

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES
 This plan has been prepared from preliminary survey plan (SP317663) and engineering data provided on the 23/07/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 622 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

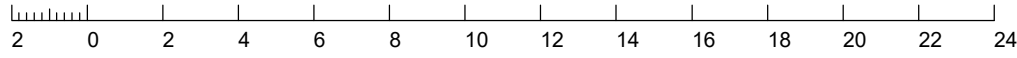
Lot 622 contains Emt Q on SP317663 for services benefiting Urban Utilities.

Any retaining walls exceeding 1.5m in height may be subject to change from single tier to double tier walls, pending advice / approval from Ipswich City Council.

EDEN'S CROSSING
 STAGE 15A

NECTAR CIRCUIT

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



PEET

No.	by	Date	Description
A	TBG	11/08/20	Original Issue

saunders havill group
 Saunders Havill Group Pty Ltd ABN 24 144 972 949
 Brisbane • Springfield • Rockhampton
 head office 9 Thompson St Bowen Hills Q 4006
 phone 1300 123 SHG web www.saundershavill.com
 • surveying • town planning • urban design • environmental management • landscape architecture

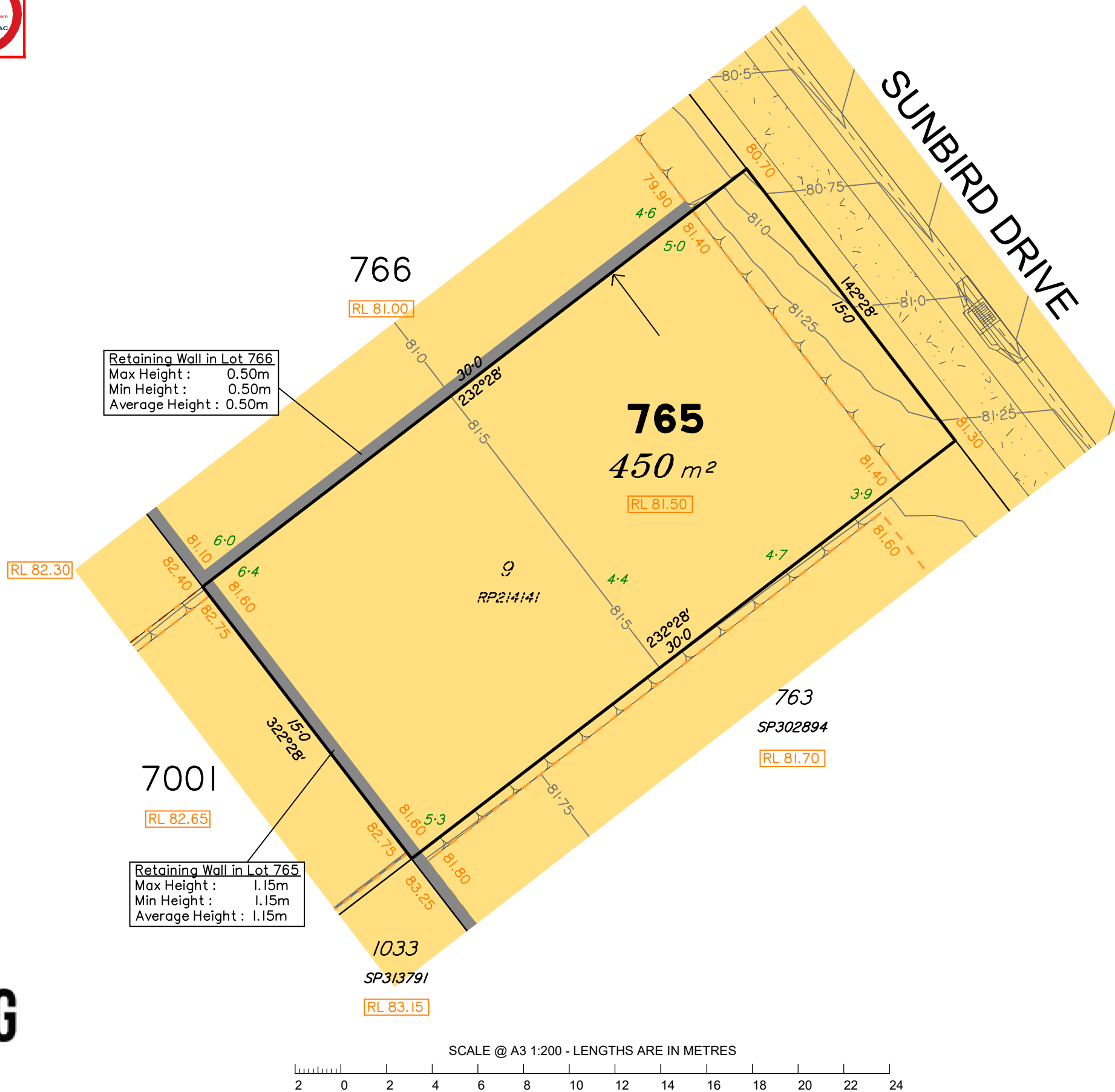
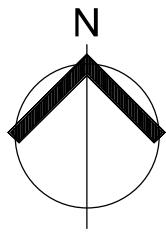
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Disclosure Plan for Proposed Lot 622 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892
 Existing Title Reference: 13725046 & 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_622

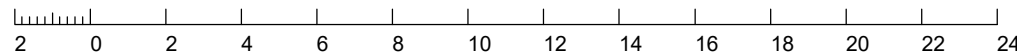


Retaining Wall in Lot 766
 Max Height : 0.50m
 Min Height : 0.50m
 Average Height : 0.50m

Retaining Wall in Lot 765
 Max Height : 1.15m
 Min Height : 1.15m
 Average Height : 1.15m

EDEN'S CROSSING
 STAGE 15A

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

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NOTES

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Lot 765 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

PEET

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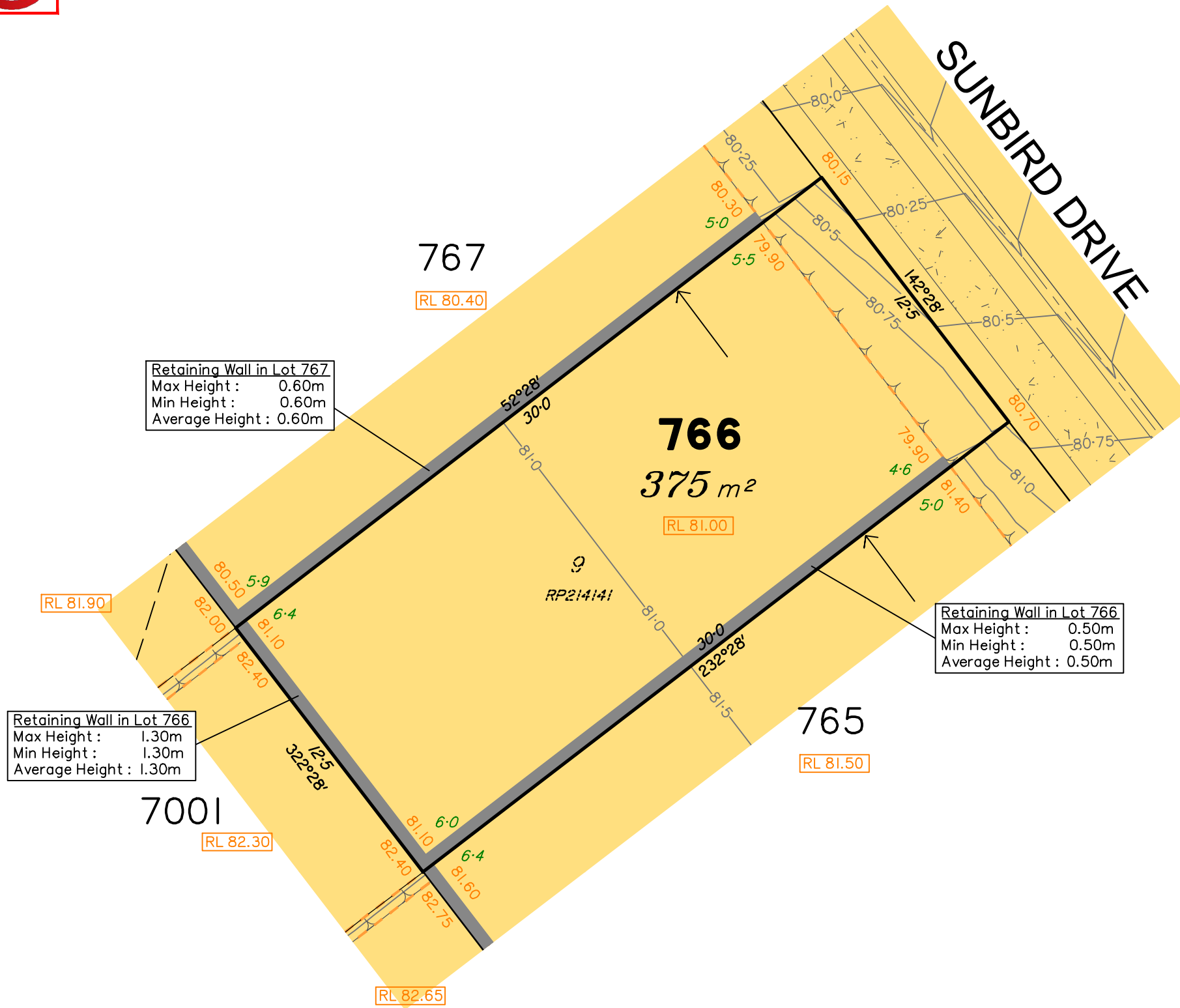
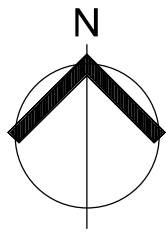
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Disclosure Plan for Proposed Lot 765 (Restricted) on SP317663

Described as part of Lot 9001 (Restricted) on SP302892
 Existing Title Reference: 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_765



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

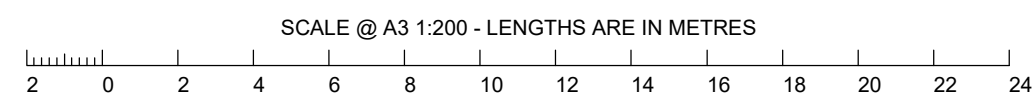
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EDEN'S CROSSING
 STAGE 15A



PEET

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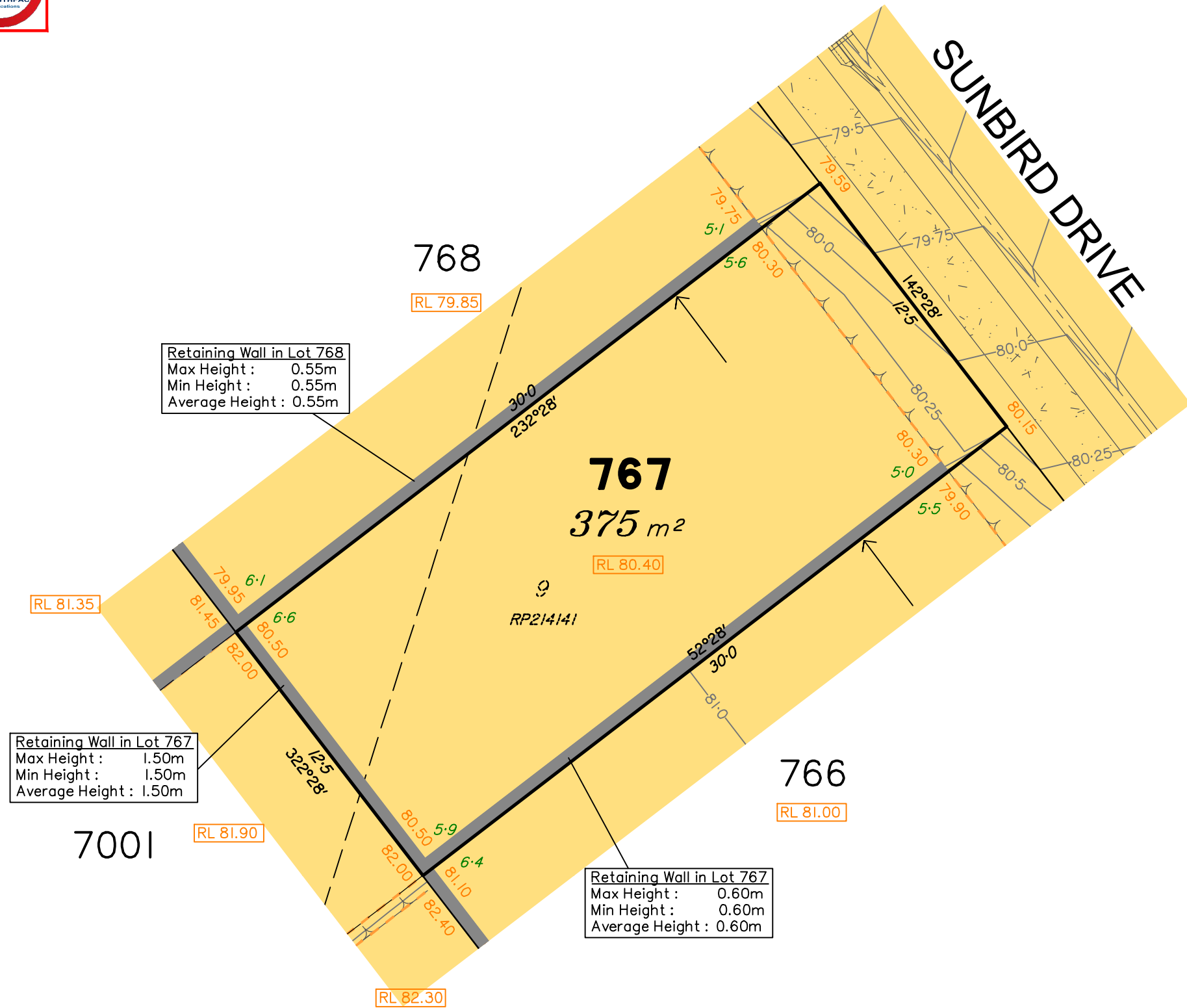
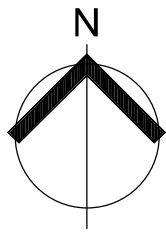
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Disclosure Plan for Proposed Lot 766 (Restricted) on SP317663

Described as part of Lot 9001 (Restricted) on SP302892
 Existing Title Reference: 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_766



Retaining Wall in Lot 768
 Max Height : 0.55m
 Min Height : 0.55m
 Average Height : 0.55m

Retaining Wall in Lot 767
 Max Height : 1.50m
 Min Height : 1.50m
 Average Height : 1.50m

Retaining Wall in Lot 767
 Max Height : 0.60m
 Min Height : 0.60m
 Average Height : 0.60m

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

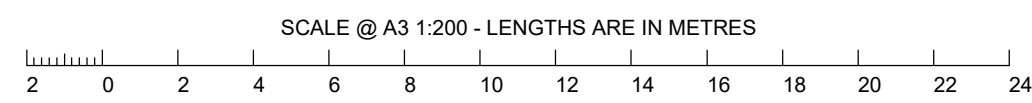
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Part of Lot 767 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

EDEN'S CROSSING
 STAGE 15A



PEET

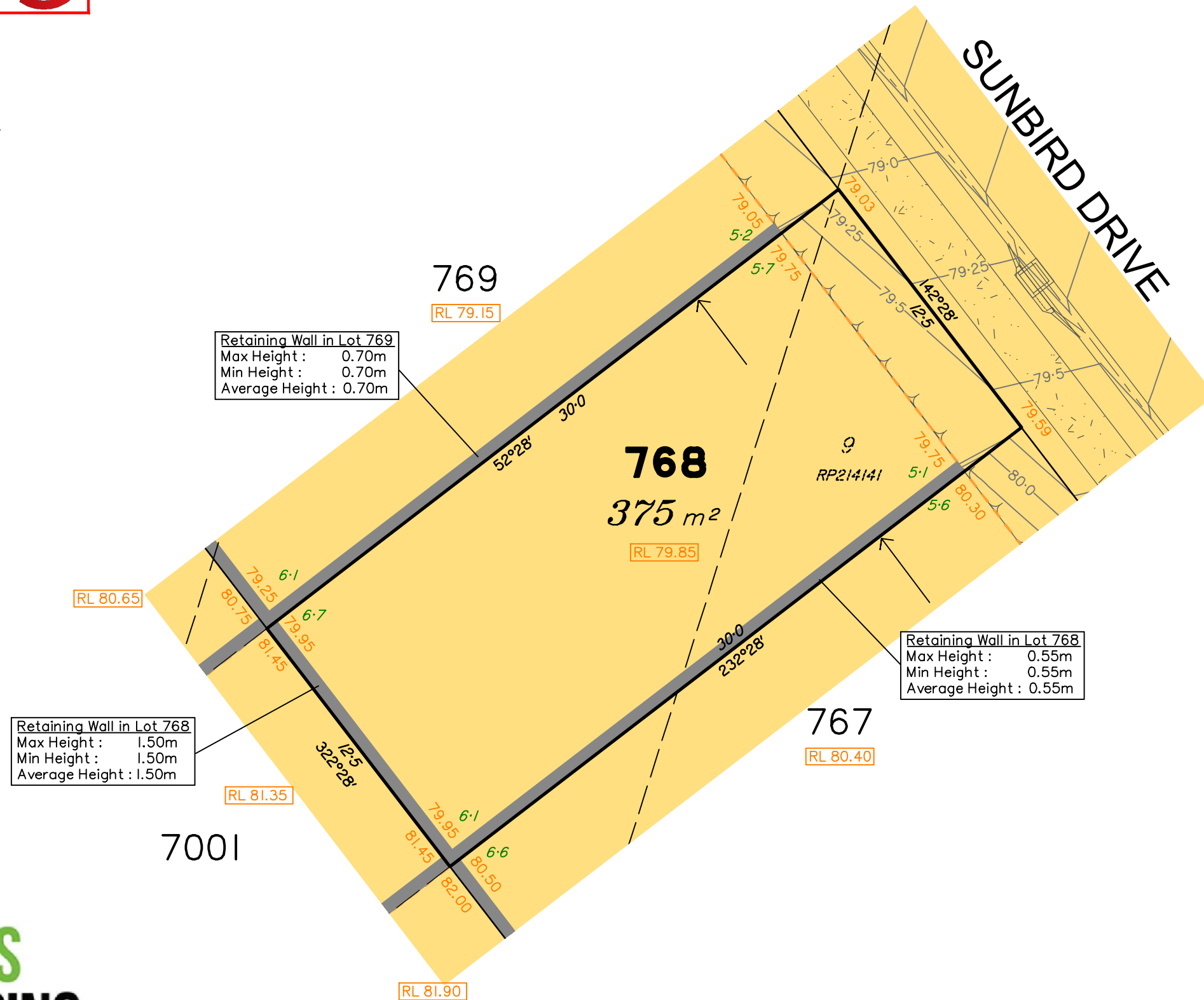
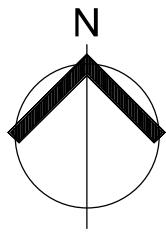
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 Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892
 Existing Title Reference: 13725046 & 51212946
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_767



Retaining Wall in Lot 769
 Max Height : 0.70m
 Min Height : 0.70m
 Average Height : 0.70m

Retaining Wall in Lot 768
 Max Height : 0.55m
 Min Height : 0.55m
 Average Height : 0.55m

Retaining Wall in Lot 768
 Max Height : 1.50m
 Min Height : 1.50m
 Average Height : 1.50m

LEGEND

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

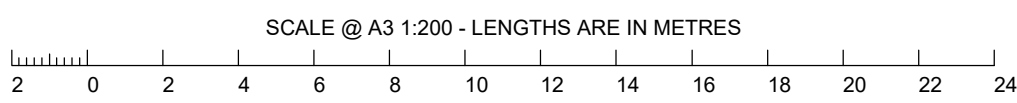
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Part of Lot 768 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

EDEN'S CROSSING
 STAGE 15A



PEET

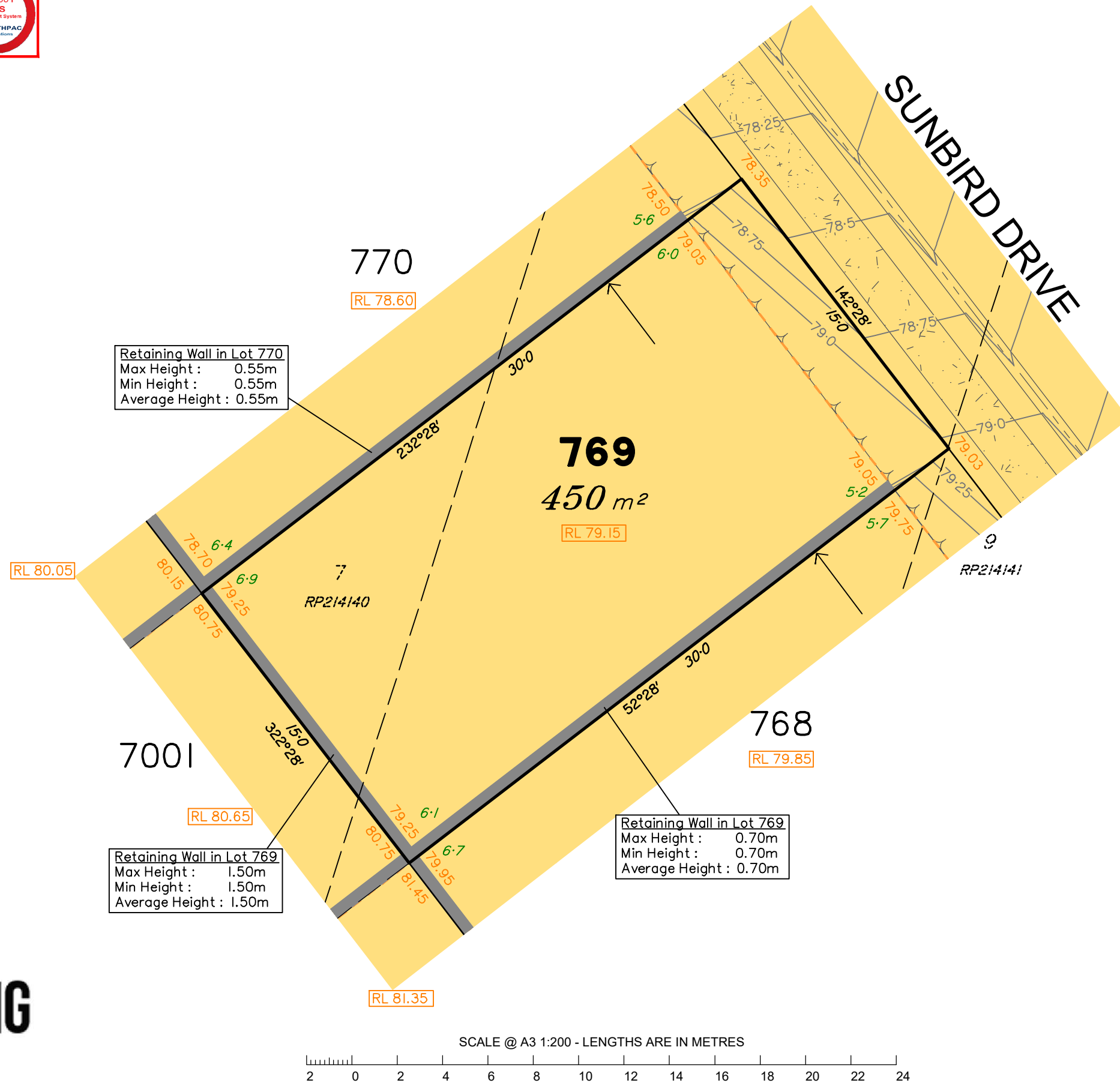
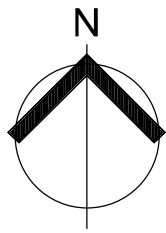
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Disclosure Plan for Proposed Lot 768 (Restricted) on SP317663
 Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892
 Existing Title Reference: 13725046 & 51212946
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_768

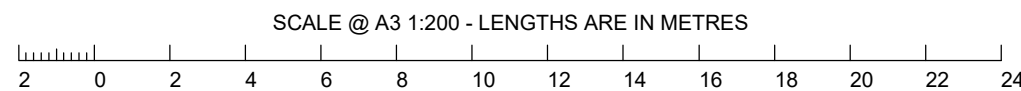


Retaining Wall in Lot 770
 Max Height : 0.55m
 Min Height : 0.55m
 Average Height : 0.55m

Retaining Wall in Lot 769
 Max Height : 1.50m
 Min Height : 1.50m
 Average Height : 1.50m

Retaining Wall in Lot 769
 Max Height : 0.70m
 Min Height : 0.70m
 Average Height : 0.70m

EDEN'S CROSSING
 STAGE 15A



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

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Part of Lot 769 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4804.

Part of Lot 769 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

PEET

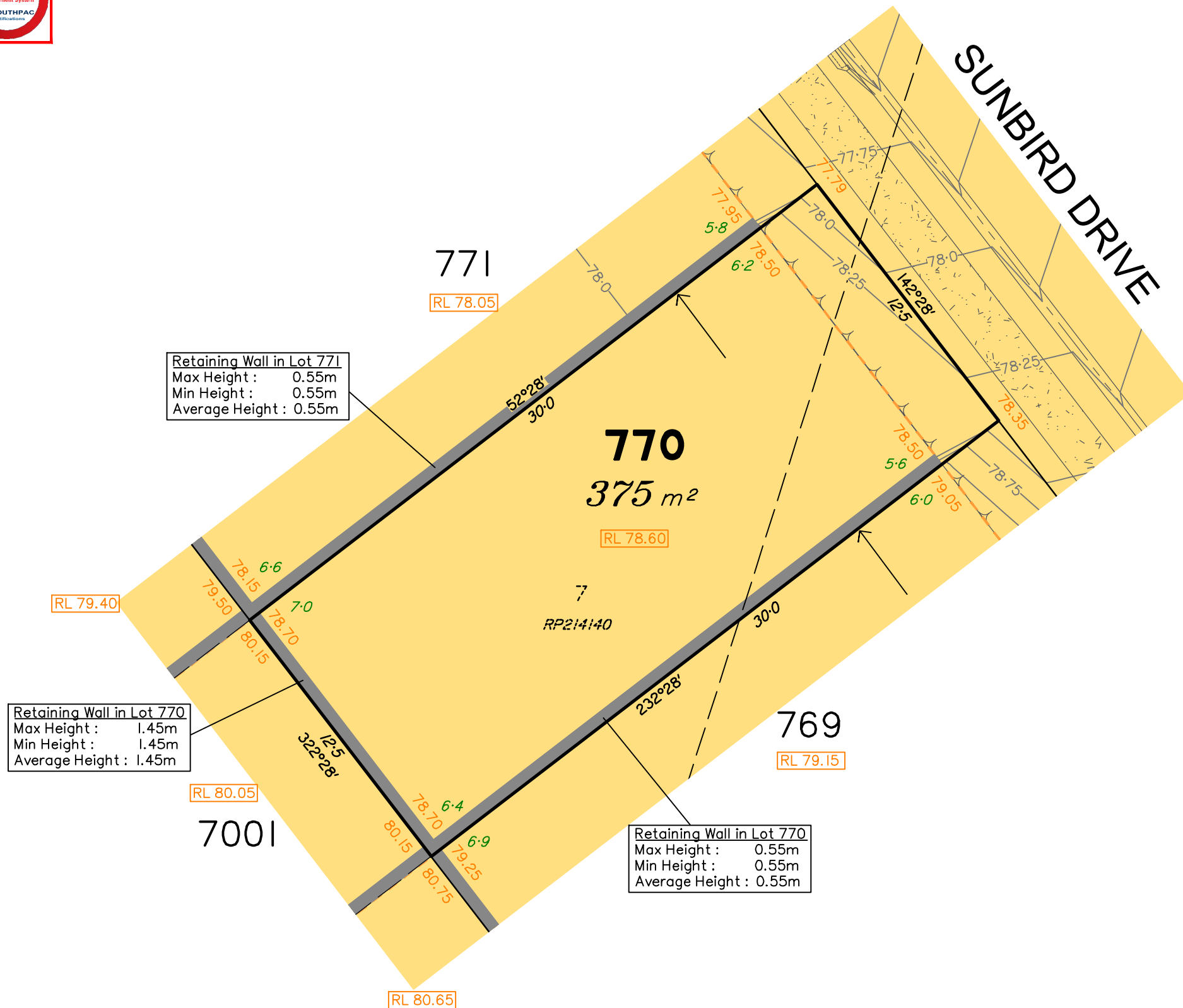
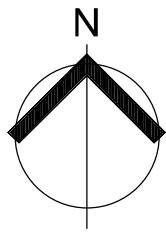
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Disclosure Plan for Proposed Lot 769 (Restricted) on SP317663
 Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892
 Existing Title Reference: 13725046 & 51212946
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_769



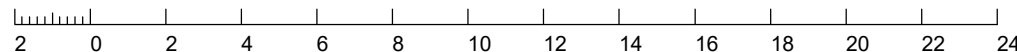
Retaining Wall in Lot 771
 Max Height : 0.55m
 Min Height : 0.55m
 Average Height : 0.55m

Retaining Wall in Lot 770
 Max Height : 1.45m
 Min Height : 1.45m
 Average Height : 1.45m

Retaining Wall in Lot 770
 Max Height : 0.55m
 Min Height : 0.55m
 Average Height : 0.55m

EDEN'S CROSSING
 STAGE 15A

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- RL XX.XX Preferred Pad Level
- Retaining Wall
- XX.X Finished Surface Design Level
- Optional Built to Boundary Wall Location

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NOTES

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Part of Lot 770 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

PEET

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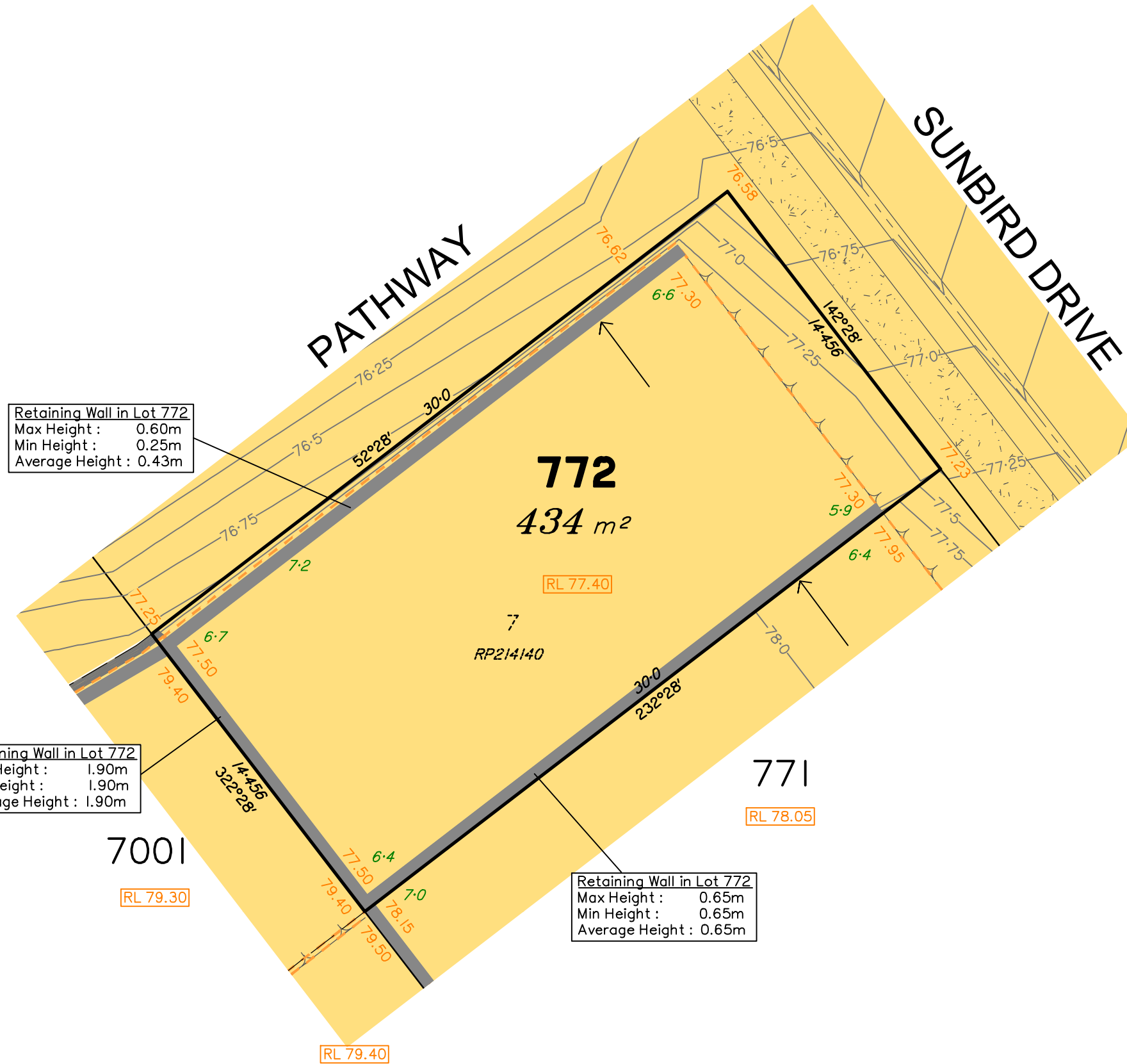
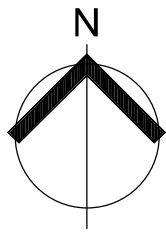
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Disclosure Plan for Proposed Lot 770 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604
 Existing Title Reference: 13725046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_770

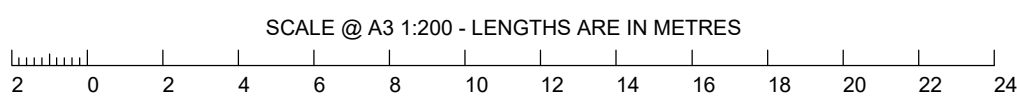


Retaining Wall in Lot 772
 Max Height : 0.60m
 Min Height : 0.25m
 Average Height : 0.43m

Retaining Wall in Lot 772
 Max Height : 1.90m
 Min Height : 1.90m
 Average Height : 1.90m

Retaining Wall in Lot 772
 Max Height : 0.65m
 Min Height : 0.65m
 Average Height : 0.65m

EDEN'S CROSSING
 STAGE 15A



LEGEND

- Area of Cut
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- RL XX.XX Preferred Pad Level
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- XX.X Finished Surface Design Level
- Optional Built to Boundary Wall Location

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Lot 772 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

Any retaining walls exceeding 1.5m in height may be subject to change from single tier to double tier walls, pending advice / approval from Ipswich City Council.

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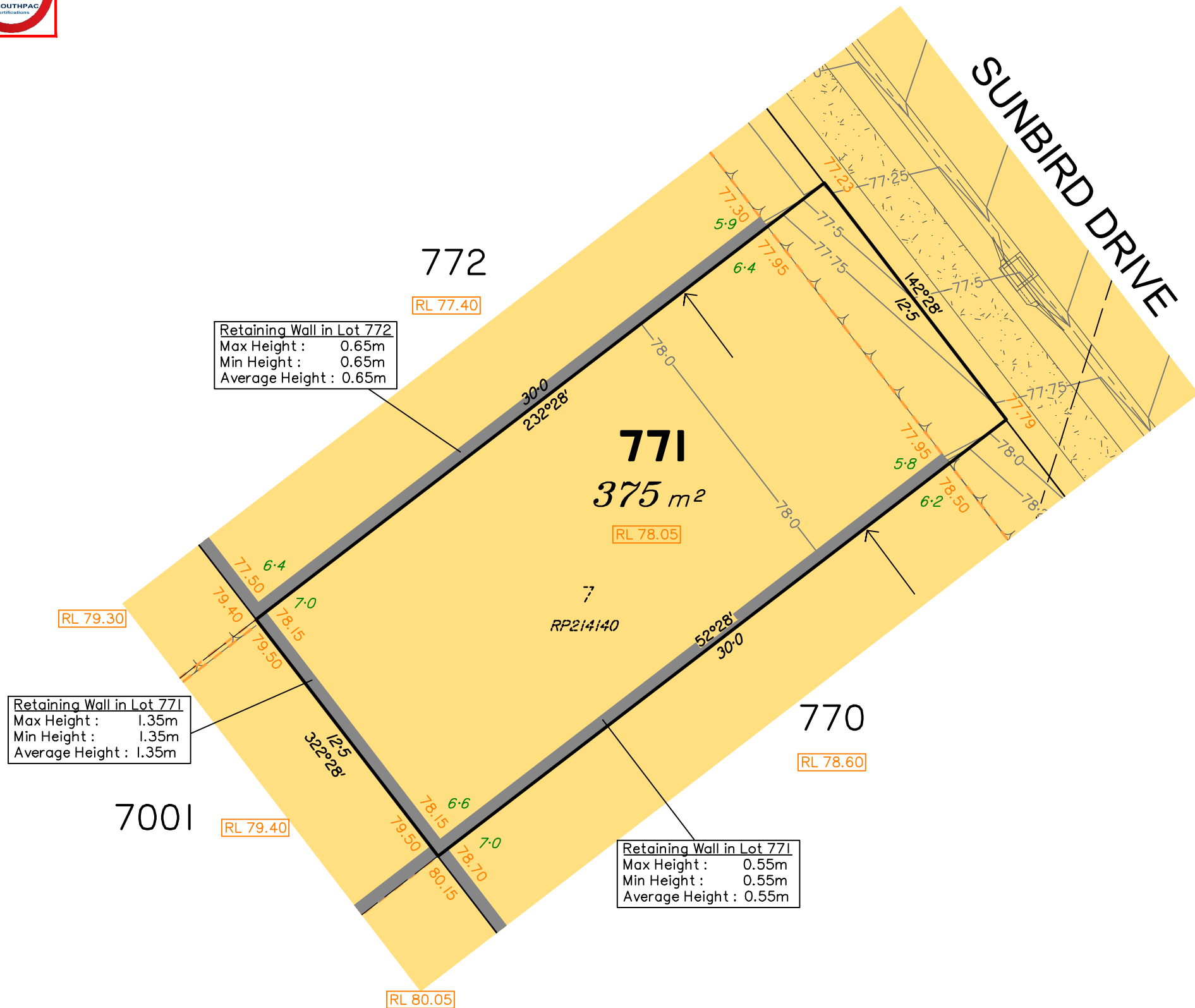
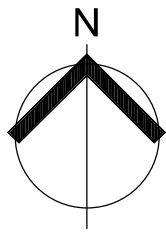
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Disclosure Plan for Proposed Lot 772 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604
 Existing Title Reference: 13725046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_772



LEGEND

- Area of Cut
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- Depth of Fill
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- Retaining Wall
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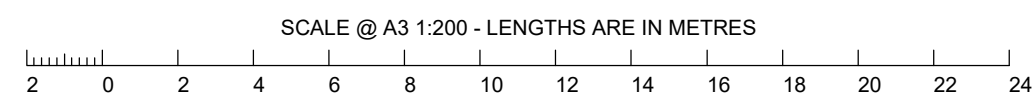
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Lot 771 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

Any retaining walls exceeding 1.5m in height may be subject to change from single tier to double tier walls, pending advice / approval from Ipswich City Council.

EDEN'S CROSSING
 STAGE 15A



PEET

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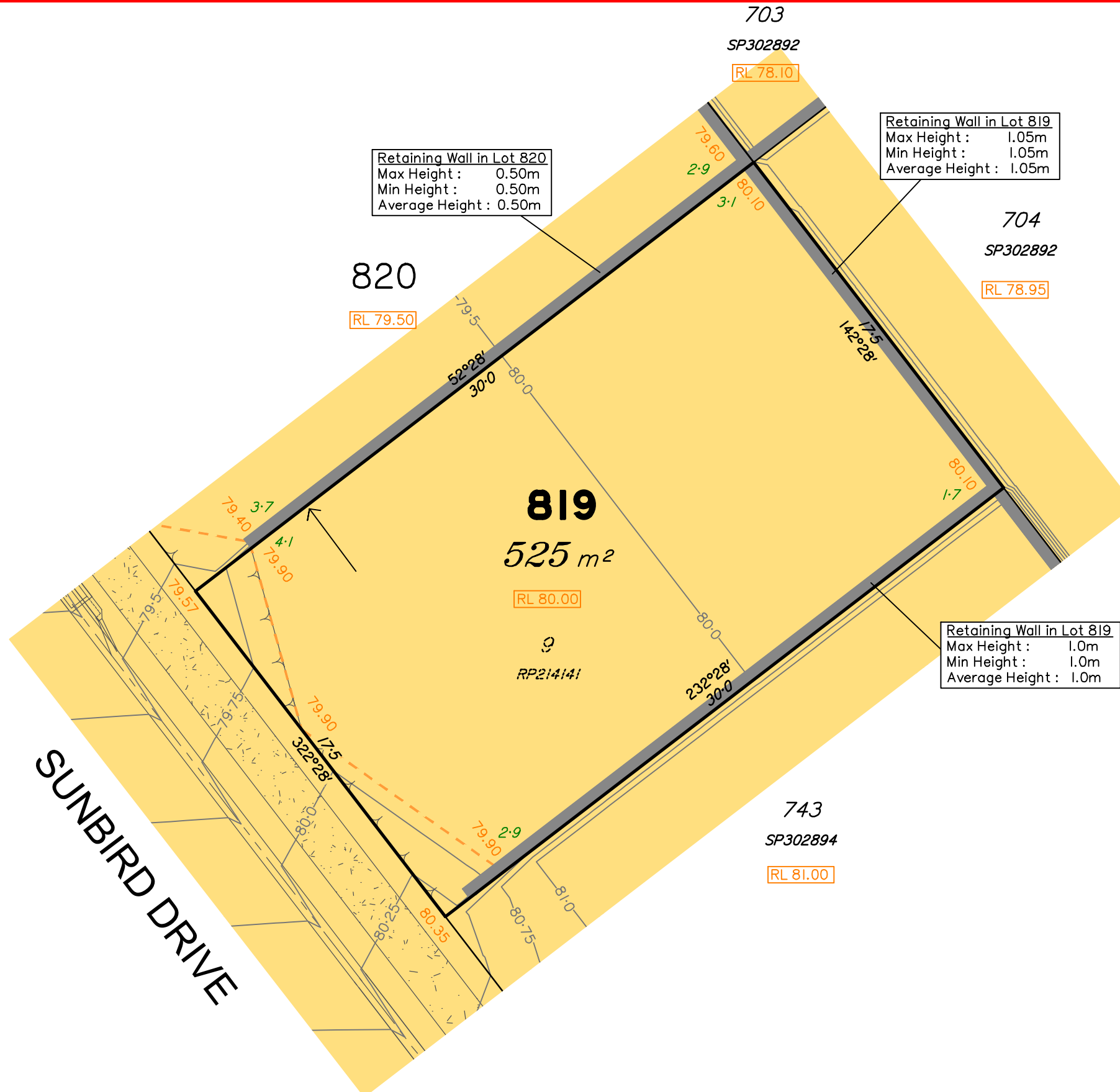
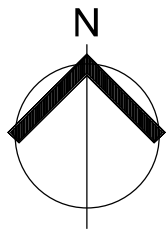
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Disclosure Plan for Proposed Lot 771 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604
 Existing Title Reference: 13725046

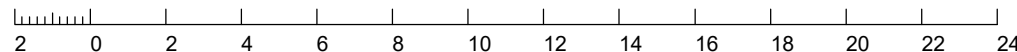
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_771



EDEN'S CROSSING
 STAGE 15A

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP317663) and engineering data provided on the 23/07/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Lot 819 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

PEET

No.	by	Date	Description
A	TBG	11/08/20	Original Issue

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 Brisbane • Springfield • Rockhampton
 head office 9 Thompson St Bowen Hills Q 4006
 phone 1300 123 SHG web www.saundershavill.com
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

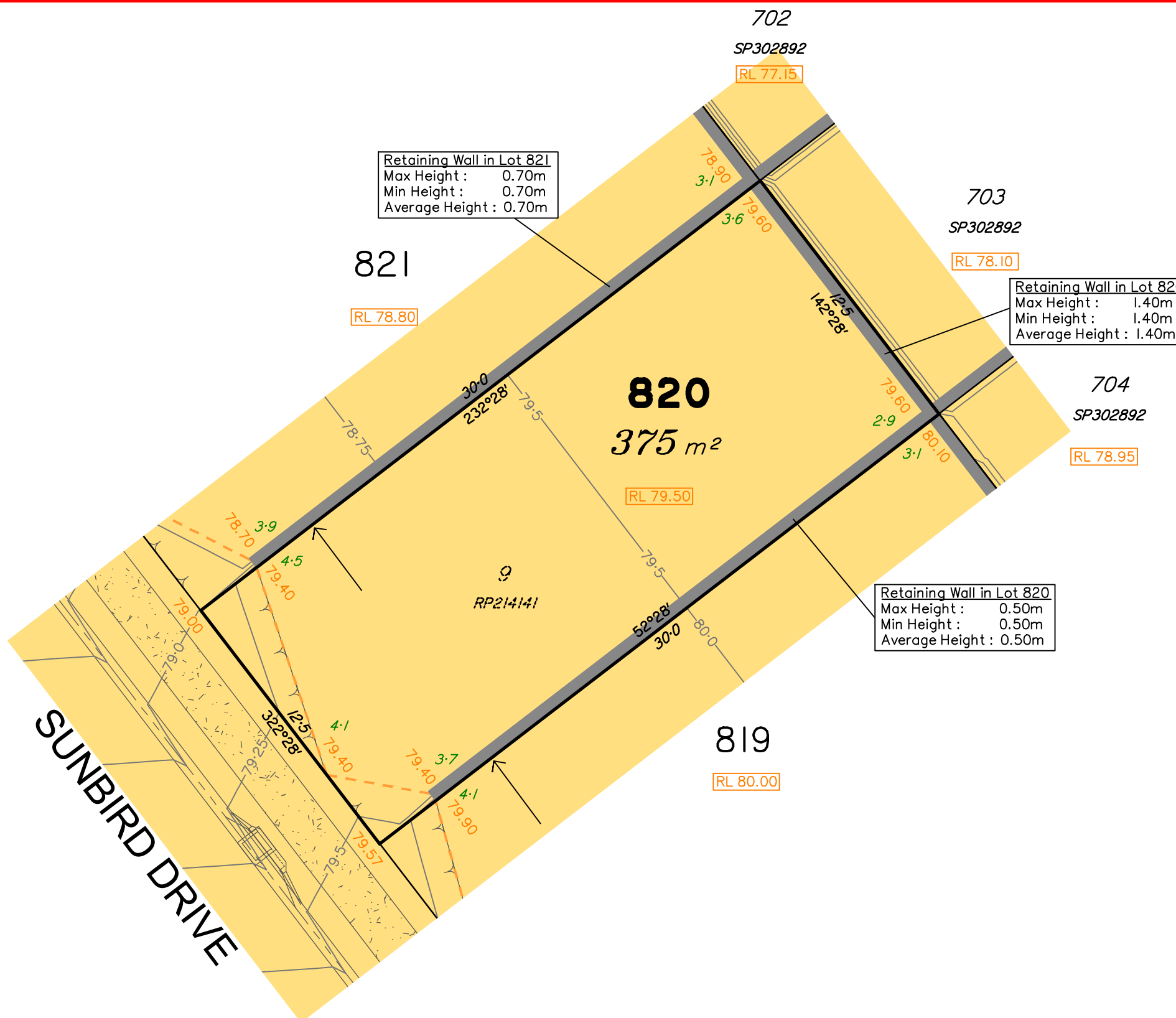
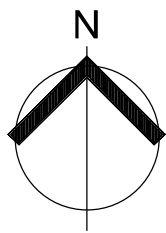
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Disclosure Plan for Proposed Lot 819 (Restricted) on SP317663

Described as part of Lot 9001 (Restricted) on SP302892
 Existing Title Reference: 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_819



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- RL XX.XX Preferred Pad Level
- Retaining Wall
- XX.X Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

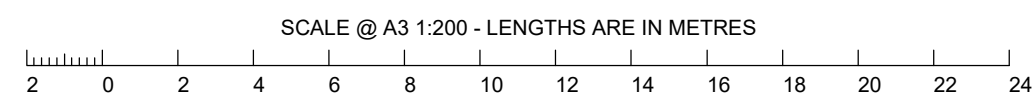
NOTES
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Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Lot 820 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

EDEN'S CROSSING
STAGE 15A



PEET

ISSUES	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue

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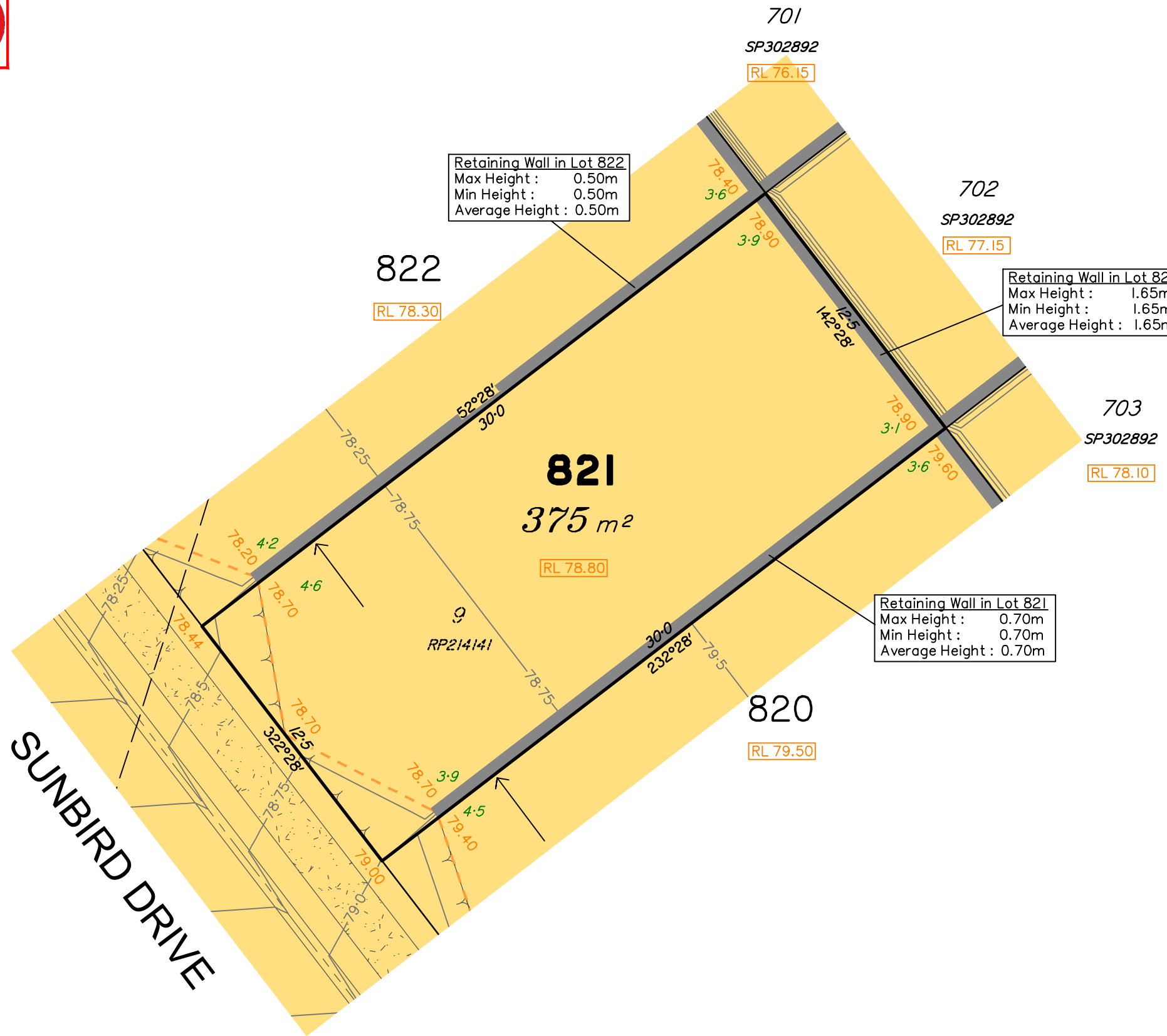
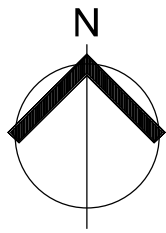
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Disclosure Plan for Proposed Lot 820 (Restricted) on SP317663

Described as part of Lot 9001 (Restricted) on SP302892
Existing Title Reference: 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 02 DP A_820



LEGEND

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

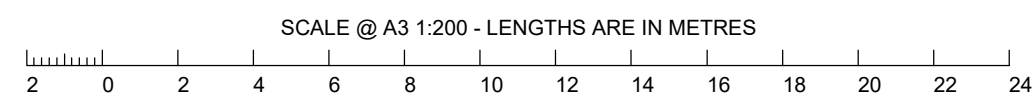
NOTES
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Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Lot 821 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

EDEN'S CROSSING
STAGE 15A



PEET

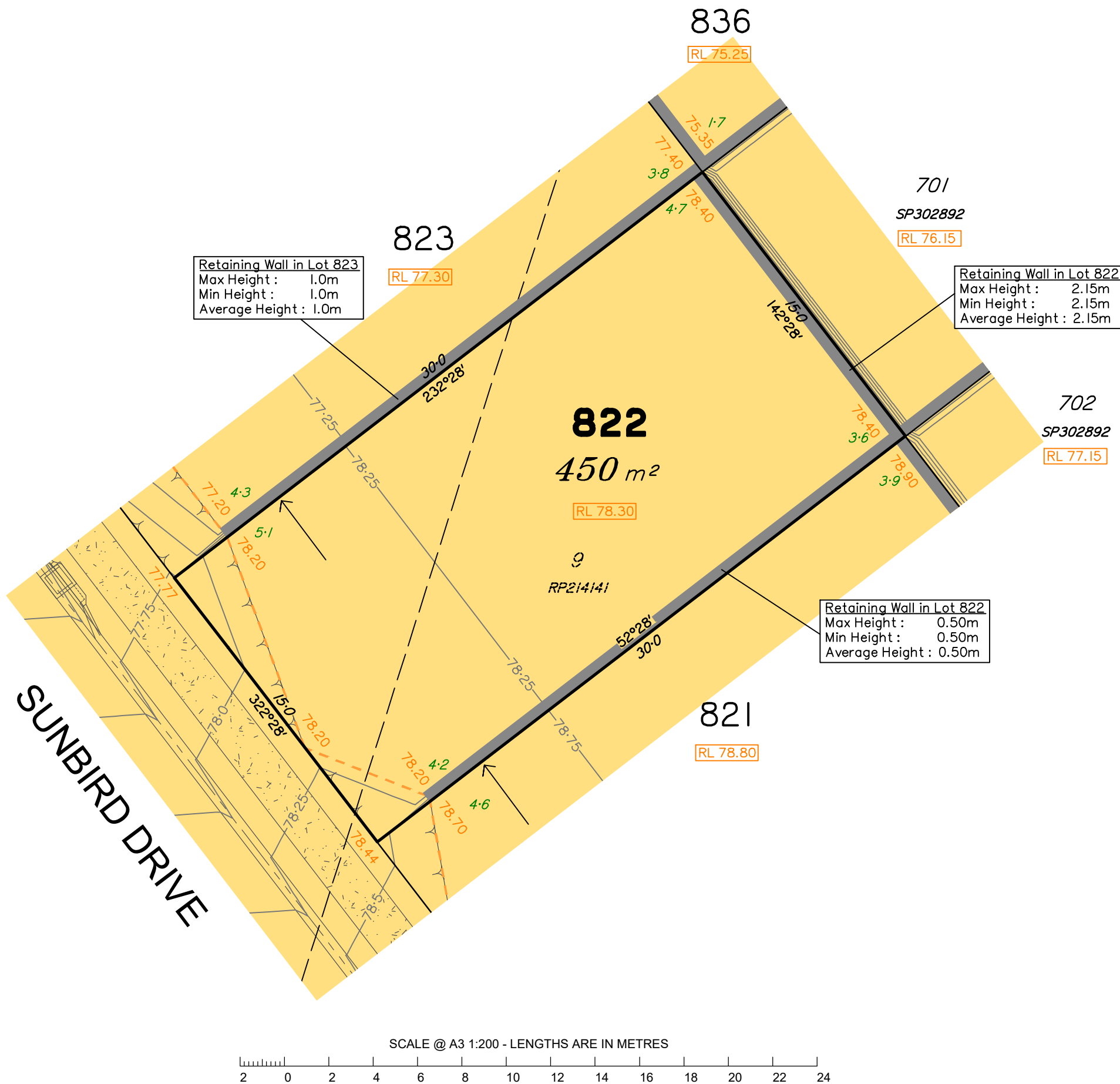
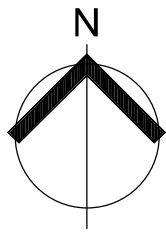
No.	by	Date	Description
A	TBG	11/08/20	Original Issue

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Brisbane Springfield Rockhampton
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com
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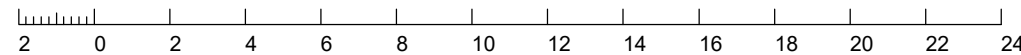
Disclosure Plan for Proposed Lot 821 (Restricted) on SP317663
Described as part of Lot 9001 (Restricted) on SP302892
Existing Title Reference: 51212946
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 02 DP A_821



EDEN'S CROSSING
STAGE 15A

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP317663) and engineering data provided on the 23/07/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 822 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

PEET

No.	by	Date	Description
A	TBG	11/08/20	Original Issue

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■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

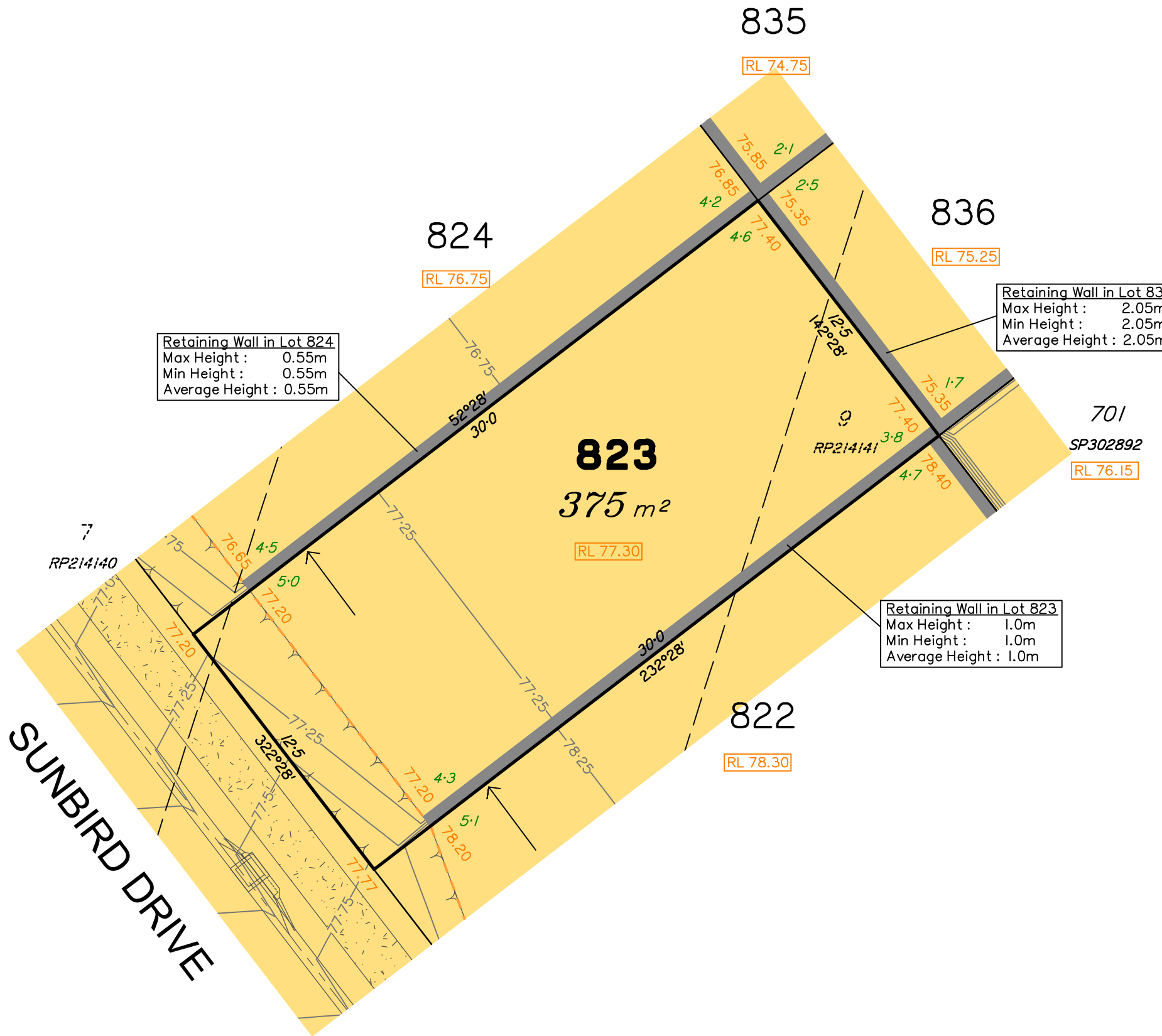
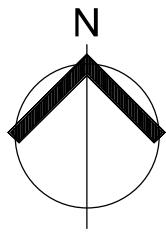
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Disclosure Plan for Proposed Lot 822 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892
Existing Title Reference: 13725046 & 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 02 DP A_822



SUNBIRD DRIVE

Retaining Wall in Lot 824
 Max Height : 0.55m
 Min Height : 0.55m
 Average Height : 0.55m

Retaining Wall in Lot 836
 Max Height : 2.05m
 Min Height : 2.05m
 Average Height : 2.05m

Retaining Wall in Lot 823
 Max Height : 1.0m
 Min Height : 1.0m
 Average Height : 1.0m

LEGEND

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES
 This plan has been prepared from preliminary survey plan (SP317663) and engineering data provided on the 23/07/2020 by KN Group Pty Ltd.

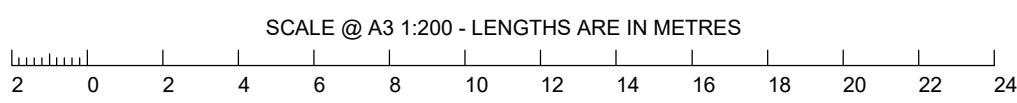
Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 823 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

Part of Lot 823 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

EDEN'S CROSSING
 STAGE 15A



PEET

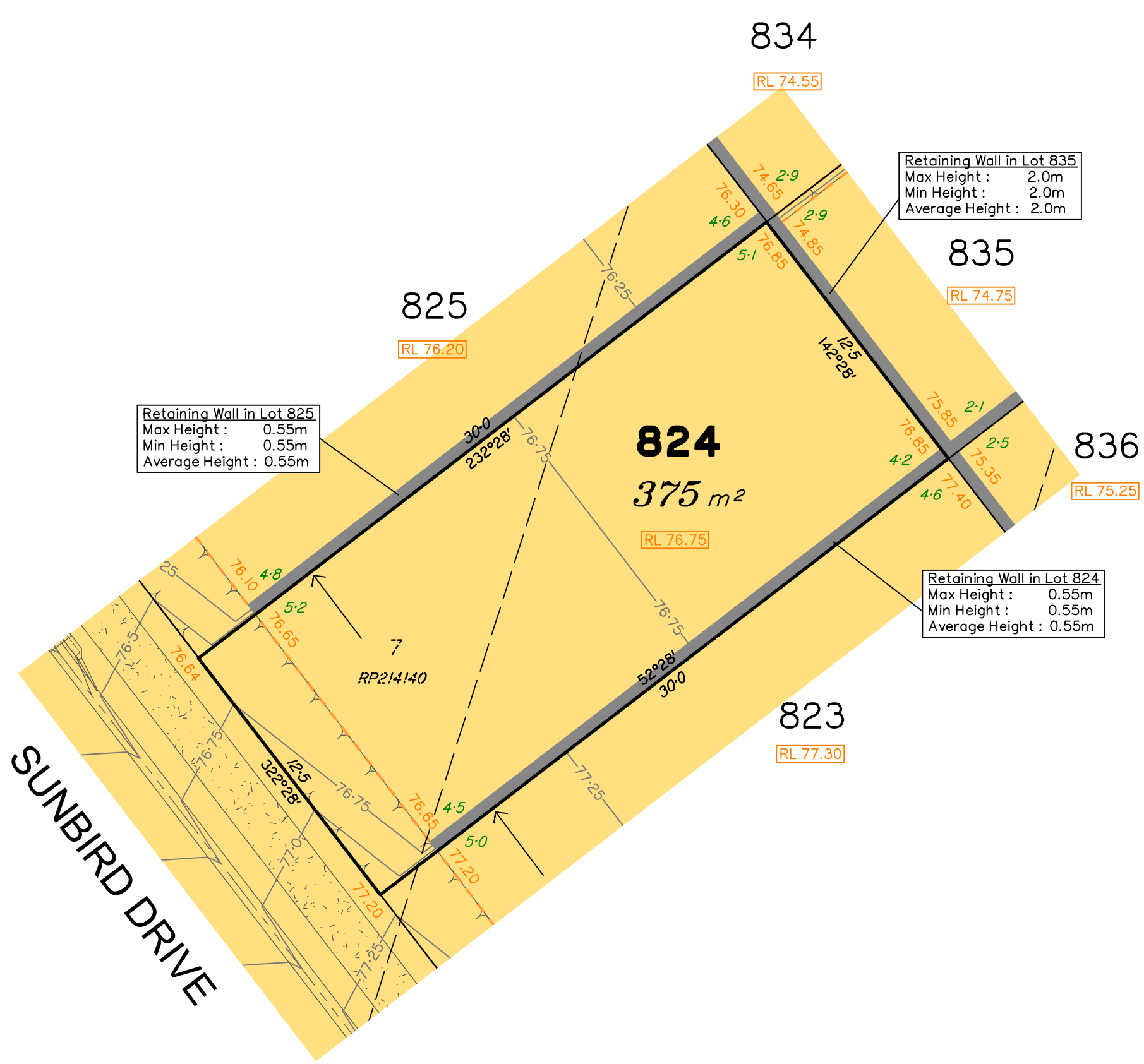
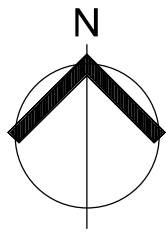
No.	by	Date	Description
A	TBG	11/08/20	Original Issue

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Disclosure Plan for Proposed Lot 823 (Restricted) on SP317663
 Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892
 Existing Title Reference: 13725046 & 51212946
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_823



Retaining Wall in Lot 825
 Max Height : 0.55m
 Min Height : 0.55m
 Average Height : 0.55m

Retaining Wall in Lot 835
 Max Height : 2.0m
 Min Height : 2.0m
 Average Height : 2.0m

Retaining Wall in Lot 824
 Max Height : 0.55m
 Min Height : 0.55m
 Average Height : 0.55m

LEGEND

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

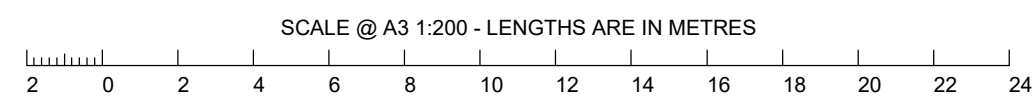
NOTES
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Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 824 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

EDEN'S CROSSING
 STAGE 15A



PEET

No.	by	Date	Description
A	TBG	11/08/20	Original Issue

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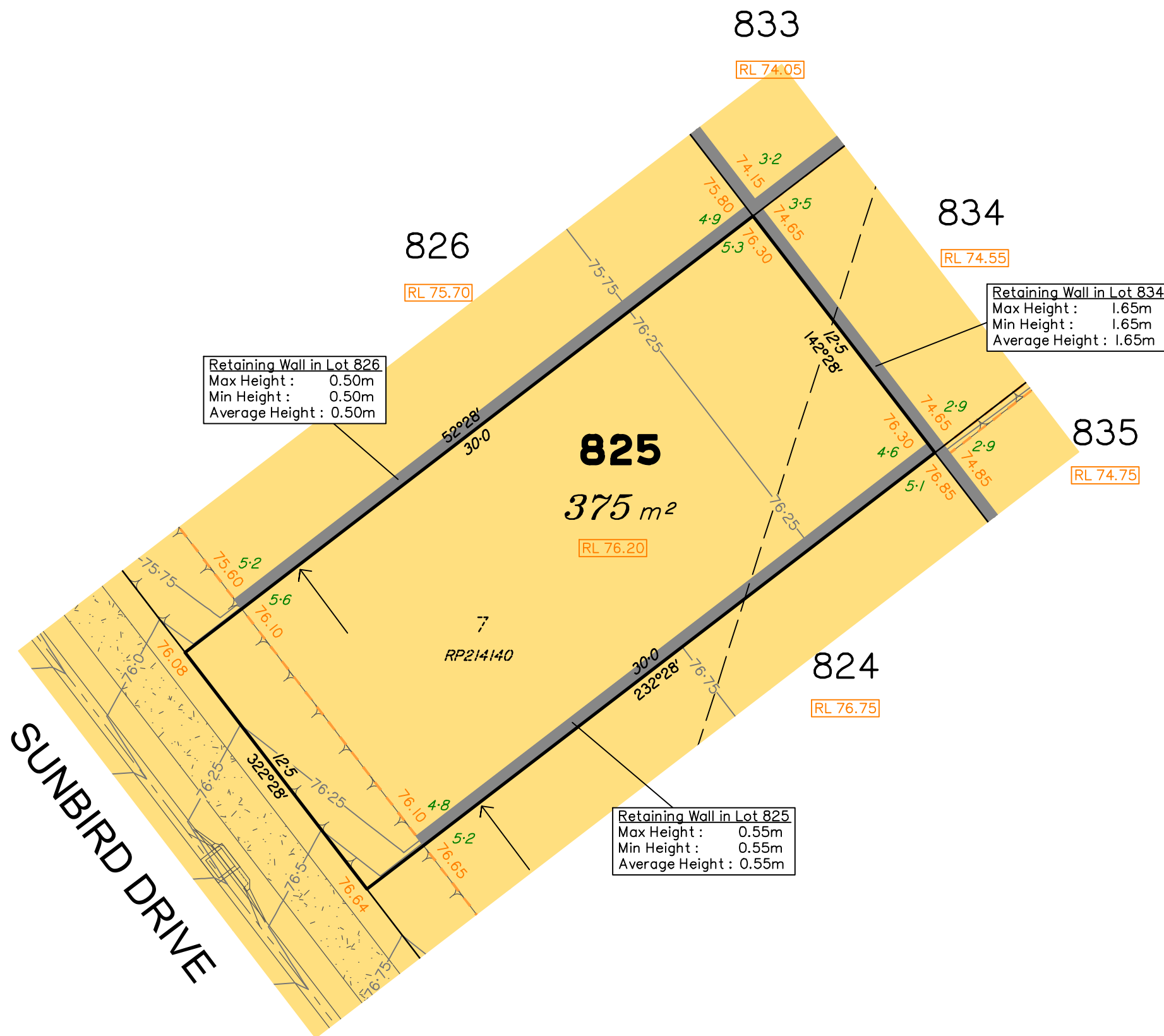
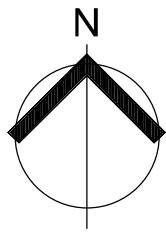
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Disclosure Plan for Proposed Lot 824 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604
 Existing Title Reference: 13725046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_824



Retaining Wall in Lot 826
 Max Height : 0.50m
 Min Height : 0.50m
 Average Height : 0.50m

Retaining Wall in Lot 834
 Max Height : 1.65m
 Min Height : 1.65m
 Average Height : 1.65m

Retaining Wall in Lot 825
 Max Height : 0.55m
 Min Height : 0.55m
 Average Height : 0.55m

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

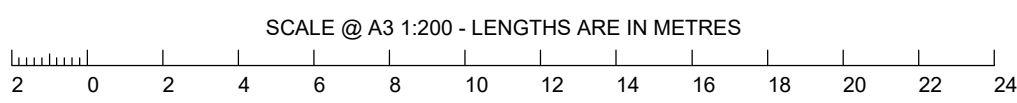
NOTES
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Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

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Part of Lot 825 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

EDEN'S CROSSING
 STAGE 15A



PEET

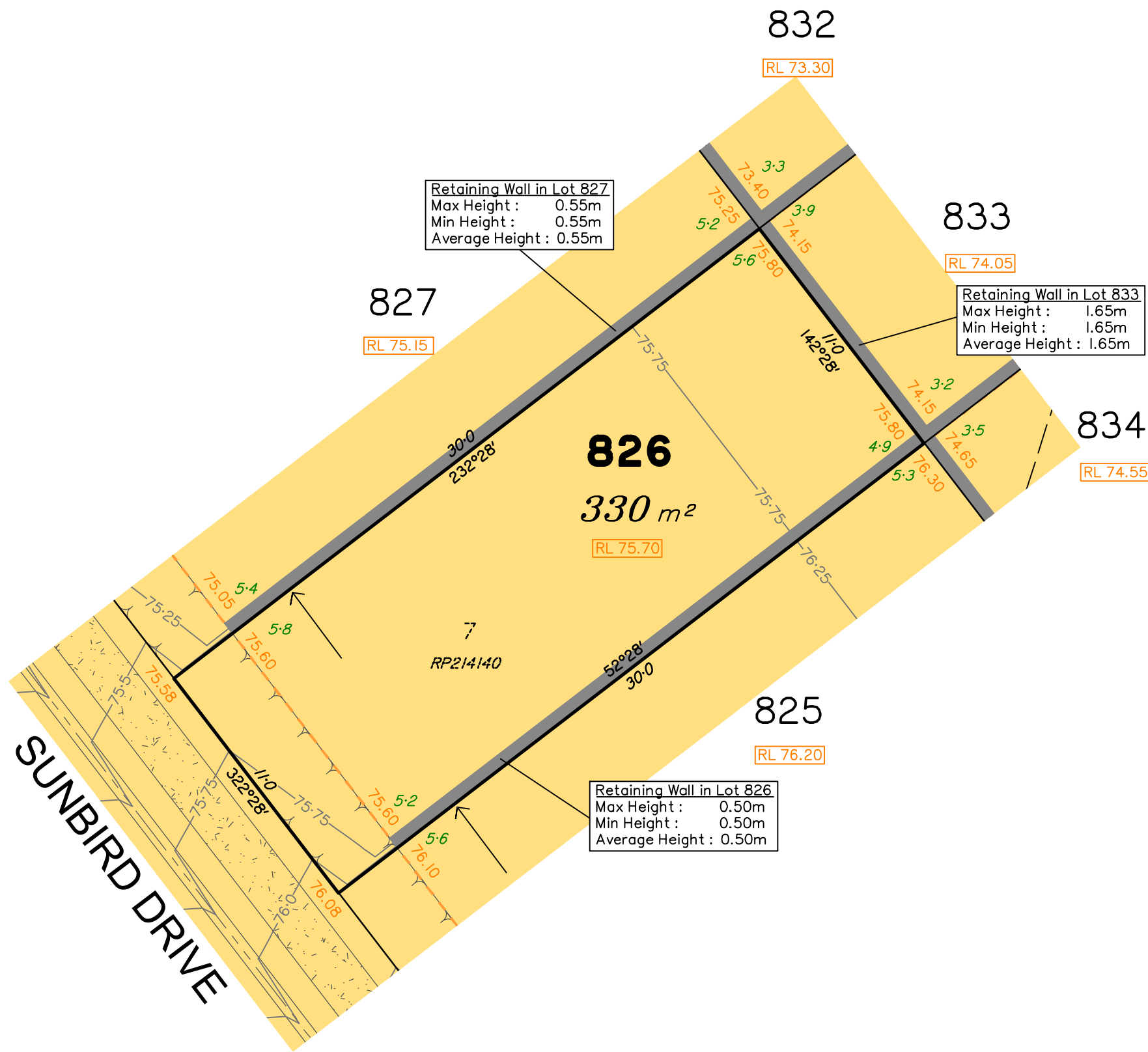
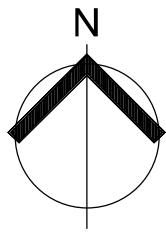
No.	by	Date	Description
A	TBG	11/08/20	Original Issue

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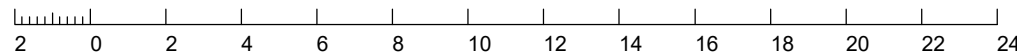
Disclosure Plan for Proposed Lot 825 (Restricted) on SP317663
 Described as part of Lot 89 (Restricted) on SL4604
 Existing Title Reference: 13725046
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_825



EDEN'S CROSSING
STAGE 15A

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

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Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Lot 826 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

Any retaining walls exceeding 1.5m in height may be subject to change from single tier to double tier walls, pending advice / approval from Ipswich City Council.

PEET

No.	by	Date	Description
A	TBG	11/08/20	Original Issue

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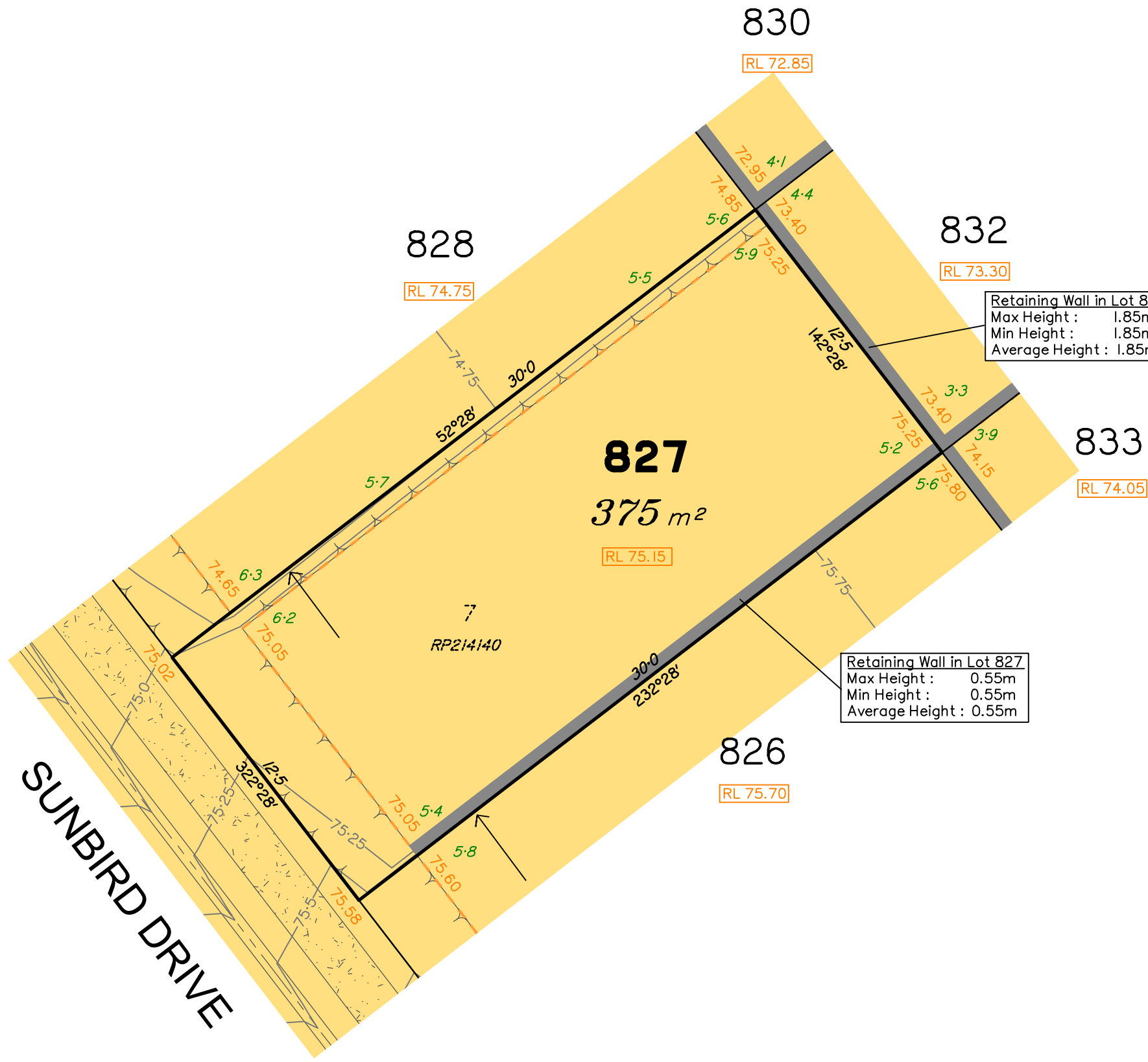
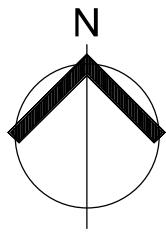
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Disclosure Plan for Proposed Lot 826 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604
Existing Title Reference: 13725046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 02 DP A_826



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES
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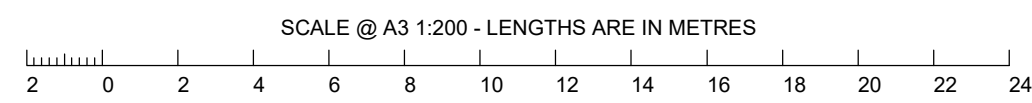
Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

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Lot 827 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

Any retaining walls exceeding 1.5m in height may be subject to change from single tier to double tier walls, pending advice / approval from Ipswich City Council.

EDEN'S CROSSING
 STAGE 15A



PEET

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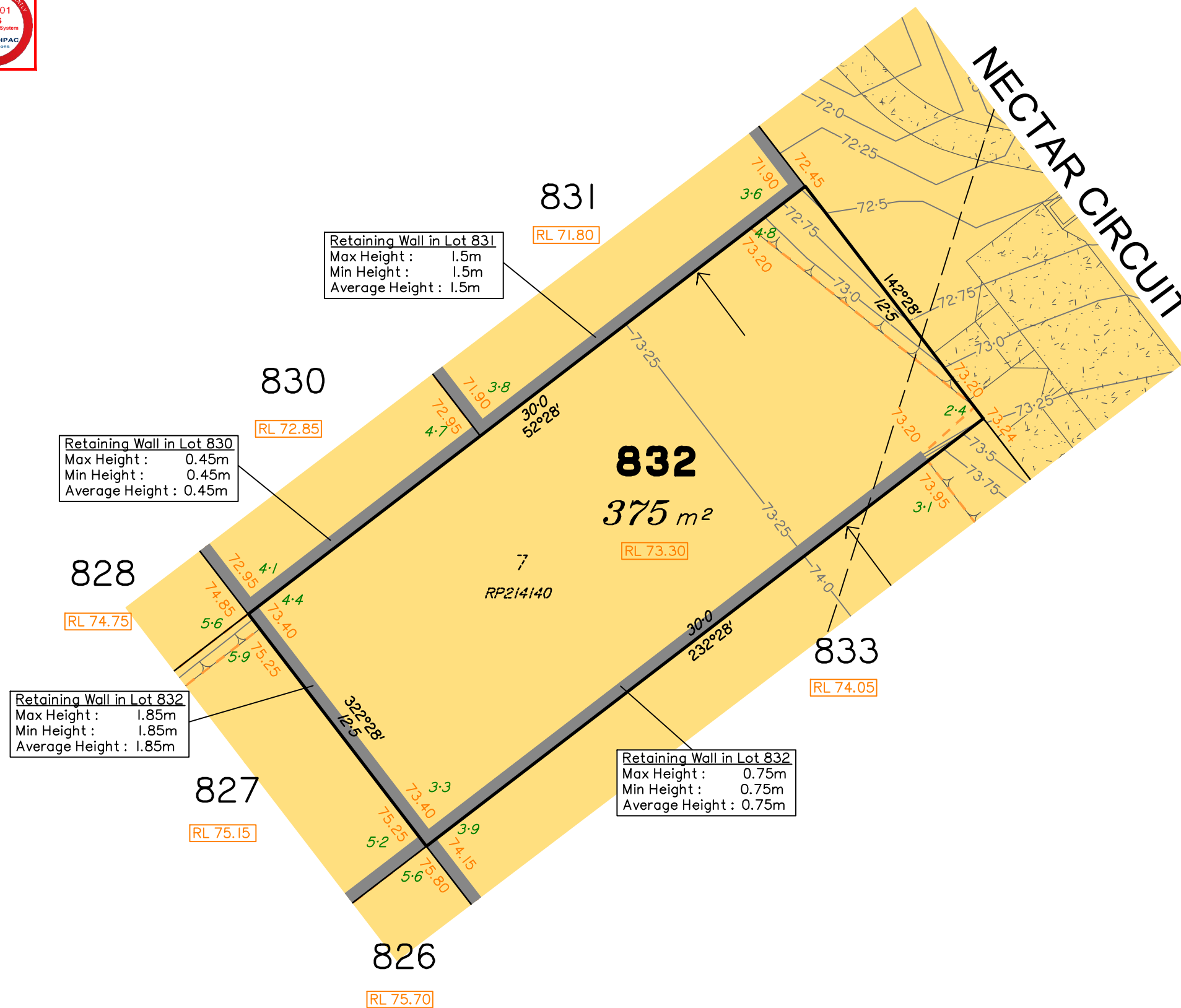
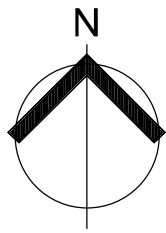
Disclosure Plan for Proposed Lot 827 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604
 Existing Title Reference: 13725046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m

Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_827



LEGEND

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

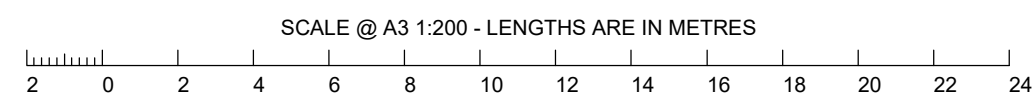
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All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 832 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

EDEN'S CROSSING
 STAGE 15A



PEET

No.	by	Date	Description
A	TBG	11/08/20	Original Issue

saunders havill group
 Saunders Havill Group Pty Ltd ABN 24 144 972 949
 Brisbane • Springfield • Rockhampton
 head office 9 Thompson St Bowen Hills Q 4006
 phone 1300 123 SHG web www.saundershavill.com
 ■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

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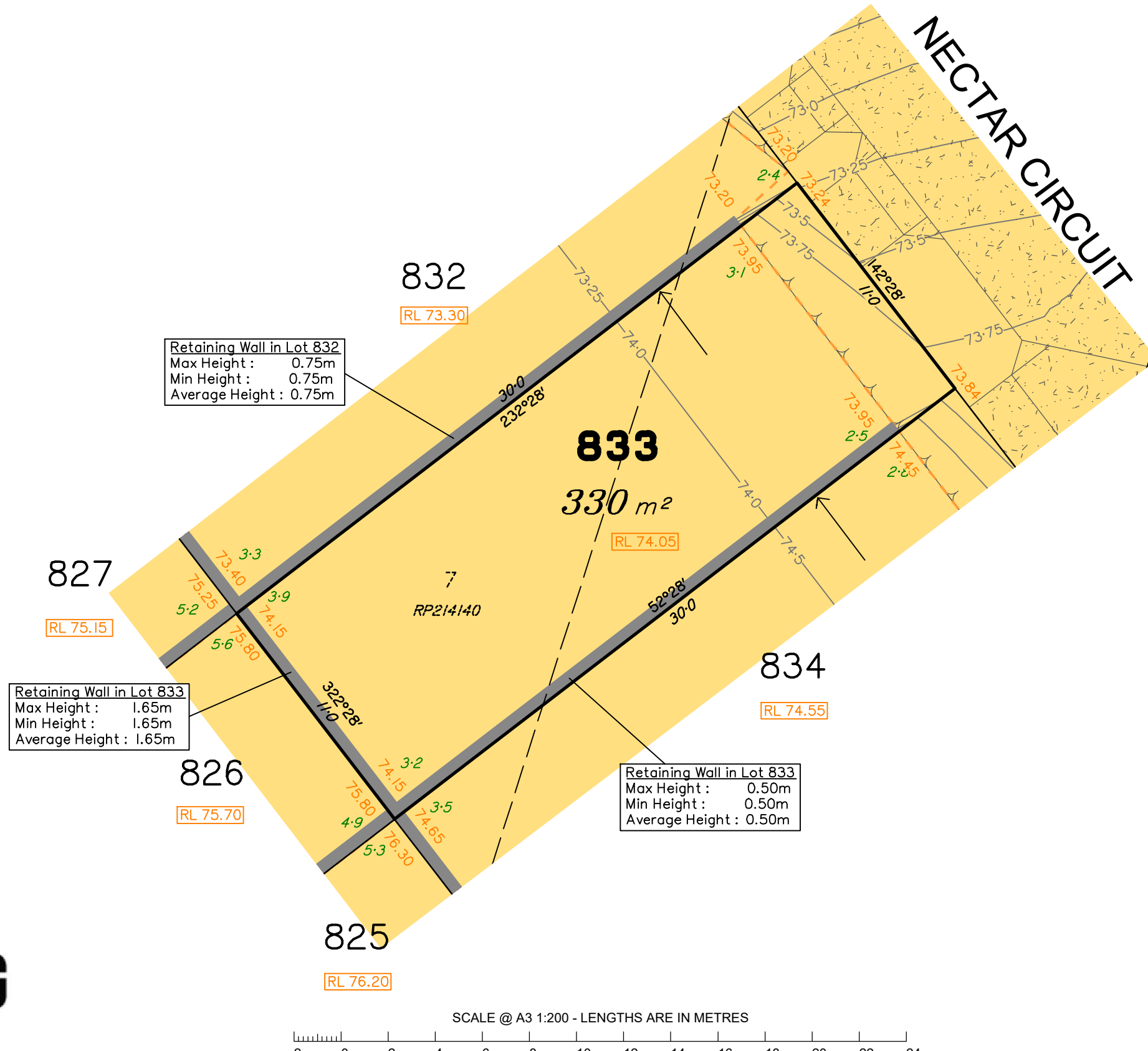
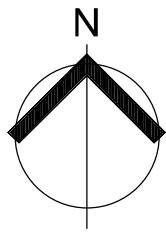
Disclosure Plan for Proposed Lot 832 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604
 Existing Title Reference: 13725046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m

Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_832

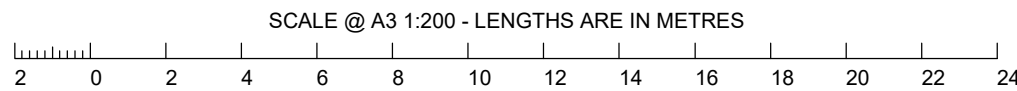


Retaining Wall in Lot 832
 Max Height : 0.75m
 Min Height : 0.75m
 Average Height : 0.75m

Retaining Wall in Lot 833
 Max Height : 1.65m
 Min Height : 1.65m
 Average Height : 1.65m

Retaining Wall in Lot 833
 Max Height : 0.50m
 Min Height : 0.50m
 Average Height : 0.50m

EDEN'S CROSSING
 STAGE 15A



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- 1:23 Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- RL XX.XX Preferred Pad Level
- Retaining Wall
- XX.X Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

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Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 833 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

PEET

No.	by	Date	Description
A	TBG	11/08/20	Original Issue

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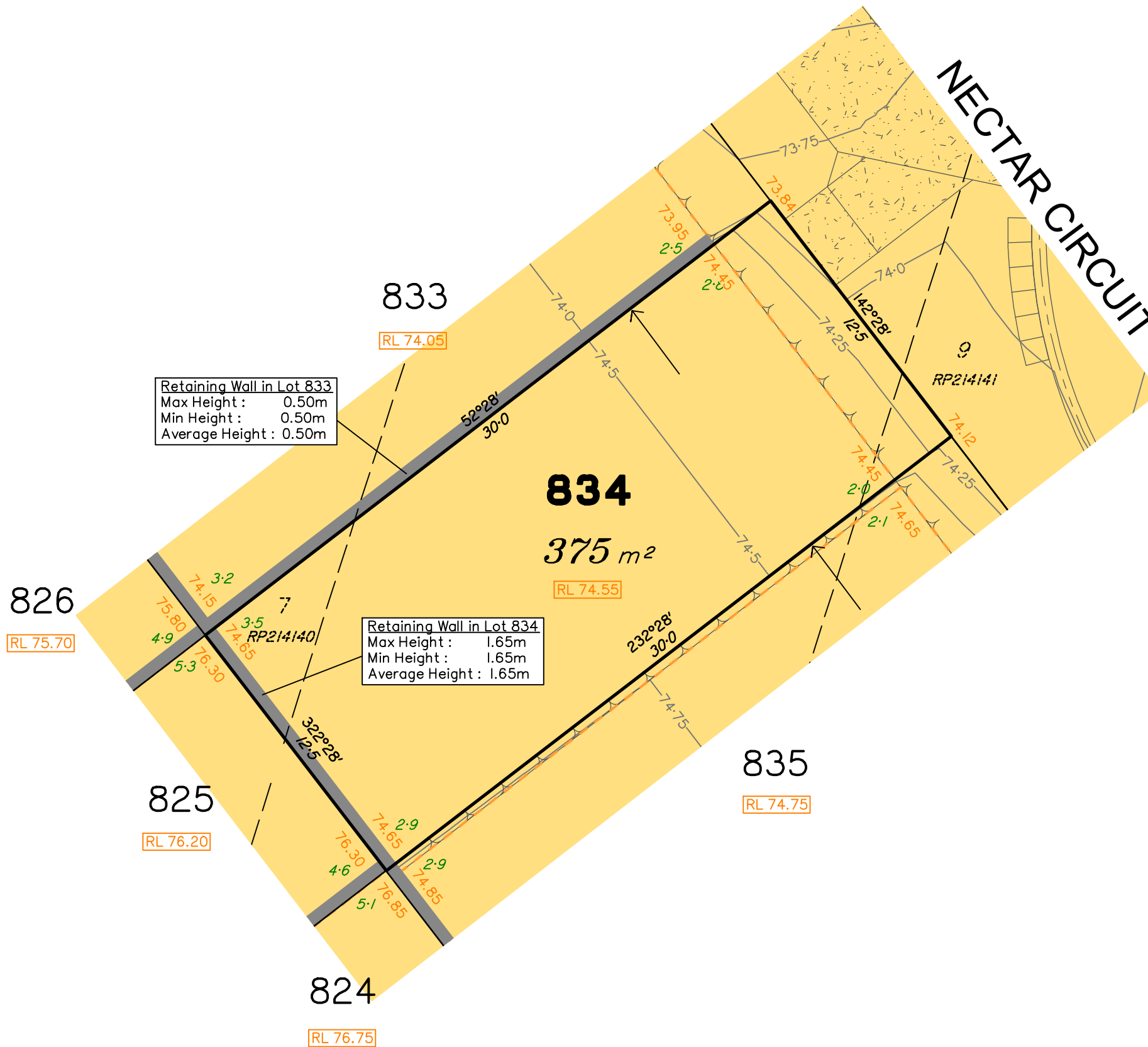
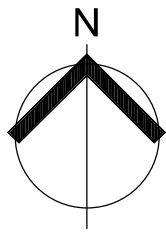
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Disclosure Plan for Proposed Lot 833 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604
 Existing Title Reference: 13725046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_833



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES
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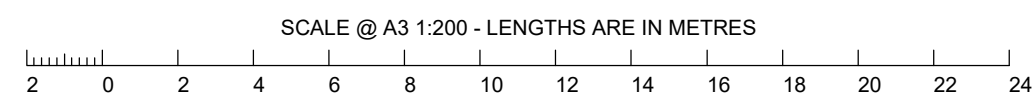
Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 834 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

Part of Lot 834 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

EDEN'S CROSSING
 STAGE 15A



PEET

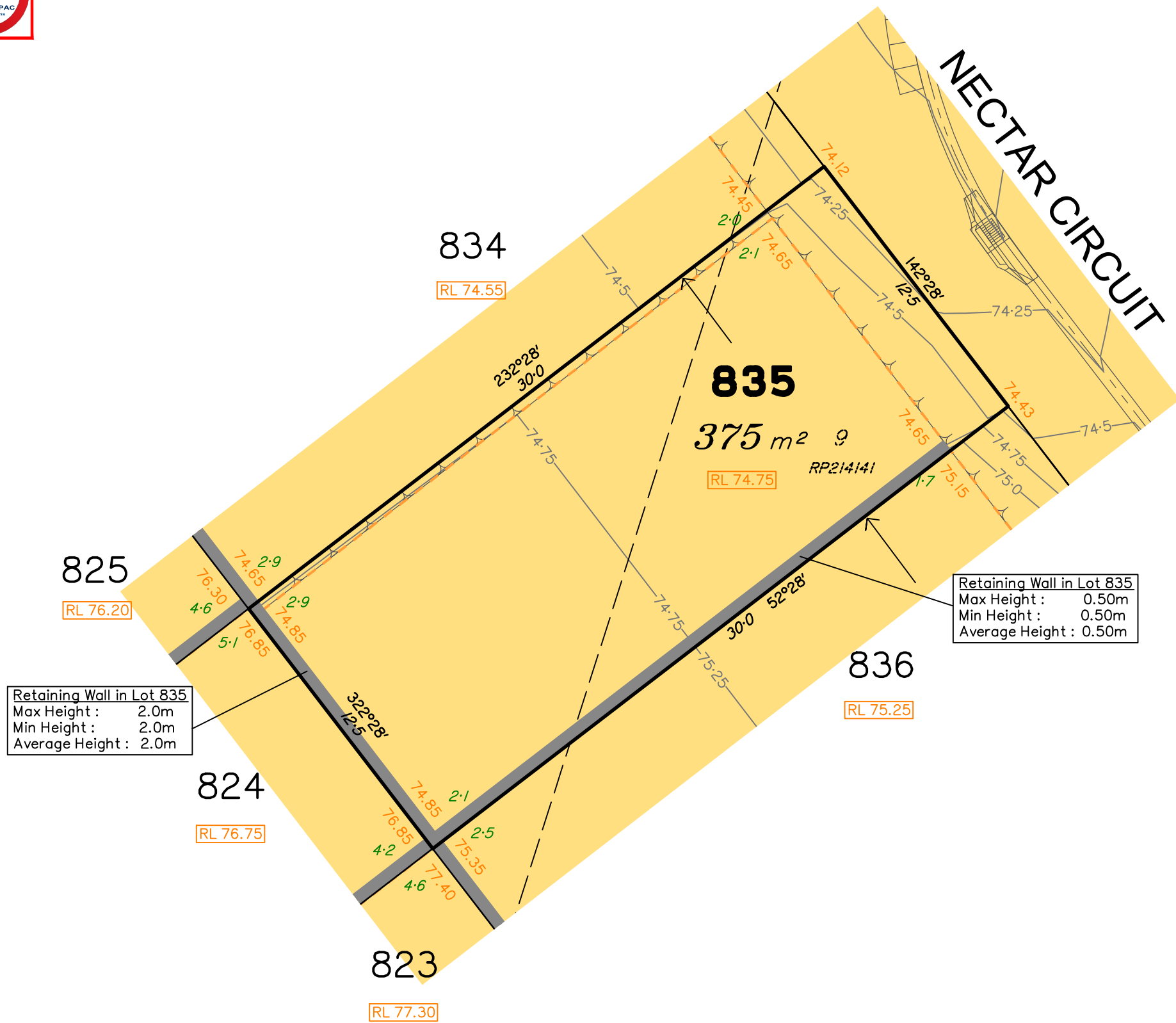
No.	by	Date	Description
A	TBG	11/08/20	Original Issue

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Disclosure Plan for Proposed Lot 834 (Restricted) on SP317663
 Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892
 Existing Title Reference: 13725046 & 51212946
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_834



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- 1:23 Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- RL XX.XX Preferred Pad Level
- Retaining Wall
- XX.X Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

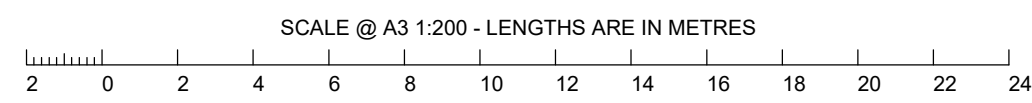
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Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 835 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

EDEN'S CROSSING
 STAGE 15A



PEET

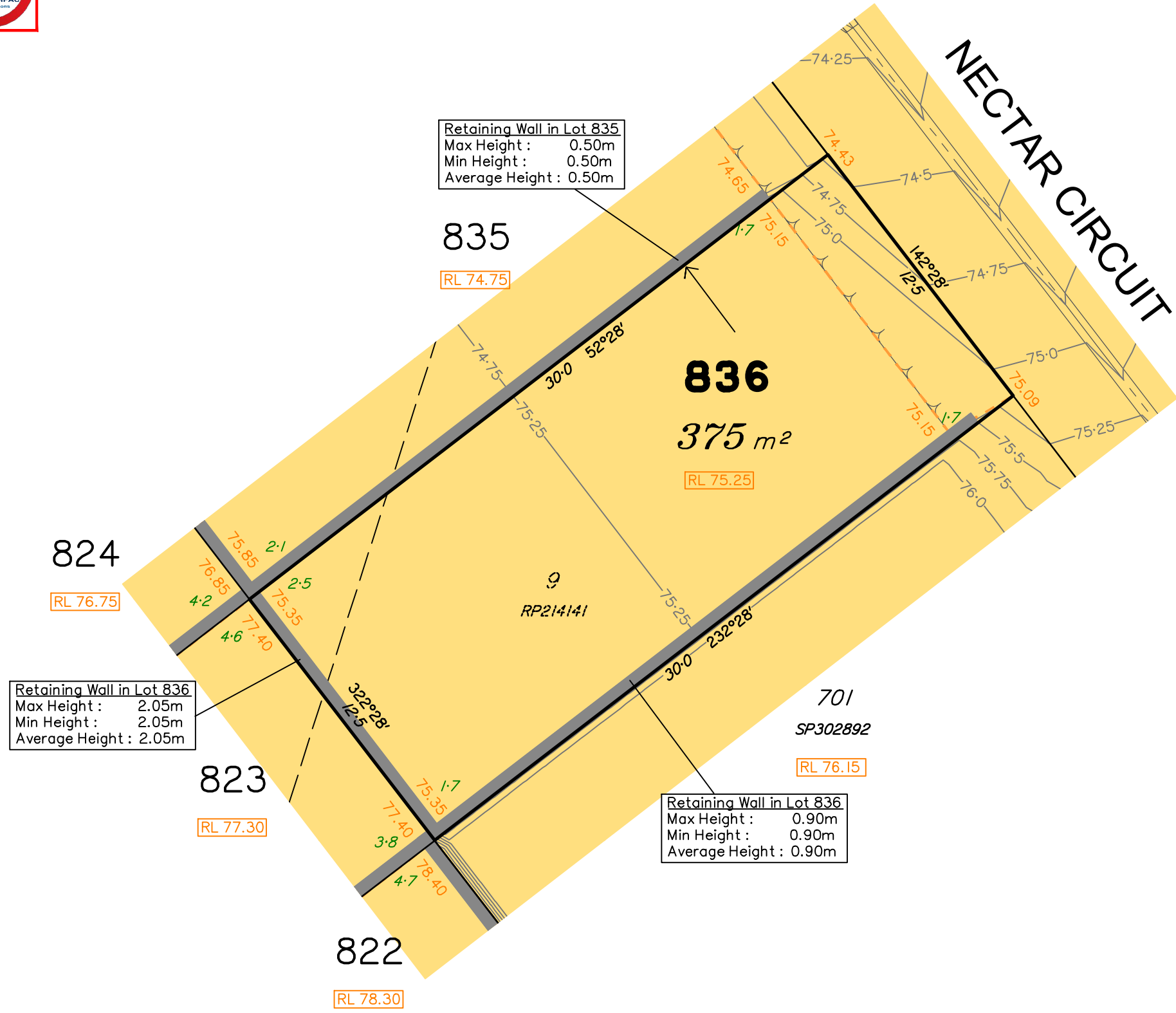
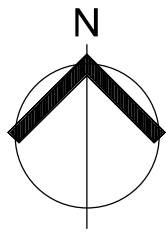
ISSUES	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue
	B	TBG	16/12/20	Corner level at rear of lot corrected

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Disclosure Plan for Proposed Lot 835 (Restricted) on SP317663
 Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892
 Existing Title Reference: 13725046 & 51212946
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP B_835



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- RL XX.XX Preferred Pad Level
- Retaining Wall
- XX.X Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

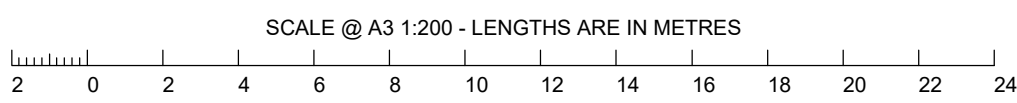
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All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 836 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

EDEN'S CROSSING
 STAGE 15A



PEET

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 Existing Title Reference: 13725046 & 51212946
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203676
 RL of Origin: 74.071
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Plan No. 9112 S 02 DP A_836