

Local Development Plan R-Code Variations

1 OVERVIEW

- 1.1 The requirements of the City of Mandurah Local Planning Scheme No. 12, the Residential Design Codes Volume 1 (R-Codes), and Local Planning Policy No. 1 – Residential Design Codes Policy apply, unless otherwise provided below.
- 1.2 The following standards represent variations to the deemed-to-comply provisions of the R-Codes and constitute new deemed-to-comply provisions pursuant to the R-Codes, or are deemed to meet the relevant design principles of the R-Codes.

2 SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

- 2.1 Where variations to the provisions of the LDP and R-Codes are sought, an approval through a Codes Variation Application will be required.
- 2.2 The requirements to consult with adjoining or other landowners to achieve a variation to the R-Codes described in this LDP are not required where the design complies with the following criteria.
- 2.3 The erection or extension of a single house on a lot contained within this LDP, which satisfies the requirements of the Residential Design Codes and this LDP, is exempt from the requirement to obtain development approval.

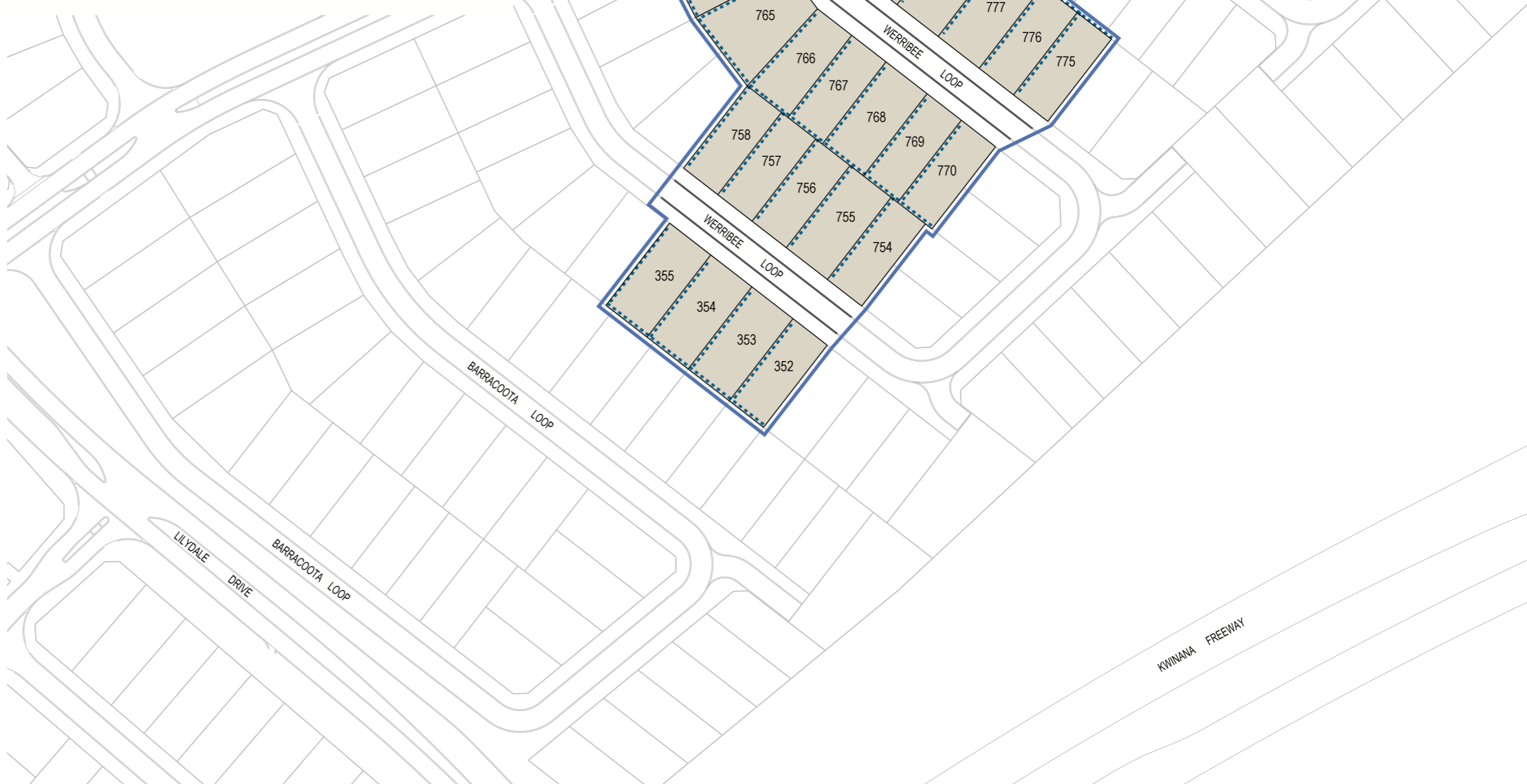
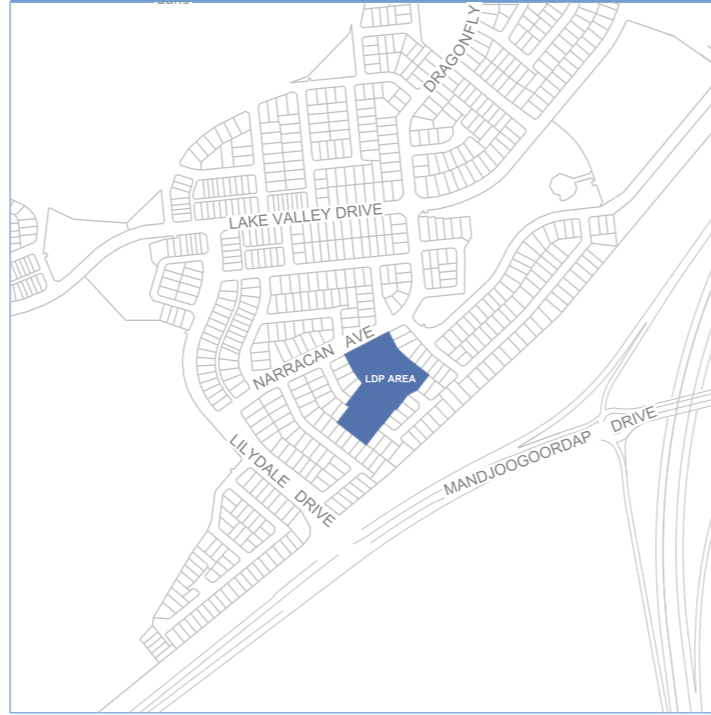
3 STREETScape AND SETBACK REQUIREMENTS

R-MD 25 (Lots 352-355, 754-758, 763-770, 775-781)

Criteria	Location	Minimum	Requirements
Primary Street Setback	All lots	As per RMD Codes	<ul style="list-style-type: none"> This is an absolute minimum.
Garage Setback	All lots	As per RMD Codes	<ul style="list-style-type: none"> 14% maximum driveway grade permitted. Garage setback or finished floor level shall be adjusted accordingly.

- 3.1 For Lots 763 & 781:
- the major entry and primary façade of the dwelling shall be oriented as depicted on the LDP; and
 - dwellings shall have at least one habitable room that has a major opening with a clear view of the Secondary Street frontage and must not be obscured by visually impermeable fencing.
- 3.2 Where visually permeable estate fencing is supplied by the Developer and is deemed necessary, the fence shall not be altered or be obscured.
- ### 4 INCIDENTAL DEVELOPMENT REQUIREMENTS
- 4.1 Where outbuildings are proposed, they must be designed and constructed from materials to match or compliment the dwelling when visible from the public realm.
- 4.2 The Buyer in consultation with their builder to accommodate drainage onsite for each dwelling as per BCA standards.
- ### 5 ADVICE NOTE
- 5.1 Due to as-constructed finished lot levels, some lots may not be able to achieve the minimum setback allowances as detailed in the table above, without modification to the lot and or site-specific house design.

Location Plan



Legend

- Extent of Local Development Plan
- Retaining Wall
- RMD25 Subject Lots
- No Vehicle Access Permitted
- Preferred Garage Location
- Primary Building Facade Orientation

Local Development Plan - Stage 70

LAKELANDS, MANDURAH

A Peet Mandurah Syndicate Limited Project

Endorsement Table:
This Local Development Plan is endorsed by the City of Mandurah.
Coordinator, Statutory Planning: _____
Date: _____

scale:
1:1500@A3 | 1:750@A1

plan:
08/017/156
date:
21/05/2025

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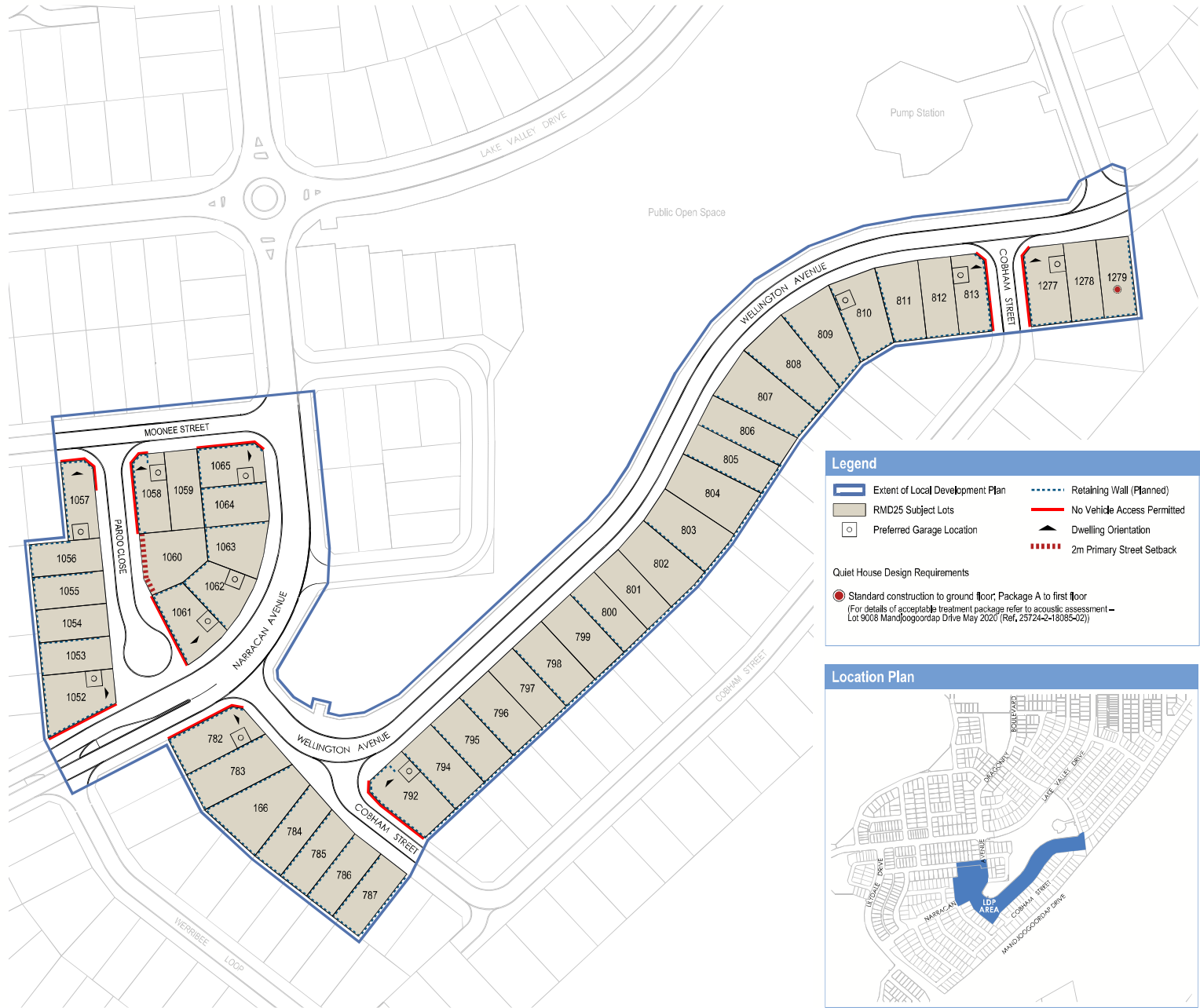
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3 STREETScape AND SETBACK REQUIREMENTS

R-MD 25 Lots			
Criteria	Location	Minimum	Requirements
Primary Street setback	Lot 1060	2.0m	<ul style="list-style-type: none"> This is an absolute minimum.
	All Remaining Lots	As per RMD Codes	
Garage	All lots	As per RMD Codes	<ul style="list-style-type: none"> 14% maximum driveway grade permitted.
			<ul style="list-style-type: none"> Garage setback or finished floor level shall be adjusted accordingly.

- 3.1 For all corner Lots (782, 792, 813, 1052, 1057, 1058, 1061, 1065 and 1277), the major entry and primary facade of the dwelling shall be oriented as depicted on the LDP.
 - 3.2 For all corner lots (782, 792, 813, 1052, 1057, 1058, 1061, 1065 and 1277), dwellings shall have at least one habitable room that has a major opening with a clear view of the Secondary Street frontage and must not be obscured by visually impermeable fencing.
 - 3.3 Where visually permeable fencing is supplied by the Developer and is deemed necessary, the fence shall not be altered or be obscured.
- ### 4 INCIDENTAL DEVELOPMENT REQUIREMENTS
- 4.1 Where outbuildings are proposed, they must be designed and constructed from materials to match or compliment the dwelling when visible from the public realm.
 - 4.2 The Buyer in consultation with their builder to accommodate drainage onsite for each dwelling as per BCA standards.
- ### 5 ADVICE NOTE
- 5.1 Due to as-constructed finished lot levels, some lots may not be able to achieve the minimum setback allowances as detailed in the table above, without modification to the lot and or site-specific house design.



Legend

- Extent of Local Development Plan
- Retaining Wall (Planned)
- RMD25 Subject Lots
- No Vehicle Access Permitted
- Preferred Garage Location
- ▲ Dwelling Orientation
- 2m Primary Street Setback

Quiet House Design Requirements

- Standard construction to ground floor; Package A to first floor
(For details of acceptable treatment package refer to acoustic assessment – Lot 9008 Mandjooogorap Drive May 2020 (Ref. 25724-2-18085-02))



Local Development Plan - Stages 70 and 77
LAKELANDS, MANDURAH

A Peet Mandurah Syndicate Limited Project

CITY OF MANDURAH
Local Development Plan Ref: 136
Approved: 22 July 2024

Endorsement Table:
This Local Development Plan is endorsed by the City of Mandurah.
Manager of Planning and Land Services: *[Signature]*
Date: **22 July 2024**

scale:
1:1500@A3 | 1:750@A1
0 15 30m

plan:
08/07/135C
date:
20/06/2024

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