

**LEGEND**

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

**NOTES**  
 This plan has been prepared from preliminary survey plan (SP323158), engineering data provided on the 27/07/2021 by KN Group Pty Ltd and field survey conducted by Saunders Havill Group in September 2021.

Development approval was initially granted for this subdivision by the Ipswich City Council on 08.09.2020. (Application No: 2098/2015/MAMC/A)  
 For updates to this approval visit [www.ipswich.qld.gov.au](http://www.ipswich.qld.gov.au)

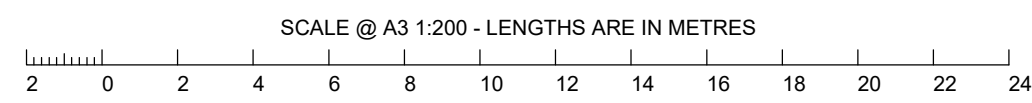
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Operational works approval for this lot has been granted.

Part of Lot 583 is restricted to the depth of 18.288 metres below the surface, as defined by plan M3172.

A minimum of 1.2m of fill and capping is present on all stage 9 lots. All Fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

**EDEN'S CROSSING**  
 STAGE 9A



No.	by	Date	Chkd	Description
B	TBG	25/05/21		Lot 1230 created, Lot 583 reduced.
C	TBG	10/06/21		Western Ret Wall Extended
D	TBG	27/07/21	CU	Earthworks design update
E	TBG	29/09/21	CU	Updated as per constructed
F	TBG	15/11/21	CU	Fill levels update

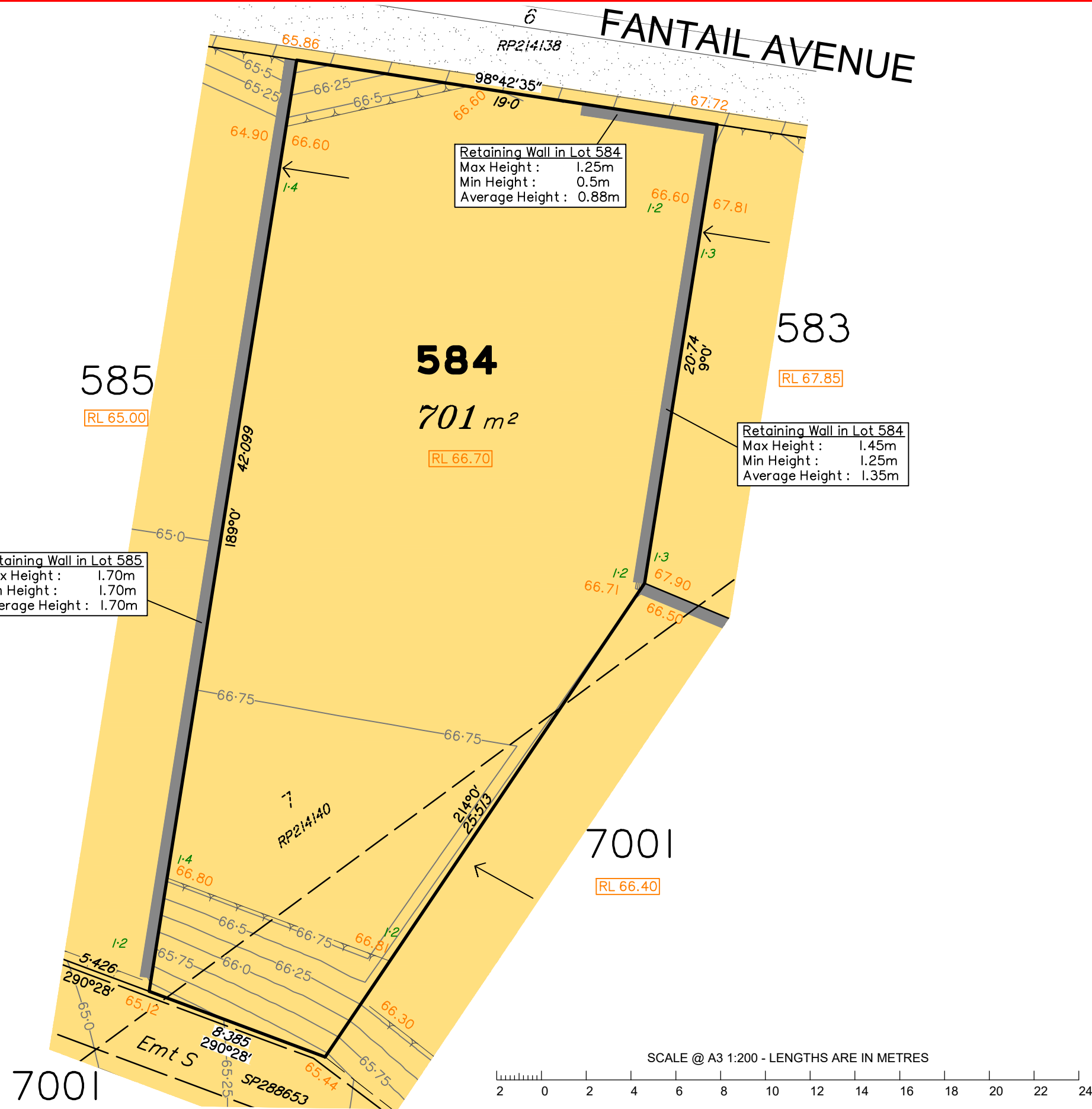
**saunders havill group**  
 Saunders Havill Group Pty Ltd ABN 24 144 972 949  
 Brisbane Springfield Rockhampton  
 head office 9 Thompson St Bowen Hills Q 4006  
 phone 1300 123 SHG web [www.saundershavill.com](http://www.saundershavill.com)  
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**Disclosure Plan for Proposed Lot 583 (Restricted) on SP323158**  
 Described as part of Lot 7001 (Restricted) on SP318872  
 Existing Title Reference: 51253830  
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PM203676  
 RL of Origin: 74.071  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Plan No. 8721 S 03 DP F\_583





**LEGEND**

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

**NOTES**  
 This plan has been prepared from preliminary survey plan (SP323158), engineering data provided on the 04/12/2020 by KN Group Pty Ltd & and field survey conducted by Saunders Havill Group in September 2021.

Development approval was granted for this subdivision by the Ipswich City Council on 08.09.2020. (Application No: 2098/2015/MAMC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

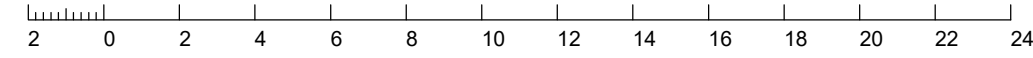
Operational works approval for this lot has been granted.

Part of Lot 584 is restricted to the depth of 18.288 metres below the surface, as defined by plan M3172.

A minimum of 1.2m of fill and capping is present on all stage 9 lots. All Fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

**EDEN'S CROSSING**  
 STAGE 9A

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	14/12/20	CU	Original Issue
B	TBG	10/06/21	CU	Side ret walls extended
C	TBG	07/09/21	CU	Ret wall at front of lot added
D	TBG	29/09/21	CU	Update as per construction
E	TBG	15/11/21	CU	Fill levels update

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**Disclosure Plan for Proposed Lot 584 (Restricted) on SP323158**

Described as part of Lot 7001 (Restricted) on SP318872  
 Existing Title Reference: 51253830

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PM203676  
 RL of Origin: 74.071  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Plan No. 8721 S 03 DP E\_584



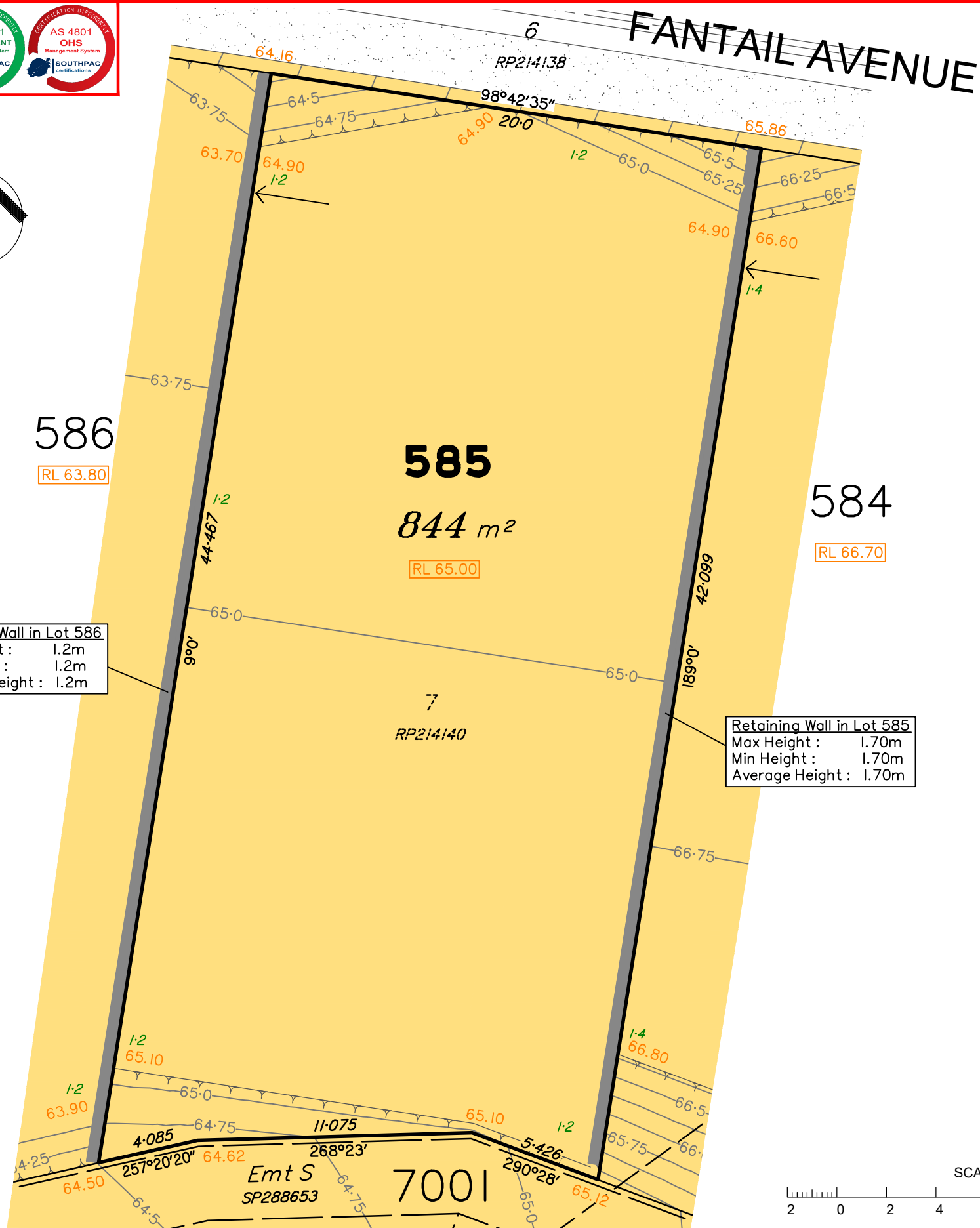
586  
RL 63.80

585  
844 m<sup>2</sup>  
RL 65.00

584  
RL 66.70

Retaining Wall in Lot 586  
Max Height : 1.2m  
Min Height : 1.2m  
Average Height : 1.2m

Retaining Wall in Lot 585  
Max Height : 1.70m  
Min Height : 1.70m  
Average Height : 1.70m



# EDEN'S CROSSING

## STAGE 9A

### LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- 1:23 Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- RL XX.XX Preferred Pad Level
- Retaining Wall
- XX.XX Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

### NOTES

This plan has been prepared from preliminary survey plan (SP323158) and engineering data provided on the 04/12/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 08.09.2020. (Application No: 2098/2015/MAMC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Operational works approval for this lot has been granted.

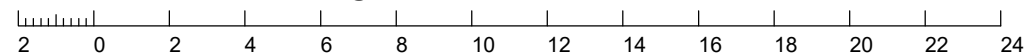
Lot 585 is restricted to the depth of 18.288 metres below the surface, as defined by plan M3172.

A minimum of 1.2m of fill and capping is present on all stage 9 lots. All Fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

# PEET

No.	by	Date	Chkd	Description
A	TBG	14/12/20	CU	Original Issue
B	TBG	10/06/21		Side ret walls extended
C	TBG	15/11/21	CU	Fill levels update

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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### Disclosure Plan for Proposed Lot 585 (Restricted) on SP323158

Described as part of Lot 7001 (Restricted) on SP318872  
Existing Title Reference: 51253830

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 8721 S 03 DP C\_585



Retaining Wall in Lot 587  
 Max Height : 0.70m  
 Min Height : 0.70m  
 Average Height : 0.70m

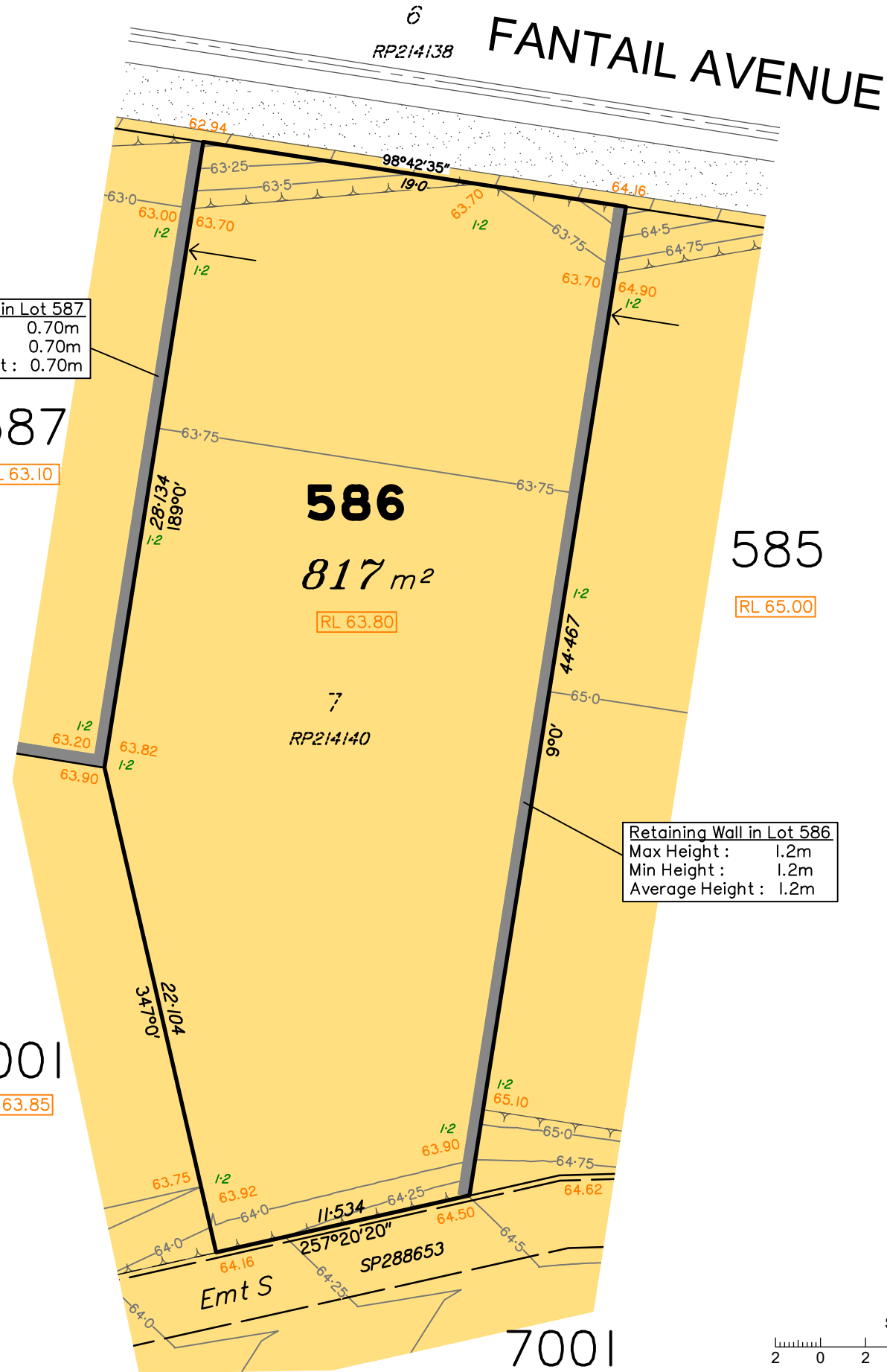
587  
 RL 63.10

586  
 817 m<sup>2</sup>  
 RL 63.80

585  
 RL 65.00

7001  
 RL 63.85

Retaining Wall in Lot 586  
 Max Height : 1.2m  
 Min Height : 1.2m  
 Average Height : 1.2m



# EDEN'S CROSSING

## STAGE 9A

### LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- 1:23 Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- RL XX.XX Preferred Pad Level
- Retaining Wall
- XX.XX Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

### NOTES

This plan has been prepared from preliminary survey plan (SP323158) and engineering data provided on the 04/12/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 08.09.2020. (Application No: 2098/2015/MAMC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

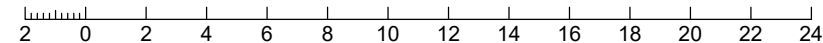
Operational works approval for this lot has been granted.

Lot 586 is restricted to the depth of 18.288 metres below the surface, as defined by plan M3172.

A minimum of 1.2m of fill and capping is present on all stage 9 lots. All Fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

# PEET

SCALE @ A3 1:250 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	14/12/20	CU	Original Issue
B	TBG	10/06/21		Side ret walls extended
C	TBG	15/11/21	CU	Fill levels update



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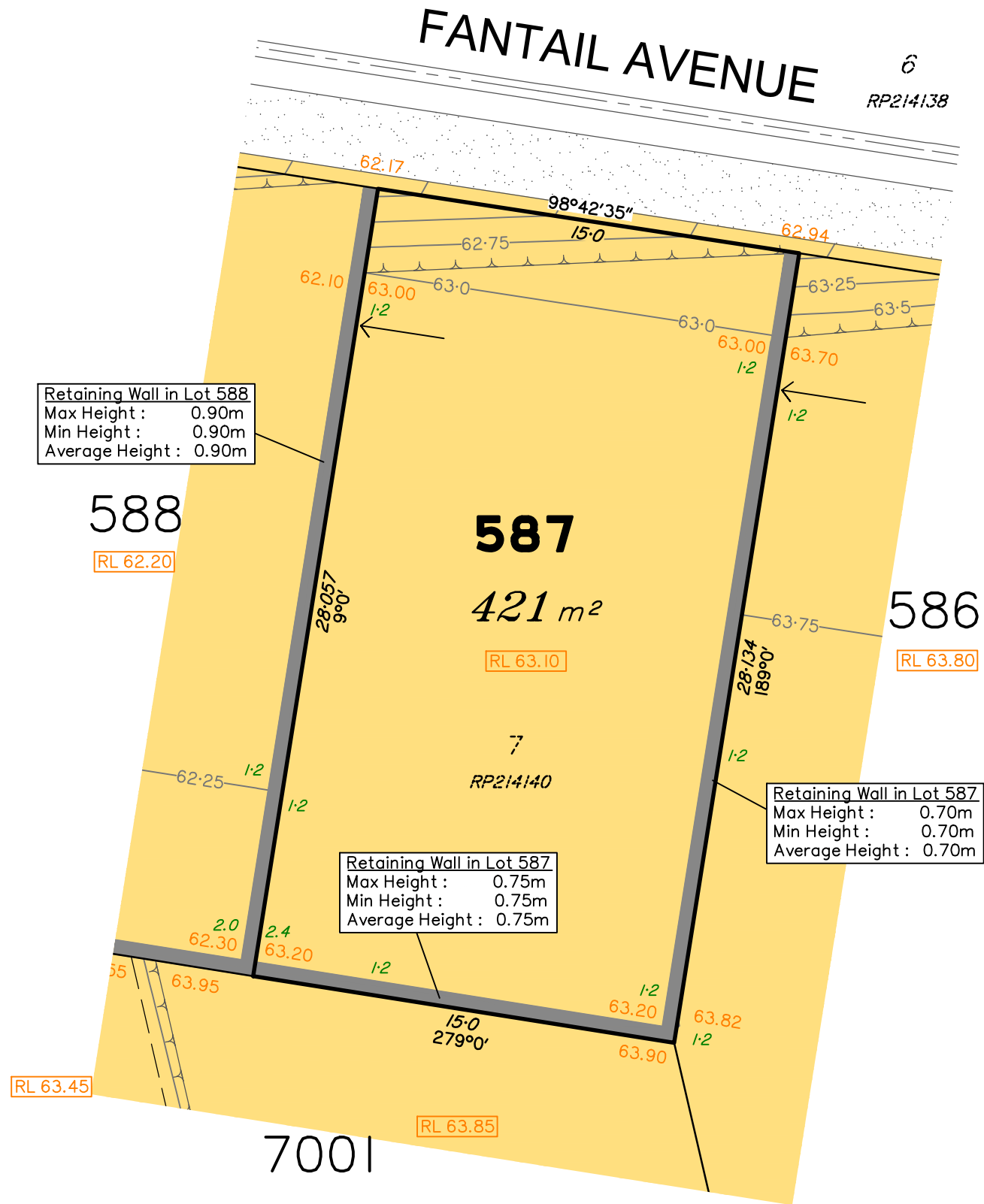
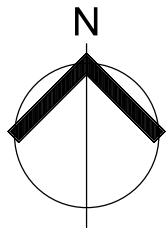
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## Disclosure Plan for Proposed Lot 586 (Restricted) on SP323158

Described as part of Lot 7001 (Restricted) on SP318872  
 Existing Title Reference: 51253830

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PM203676  
 RL of Origin: 74.071  
 Contour Interval: 0.25m  
 Scale @A3 1: 250  
 Plan No. 8721 S 03 DP C\_586



Retaining Wall in Lot 588  
 Max Height : 0.90m  
 Min Height : 0.90m  
 Average Height : 0.90m

Retaining Wall in Lot 586  
 Max Height : 0.70m  
 Min Height : 0.70m  
 Average Height : 0.70m

Retaining Wall in Lot 587  
 Max Height : 0.75m  
 Min Height : 0.75m  
 Average Height : 0.75m

**LEGEND**

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

**NOTES**  
 This plan has been prepared from preliminary survey plan (SP323158) and engineering data provided on the 04/12/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 08.09.2020. (Application No: 2098/2015/MAMC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Operational works approval for this lot has been granted.

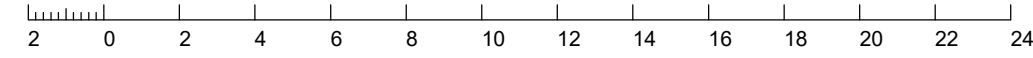
Lot 587 is restricted to the depth of 18.288 metres below the surface, as defined by plan M3172.

A minimum of 1.2m of fill and capping is present on all stage 9 lots. All Fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

**EDEN'S CROSSING**  
 STAGE 9A

**PEET**

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	14/12/20	CU	Original Issue
B	TBG	10/06/21		Side ret walls extended
C	TBG	15/11/21	CU	Fill levels update

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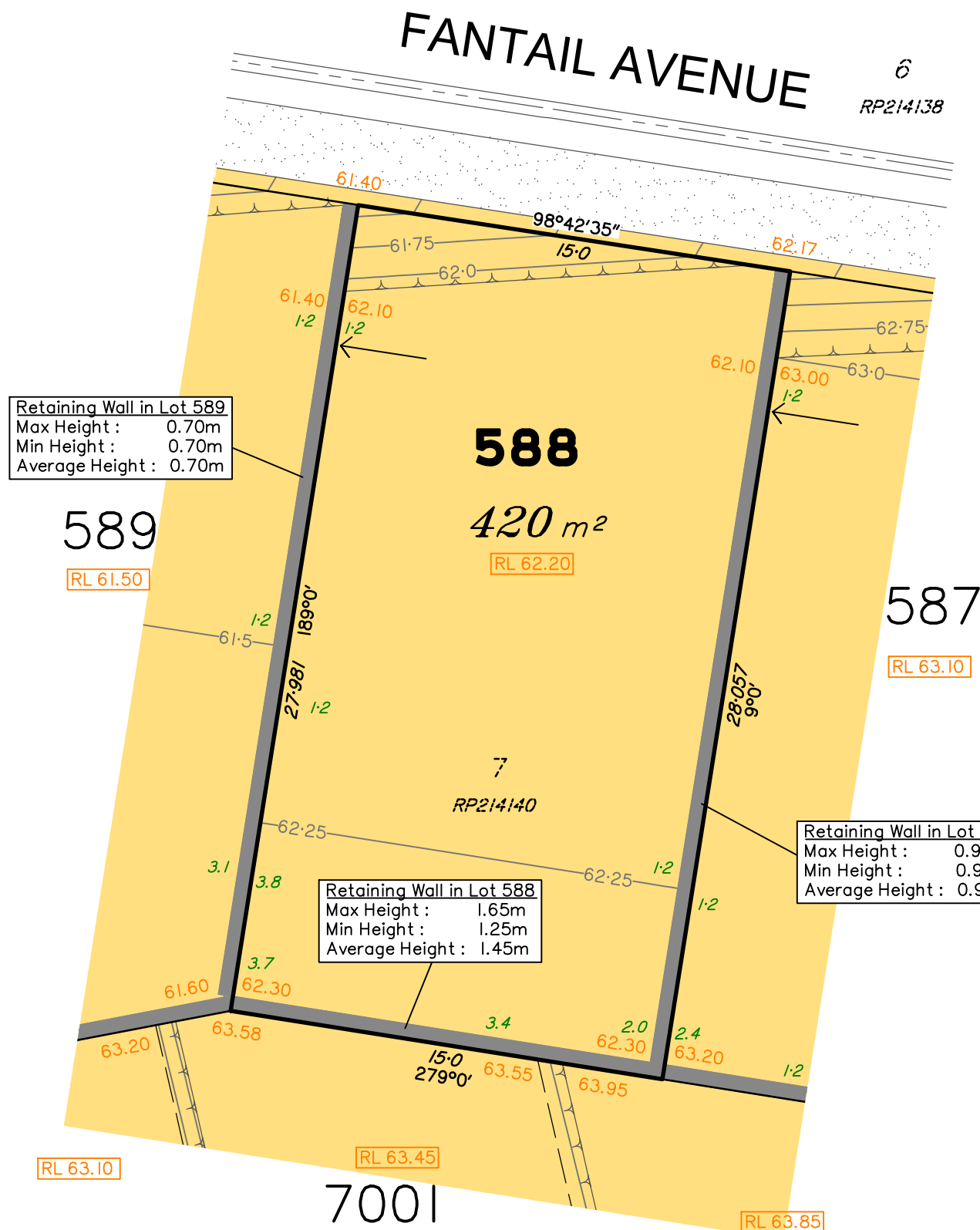
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**Disclosure Plan for Proposed Lot 587 (Restricted) on SP323158**

Described as part of Lot 7001 (Restricted) on SP318872  
 Existing Title Reference: 51253830

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PM203676  
 RL of Origin: 74.071  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Plan No. 8721 S 03 DP C\_587



Retaining Wall in Lot 589  
 Max Height : 0.70m  
 Min Height : 0.70m  
 Average Height : 0.70m

Retaining Wall in Lot 588  
 Max Height : 0.90m  
 Min Height : 0.90m  
 Average Height : 0.90m

Retaining Wall in Lot 588  
 Max Height : 1.65m  
 Min Height : 1.25m  
 Average Height : 1.45m

**LEGEND**

	Area of Cut
	Area of Fill
	Design Contours
	1:23 Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	RL XX.XX Preferred Pad Level
	Retaining Wall
	XX.XX Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

**NOTES**  
 This plan has been prepared from preliminary survey plan (SP323158) and engineering data provided on the 04/12/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 08.09.2020. (Application No: 2098/2015/MAMC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

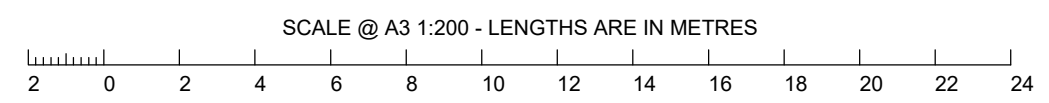
Operational works approval for this lot has been granted.

Lot 588 is restricted to the depth of 18.288 metres below the surface, as defined by plan M3172.

A minimum of 1.2m of fill and capping is present on all stage 9 lots. All Fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

**EDEN'S CROSSING**  
 STAGE 9A

**PEET**



No.	by	Date	Chkd	Description
A	TBG	14/12/20	CU	Original Issue
B	TBG	10/06/21		Side ret walls extended
C	TBG	15/11/21	CU	Fill levels update

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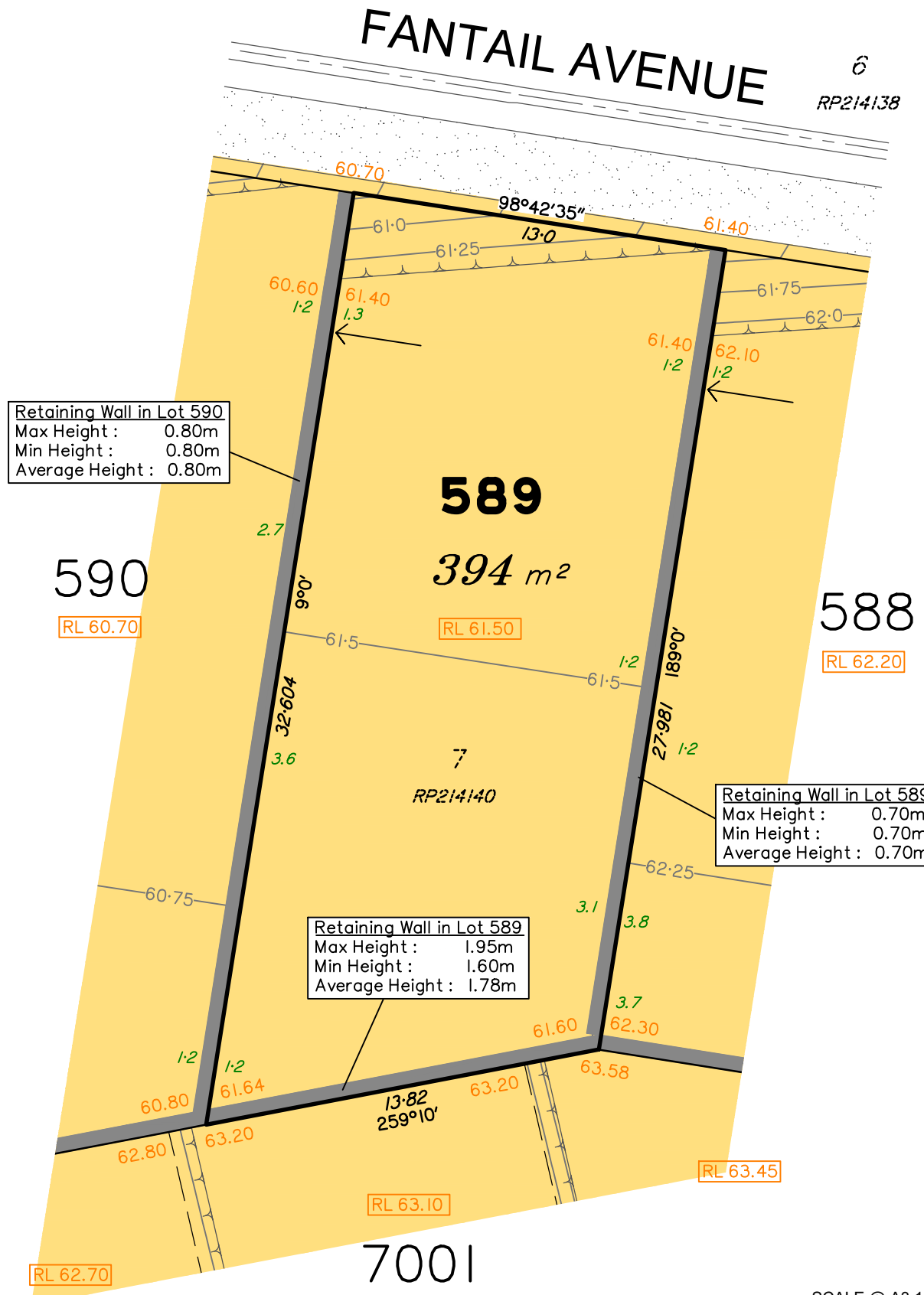
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**Disclosure Plan for Proposed Lot 588 (Restricted) on SP323158**

Described as part of Lot 7001 (Restricted) on SP318872  
 Existing Title Reference: 51253830

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PM203676  
 RL of Origin: 74.071  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Plan No. 8721 S 03 DP C\_588



Retaining Wall in Lot 590  
 Max Height : 0.80m  
 Min Height : 0.80m  
 Average Height : 0.80m

Retaining Wall in Lot 589  
 Max Height : 0.70m  
 Min Height : 0.70m  
 Average Height : 0.70m

Retaining Wall in Lot 589  
 Max Height : 1.95m  
 Min Height : 1.60m  
 Average Height : 1.78m

**LEGEND**

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

**NOTES**  
 This plan has been prepared from preliminary survey plan (SP323158) and engineering data provided on the 04/12/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 08.09.2020. (Application No: 2098/2015/MAMC/A)

Operational works approval for this lot has been granted.

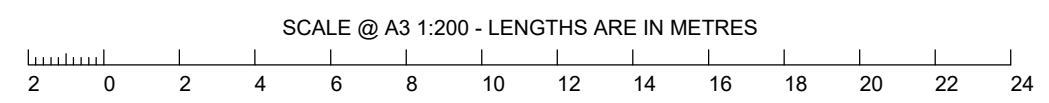
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Lot 589 is restricted to the depth of 18.288 metres below the surface, as defined by plan M3172.

A minimum of 1.2m of fill and capping is present on all stage 9 lots. All Fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

**EDEN'S CROSSING**  
 STAGE 9A

**PEET**



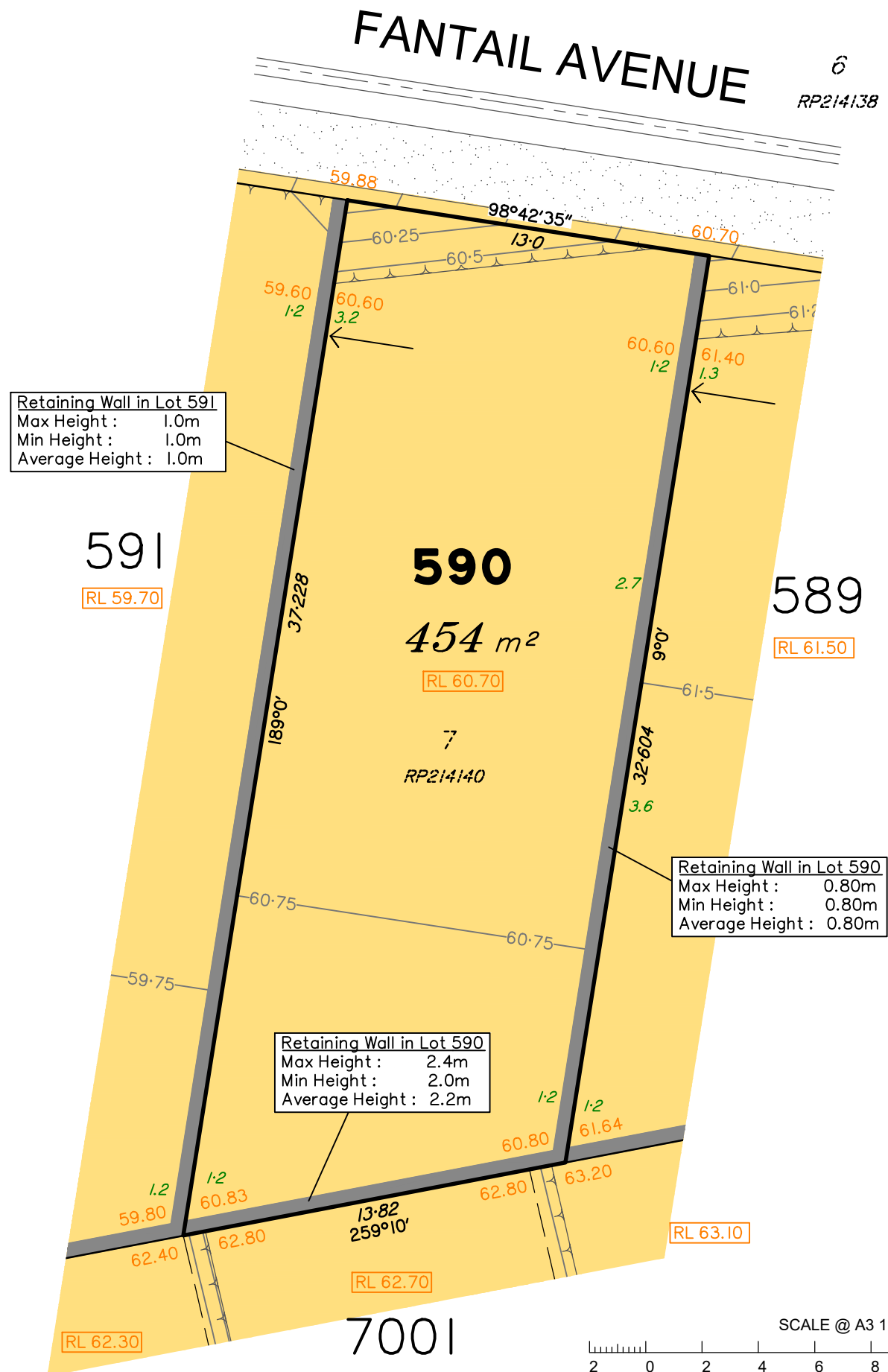
No.	by	Date	Chkd	Description
A	TBG	14/12/20	CU	Original Issue
B	TBG	10/06/21		Side ret walls extended
C	TBG	15/11/21	CU	Fill levels update

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**Disclosure Plan for Proposed Lot 589 (Restricted) on SP323158**  
 Described as part of Lot 7001 (Restricted) on SP318872  
 Existing Title Reference: 51253830  
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PM203676  
 RL of Origin: 74.071  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Plan No. 8721 S 03 DP C\_589



**LEGEND**

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

**NOTES**  
 This plan has been prepared from preliminary survey plan (SP323158) and engineering data provided on the 04/12/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 08.09.2020. (Application No: 2098/2015/MAMC/A)

Operational works approval for this lot has been granted.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Lot 590 is restricted to the depth of 18.288 metres below the surface, as defined by plan M3172.

A minimum of 1.2m of fill and capping is present on all stage 9 lots. All Fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

**EDEN'S CROSSING**  
 STAGE 9A

**PEET**

No.	by	Date	Chkd	Description
A	TBG	14/12/20	CU	Original Issue
B	TBG	10/06/21		Side ret walls extended
C	TBG	15/11/21	CU	Fill levels update

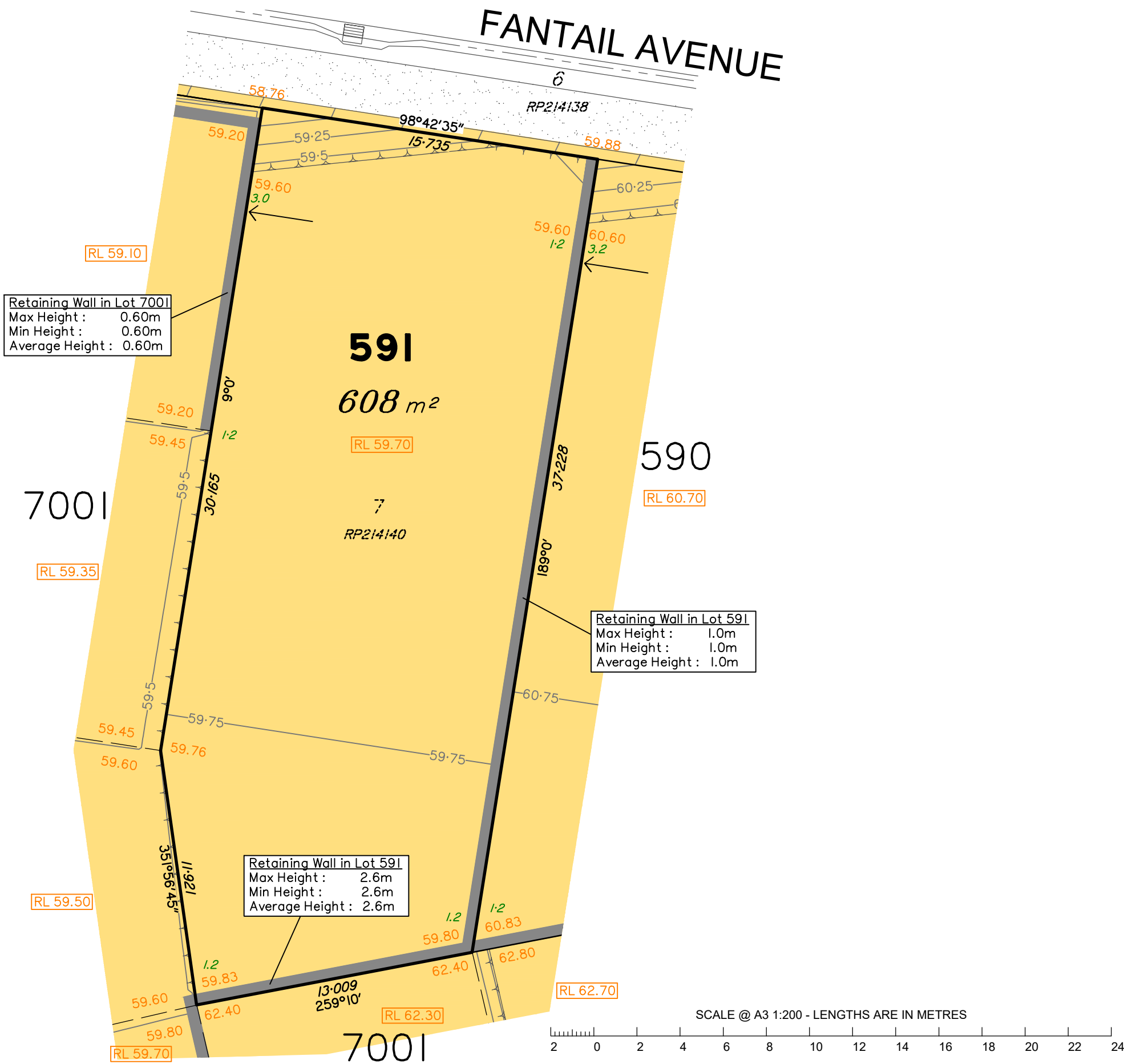
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**Disclosure Plan for Proposed Lot 590 (Restricted) on SP323158**  
 Described as part of Lot 7001 (Restricted) on SP318872  
 Existing Title Reference: 51253830  
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PM203676  
 RL of Origin: 74.071  
 Contour Interval: 0.25m  
 Scale @A3 1:200  
 Plan No. 8721 S 03 DP C\_590





**LEGEND**

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

**NOTES**  
 This plan has been prepared from preliminary survey plan (SP323158) and engineering data provided on the 04/12/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 08.09.2020. (Application No: 2098/2015/MAMC/A)

Operational works approval for this lot has been granted.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Lot 591 is restricted to the depth of 18.288 metres below the surface, as defined by plan M3172.

A minimum of 1.2m of fill and capping is present on all stage 9 lots. All Fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

**PEET**

No.	by	Date	Chkd	Description
A	TBG	14/12/20	CU	Original Issue
B	TBG	10/06/21		Eastern ret wall extended
C	TBG	15/11/21	CU	Fill levels update

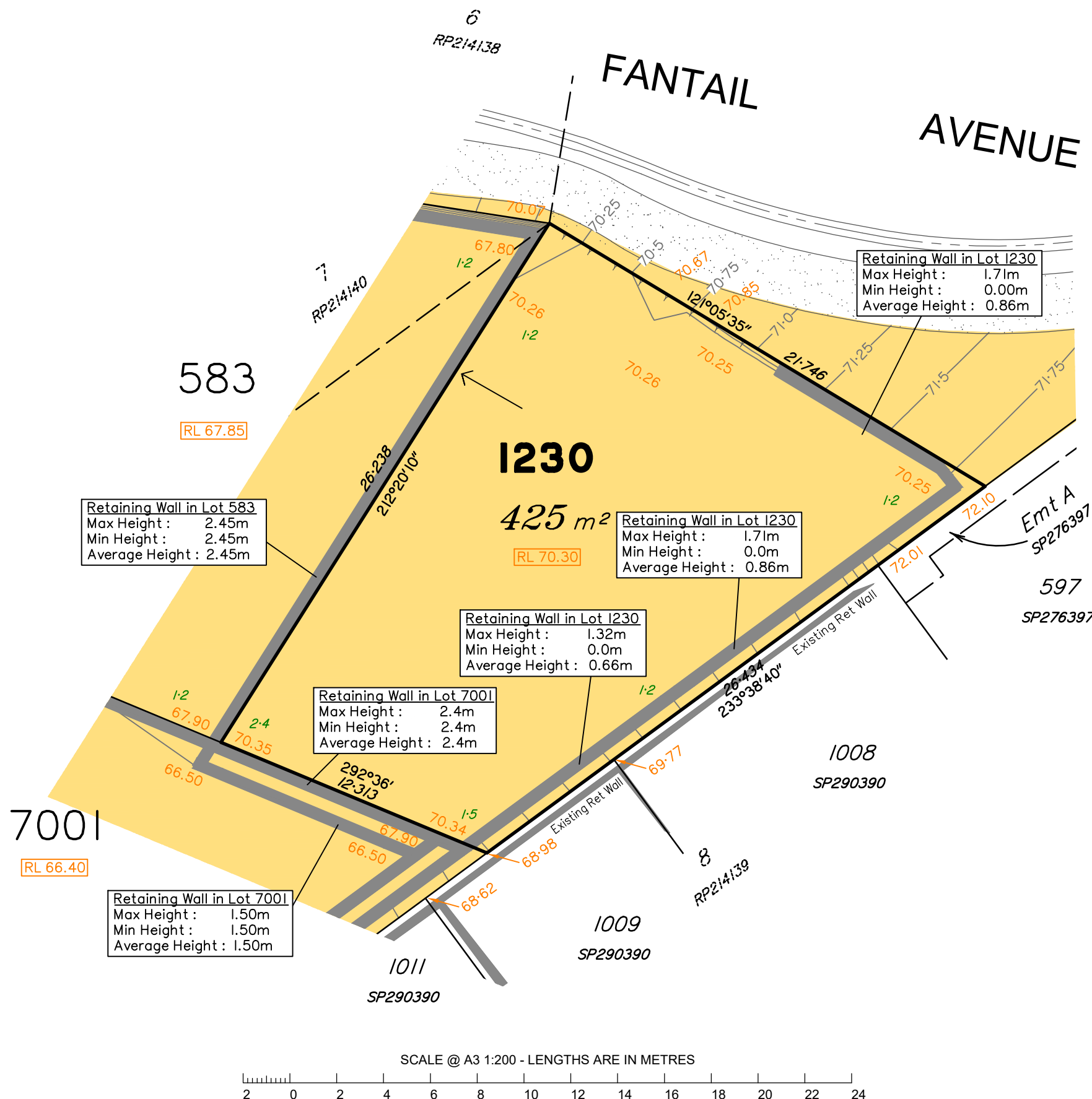
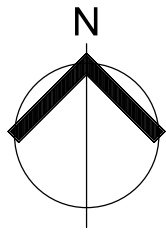
**EDEN'S CROSSING**  
 STAGE 9A

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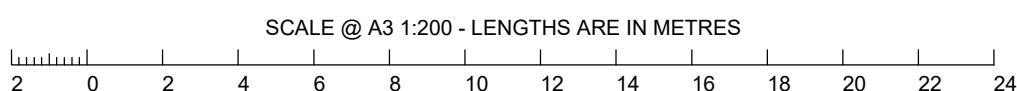
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 591 (Restricted) on SP323158**  
 Described as part of Lot 7001 (Restricted) on SP318872  
 Existing Title Reference: 51253830  
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PM203676  
 RL of Origin: 74.071  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Plan No. 8721 S 03 DP C\_591



**EDEN'S CROSSING**  
 STAGE 9A



**LEGEND**

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

**NOTES**  
 This plan has been prepared from preliminary survey plan (SP323158), engineering data provided on the 27/07/2021 by KN Group Pty Ltd and field survey conducted by Saunders Havill Group in September 2021

Development approval was initially granted for this subdivision by the Ipswich City Council on 08.09.2020. (Application No: 2098/2015/MAMC/A)  
 For updates to this approval visit [www.ipswich.qld.gov.au](http://www.ipswich.qld.gov.au)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Operational works approval for this subdivision has been granted.

A minimum of 1.2m of fill and capping is present on all stage 9 lots. All Fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

**PEET**

No.	by	Date	Chkd	Description
A	TBG	25/05/21		Original Issue
B	TBG	27/07/21	CU	Earthworks design update
C	TBG	29/09/21	CU	Updated as per construction
D	TBG	15/11/21	CU	Fill levels update

**saunders havill group**  
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**Disclosure Plan for Proposed Lot 1230 on SP323158**

Described as part of Lot 7001 (Restricted) on SP318872  
 Existing Title Reference: 51253830

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PM203676  
 RL of Origin: 74.071  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Plan No. 8721 S 03 DP D\_1230