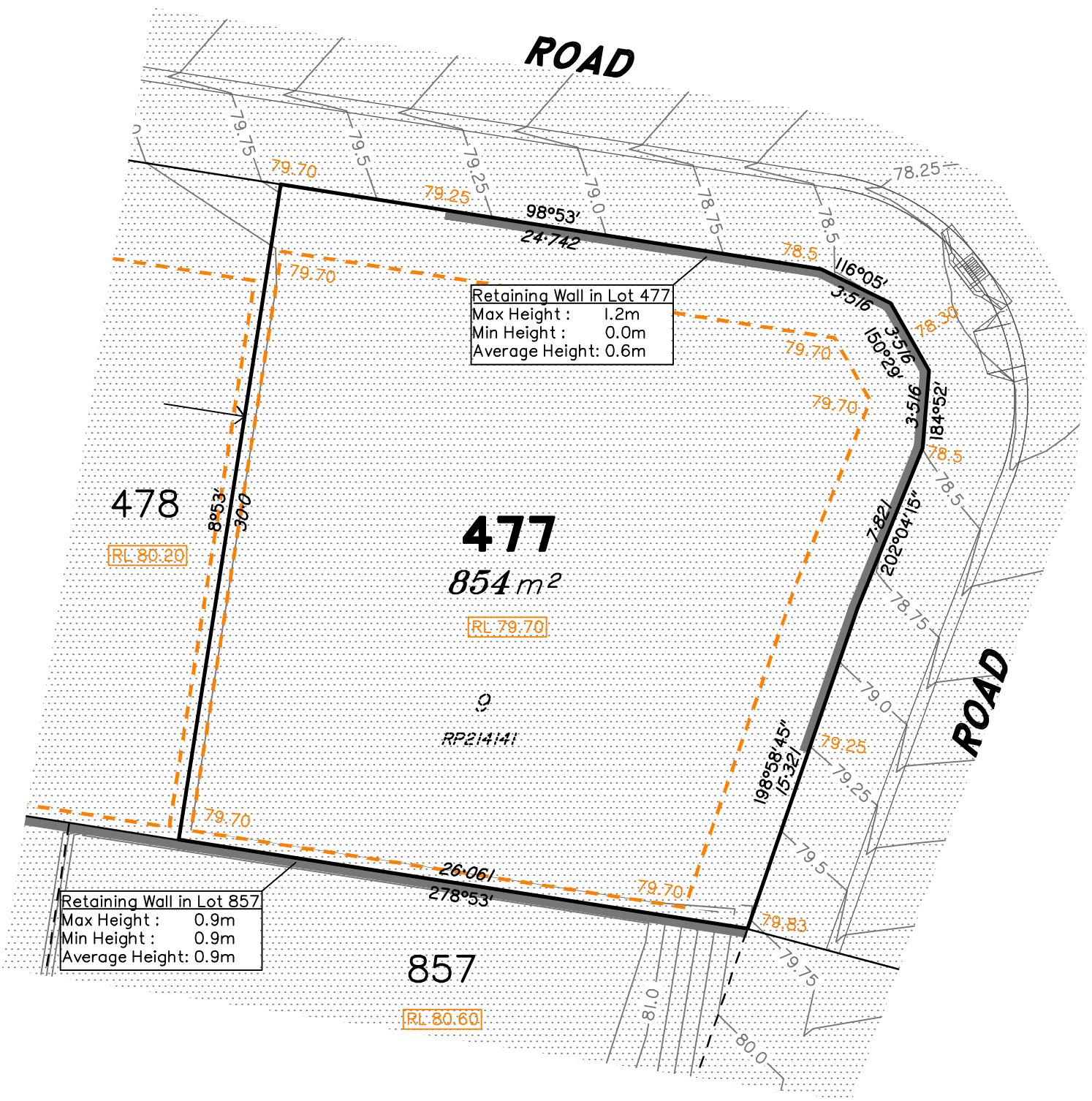
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Driveway added. Council approval updated.
D	TBG	27/02/17	Emt B Removed



LEGEND

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 477 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

The building pad shown on this plan is indicative only. For building setback restrictions, purchasers are advised to refer to the approved building envelope plans for this development, with Ipswich City Council.

No.	by	Date	Description
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Building Pad amended. Council approval updated
D	TBG	01/03/17	Earthworks amended

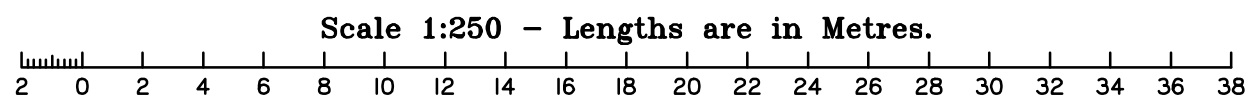
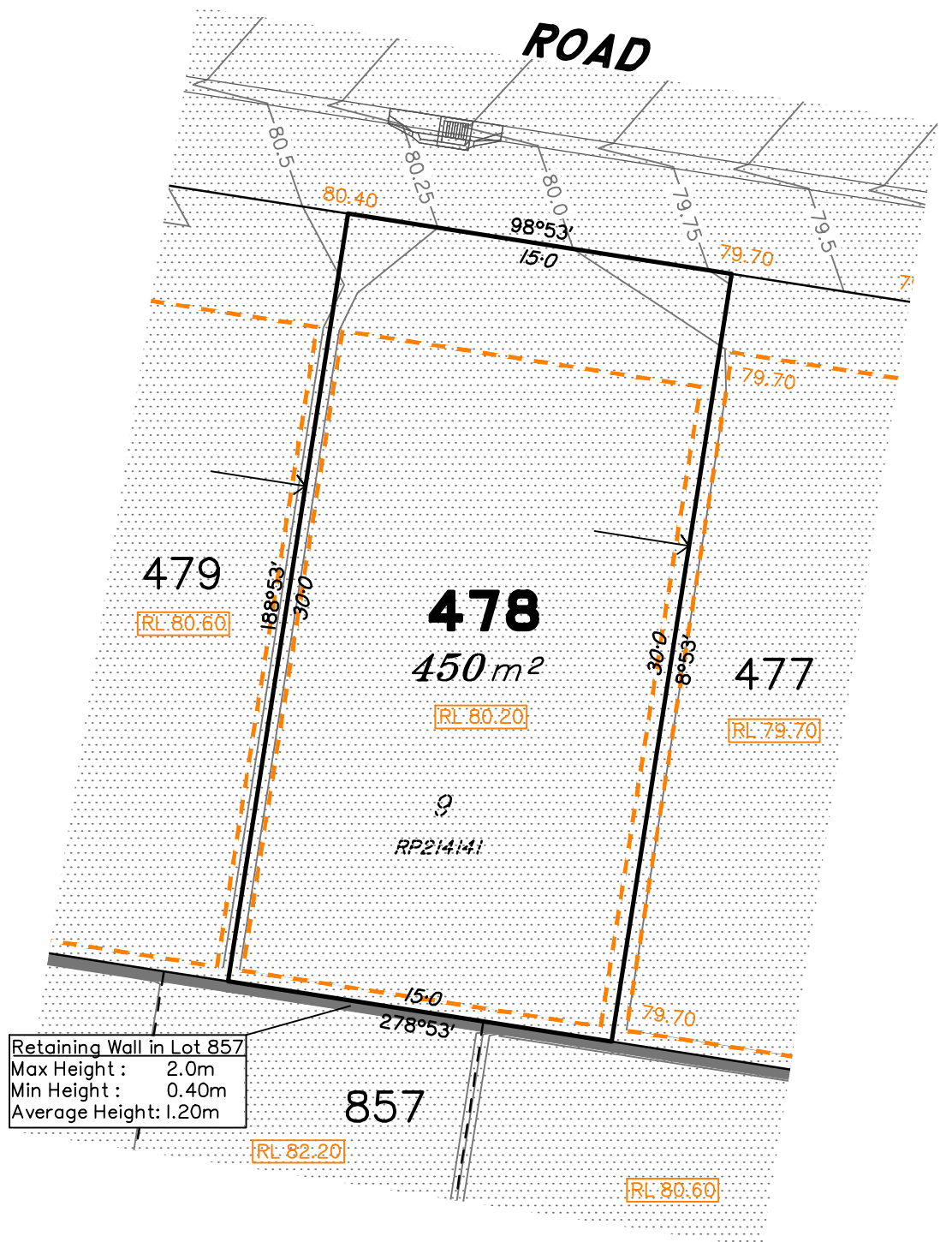
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Disclosure Plan for Proposed Lot 477 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP D_477

Locality of Redbank Plains



LEGEND

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

NOTES

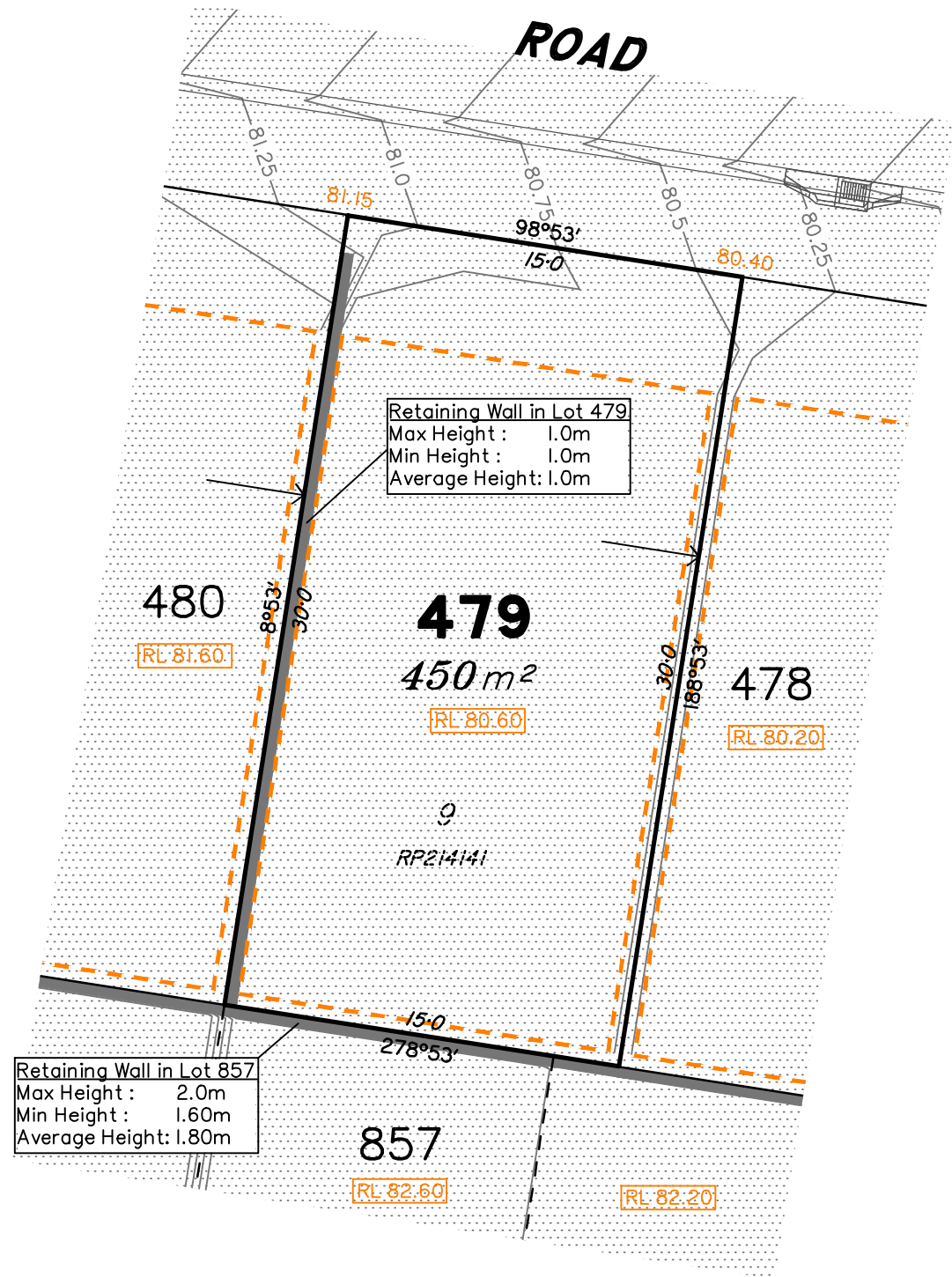
This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 478 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

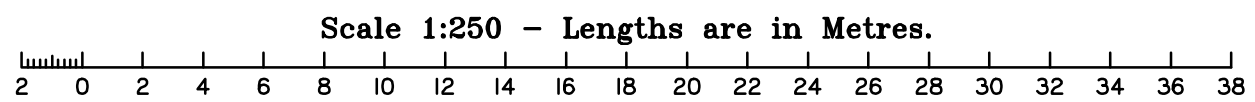
Development Approval has not been granted for Operational Works for the proposed lot.

No.	by	Date	Description
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.
D	TBG	01/03/17	Earthworks amended.



Retaining Wall in Lot 479
 Max Height : 1.0m
 Min Height : 1.0m
 Average Height: 1.0m

Retaining Wall in Lot 857
 Max Height : 2.0m
 Min Height : 1.60m
 Average Height: 1.80m



LEGEND

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 479 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.

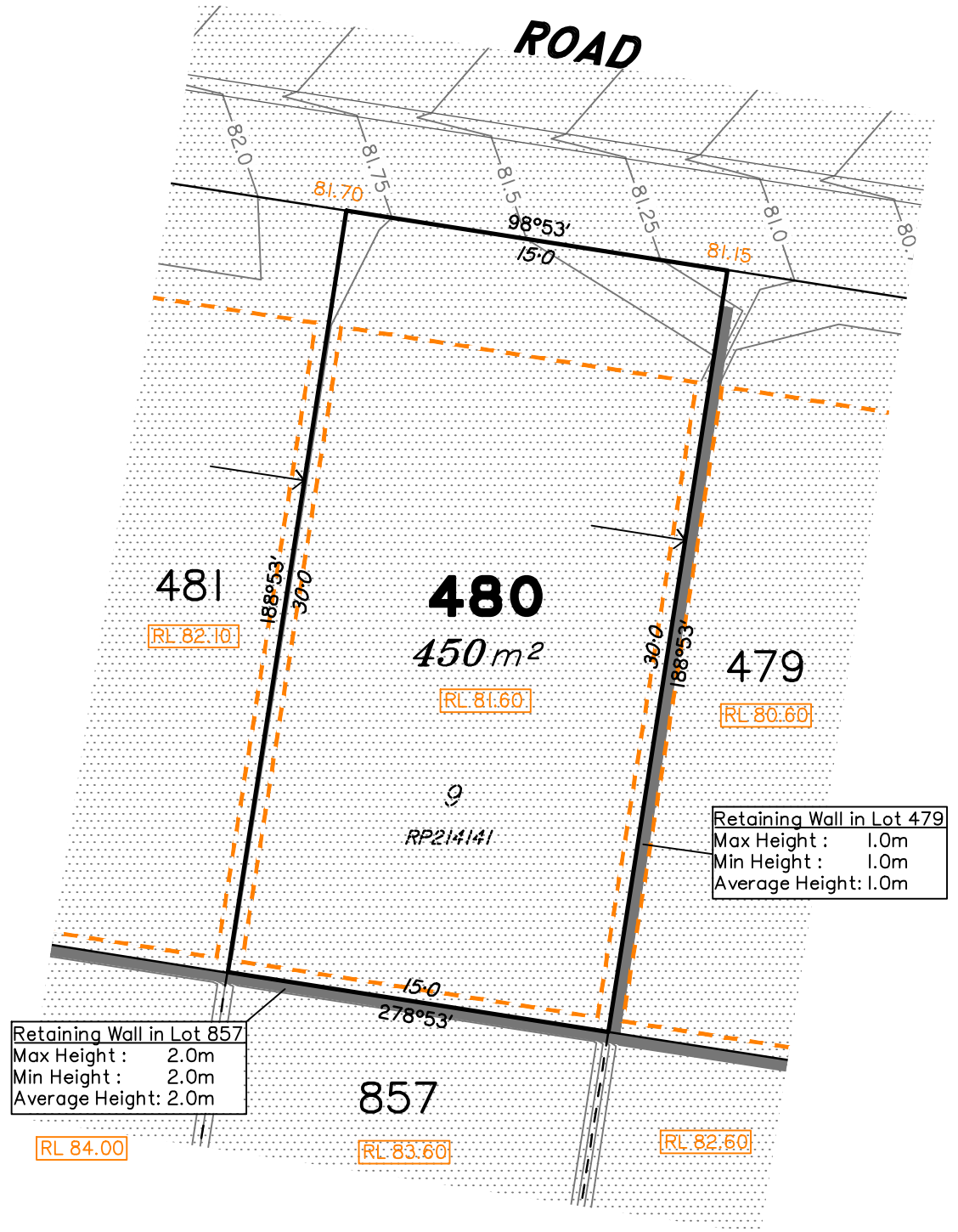
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Disclosure Plan for Proposed Lot 479 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

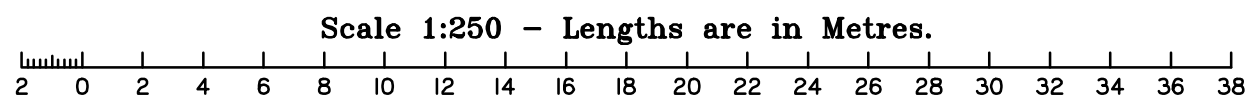
Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP C_479

Locality of Redbank Plains



Retaining Wall in Lot 857
 Max Height : 2.0m
 Min Height : 2.0m
 Average Height: 2.0m

Retaining Wall in Lot 479
 Max Height : 1.0m
 Min Height : 1.0m
 Average Height: 1.0m



LEGEND

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 480 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

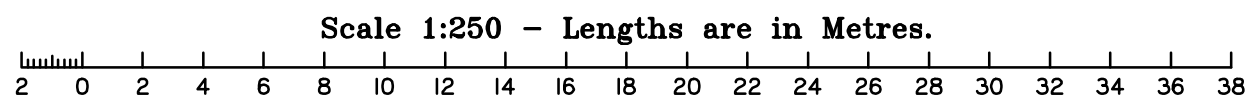
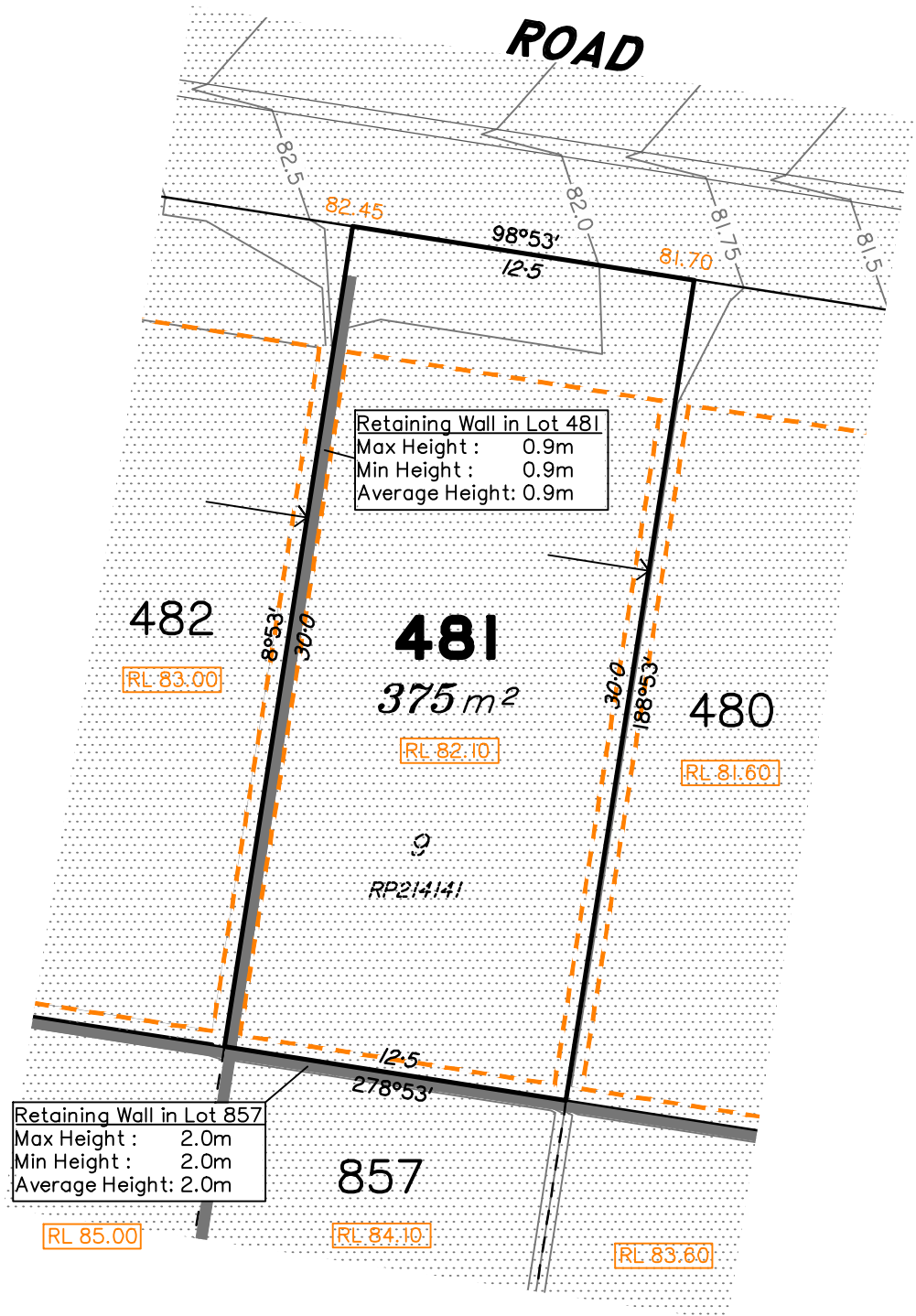
Development Approval has not been granted for Operational Works for the proposed lot.

No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.

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Disclosure Plan for Proposed Lot 480 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP C_480



LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 481 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

No.	by	Date	Description
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.
D	TBG	01/03/17	Earthworks amended.

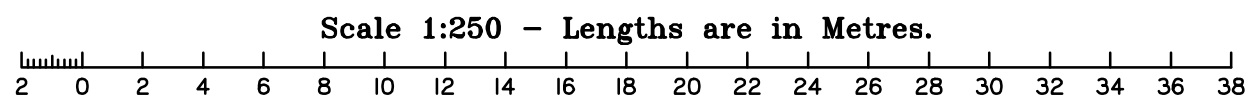
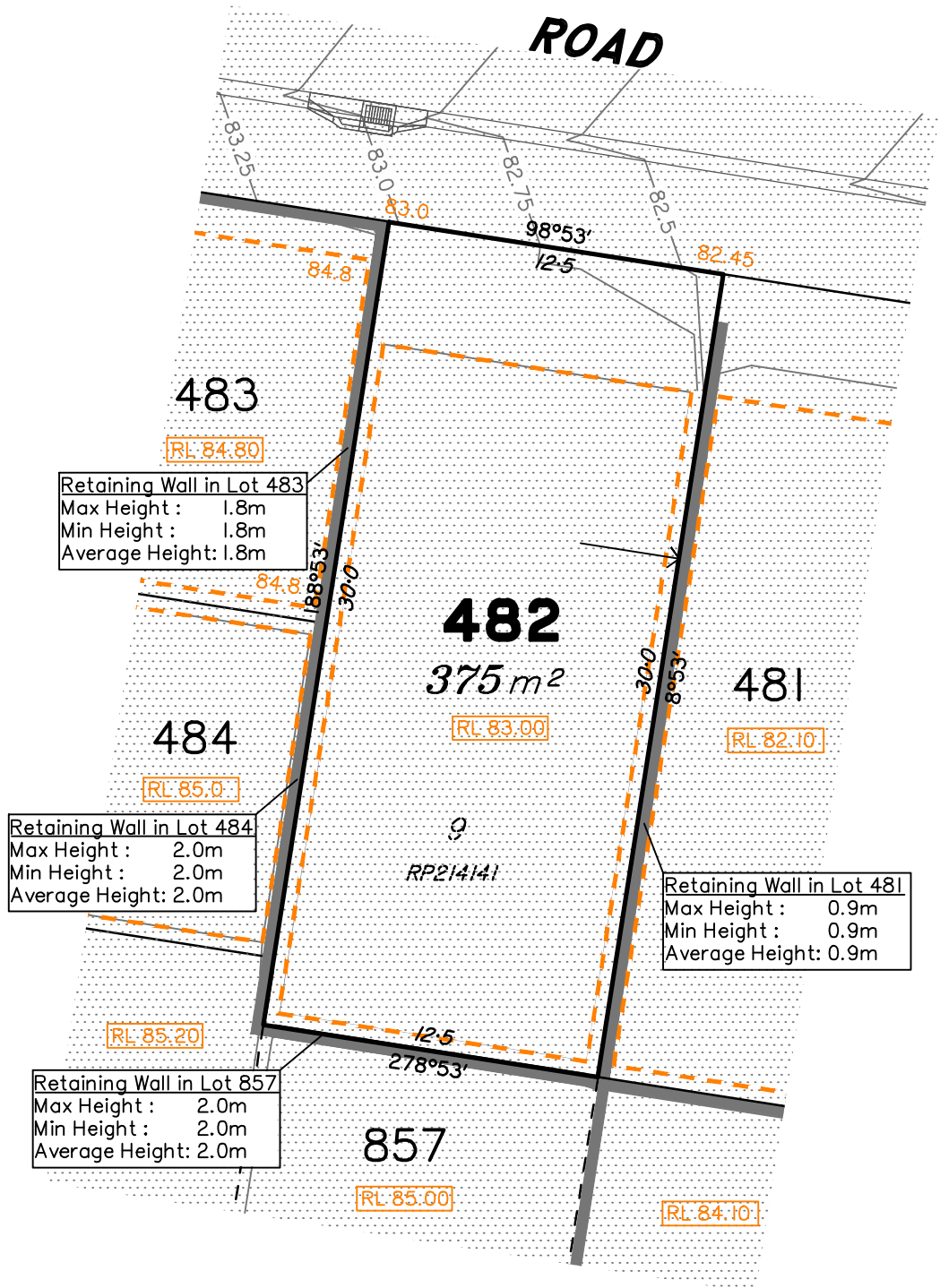
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 phone 1300 123 SHG web www.saundershavill.com
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Disclosure Plan for Proposed Lot 481 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP D_481

Locality of Redbank Plains



LEGEND

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad (Indicative)
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 & 02/03/17 by ETS Engineering.

Lot 482 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

No.	by	Date	Description
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.
D	TBG	02/03/17	Wall heights amended.

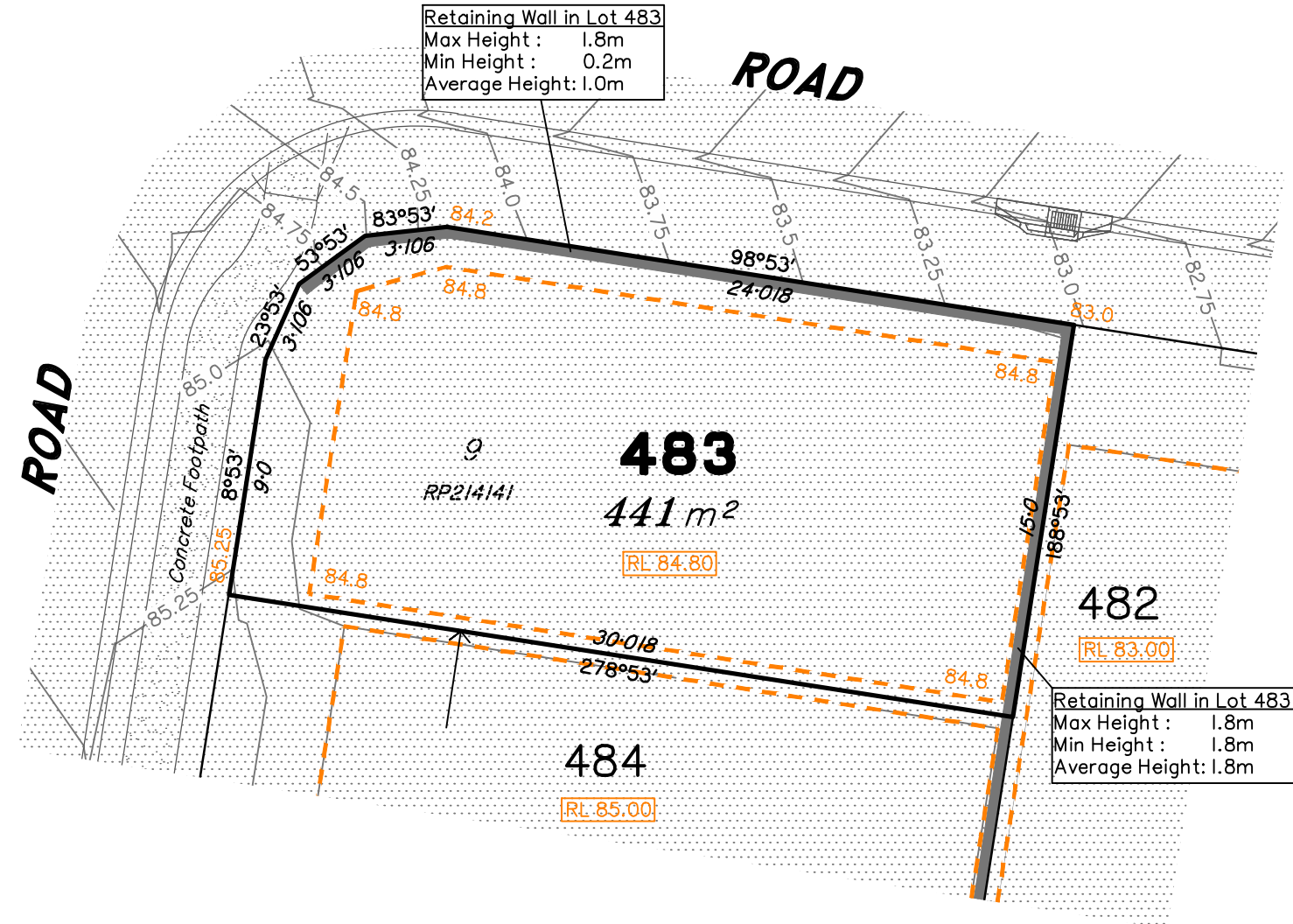
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Disclosure Plan for Proposed Lot 482 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP D_482

Locality of Redbank Plains



LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

NOTES

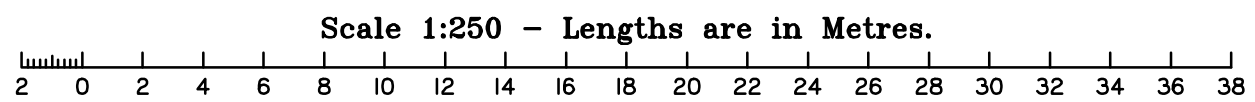
This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 483 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

The building pad shown on this plan is indicative only. For building setback restrictions, purchasers are advised to refer to the approved building envelope plans for this development, with Ipswich City Council.



No.	by	Date	Description
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Building pad amended. Council approval updated.
D	TBG	27/02/17	Dims amended as per Survey Plan

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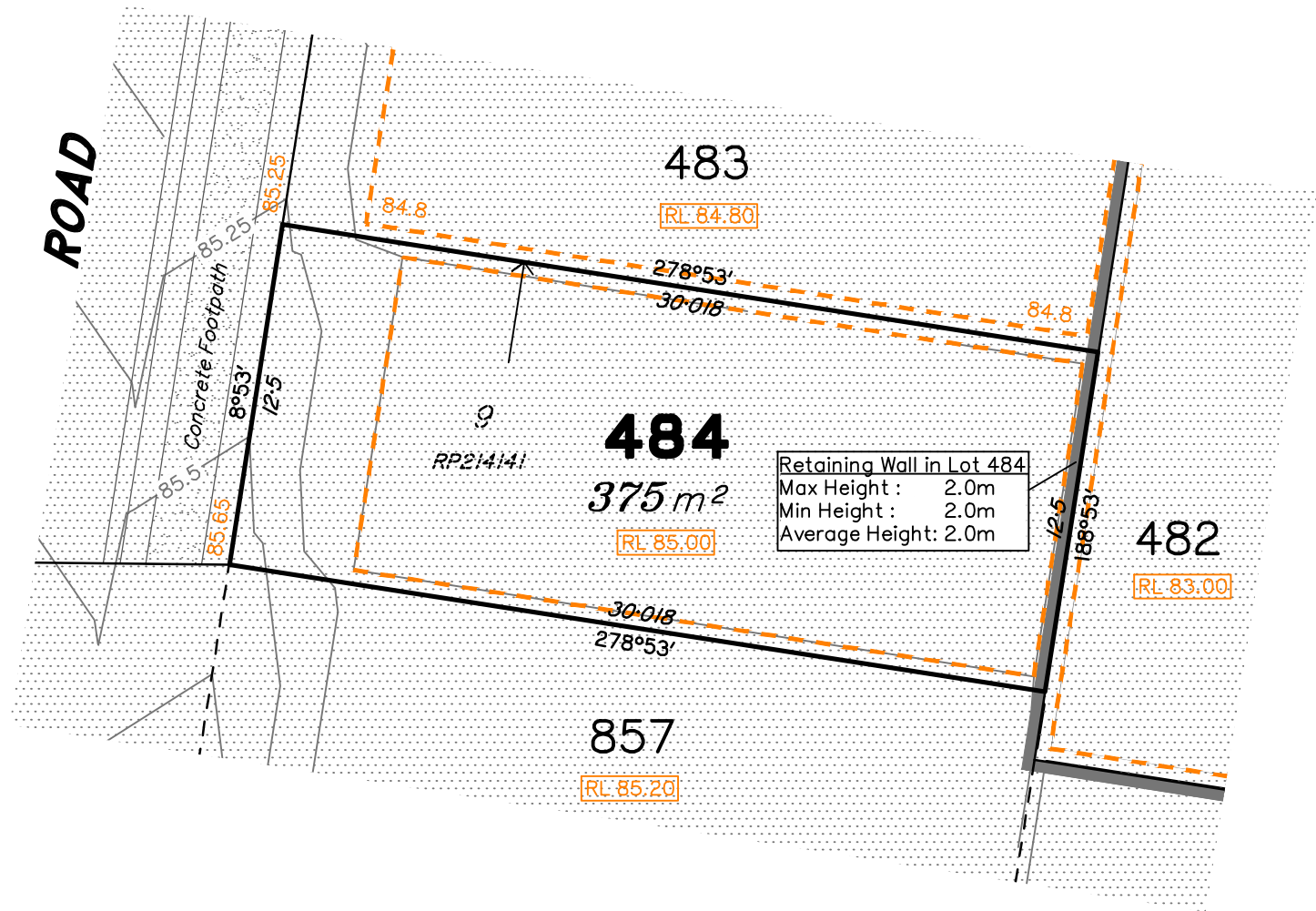
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Disclosure Plan for Proposed Lot 483 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP D_483

Locality of Redbank Plains



LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

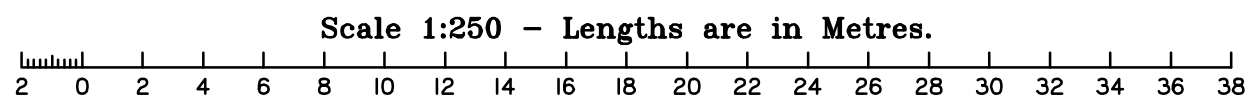
NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 484 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

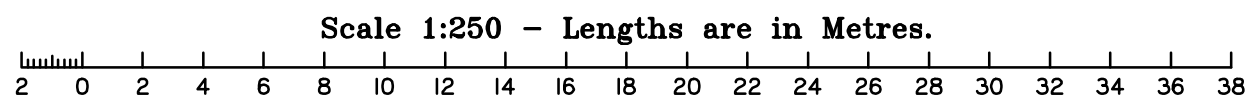
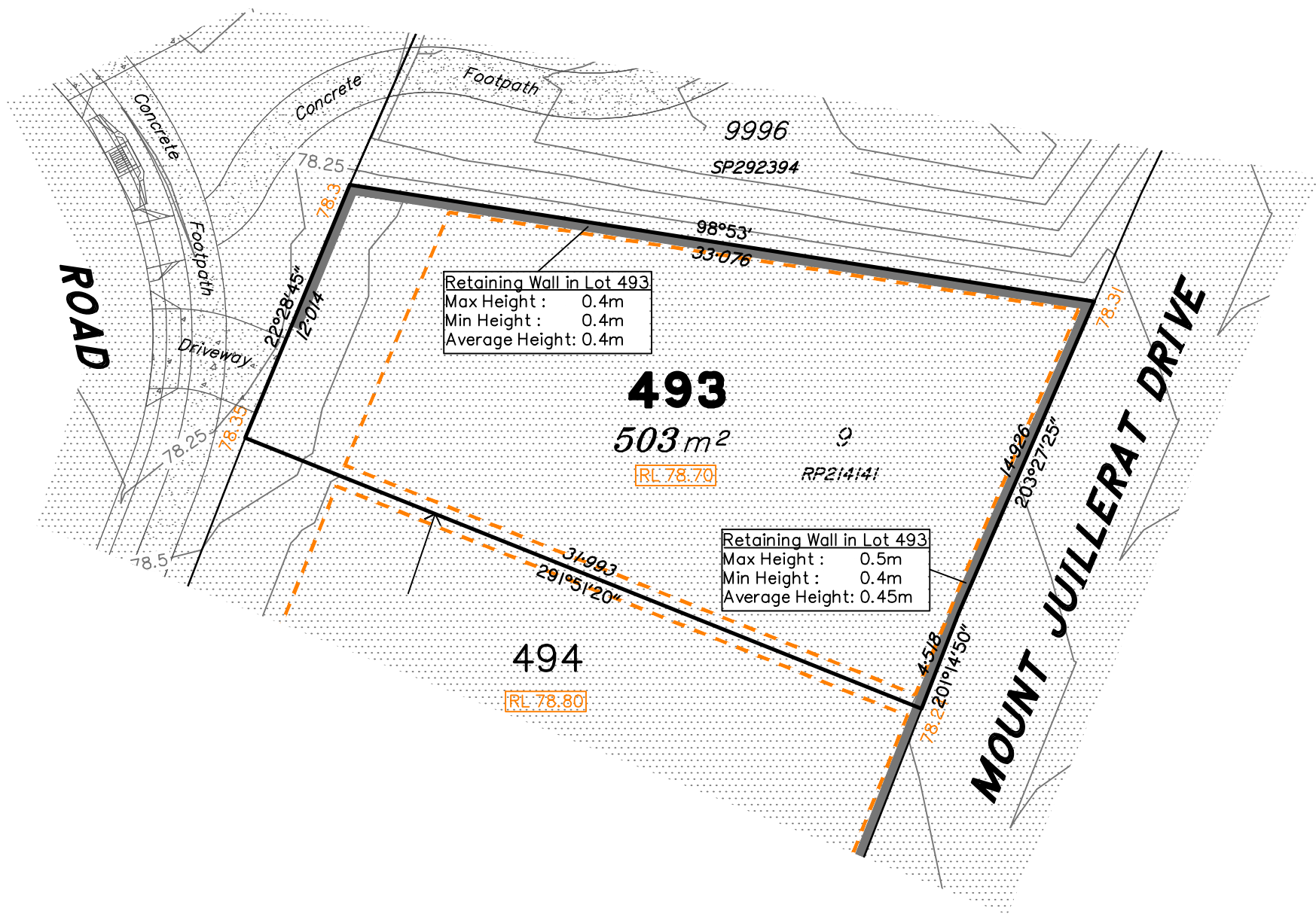


No.	by	Date	Description
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council Approval status amended.
D	TBG	27/02/17	Lot dims amended as per Survey Plan.

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 484 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP D_484



LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 12/10/16, 01/11/16, 04/11/16, 10/11/16 & 15/02/17 by ETS Engineering.

Lot 493 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

Issues	No.	by	Date	Description
A	TBG		15/11/16	Original Issue
B	TBG		02/02/17	Some contours removed
C	TBG		21/02/17	Driveway Added. Council approval updated.

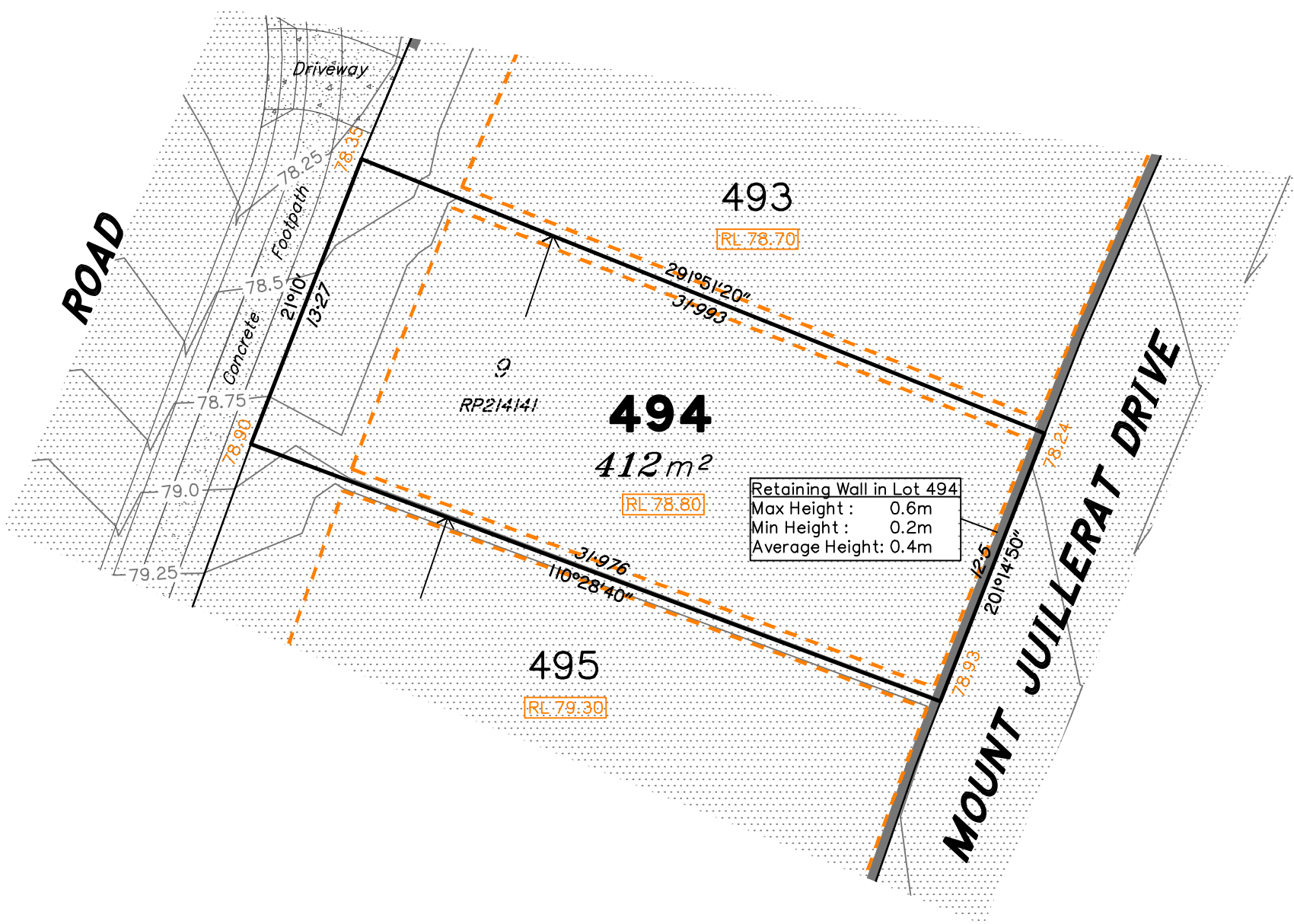
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Disclosure Plan for Proposed Lot 493 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP C_493

Locality of Redbank Plains



LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

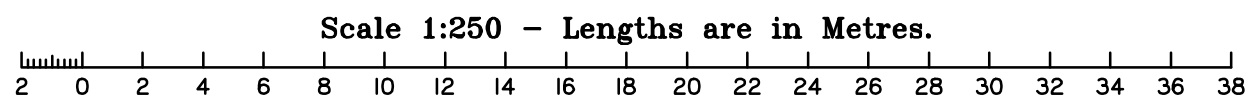
NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 494 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

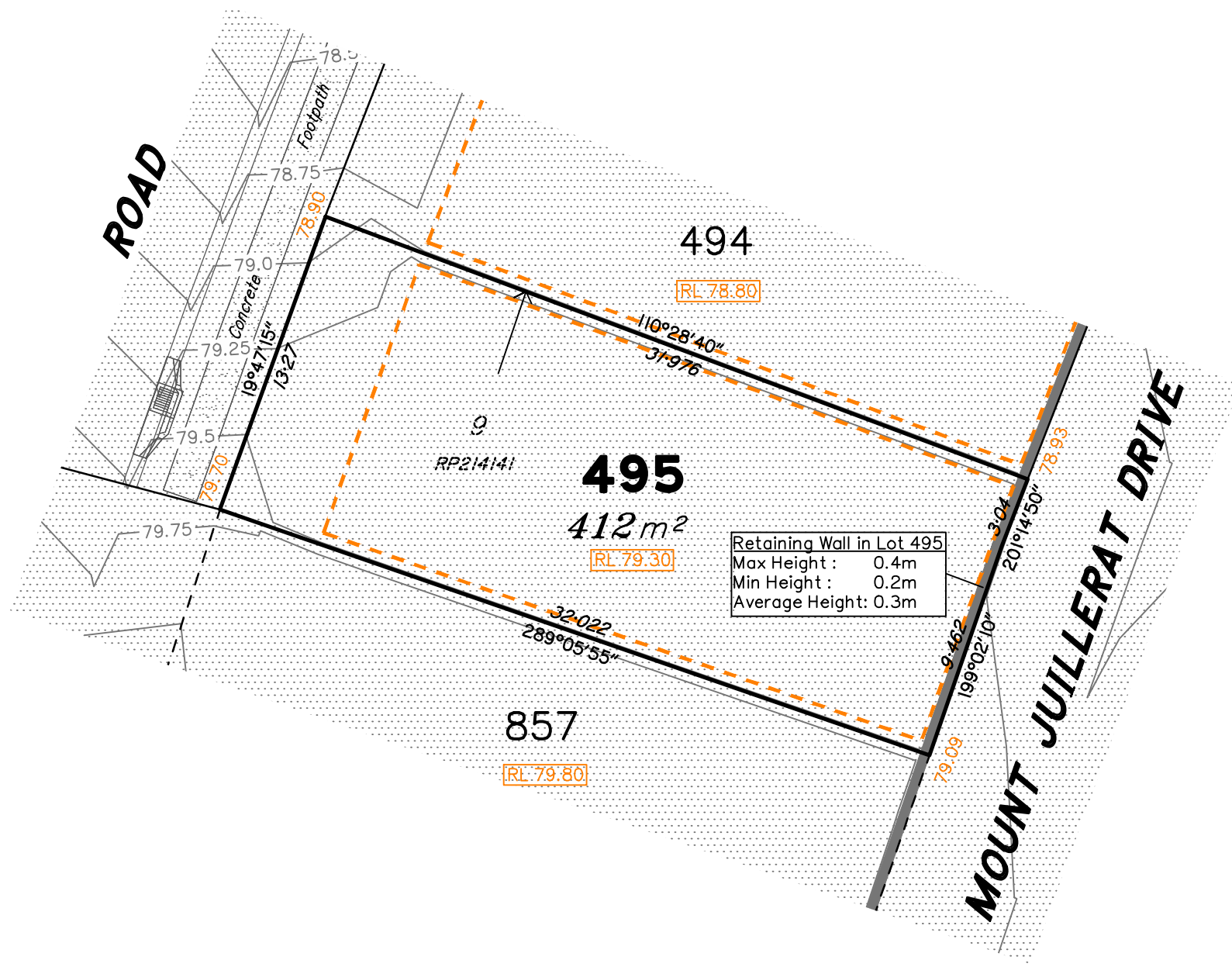


No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council approval status updated.

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Disclosure Plan for Proposed Lot 494 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP C_494



LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

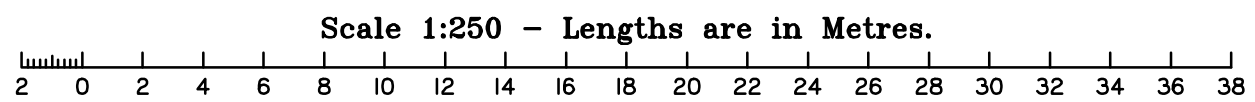
NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 495 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.



No.	by	Date	Description
A	TBG	15/11/16	Original Issue
B	TBG	02/02/17	Some contours removed
C	TBG	21/02/17	Council approval status updated.

SH saunders havill group

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Disclosure Plan for Proposed Lot 495 (Restricted) on SP292395
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 26 DP C_495

Locality of Redbank Plains