

Local Development Plan R-Code Variations

1 OVERVIEW

- 1.1 The requirements of the City of Mandurah Local Planning Scheme No. 12, the Residential Design Codes Volume 1 (R-Codes), and Local Planning Policy No. 1 – Residential Design Codes Policy apply, unless otherwise provided below.
- 1.2 The following standards represent variations to the deemed-to-comply provisions of the R-Codes and constitute new deemed-to-comply provisions pursuant to the R-Codes, or are deemed to meet the relevant design principles of the R-Codes.

2 SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

- 2.1 Where variations to the provisions of the LDP and R-Codes are sought, an approval through a Codes Variation Application will be required.
- 2.2 The requirements to consult with adjoining or other landowners to achieve a variation to the R-Codes described in this LDP are not required where the design complies with the following criteria.
- 2.3 The erection or extension of a single house on a lot contained within this LDP, which satisfies the requirements of the Residential Design Codes and this LDP, is exempt from the requirement to obtain development approval.

3 STREETScape AND SETBACK REQUIREMENTS

R-MD 30 (Lots 894-913, 921-927, 973-982, and 984-985)

Criteria	Location	Minimum	Requirements
Primary Street Setback	All lots	As per RMD Codes	<ul style="list-style-type: none"> This is an absolute minimum.
Garage Setback	All lots	As per RMD Codes	<ul style="list-style-type: none"> 14% maximum driveway grade permitted. Garage setback or finished floor level shall be adjusted accordingly.

R-MD 25 (Lots 668-669, 888-893, 928-929, 940-946, 962-972, and 983)

Criteria	Location	Minimum	Requirements
Primary Street Setback	All lots	As per RMD Codes	<ul style="list-style-type: none"> This is an absolute minimum.
Garage Setback	All lots	As per RMD Codes	<ul style="list-style-type: none"> 14% maximum driveway grade permitted. Garage setback or finished floor level shall be adjusted accordingly.

- 3.1 For Lots 669, 946, 929, 926, 905, 903, 974, 972, 964, 962, and 892:
 - a) the major entry and primary façade of the dwelling shall be oriented as depicted on the LDP; and
 - b) dwellings shall have at least one habitable room that has a major opening with a clear view of the Secondary Street frontage and must not be obscured by visually impermeable fencing.

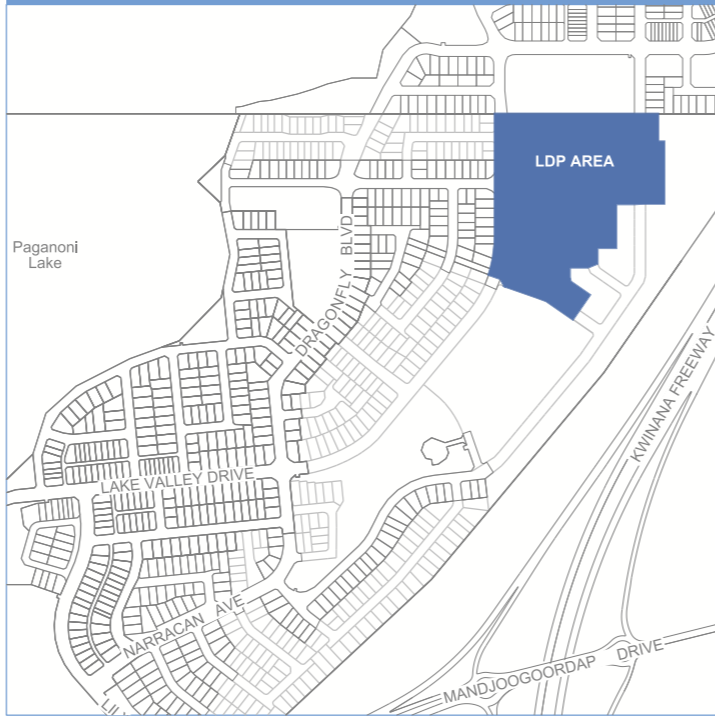
4 INCIDENTAL DEVELOPMENT REQUIREMENTS

- 4.1 Where outbuildings are proposed, they must be designed and constructed from materials to match or compliment the dwelling when visible from the public realm.
- 4.2 The Buyer in consultation with their builder to accommodate drainage onsite for each dwelling as per BCA standards.

5 ADVICE NOTE

- 5.1 Due to as-constructed finished lot levels, some lots may not be able to achieve the minimum setback allowances as detailed in the table above, without modification to the lot and/or site-specific house design.

Location Plan



Legend

- Extent of Local Development Plan
- RMD25 Subject Lots
- RMD30 Subject Lots
- Preferred Garage Location
- Retaining Wall
- No Vehicle Access Permitted
- Primary Building Facade Orientation



Local Development Plan - Stage 73

LAKELANDS, MANDURAH

A Peet Mandurah Syndicate Limited Project

Endorsement Table:
This Local Development Plan is endorsed by the City of Mandurah.

Coordinator, Statutory Planning:

Date: 6 June 2025

scale:
1:1500@A3 | 1:750@A1



plan:
08/017/155A

date:
09/05/2025

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APPROVED