

DISCLOSURE PLAN

For Proposed Lot 394
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SW Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW Roofwater/Roofwater Pit
- Kerb Adapter
- Water/Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

- This note is an integral part of this plan.
- Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
- Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

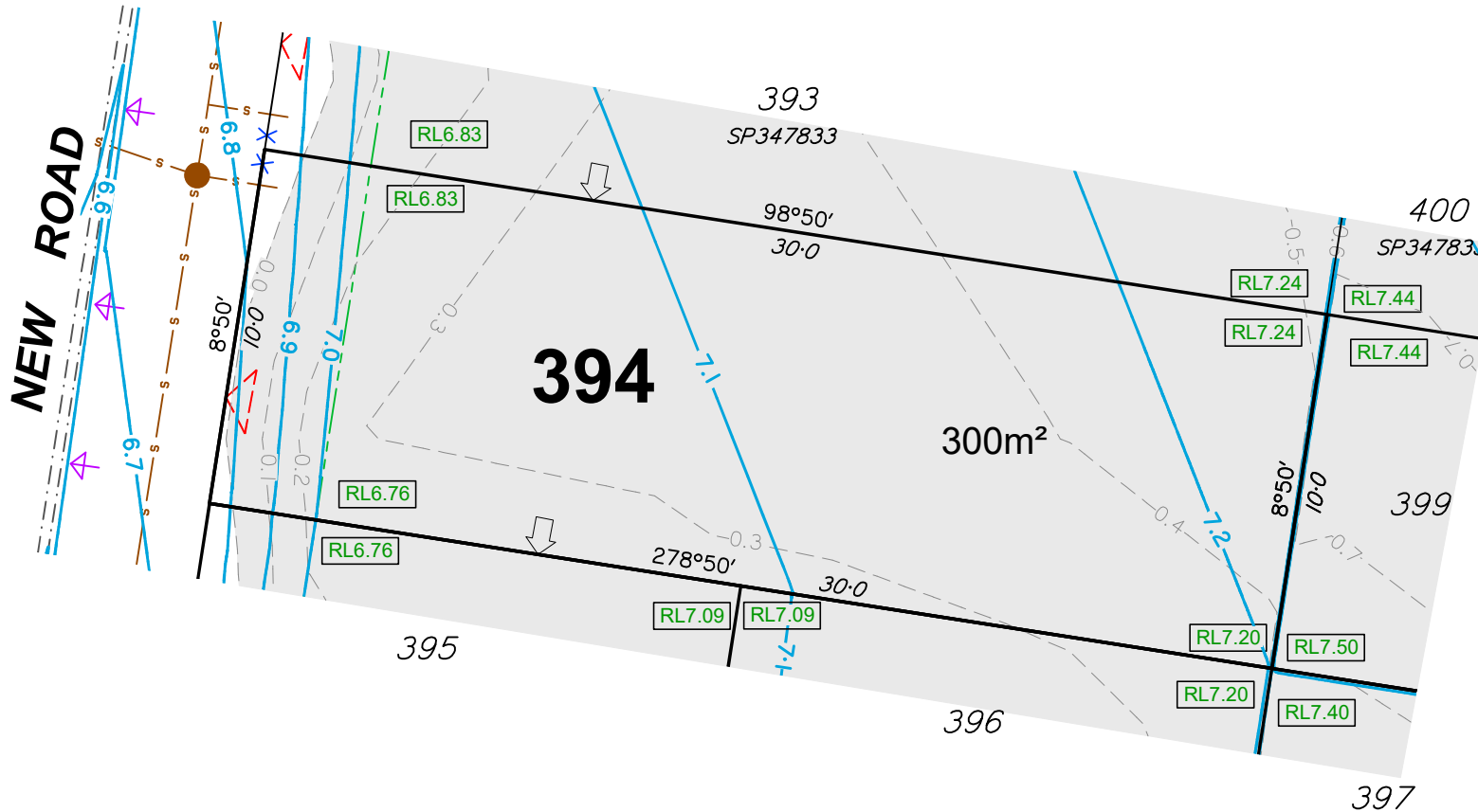
village
GREEN

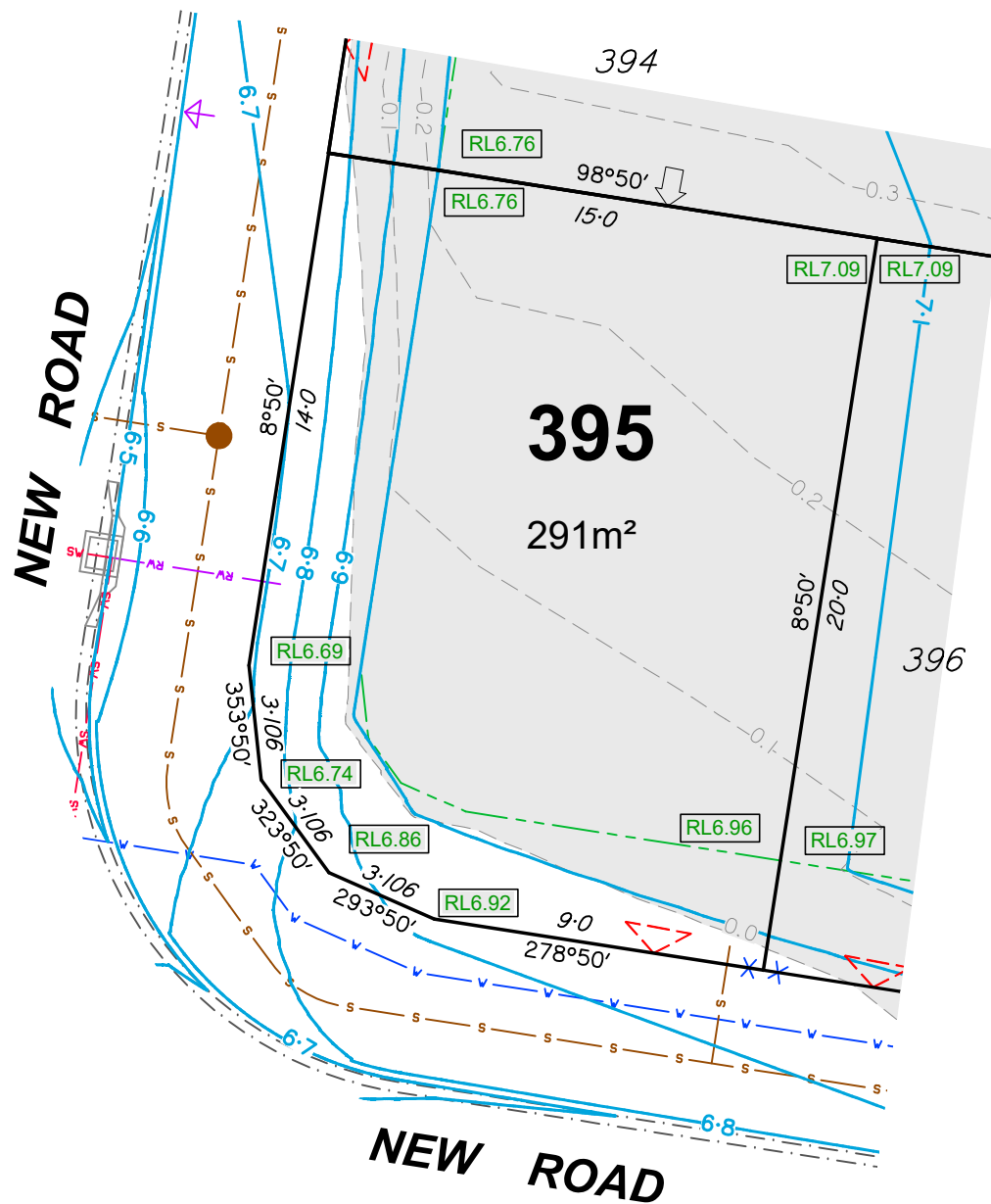
therefor
GROUP

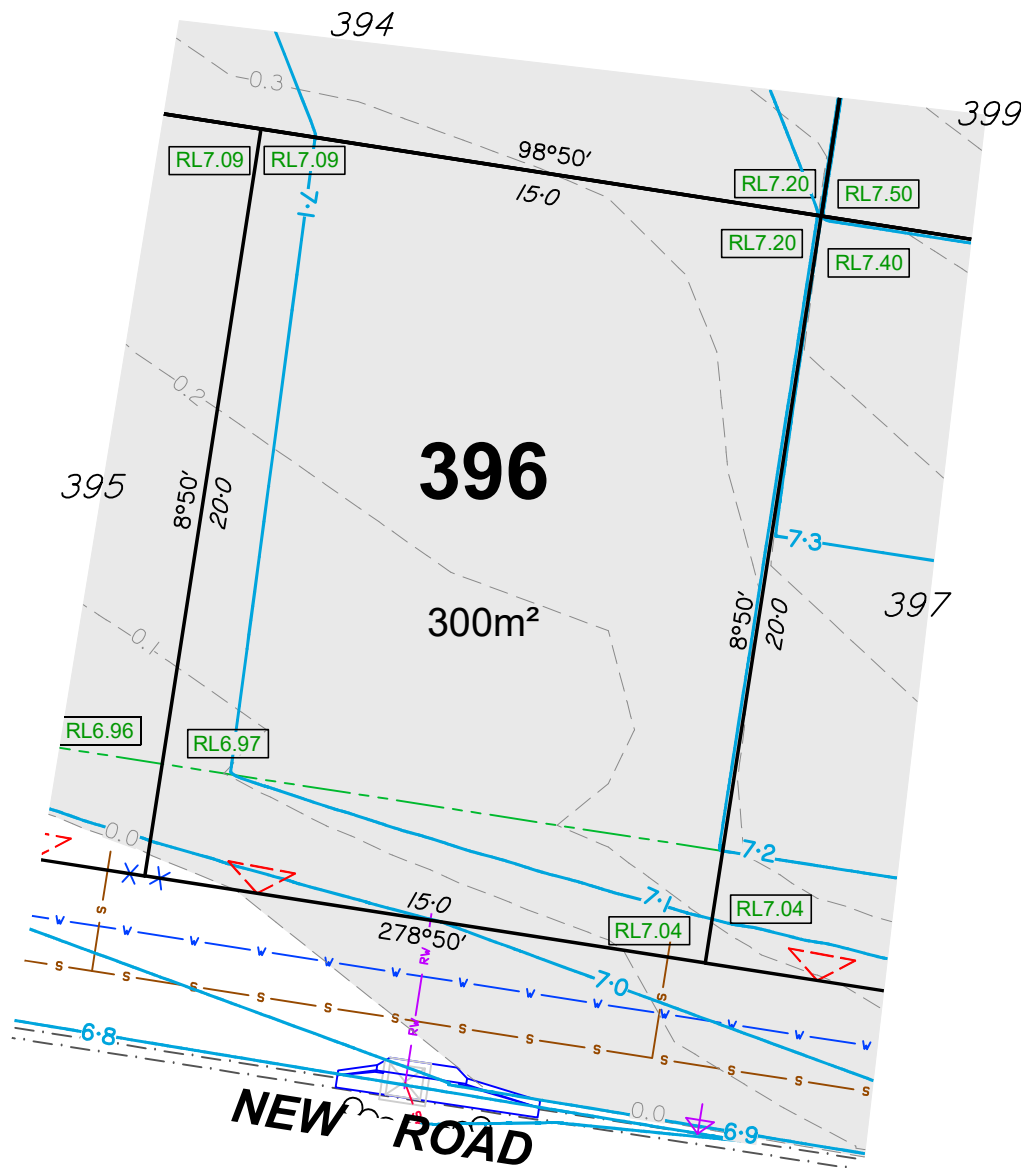
Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-394 VERSION A







DISCLOSURE PLAN

For Proposed Lot 396
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SW Stormwater/Stormwater Manhole
- RW Roofwater/Roofwater Pit
- Kerb Adapter
- Water/Water Meter
- Area to be Filled
- Design Pad Level
- Retaining Wall
- Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village
GREEN

therefor
GROUP

Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-396 VERSION A

DISCLOSURE PLAN

For Proposed Lot 397
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SW Stormwater/Stormwater Manhole
- RW Roofwater/Roofwater Pit
- Kerb Adapter
- Water/Water Meter
- Area to be Filled
- RL7.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

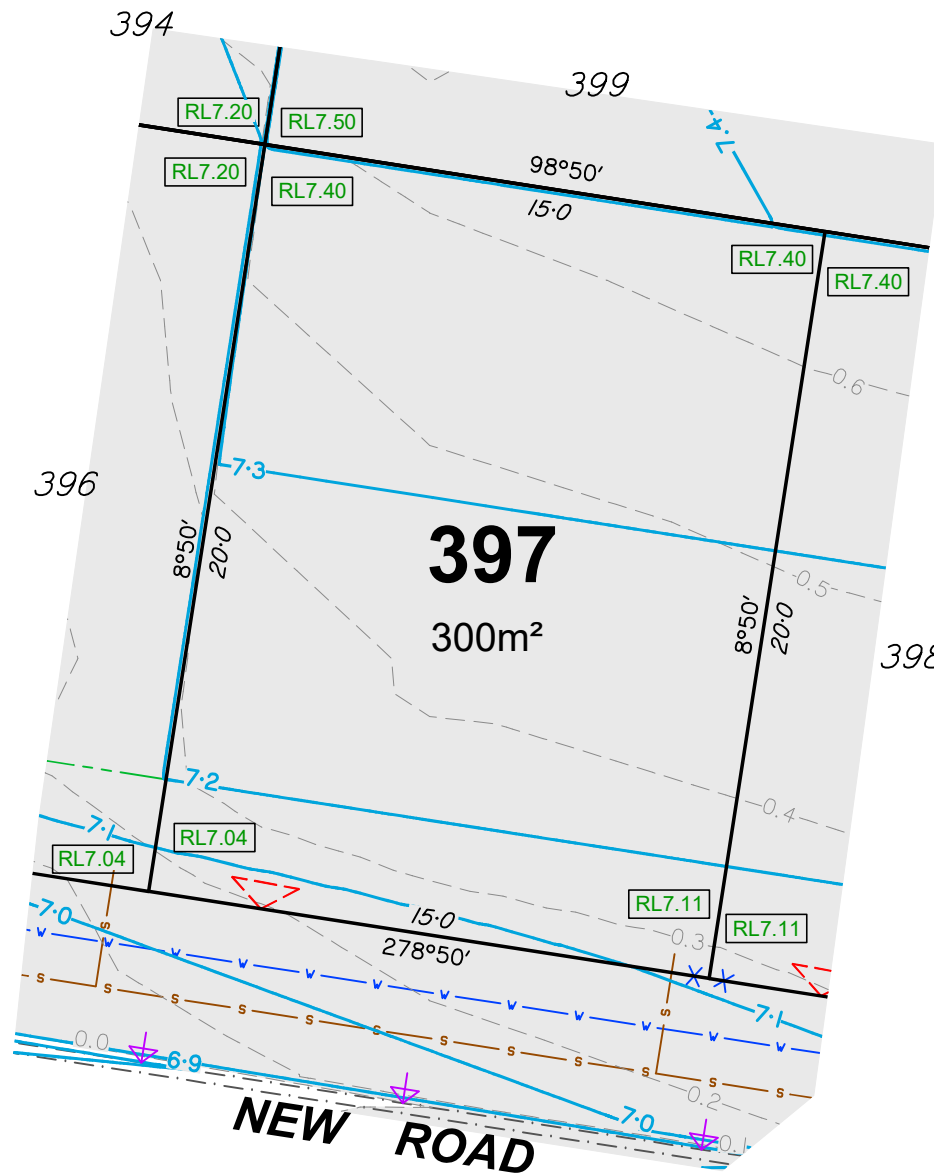
village
GREEN

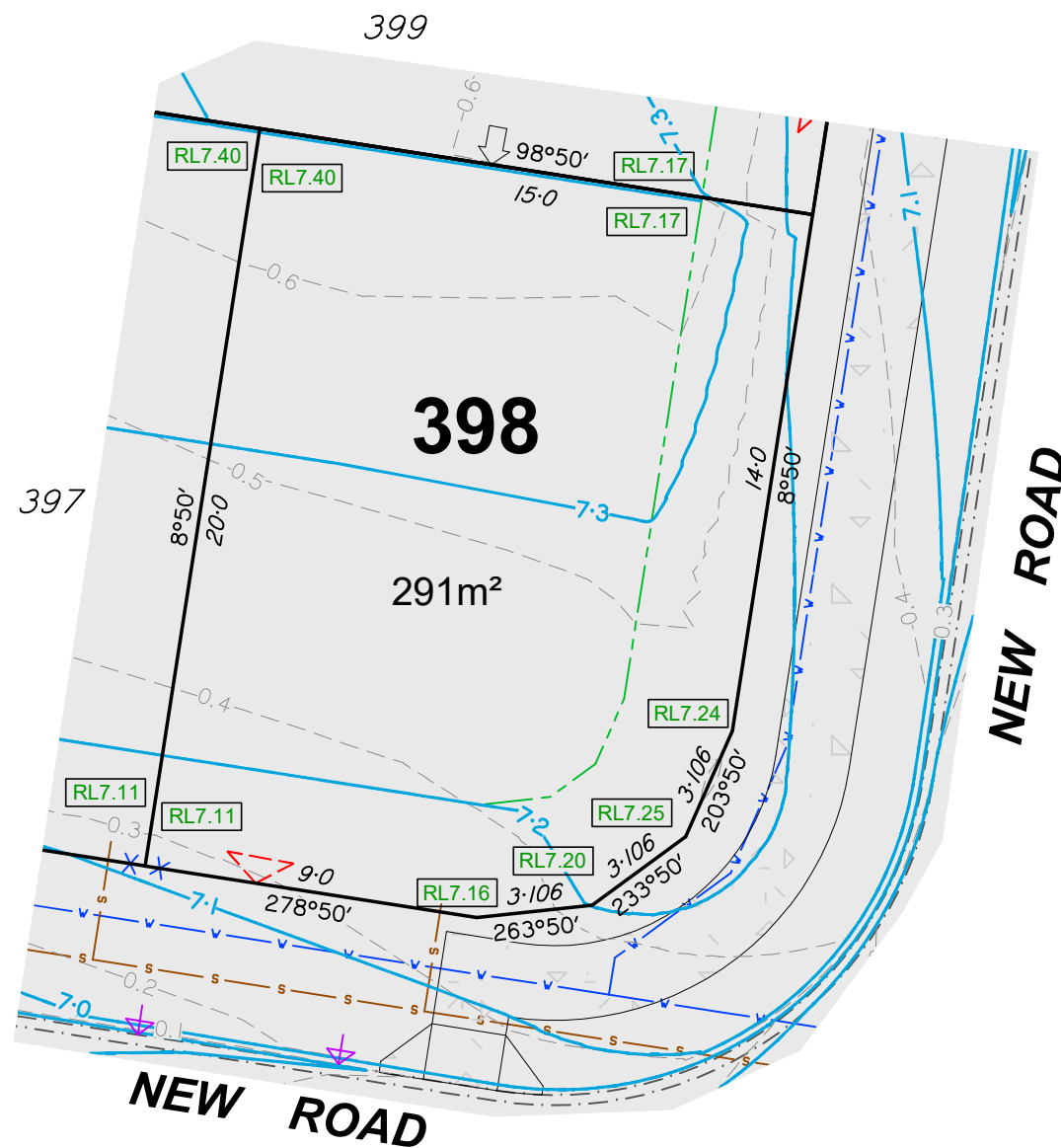
therefor
GROUP

Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-397 VERSION A





DISCLOSURE PLAN

For Proposed Lot 398
Village Green - Stage 4B

Currently Described As Part of Lot 1007 on SP342171
RPD: Palmview
Locality: Sunshine Coast Regional
Local Authority:

Legend:	
— 46.0	Finished Surface Contours (0.1m Interval)
--- 1.0	Depth of Fill Contours (0.1m Interval)
---	Easement Boundary
---	Edge of Pad
---	Kerb Line
S	Sewer/Sewer Manhole
SW	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
RW	Roofwater/Roofwater Pit
	Kerb Adapter
X	Water/Water Meter
	Area to be Filled
RL57.32	Design Pad Level
	Retaining Wall
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
<	Proposed Driveway
	Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village
GREEN

therefor
GROUP

Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-398 VERSION A

DISCLOSURE PLAN

For Proposed Lot 399
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

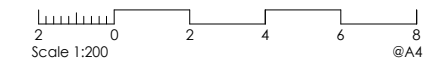
Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SV Stormwater/Stormwater Manhole
- RW Roofwater/Roofwater Pit
- Kerb Adapter
- V Water/Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
- RW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
- <— Proposed Driveway
- <— Zero Lot Line Boundary

Notes:

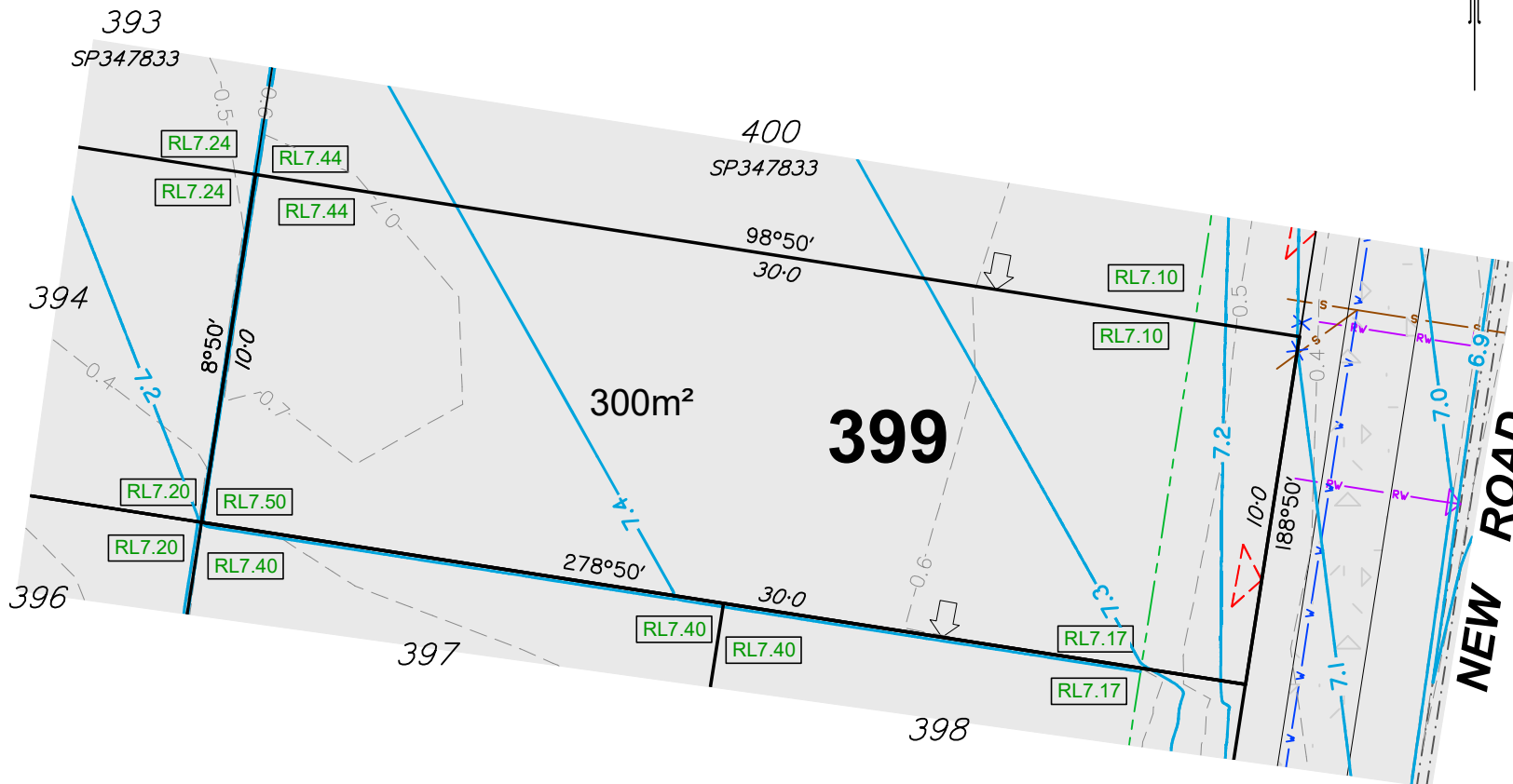
1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

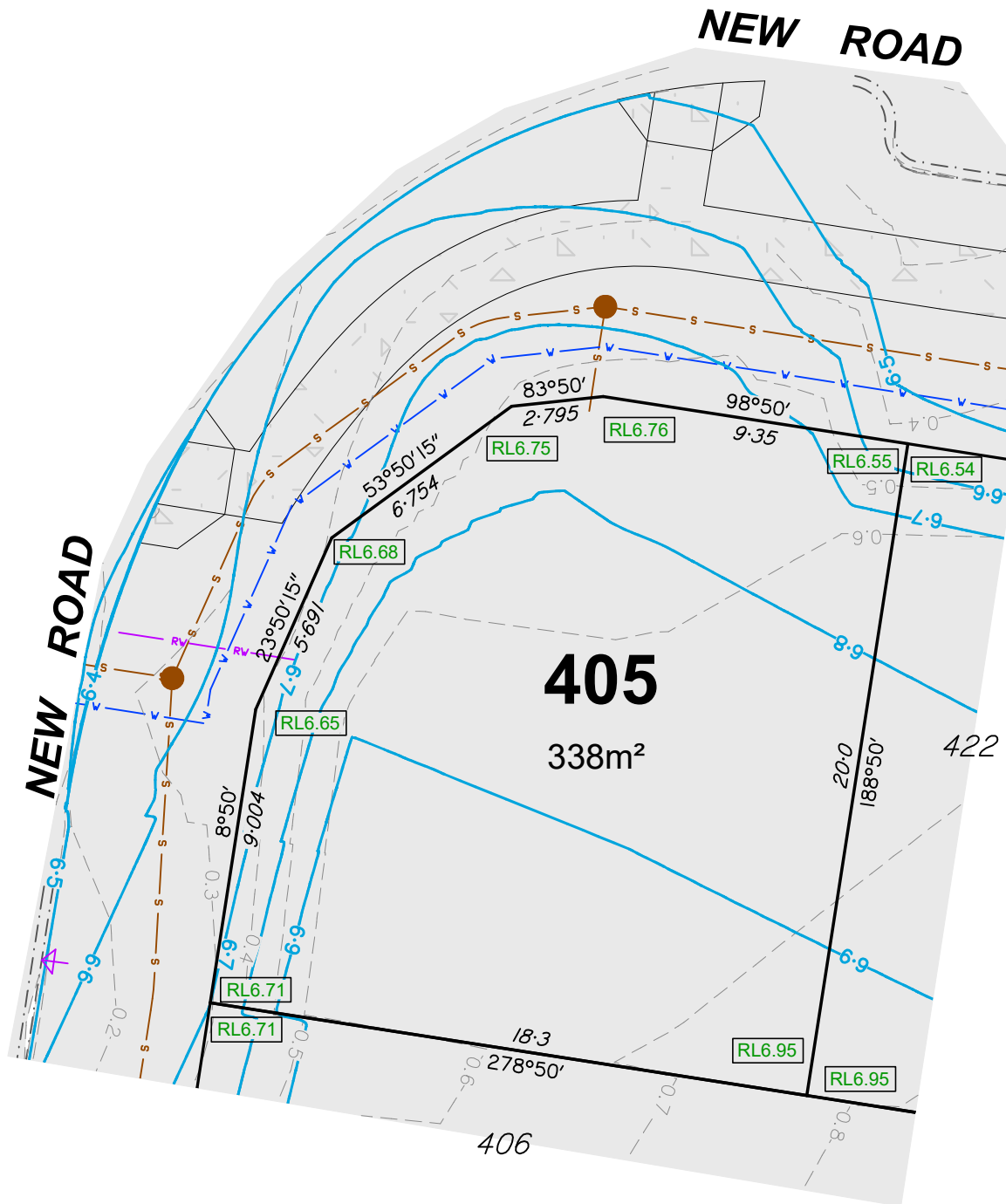
village
GREEN



HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-399 VERSION A





DISCLOSURE PLAN

For Proposed Lot 405
Village Green - Stage 4B

Currently Described As Part of Lot 1007 on SP342171
RPD: Palmview
Locality: Sunshine Coast Regional
Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Edge of Pad
 - Kerb Line
 - S Sewer/Sewer Manhole
 - SV Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RW Roofwater/Roofwater Pit
 - Kerb Adapter
 - Water/Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village
GREEN



Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-405 VERSION A

DISCLOSURE PLAN

For Proposed Lot 406
Village Green - Stage 4B

Currently Described As Part of Lot 1007 on SP342171
RPD: Palmview
Locality: Sunshine Coast Regional
Local Authority:

Legend:

— 46.0	Finished Surface Contours (0.1m Interval)
--- 1.0	Depth of Fill Contours (0.1m Interval)
---	Easement Boundary
---	Edge of Pad
---	Kerb Line
— S	Sewer/Sewer Manhole
— SV	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
— RW	Roofwater/Roofwater Pit
	Kerb Adapter
— v	Water/Water Meter
	Area to be Filled
RL57.32	Design Pad Level
	Retaining Wall
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

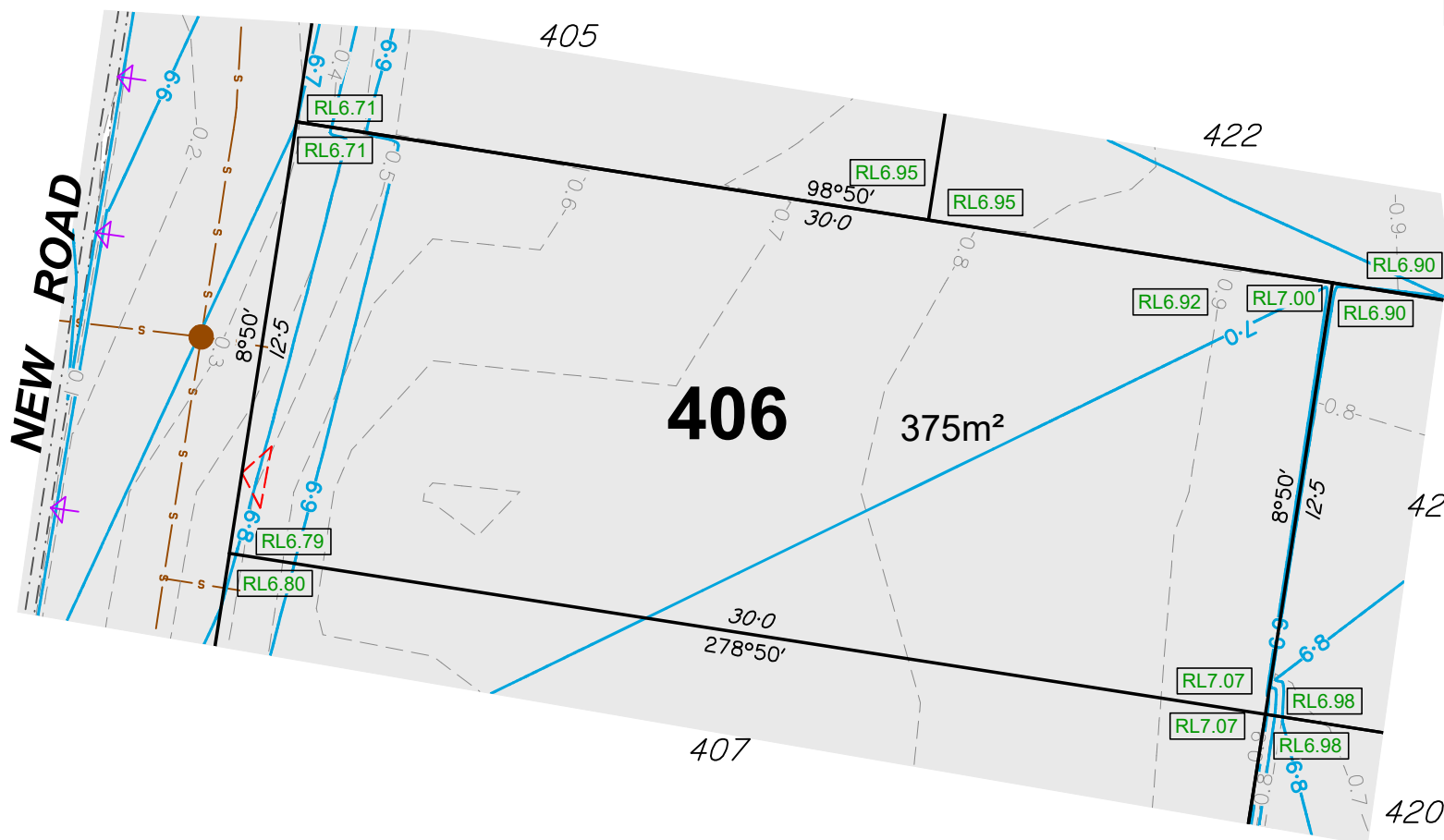
village
GREEN

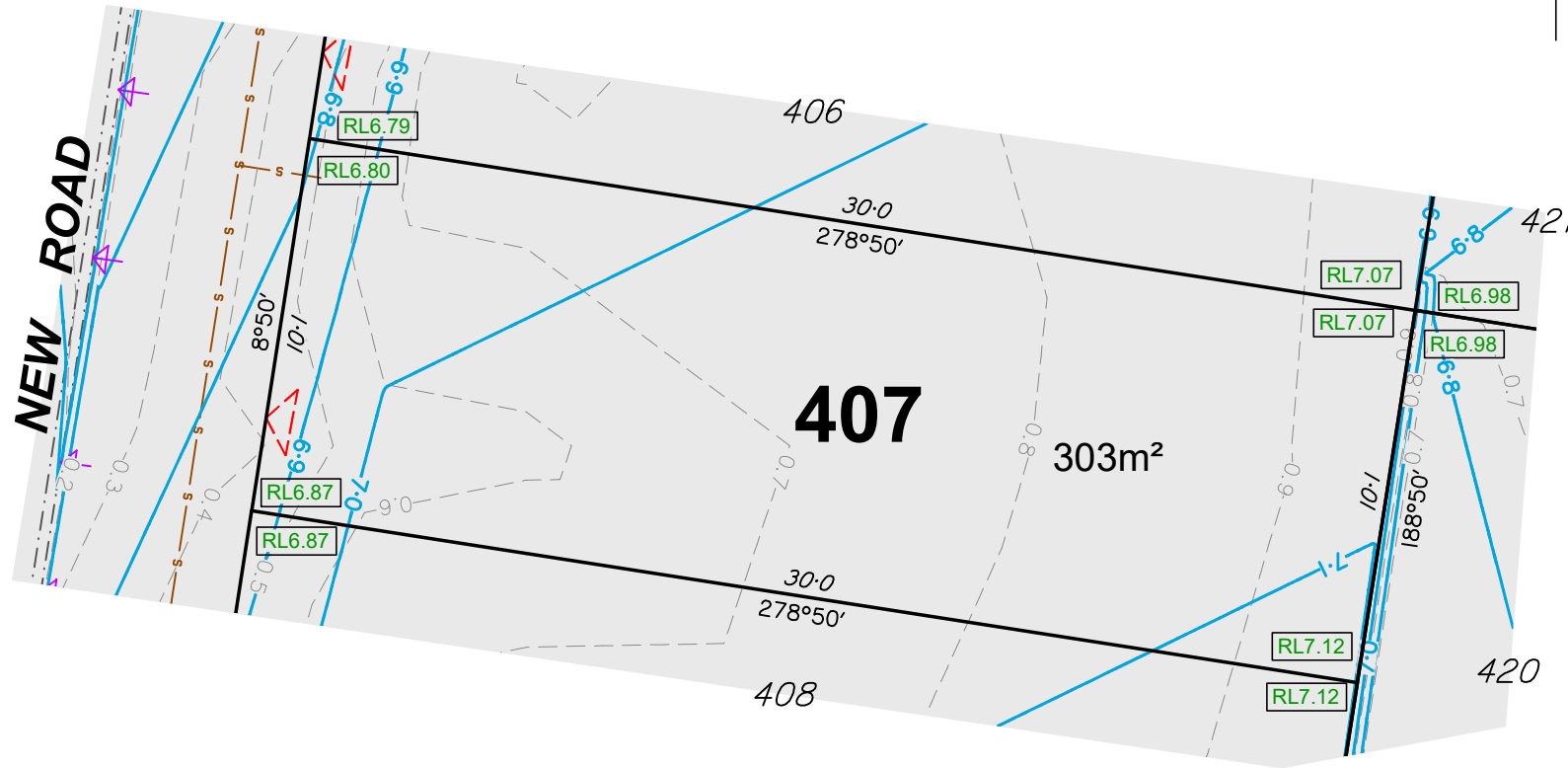


Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-406 VERSION A





DISCLOSURE PLAN

For Proposed Lot 407
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

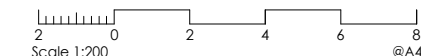
Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SV Stormwater/Stormwater Manhole
- S Stormwater Gully Trap
- RW Roofwater/Roofwater Pit
- K Kerb Adapter
- W Water/Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
- ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
- <-- Proposed Driveway
- <-- Zero Lot Line Boundary

Notes:

- This note is an integral part of this plan.
- Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
- Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village
GREEN



HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-407 VERSION A

DISCLOSURE PLAN

For Proposed Lot 408
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

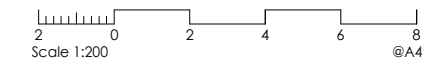
Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SW Stormwater/Stormwater Manhole
- RW Roofwater/Roofwater Pit
- Kerb Adapter
- Water/Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

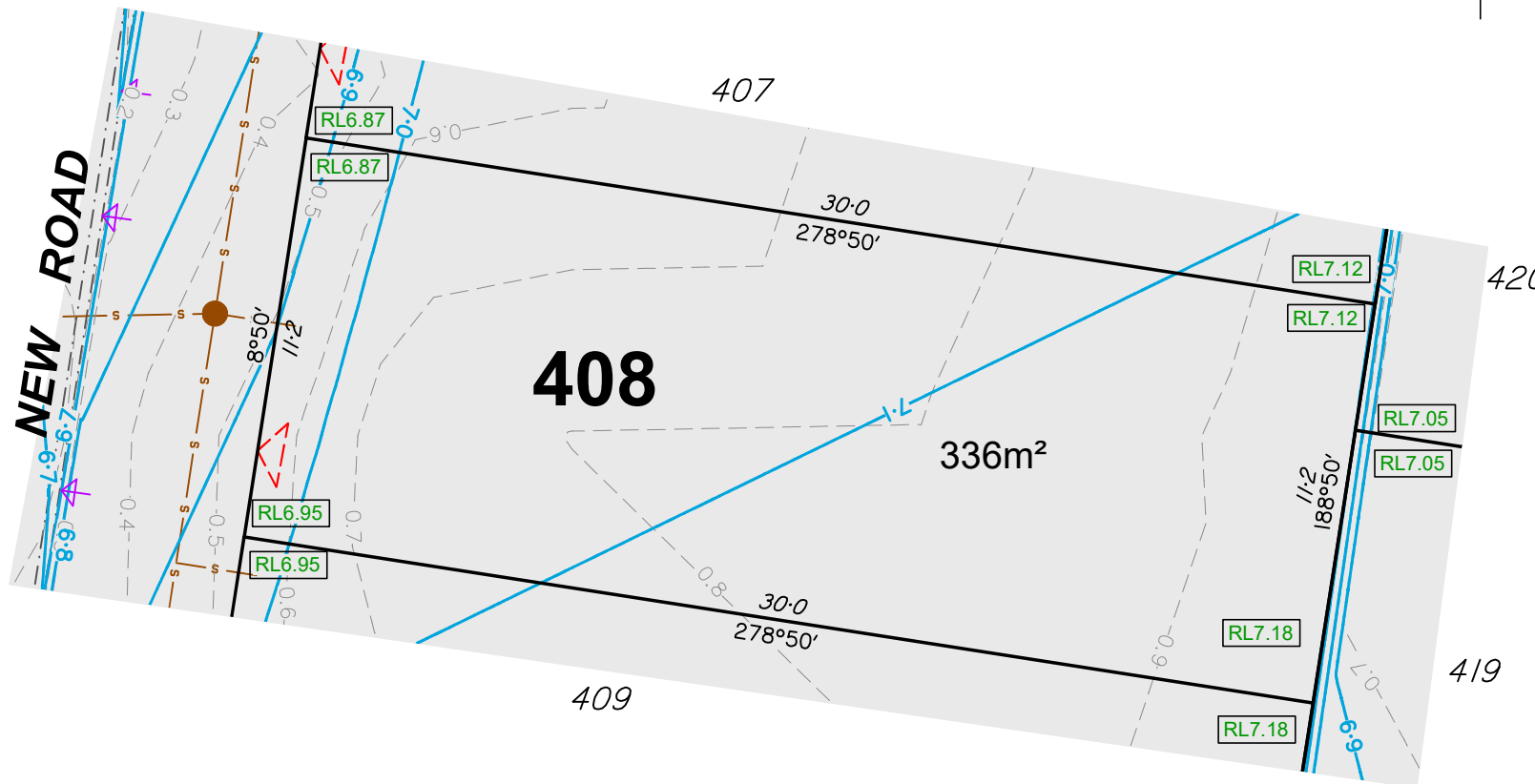
1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

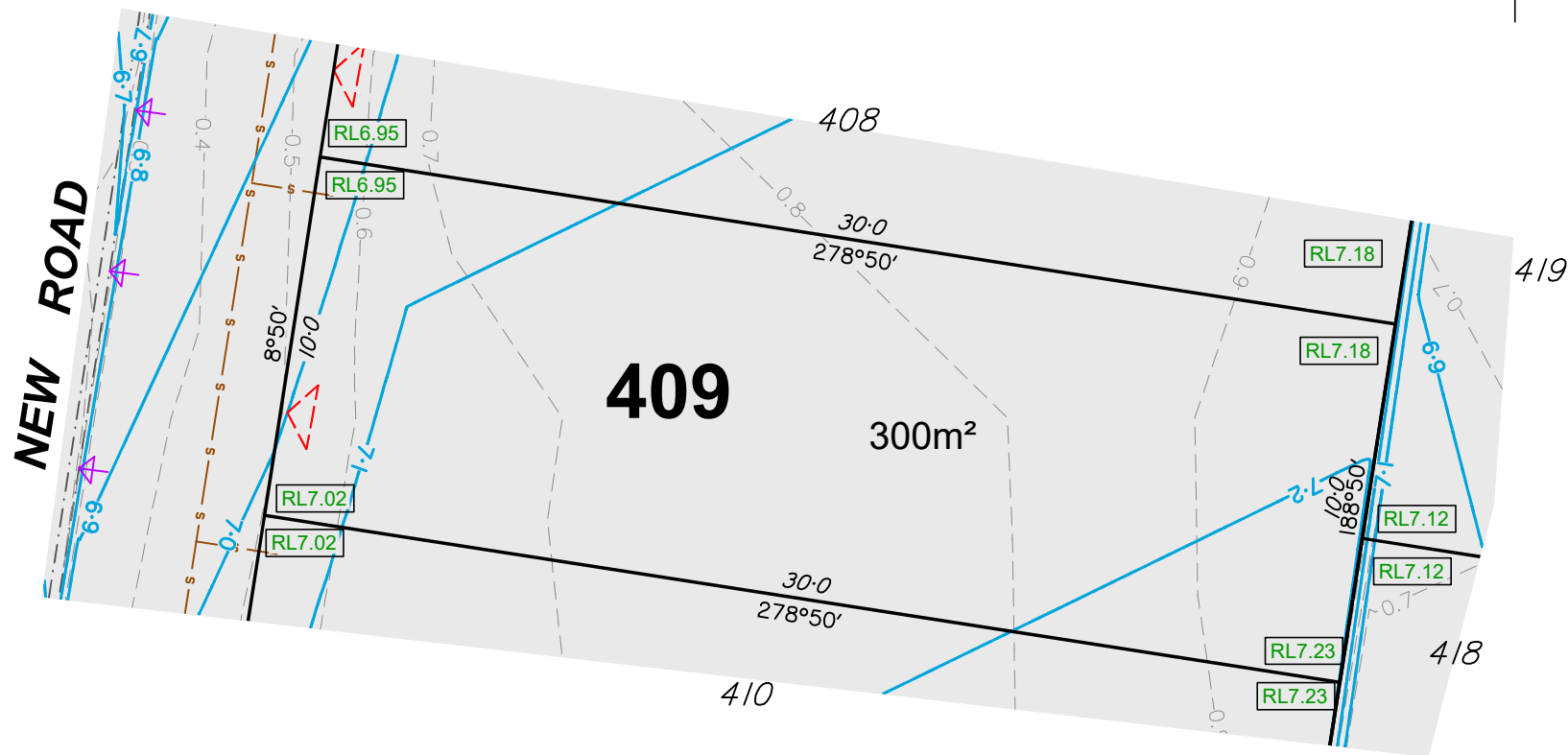
village
GREEN



HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-408 VERSION A





DISCLOSURE PLAN

For Proposed Lot 409
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SW Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW Roofwater/Roofwater Pit
- K Kerb Adapter
- W Water/Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
- ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
- < Proposed Driveway
- < Zero Lot Line Boundary

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village
GREEN



Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-409 VERSION A

DISCLOSURE PLAN

For Proposed Lot 410
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SW Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW Roofwater/Roofwater Pit
- Kerb Adapter
- Water/Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
- ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

- This note is an integral part of this plan.
- Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
- Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

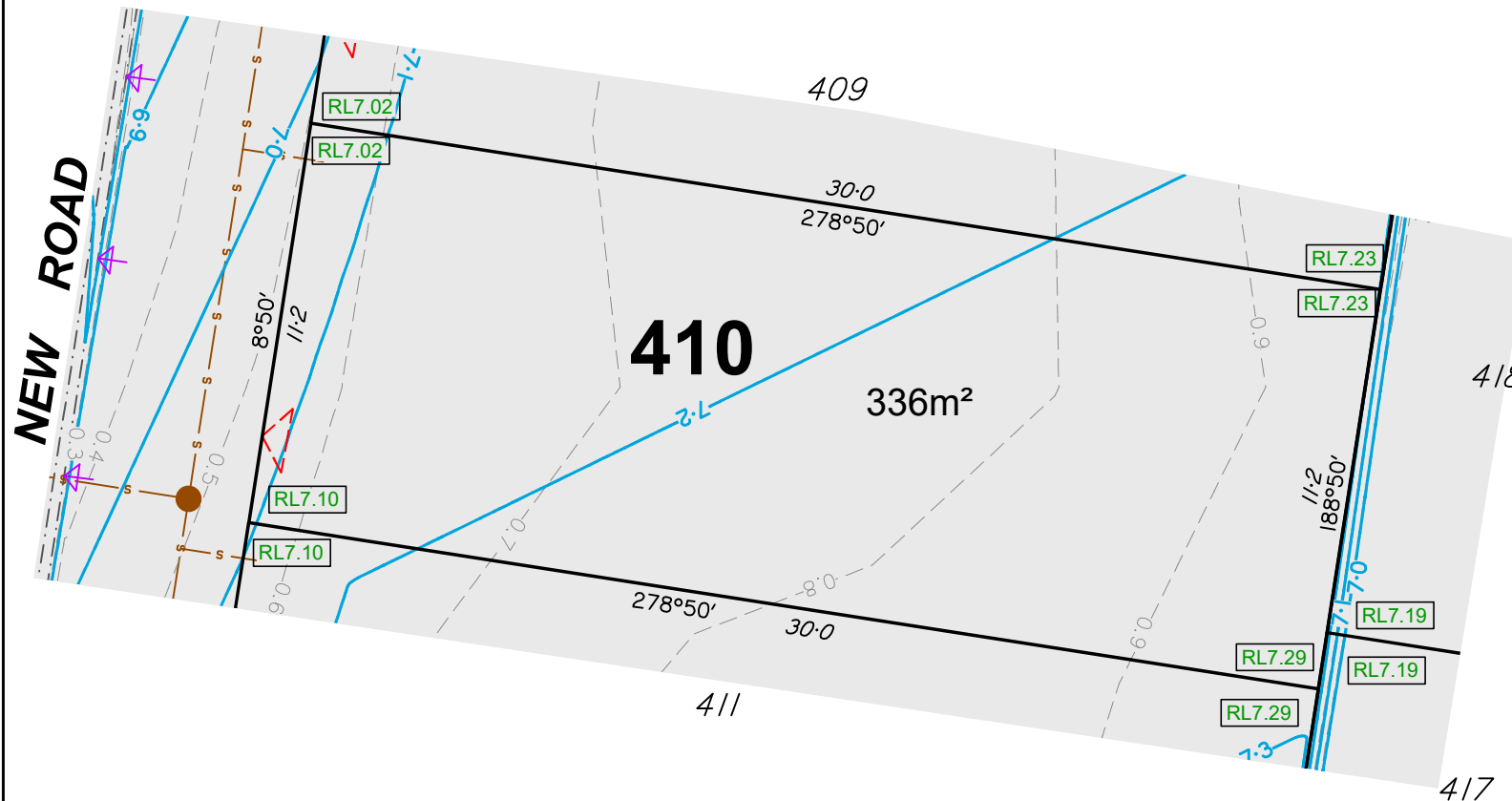
village
GREEN



Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-410 VERSION A



DISCLOSURE PLAN

For Proposed Lot 411
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- Sewer/Sewer Manhole
- Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- Roofwater/Roofwater Pit
- ↖ Kerb Adapter
- ✕ Water/Water Meter
- Area to be Filled
- RL7.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
ARW Average Retaining Wall Height
(Retaining Wall Heights shown on the lowside of the wall)
- ↔ Proposed Driveway
- ↔ Zero Lot Line Boundary

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

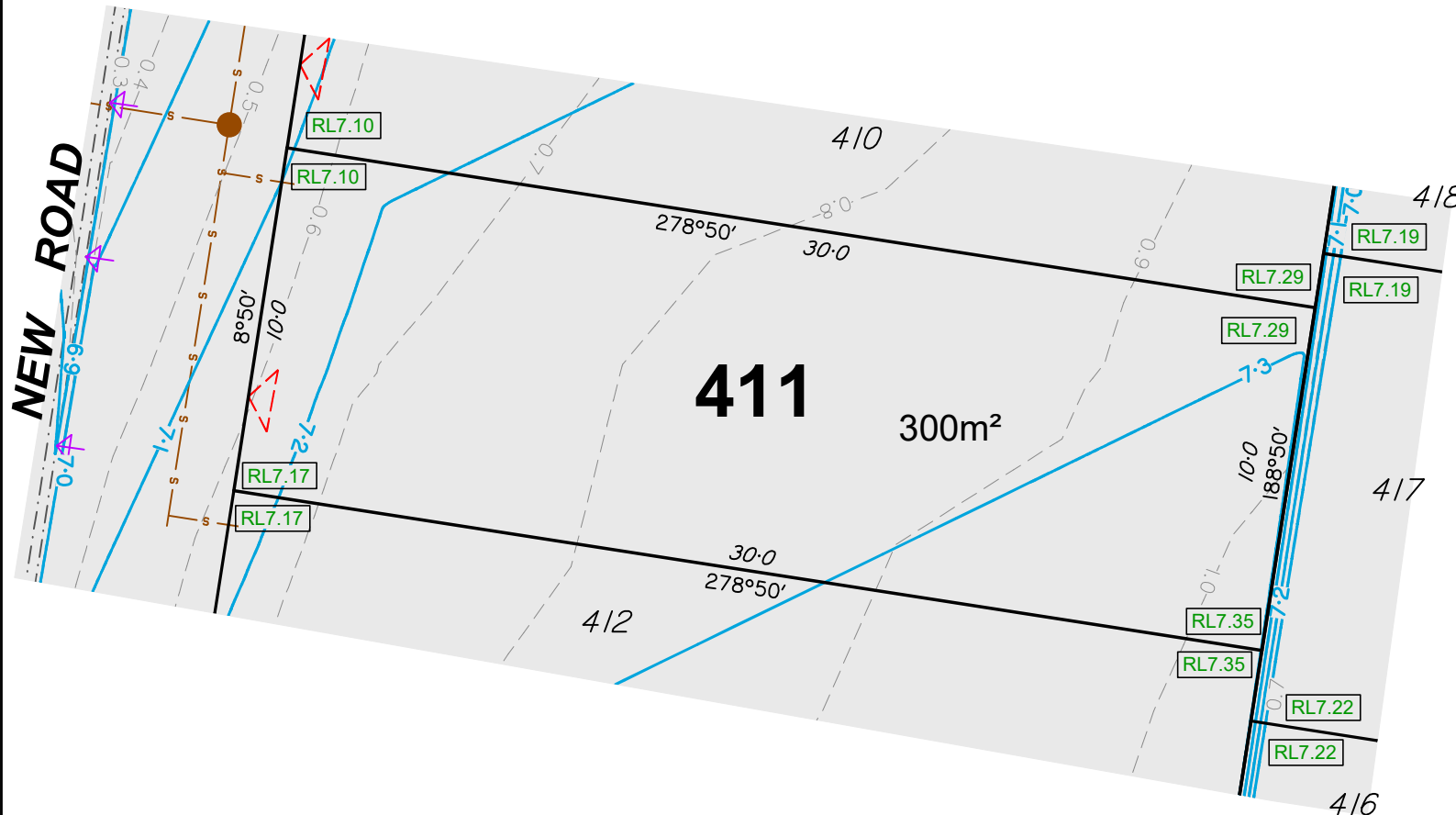
village
GREEN

therefor
GROUP

Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-411 VERSION A



DISCLOSURE PLAN

For Proposed Lot 412
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SV Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW Roofwater/Roofwater Pit
- Kerb Adapter
- Water/Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

- This note is an integral part of this plan.
- Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
- Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

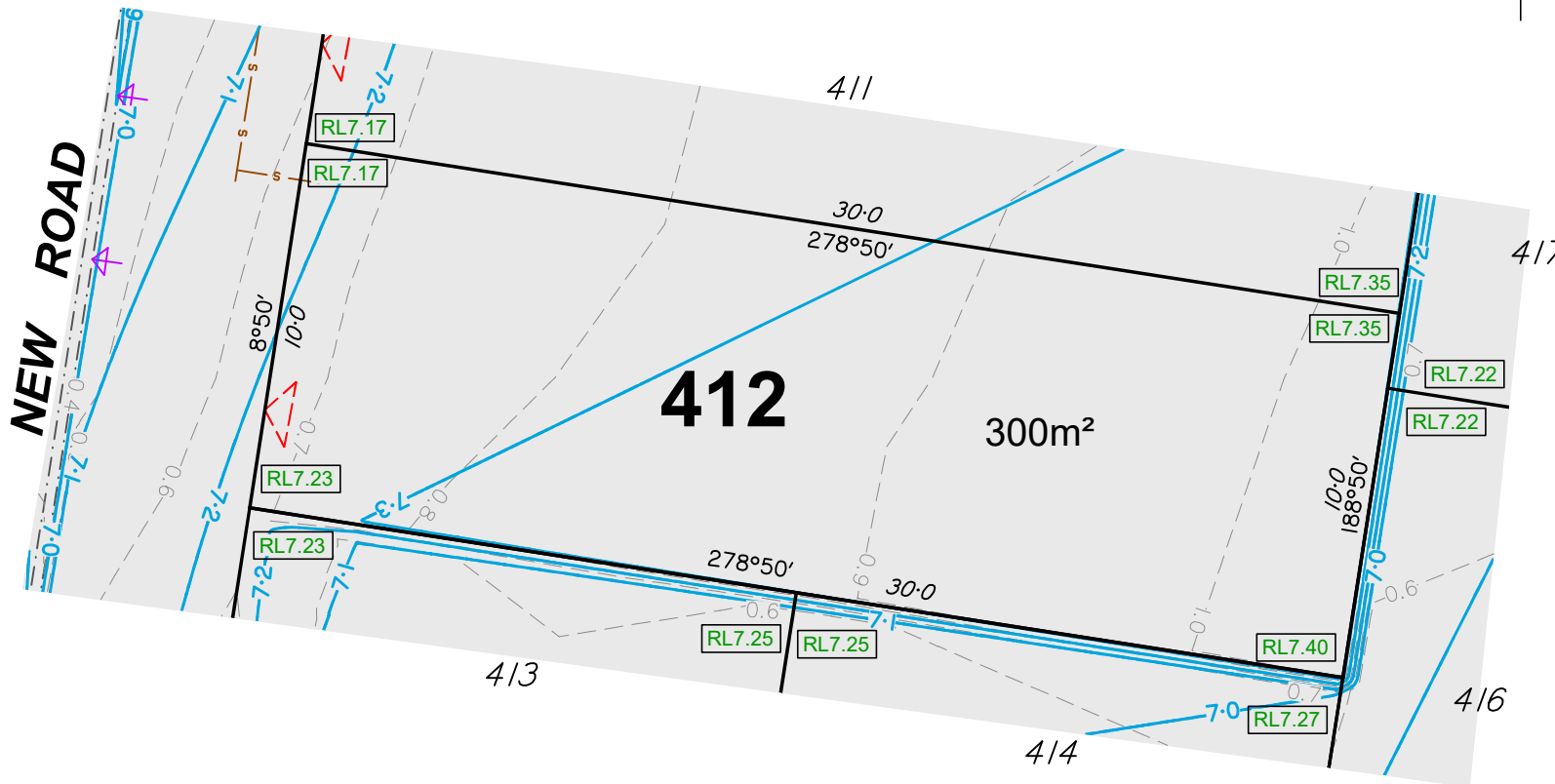
village
GREEN

therefor
GROUP

Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-412 VERSION A



DISCLOSURE PLAN

For Proposed Lot 413
Village Green - Stage 4B

Currently Described As Part of Lot 1007 on SP342171
RPD: Palmview
Locality: Sunshine Coast Regional
Local Authority:

Legend:	
	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Edge of Pad
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary

- Notes:
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

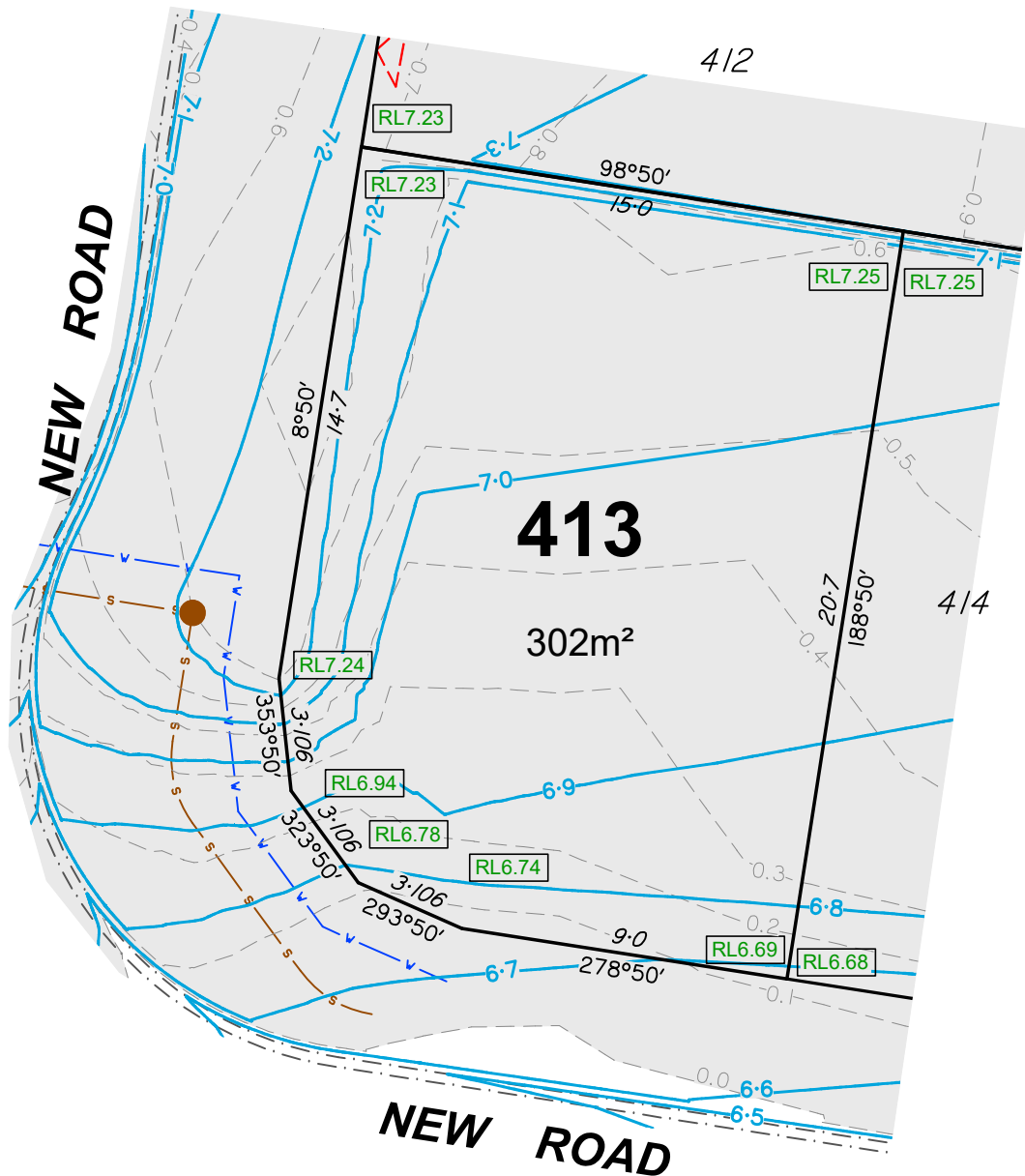
village
GREEN

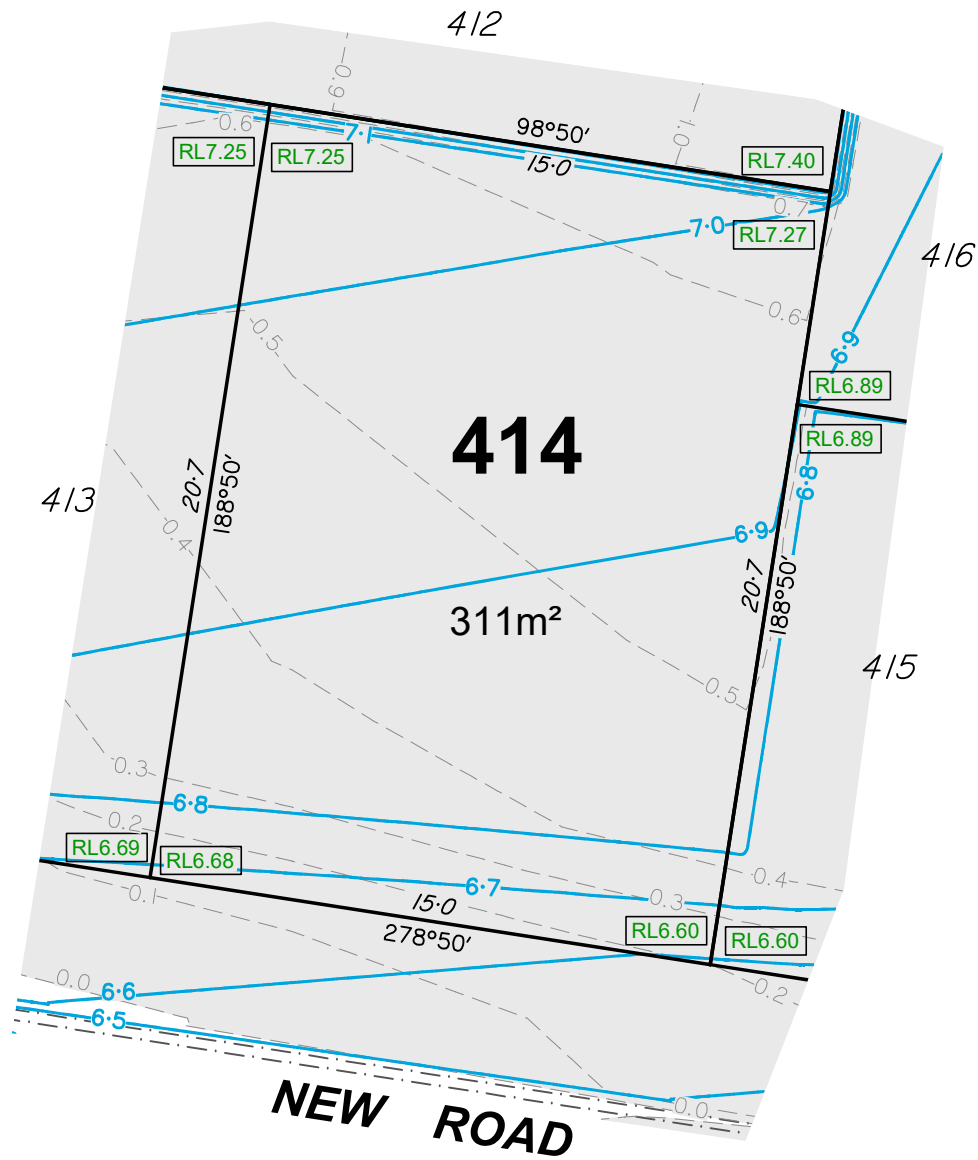
therefor
GROUP

Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-413 VERSION A





DISCLOSURE PLAN

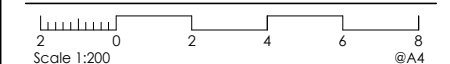
For Proposed Lot 414
Village Green - Stage 4B

Currently Described As Part of Lot 1007 on SP342171
RPD: Palmview
Locality: Sunshine Coast Regional
Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Edge of Pad
 - Kerb Line
 - S Sewer/Sewer Manhole
 - SV Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RW Roofwater/Roofwater Pit
 - Kerb Adapter
 - Water/Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village
GREEN



HORIZONTAL MERIDIAN		LEVEL DATUM	
MGA		AHD.	
DATE DRAWN	DRAWING NO.	VERSION	
09-10-2024	SS3787-04B_01-414	A	

DISCLOSURE PLAN

For Proposed Lot 415
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SW Stormwater/Stormwater Manhole
- RW Roofwater/Roofwater Pit
- Kerb Adapter
- Water/Water Meter
- Area to be Filled
- RL6.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
- ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

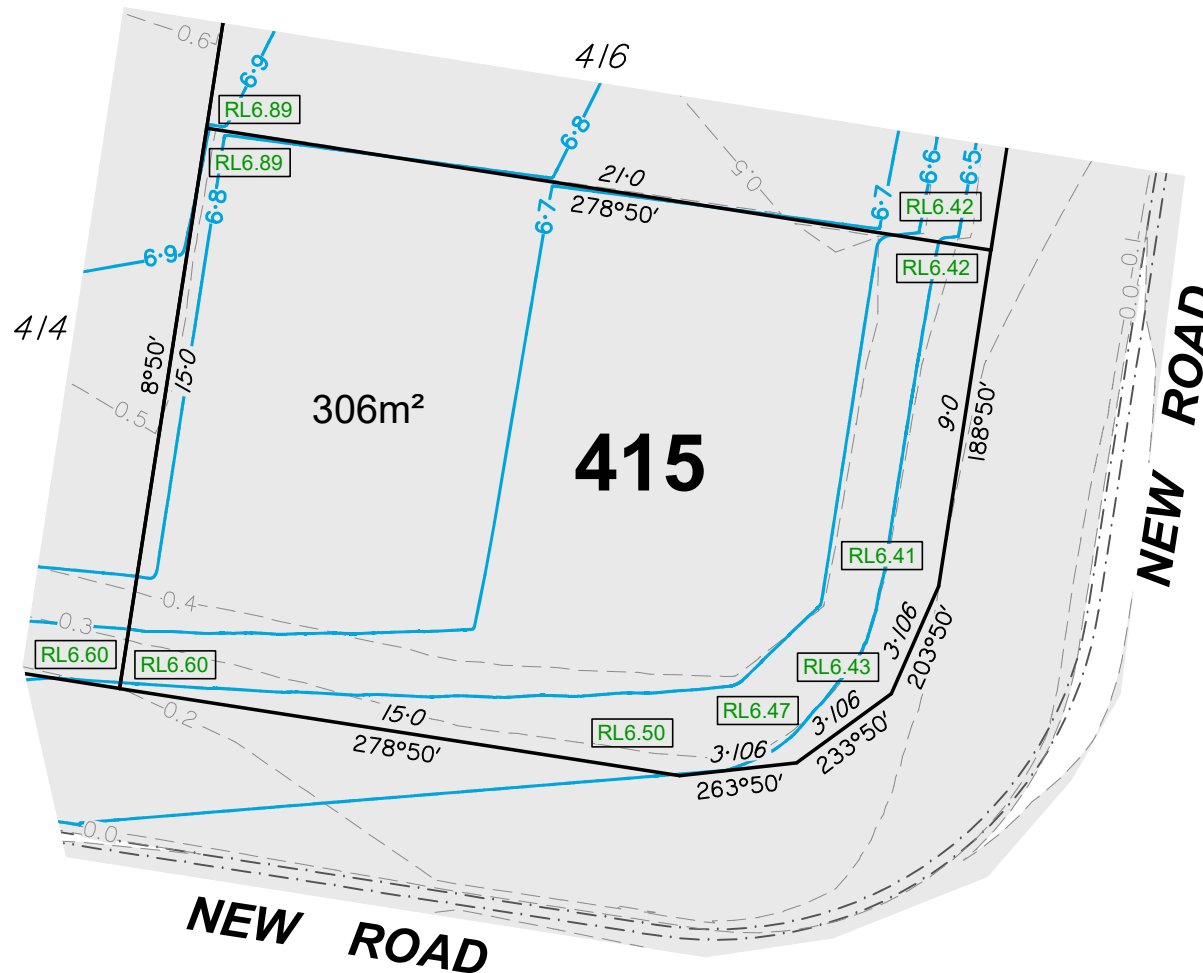
village
GREEN

therefor
GROUP

Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-415 VERSION A



DISCLOSURE PLAN

For Proposed Lot 416
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- Sewer/Sewer Manhole
- Stormwater/Stormwater Manhole
- ⊕ Stormwater Gully Trap
- ⊕ Roofwater/Roofwater Pit
- ⊕ Kerb Adapter
- ⊕ Water/Water Meter
- Area to be Filled
- RL7.32 Design Pad Level
- RW Retaining Wall
- ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- ⬅ Proposed Driveway
- ⬅ Zero Lot Line Boundary

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village
GREEN

therefor
GROUP

Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-416 VERSION A



DISCLOSURE PLAN

For Proposed Lot 417
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SW Stormwater/Stormwater Manhole
- RW Roofwater/Roofwater Pit
- Kerb Adapter
- Water/Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- RW Retaining Wall
- ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

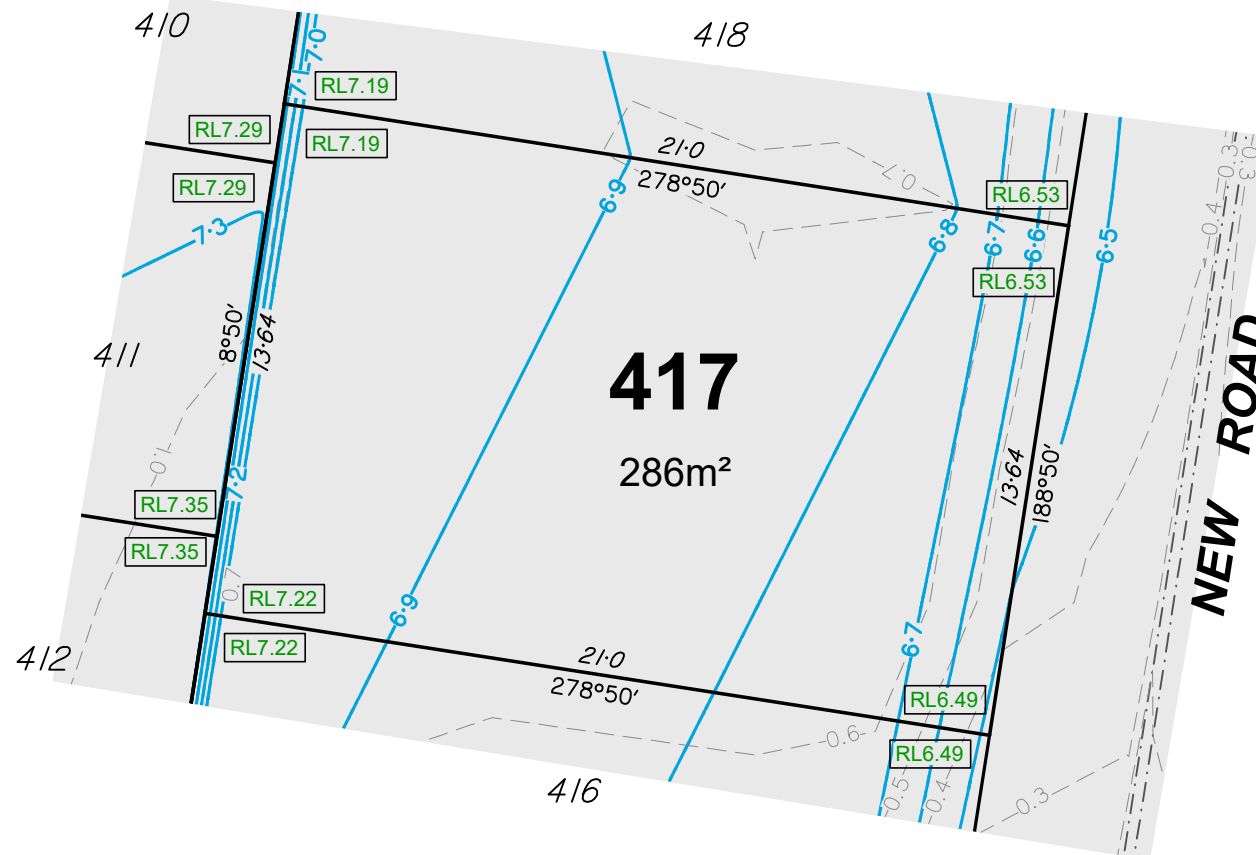
village
GREEN

therefor
GROUP

Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-417 VERSION A



DISCLOSURE PLAN

For Proposed Lot 418
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SW Stormwater/Stormwater Manhole
- RW Roofwater/Roofwater Pit
- Kerb Adapter
- Water/Water Meter
- Area to be Filled
- RL7.32 Design Pad Level
- RW Retaining Wall
- ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

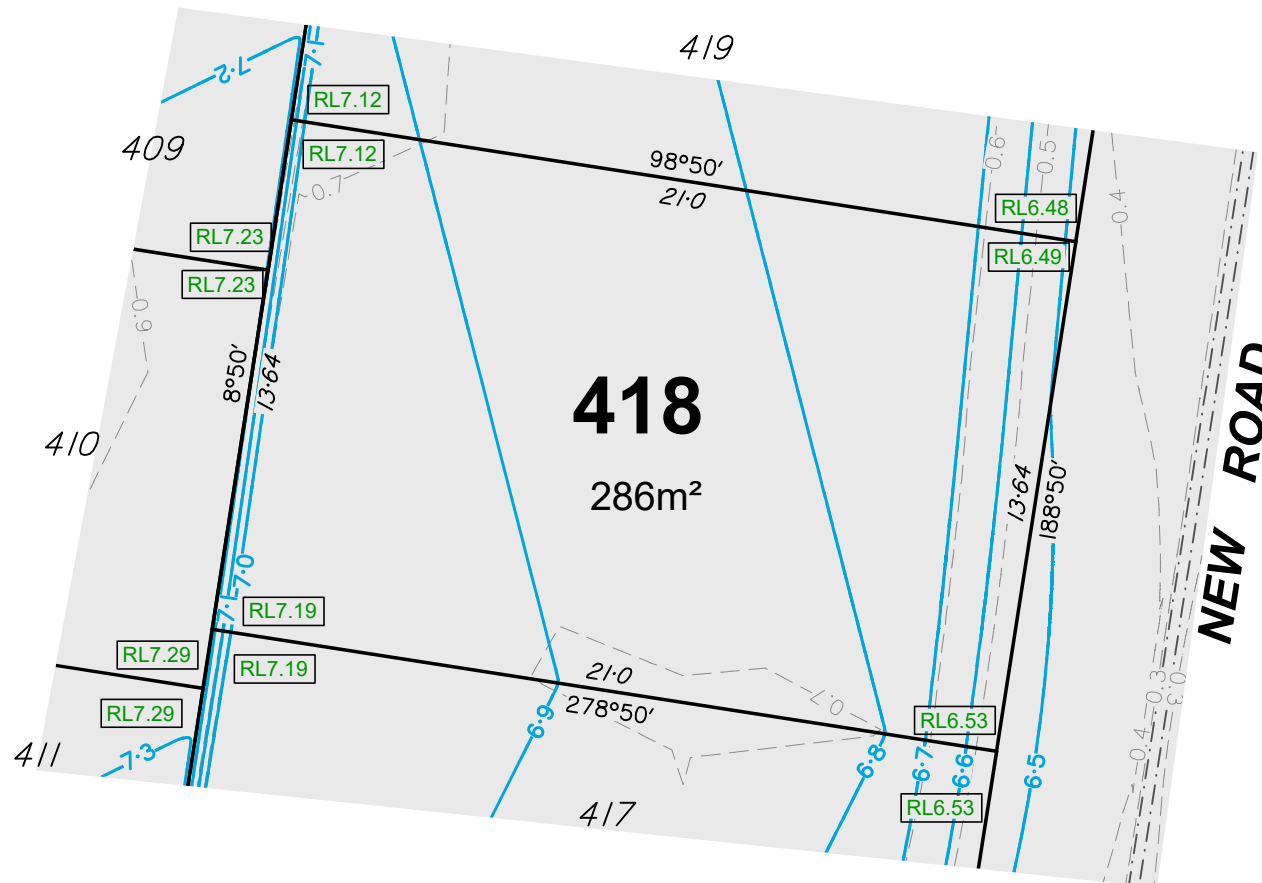
village
GREEN

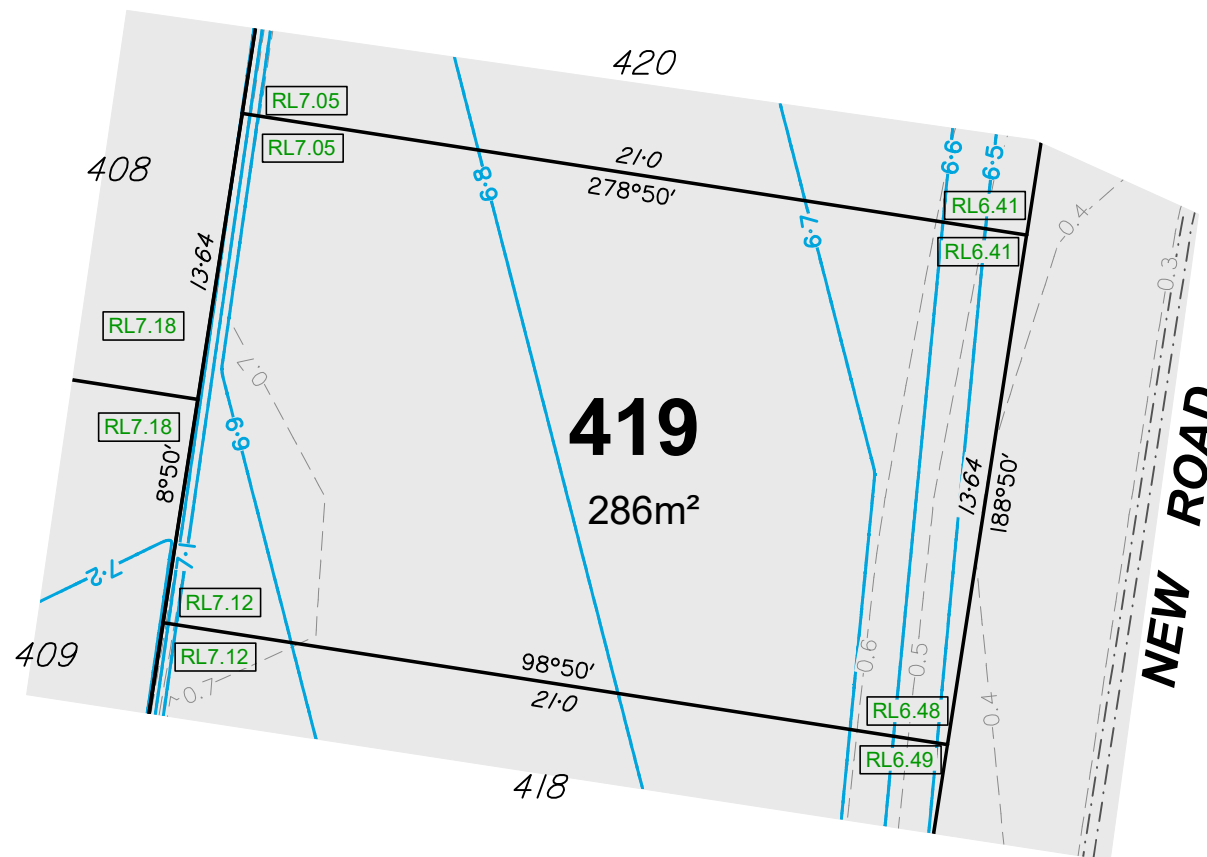
therefor
GROUP

Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-418 VERSION A





DISCLOSURE PLAN

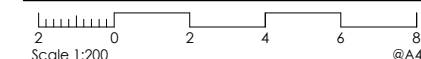
For Proposed Lot 419
Village Green - Stage 4B

Currently Described As Part of Lot 1007 on SP342171
RPD: Palmview
Locality: Sunshine Coast Regional
Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Edge of Pad
 - Kerb Line
 - S Sewer/Sewer Manhole
 - SV Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RW Roofwater/Roofwater Pit
 - Kerb Adapter
 - Water/Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village
GREEN



HORIZONTAL MERIDIAN	LEVEL DATUM
MGA	AHD.
DATE DRAWN	DRAWING NO.
09-10-2024	SS3787-04B_01-419
	VERSION
	A

DISCLOSURE PLAN

For Proposed Lot 420
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SW Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW Roofwater/Roofwater Pit
- Kerb Adapter
- Water/Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
- ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

- This note is an integral part of this plan.
- Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
- Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

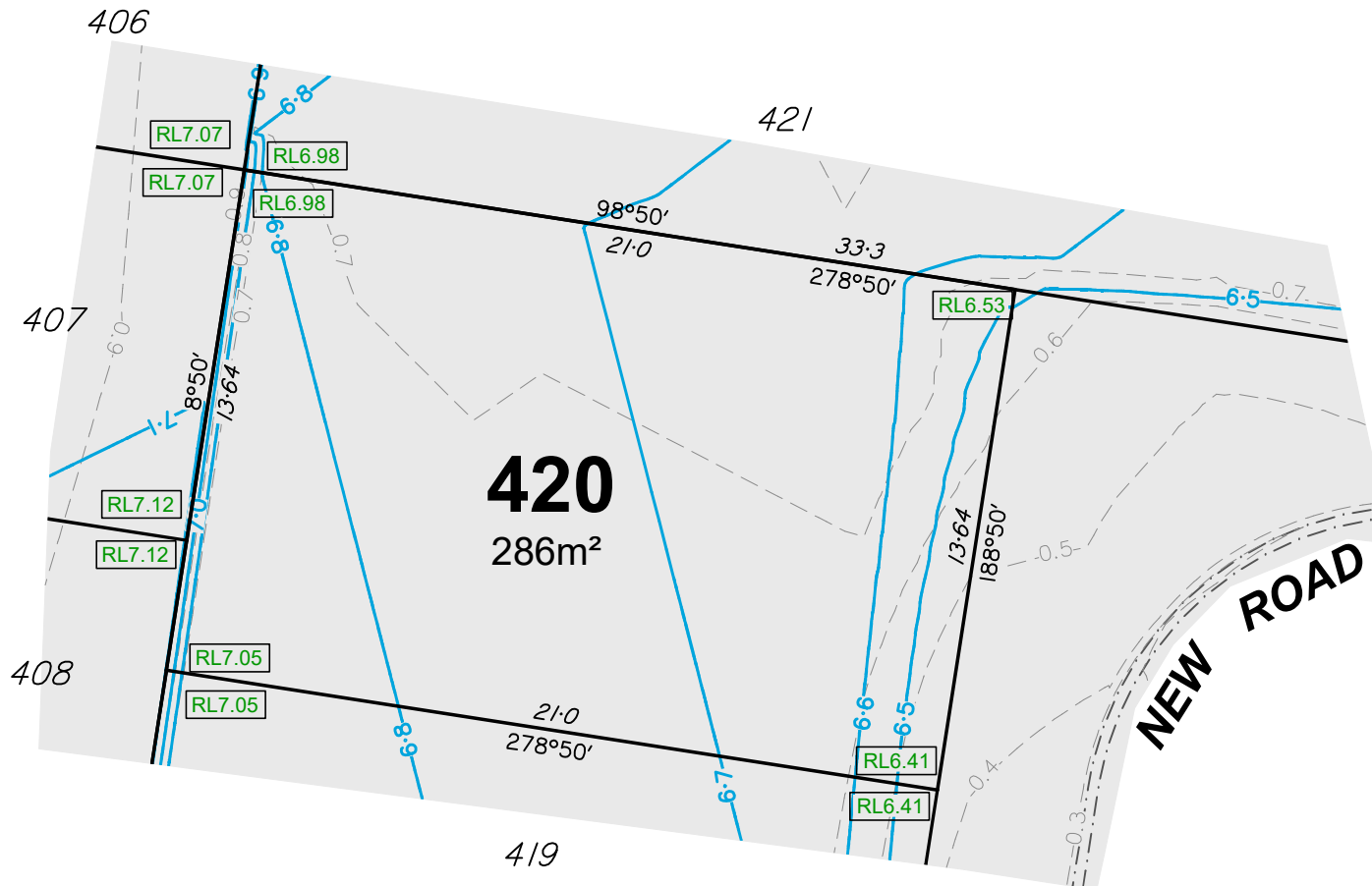
village
GREEN

therefor
GROUP

Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-420 VERSION A



DISCLOSURE PLAN

For Proposed Lot 421
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SV Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW Roofwater/Roofwater Pit
- Kerb Adapter
- Water/Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
- ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

- This note is an integral part of this plan.
- Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
- Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

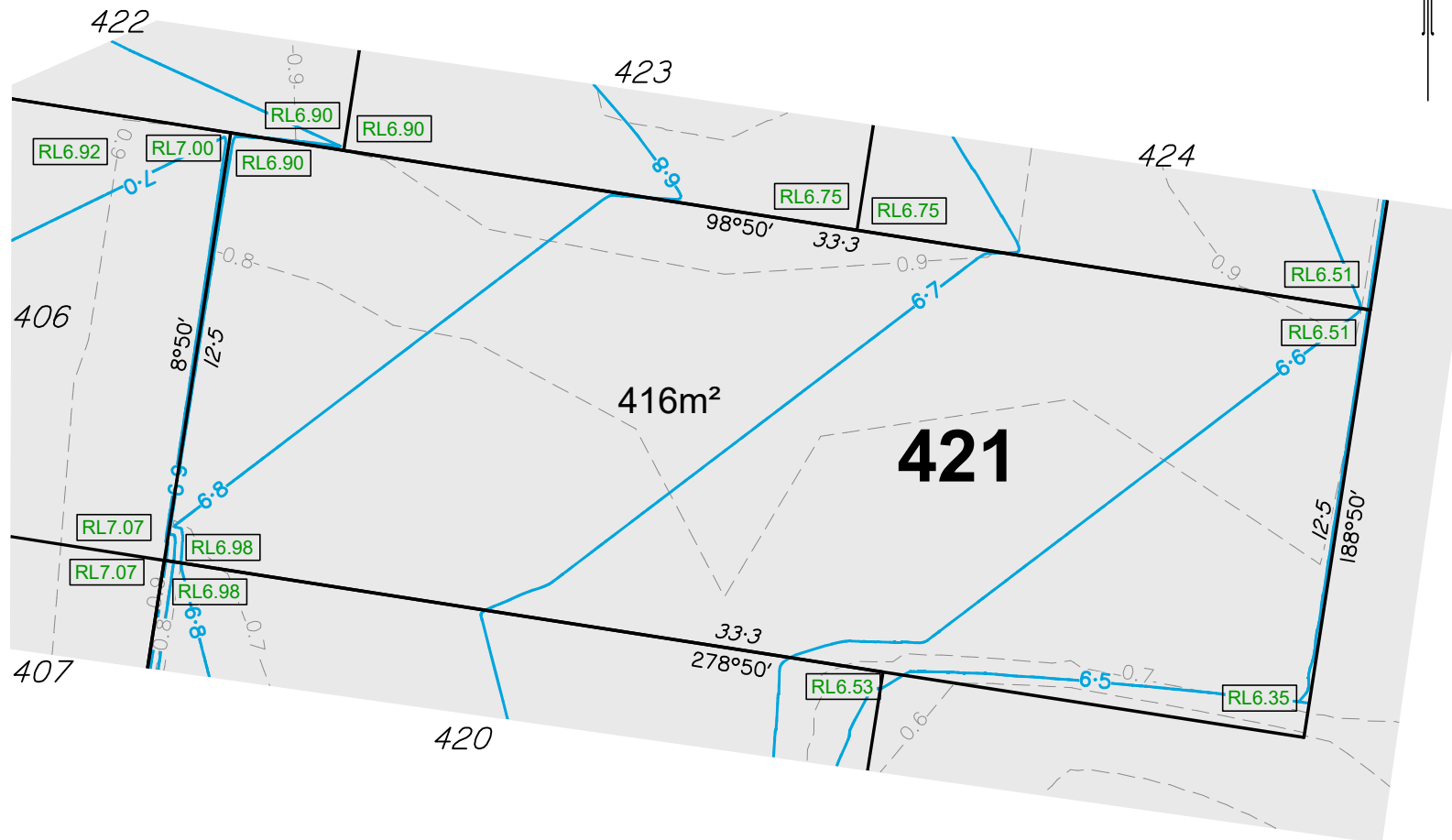
village
GREEN

therefor
GROUP

Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-421 VERSION A



For Proposed Lot 422
Village Green - Stage 4B

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Edge of Pad
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

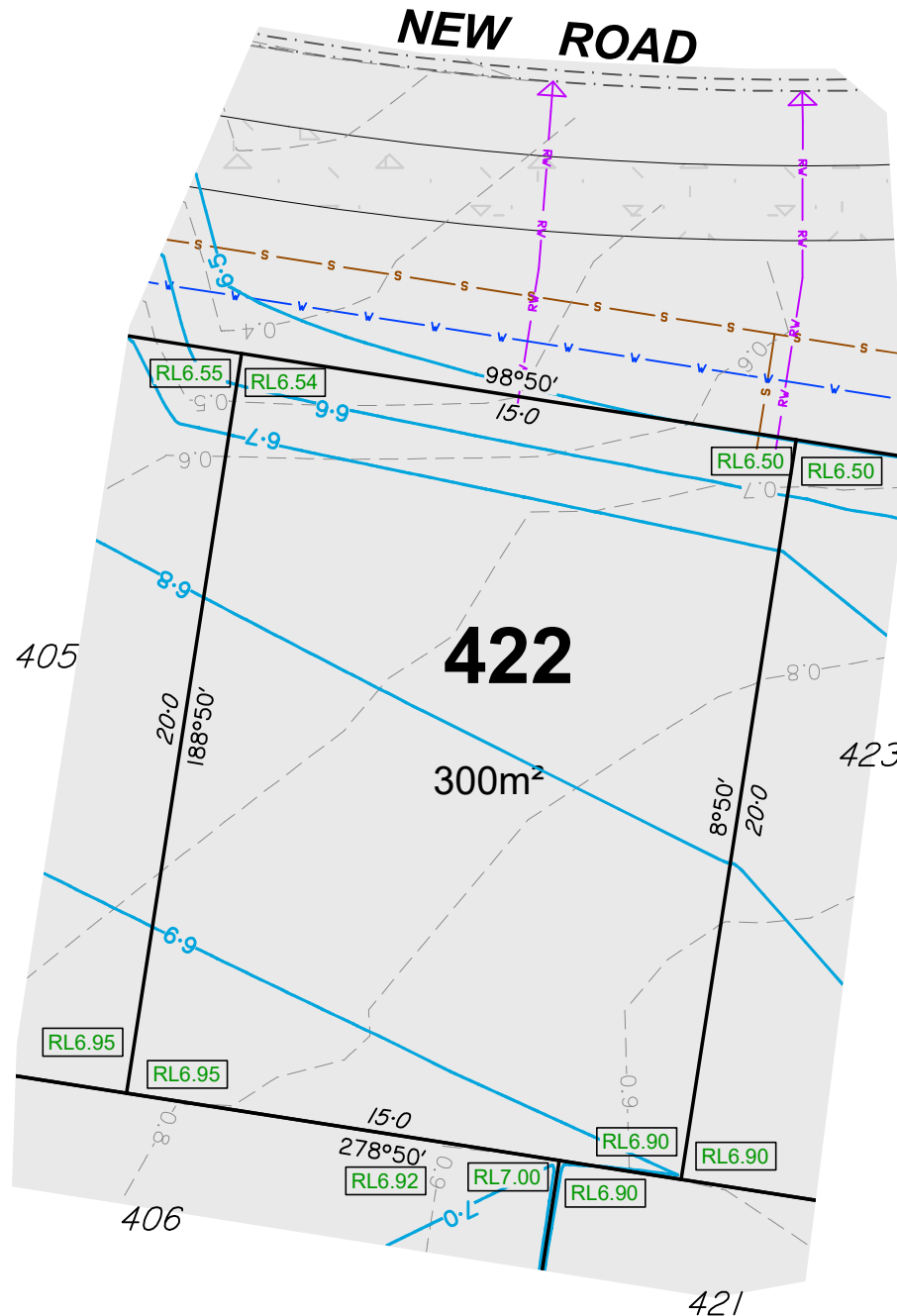


village
GREEN



HORIZONTAL MERIDIAN MGA	LEVEL DATUM AHD.
----------------------------	---------------------

DATE DRAWN	DRAWING NO.	VERSION
09-10-2024	SS3787-04B 01-422	A



For Proposed Lot 423
Village Green - Stage 4B

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

46.0 ————— Finished Surface Contours (0.1m Interval)
 - - - - - 1.0 - - - - - Depth of Fill Contours (0.1m Interval)
 ———— Easement Boundary
 - - - - - Edge of Pad
 - - - - - Kerb Line
 S Sewer/Sewer Manhole
 SV Stormwater/Stormwater Manhole
 Stormwater Gully Trap
 RV Roofwater/Roofwater Pit
 Kerb Adapter
 Water/Water Meter
 Area to be Filled
 RL57.32 Design Pad Level
 Retaining Wall
 Retaining Wall Height
 Average Retaining Wall Height
 (Retaining Wall Heights shown on the
 underside of the wall)
 Proposed Driveway
 Zero Lot Line Boundary

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

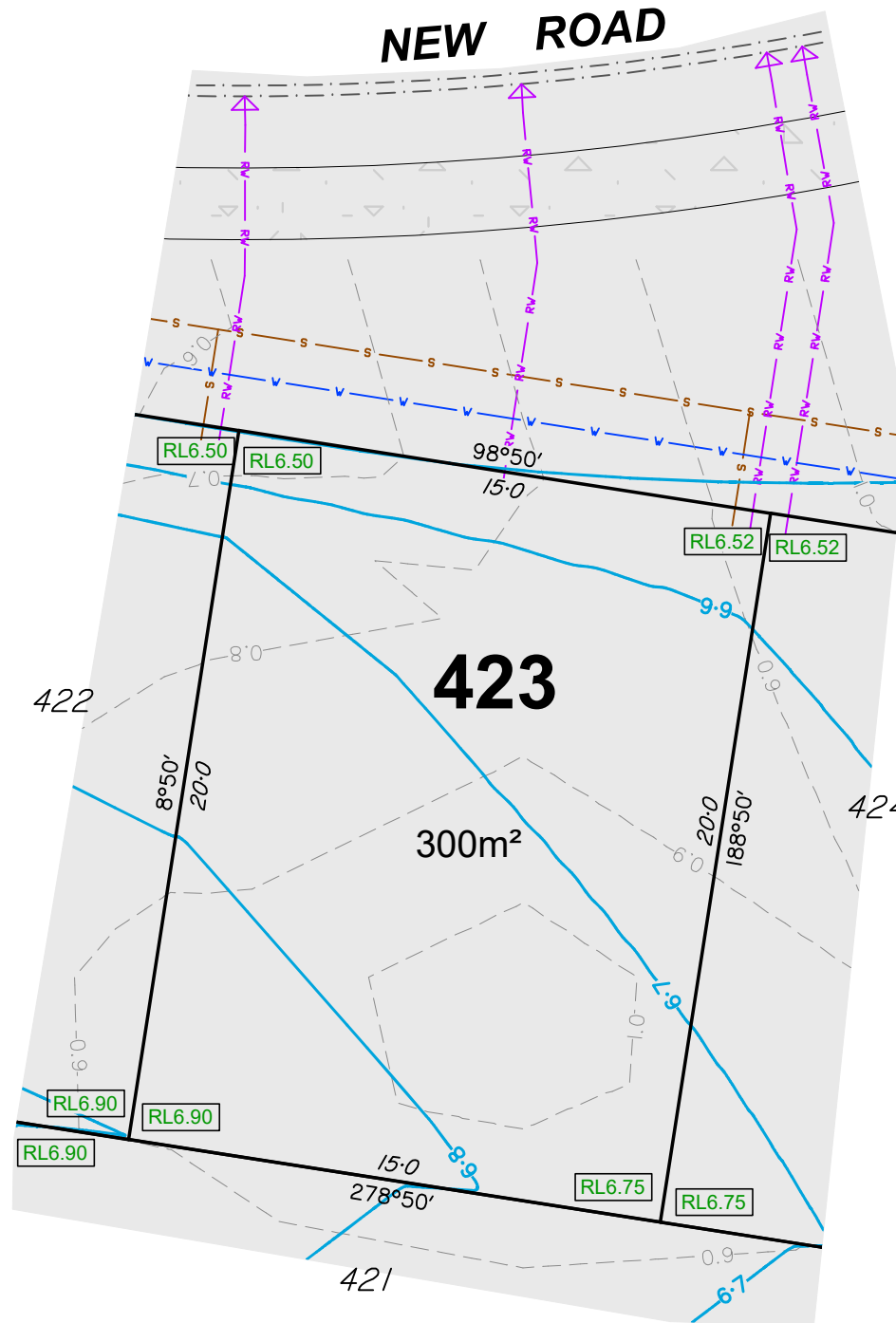


village
GREEN



HORIZONTAL MERIDIAN MGA	LEVEL DATUM AHD.
----------------------------	---------------------

DATE DRAWN	DRAWING NO.	VERSION
09-10-2024	SS3787-04B 01-423	A



DISCLOSURE PLAN

For Proposed Lot 424
Village Green - Stage 4B

Currently Described As

RPD: Part of Lot 1007 on SP342171
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Edge of Pad
- Kerb Line
- S Sewer/Sewer Manhole
- SV Stormwater/Stormwater Manhole
- S Stormwater Gully Trap
- RW Roofwater/Roofwater Pit
- K Kerb Adapter
- W Water/Water Meter
- Area to be Filled
- RL6.52 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- < Proposed Driveway
- < Zero Lot Line Boundary

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Colliers on 05-04-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village
GREEN

therefor
GROUP

Scale 1:200 @A4

HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 09-10-2024 DRAWING NO. SS3787-04B_01-424 VERSION A

