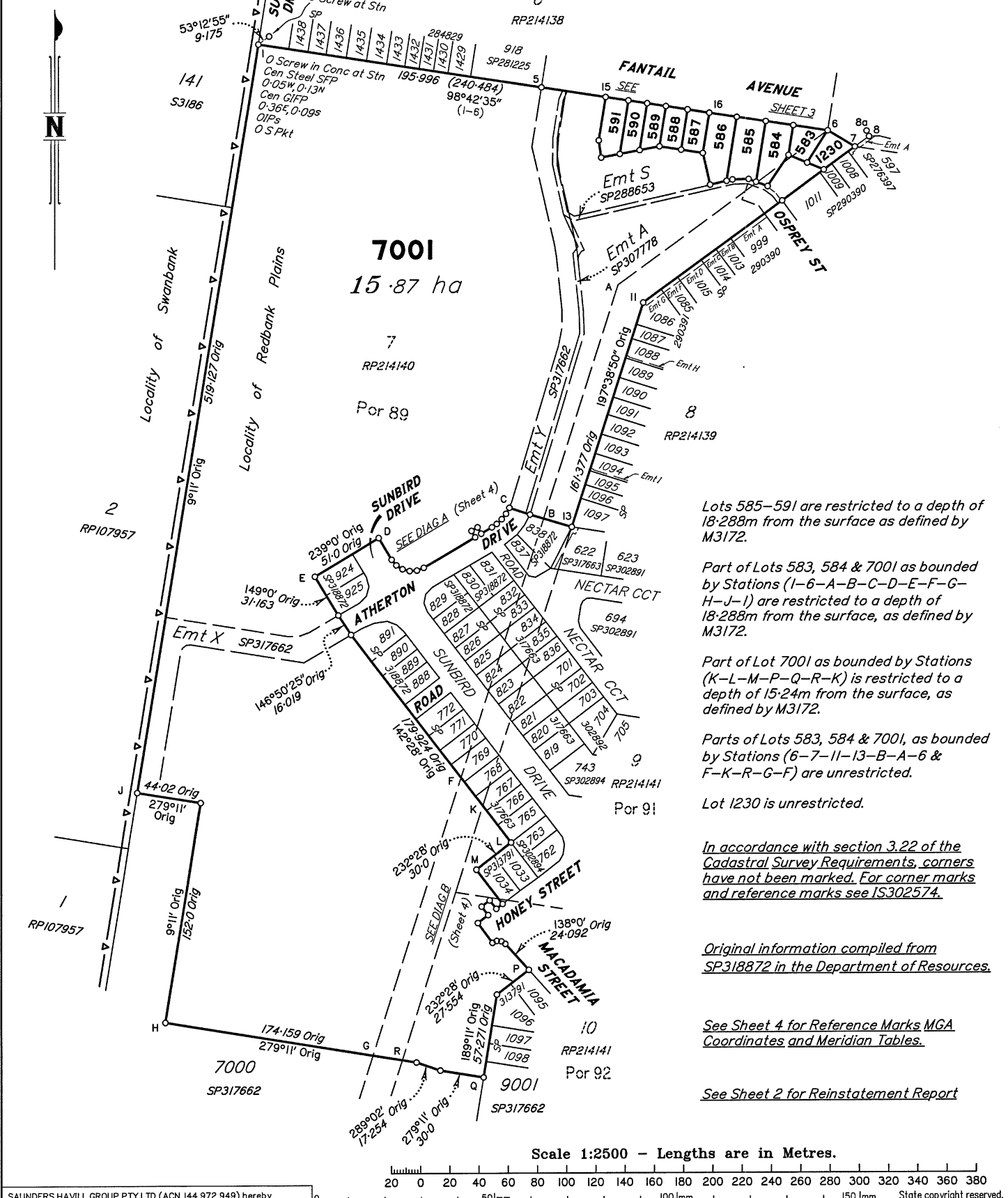


Land Title Act 1994; Land Act 1994
Form 21 Version 4

Sheet 1 of 4

SURVEY PLAN



Lots 585-591 are restricted to a depth of 18-288m from the surface as defined by M3172.

Part of Lots 583, 584 & 7001 as bounded by Stations (1-6-A-B-C-D-E-F-G-H-J-I) are restricted to a depth of 18-288m from the surface, as defined by M3172.

Part of Lot 7001 as bounded by Stations (K-L-M-P-Q-R-K) is restricted to a depth of 15-24m from the surface, as defined by M3172.

Parts of Lots 583, 584 & 7001, as bounded by Stations (6-7-11-13-B-A-6 & F-K-R-G-F) are unrestricted.

Lot 1230 is unrestricted.

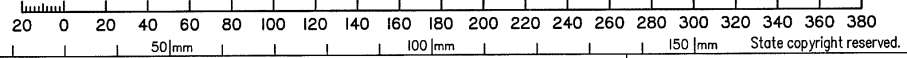
In accordance with section 3.22 of the Cadastral Survey Requirements, corners have not been marked. For corner marks and reference marks see IS302574.

Original information compiled from SP318872 in the Department of Resources.

See Sheet 4 for Reference Marks MGA Coordinates and Meridian Tables.

See Sheet 2 for Reinstatement Report

Scale 1:2500 - Lengths are in Metres.



SAUNDERS HAVILL GROUP PTY LTD (ACN 144 972 949) hereby certify that the land comprised in this plan was surveyed by the corporation, by Wayne John HALLS, cadastral surveyor, and Michael KLEINE, cadastral surveyor, for whose work the corporation accepts responsibility, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 05/07/2021

Wayne John Halls
Authorised Signatory

Michael Kleine
Authorised Signatory

Date: 16.07.2021

Plan of Lots 583-591 & 7001 (Restricted) and Lot 1230
Cancelling Lot 7001 (Restricted) on SP318872

LOCAL GOVERNMENT: IPSWICH CITY LOCALITY: REDBANK PLAINS

Meridian: MGA (Zone 56) vide PSMs Survey Records: No

Scale: 1:2500
Format: STANDARD

SP323158

SAUNDERS HAVILL GROUP

8/21/SP323158.DWG

721102862

EL 400 \$1,538.00
17/09/2021 13:56:16

(Dealing No.)

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

I. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51253830	Lot 7001 on SP318872	583-591, 1230 & 7001		

ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
717548826 (Emt R on SP288653)	7001
717548854 (Emt S on SP288653)	7001
719461112 (Emt A on SP307778)	7001
720740301 (Emt X on SP317662)	7001
720740301 (Emt Y on SP317662)	7001

REINSTATEMENT REPORT

- Stations 1, 5, 6, 8 & 9 are fixed by original marks and reference marks.
- Station 7 is fixed using original dimensions from Station 8, in agreement with the occupation.
- All dimensions are in agreement with SP317662 & IS276270.

MORTGAGE ALLOCATIONS

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
717549920		7001
717548918	583-591 & 1230	7001

EXISTING ADMINISTRATIVE ADVICE ALLOCATIONS

Administrative Advice	Lots to be Encumbered
713284985 (Veg Notice)	583-591, 1230 & 7001
713284986 (Veg Notice)	583-591, 1230 & 7001
713284987 (Veg Notice)	583-591, 1230 & 7001
713284988 (Veg Notice)	583-591, 1230 & 7001
713637526 (Veg Notice)	583-591, 1230 & 7001
713637527 (Veg Notice)	583-591, 1230 & 7001
713950282 (Veg Notice)	583-591, 1230 & 7001
713950283 (Veg Notice)	583-591, 1230 & 7001
714265689 (Veg Notice)	583-591, 1230 & 7001

6. Building Format Plans only.

I certify that:
 * As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.
 * Part of the building shown on this plan encroaches onto adjoining * lots and road

.....
 Cadastrol Surveyor/Director* Date
 *delete words not required

7. Lodgement Fees :

Survey Deposit	\$
Lodgement	\$
.....New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

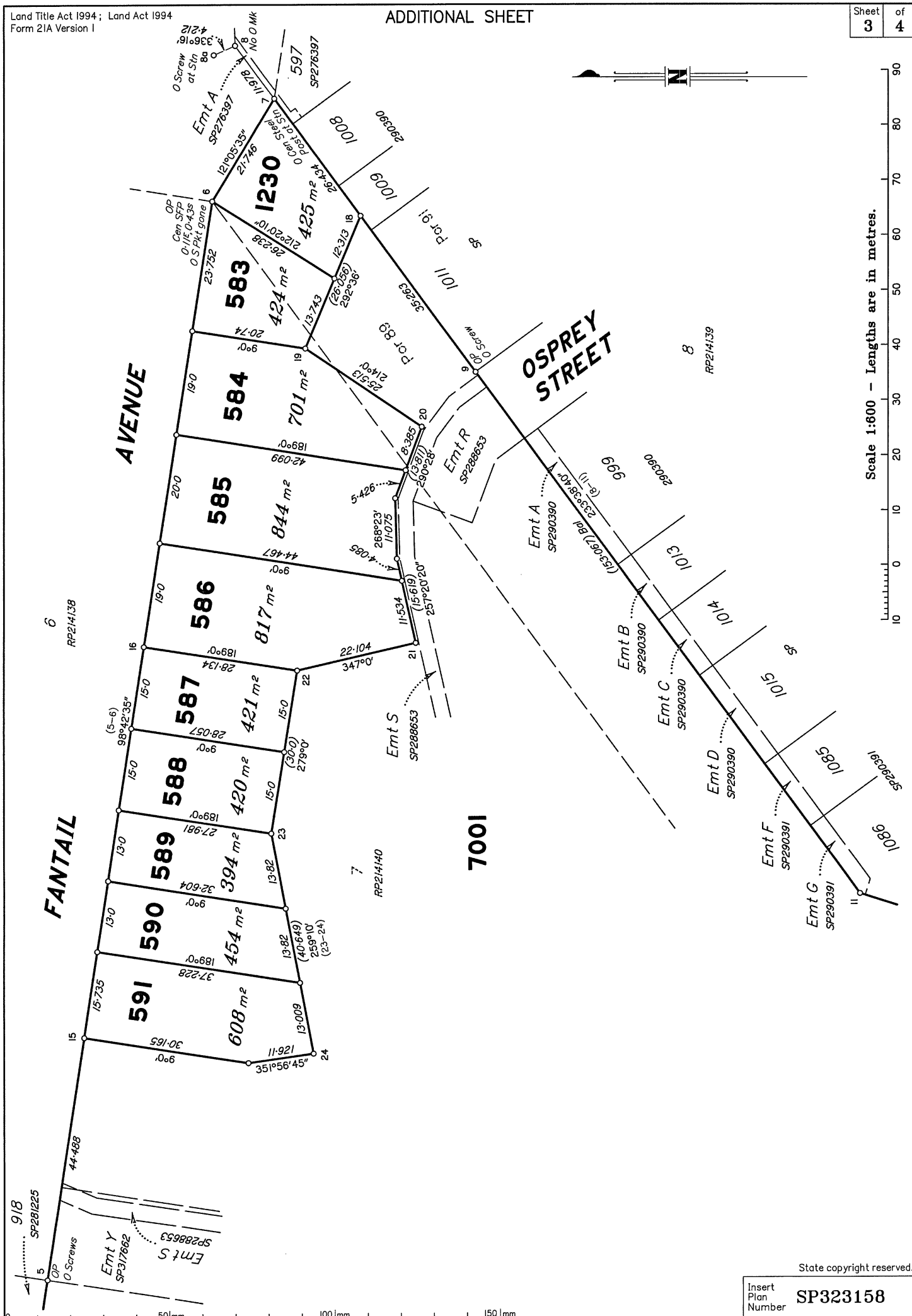
8. Insert Plan Number
SP323158

583-591 & 1230	Por 89
7001	Pors 89, 91 & 92
Lots	Orig

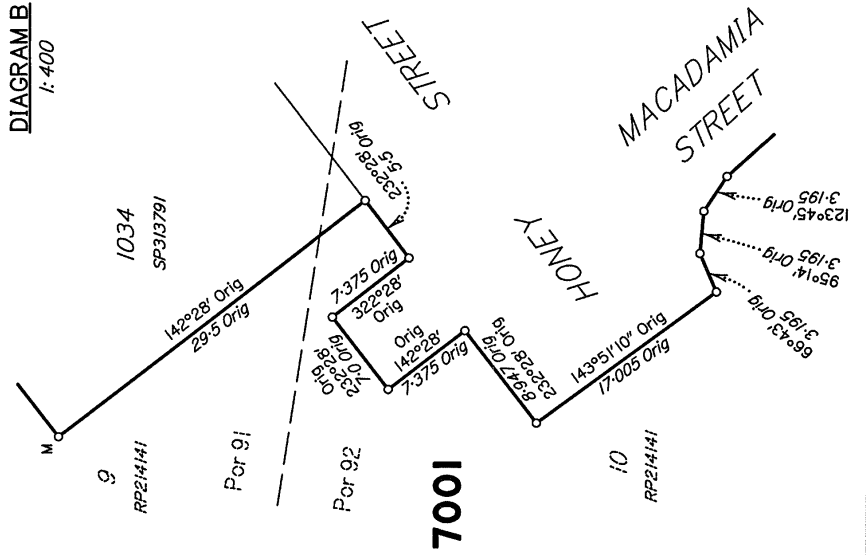
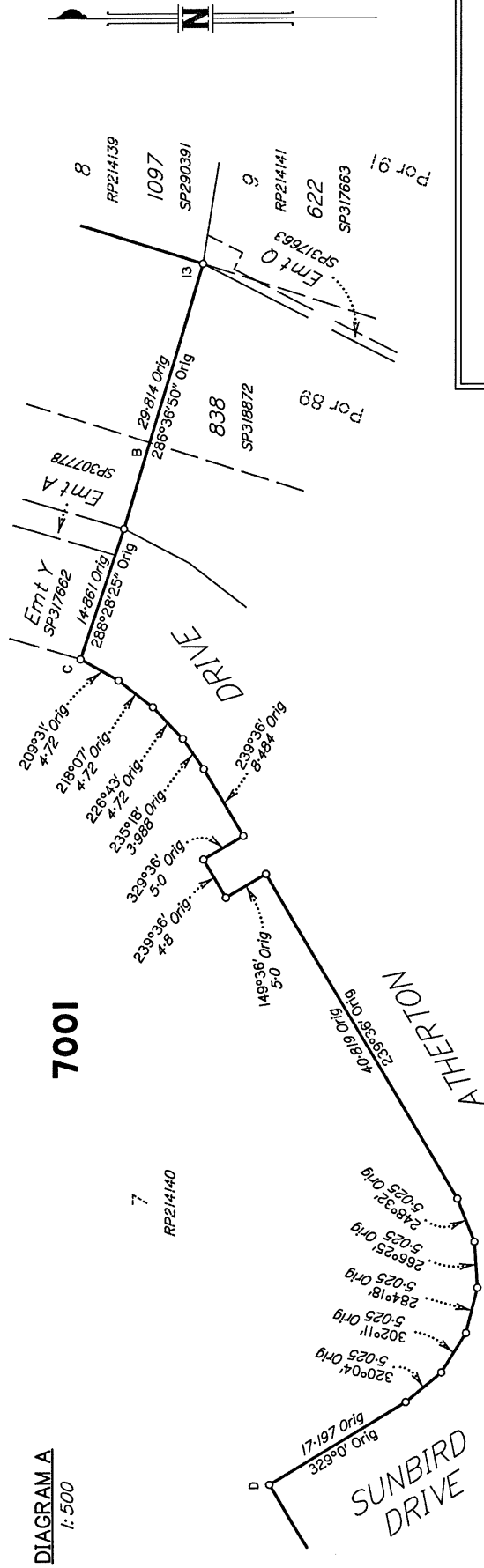
2. Orig Grant Allocation :

3. References :
 Dept File :
 Local Govt :
 Surveyor : 8721 - Stage 9A Survey Advice: 2015-0930

5. Passed & Endorsed :
 By: SAUNDERS HAVILL GROUP PTY LTD
 Date: 16.07.2021
 Signed: *[Signature]*
 Designation: Endorsing Officer



Scale 1:600 - Lengths are in metres.



0 50mm 100mm 150mm

M. G. A. COORDINATES GDA-94
Adjustment - QLD ANU 18.07 (16-July-2018)

STATION	EASTING	NORTHING	ZONE	P. U.	LINEAGE	METHOD	REMARKS
PM172976	485 130.171	6 940 210.255	56	0-009	Datum	SCDB	
PM172977	484 195.962	6 940 616.823	56	0-009	Datum	SCDB	
1a	483 932.572	6 940 425.134	56	0-011	Derived	Quick Static	Screw in Kerb
8a	484 341.059	6 940 359.733	56	0-011	Derived	Quick Static	Screw in Kerb

MERIDIAN TABLE

LINE	PLAN BEARING	MGA ZONE 56 BEARING
1a-8a	99°05'46"	99°05'46"

REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
1	OIP	RP107957	279°11'	1.006
1	OIP	SP177715	179°09'40"	10.417
1	O Star Picket	IS276270	175°37'15"	50.384
1	OIP	IS276270	122°18'10"	66.962
1a	O Screw in Kerb	IS265692	at Station	
5	O Screw in Kerb	SP317662	3°20'	10.808
5	O Screw in Kerb	SP317662	56°54'50"	22.839
5	O Screw in Kerb	IS276270	90°15'50"	26.387
6	O Star Picket gone	IS276270	228°47'	23.49
8a	O Screw in Kerb	SP276397	at Station	
9	O Screw in Kerb	IS265706	185°33'	6.353

Additional reference marks to be placed following road construction (see 1S302574)