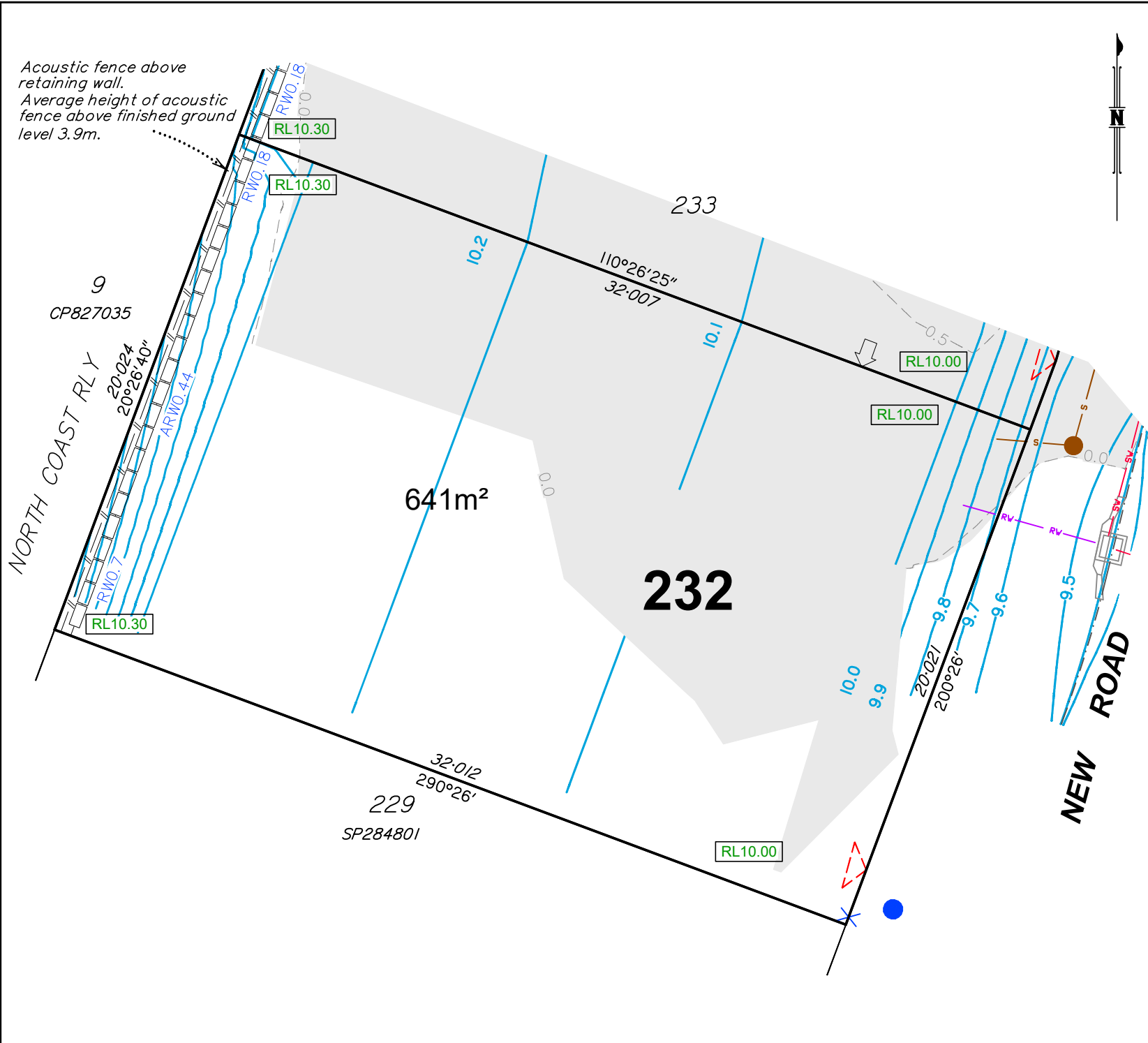


Acoustic fence above retaining wall.
Average height of acoustic fence above finished ground level 3.9m.



DISCLOSURE PLAN

For Proposed Lot 232
Riverbank - Stage 4A

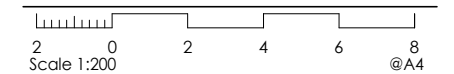
Currently Described As Part of Lot 1035 on SP328512
RPD: Caboolture South
Locality: Moreton Bay Regional
Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

Notes:

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5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 11-04-2025 DRAWING NO. SB3594_04-01-232 VERSION A

DISCLOSURE PLAN

For Proposed Lot 233
Riverbank - Stage 4A

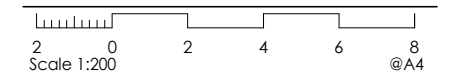
Currently Described As
RPD: Part of Lot 1035 on SP328512
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lower side of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

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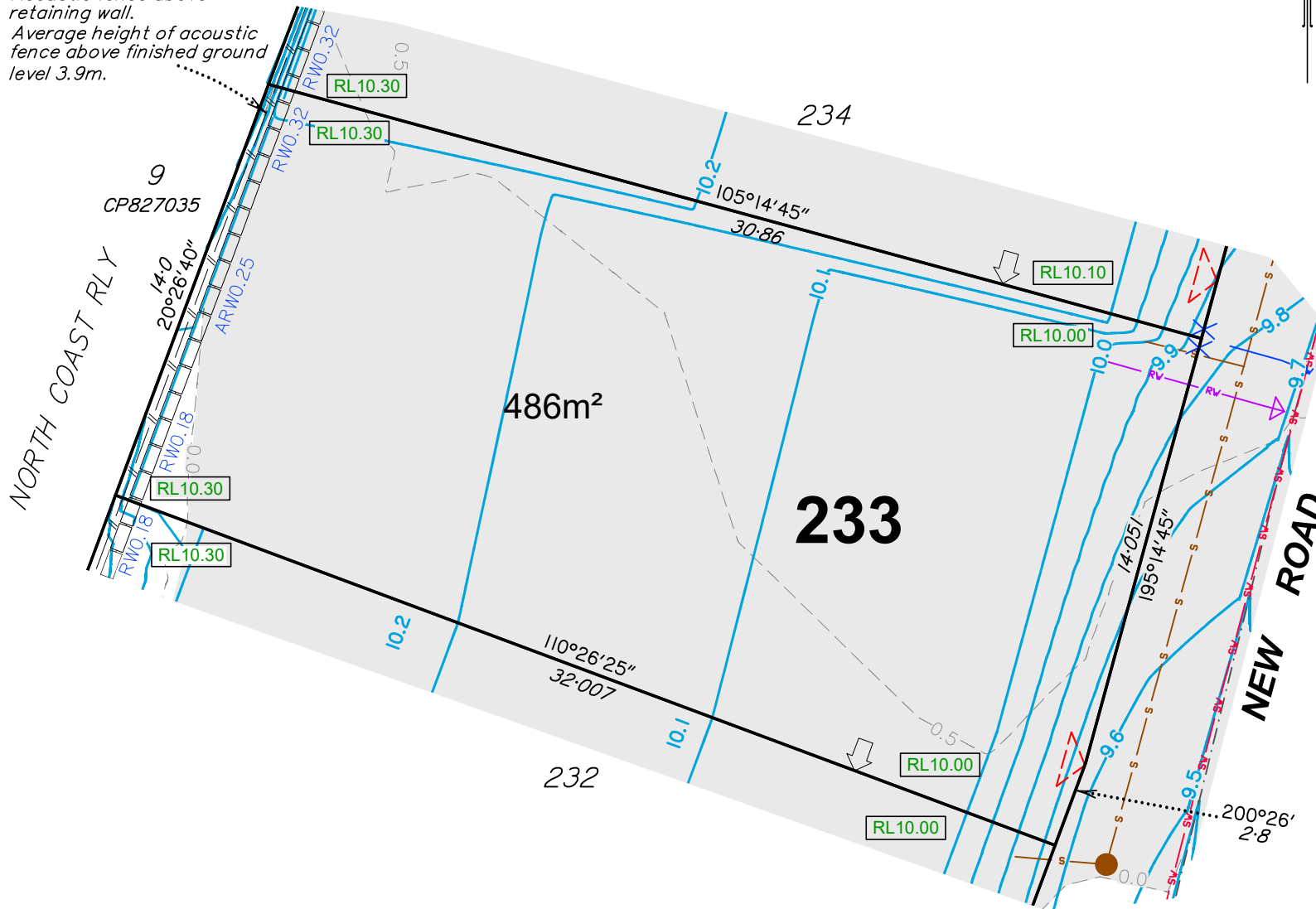
RIVERBANK



HORIZONTAL MERIDIAN: MGA LEVEL DATUM: AHD.

DATE DRAWN: 11-04-2025 DRAWING NO.: SB3594_04-01-233 VERSION: A

Acoustic fence above retaining wall.
Average height of acoustic fence above finished ground level 3.9m.



DISCLOSURE PLAN

For Proposed Lot 234
Riverbank - Stage 4A

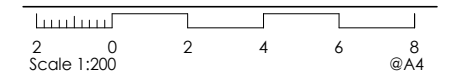
Currently Described As Part of Lot 1035 on SP328512
 RPD: Caboolture South
 Locality: Moreton Bay Regional
 Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s Sewer/Sewer Manhole
 - sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv Roofwater/Roofwater Pit
 - ↔ Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - RW Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - // Acoustic Fence above Retaining Wall

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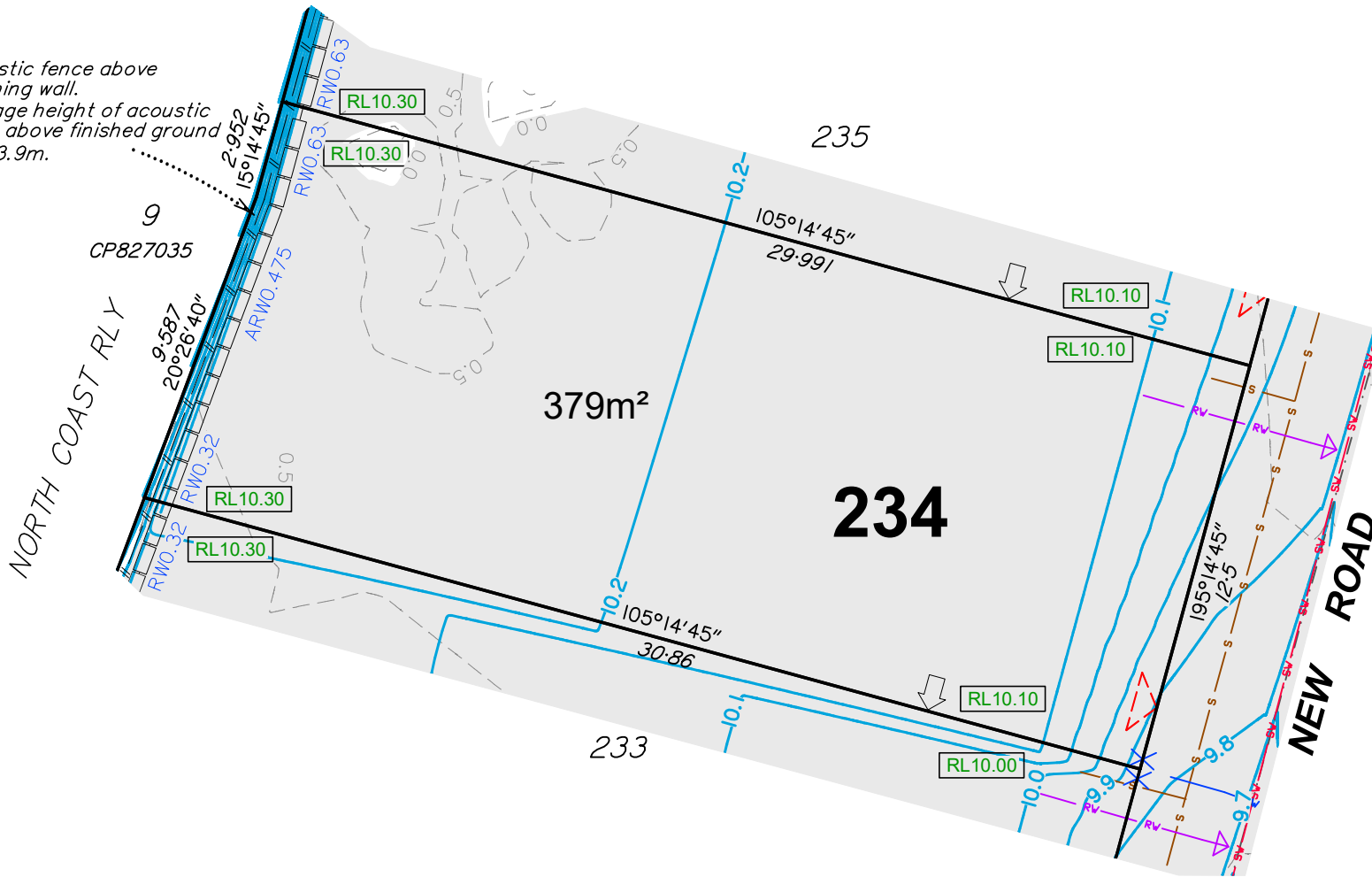
RIVERBANK



HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 11-04-2025 DRAWING NO. SB3594_04-01-234 VERSION A

Acoustic fence above retaining wall.
Average height of acoustic fence above finished ground level 3.9m.



DISCLOSURE PLAN

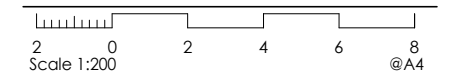
For Proposed Lot 235
Riverbank - Stage 4A

Currently Described As Part of Lot 1035 on SP328512
 RPD: Caboolture South
 Locality: Moreton Bay Regional
 Local Authority:

- Legend:**
- Finished Surface Contours (0.1m Interval)
 - Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the lower side of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

- Notes:**
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RIVERBANK

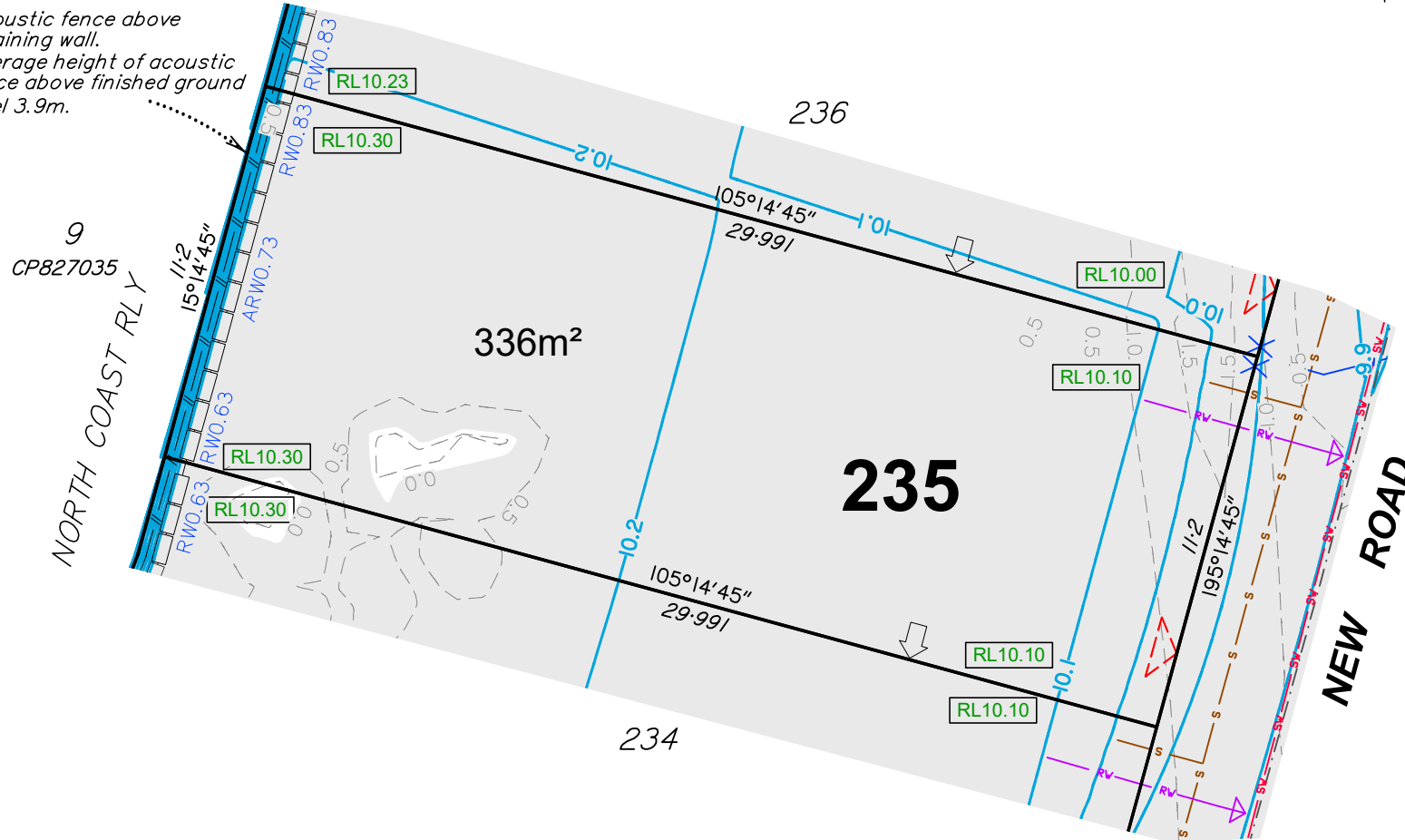


HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 11-04-2025 DRAWING NO. SB3594_04-01-235 VERSION A



Acoustic fence above retaining wall.
Average height of acoustic fence above finished ground level 3.9m.



9
CP827035
NORTH COAST RLY

NEW ROAD

235

336m²

234

236

DISCLOSURE PLAN

For Proposed Lot 236
Riverbank - Stage 4A

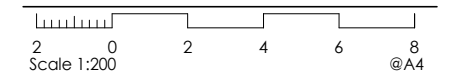
Currently Described As Part of Lot 1035 on SP328512
 RPD: Caboolture South
 Locality: Moreton Bay Regional
 Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - - - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - S Sewer/Sewer Manhole
 - SV Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RV Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lower side of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - // // Acoustic Fence above Retaining Wall

Notes:

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RIVERBANK

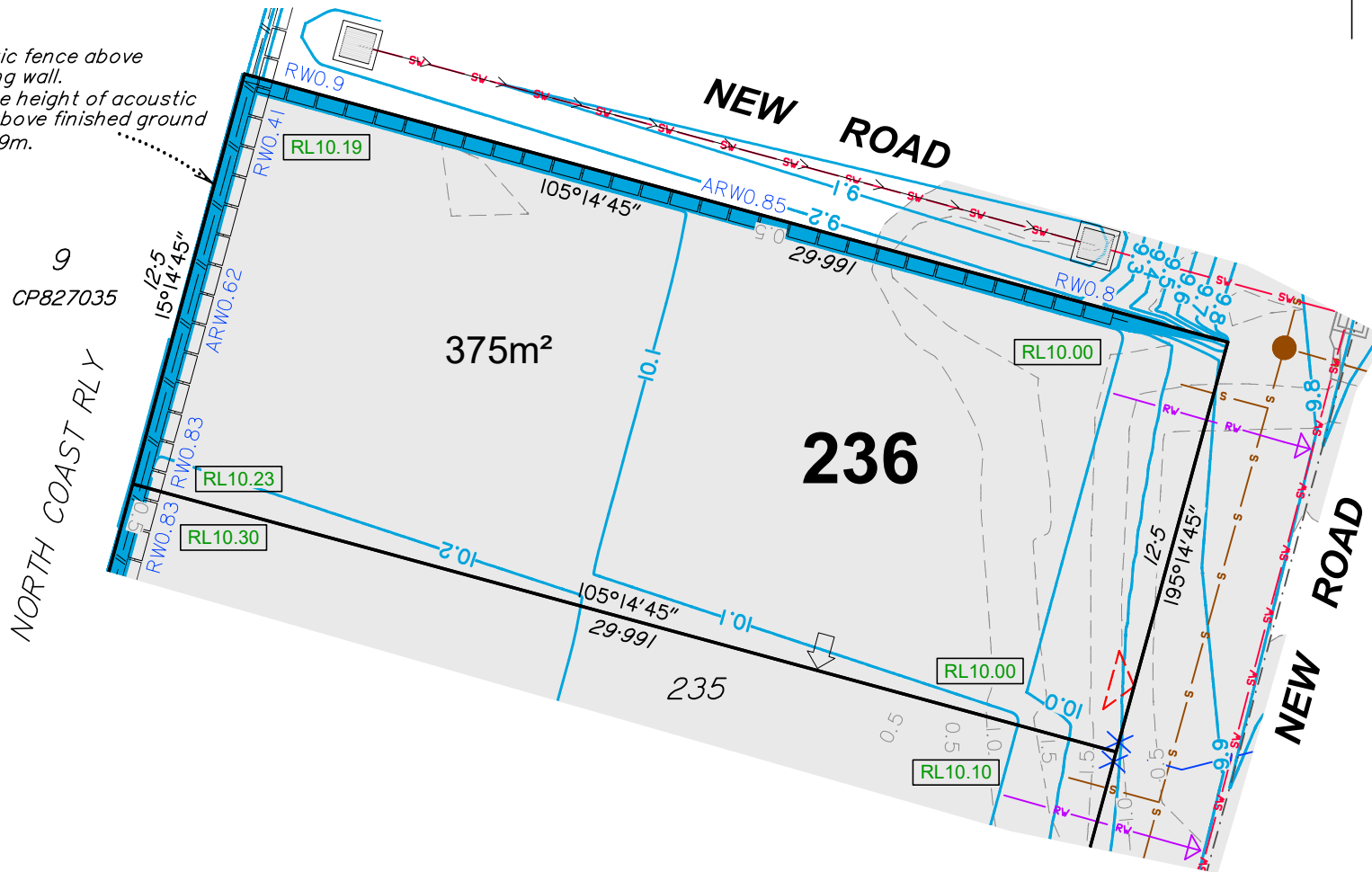


HORIZONTAL MERIDIAN: MGA LEVEL DATUM: AHD.

DATE DRAWN: 11-04-2025 DRAWING NO.: SB3594_04-01-236 VERSION: A



Acoustic fence above retaining wall.
Average height of acoustic fence above finished ground level 3.9m.



9
CP827035

NORTH COAST RLY

375m²

236

235

NEW ROAD

NEW ROAD

RWO.9
RWO.41
ARWO.62
RWO.83
RWO.83

RL10.19

RL10.23

RL10.30

RL10.00

RL10.00

RL10.10

105°14'45"

105°14'45"

12.5

12.5

10.1

10.2

29.991

29.991

ARWO.85

2.6

1.6

1.01

1.01

0.5

0.5

0.5

0.5

0.5

0.5

0.5

DISCLOSURE PLAN

For Proposed Lot 237
Riverbank - Stage 4A

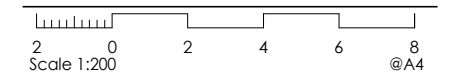
Currently Described As Part of Lot 1035 on SP328512
 RPD: Caboolture South
 Locality: Moreton Bay Regional
 Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - - - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - ↖ Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
 - - - Proposed Driveway
 - ← Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

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RIVERBANK

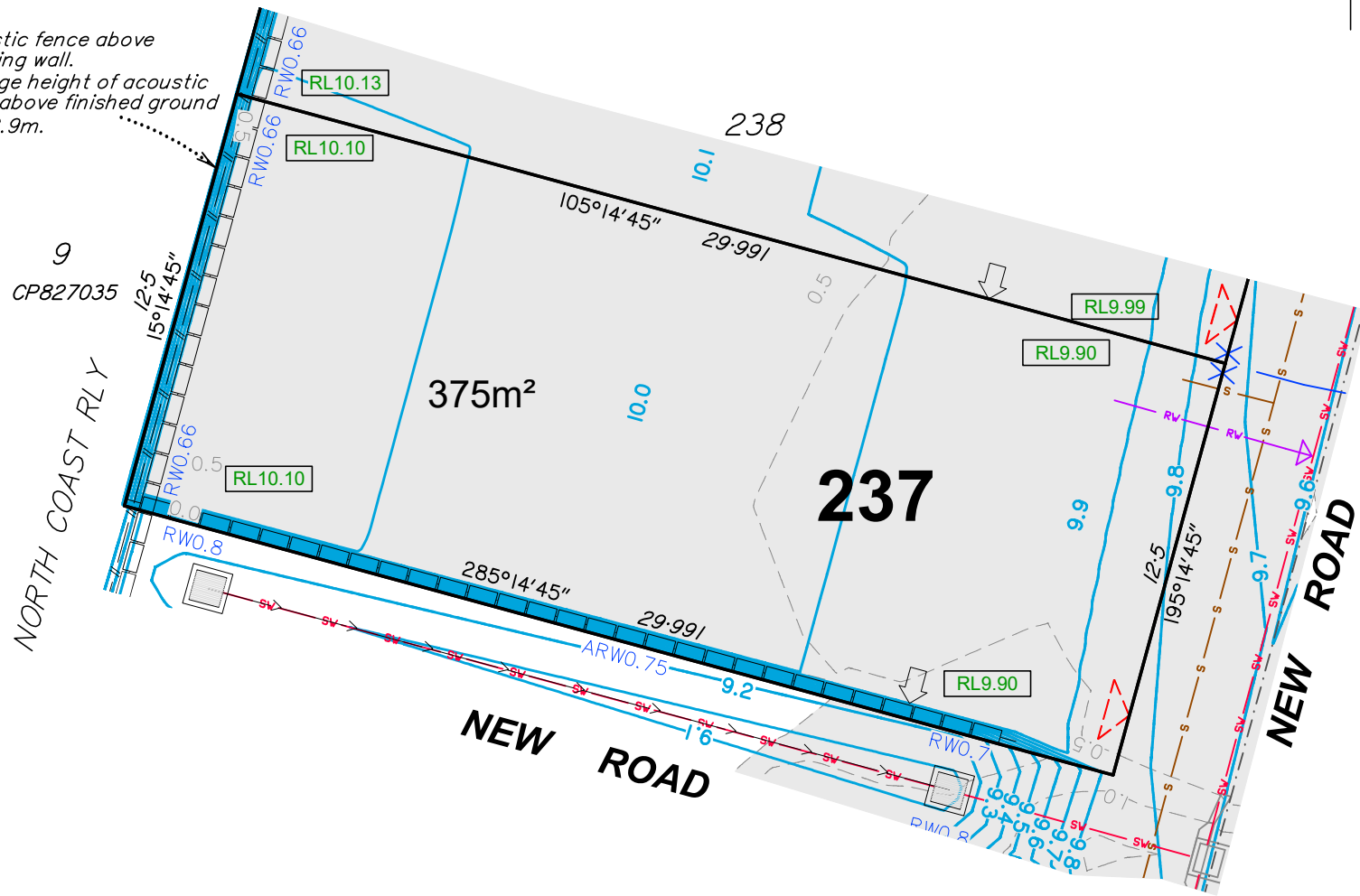


HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 11-04-2025 DRAWING NO. SB3594_04-01-237 VERSION A



Acoustic fence above retaining wall.
Average height of acoustic fence above finished ground level 3.9m.



9
CP827035
NORTH COAST RLY

NEW ROAD

NEW ROAD

237

238

RL10.13

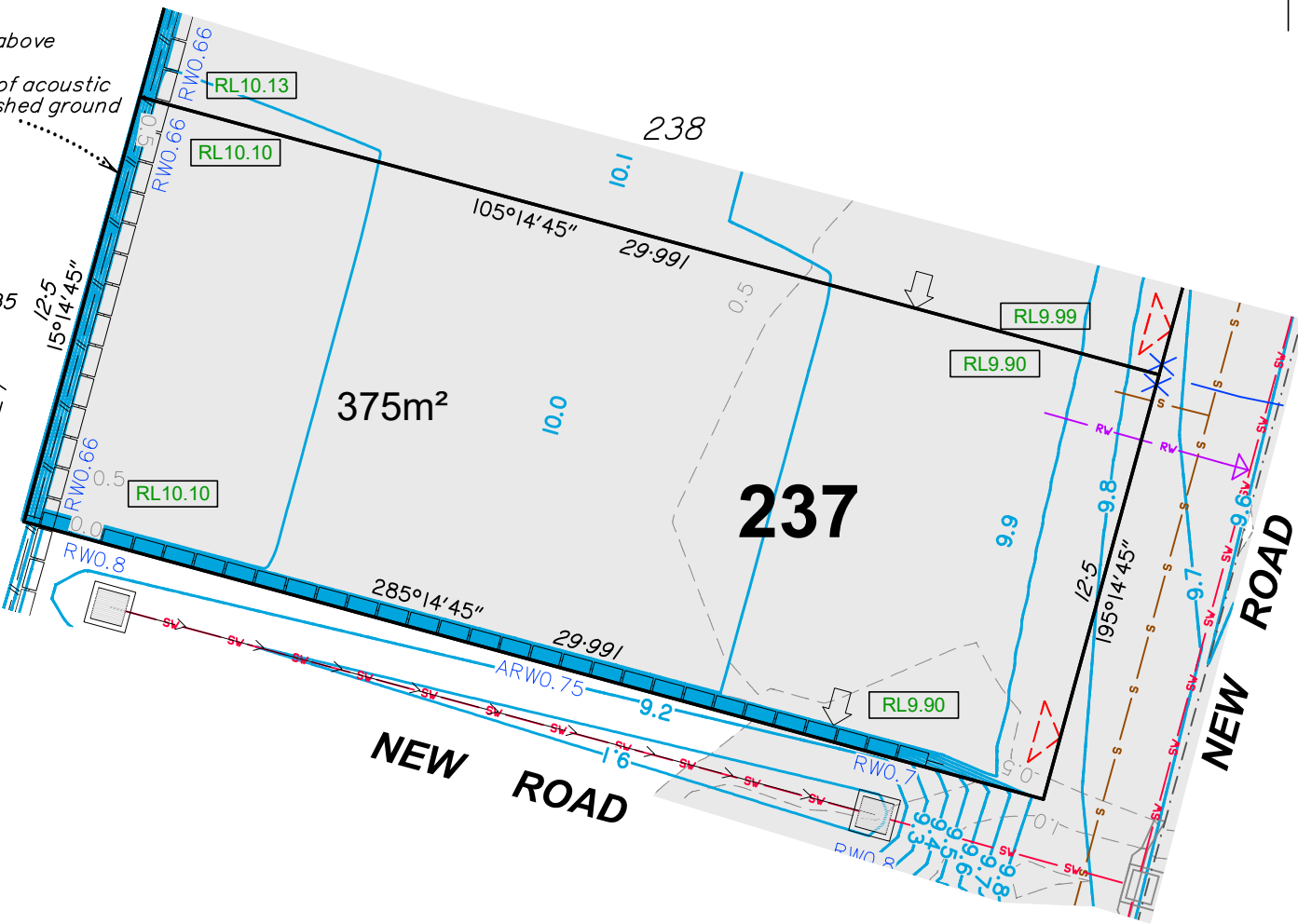
RL10.10

RL10.10

RL9.99

RL9.90

RL9.90



DISCLOSURE PLAN

For Proposed Lot 238
Riverbank - Stage 4A

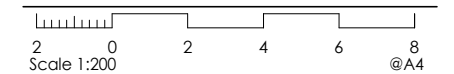
Currently Described As Part of Lot 1035 on SP328512
 RPD: Caboolture South
 Locality: Caboolture South
 Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - - - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - - - Kerb Line
 - - - Edge of Pad
 - s Sewer/Sewer Manhole
 - sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RV Roofwater/Roofwater Pit
 - K Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - RW Retaining Wall
 - ARW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
 - - - Proposed Driveway
 - ← Zero Lot Line Boundary
 - // // Acoustic Fence above Retaining Wall

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RIVERBANK

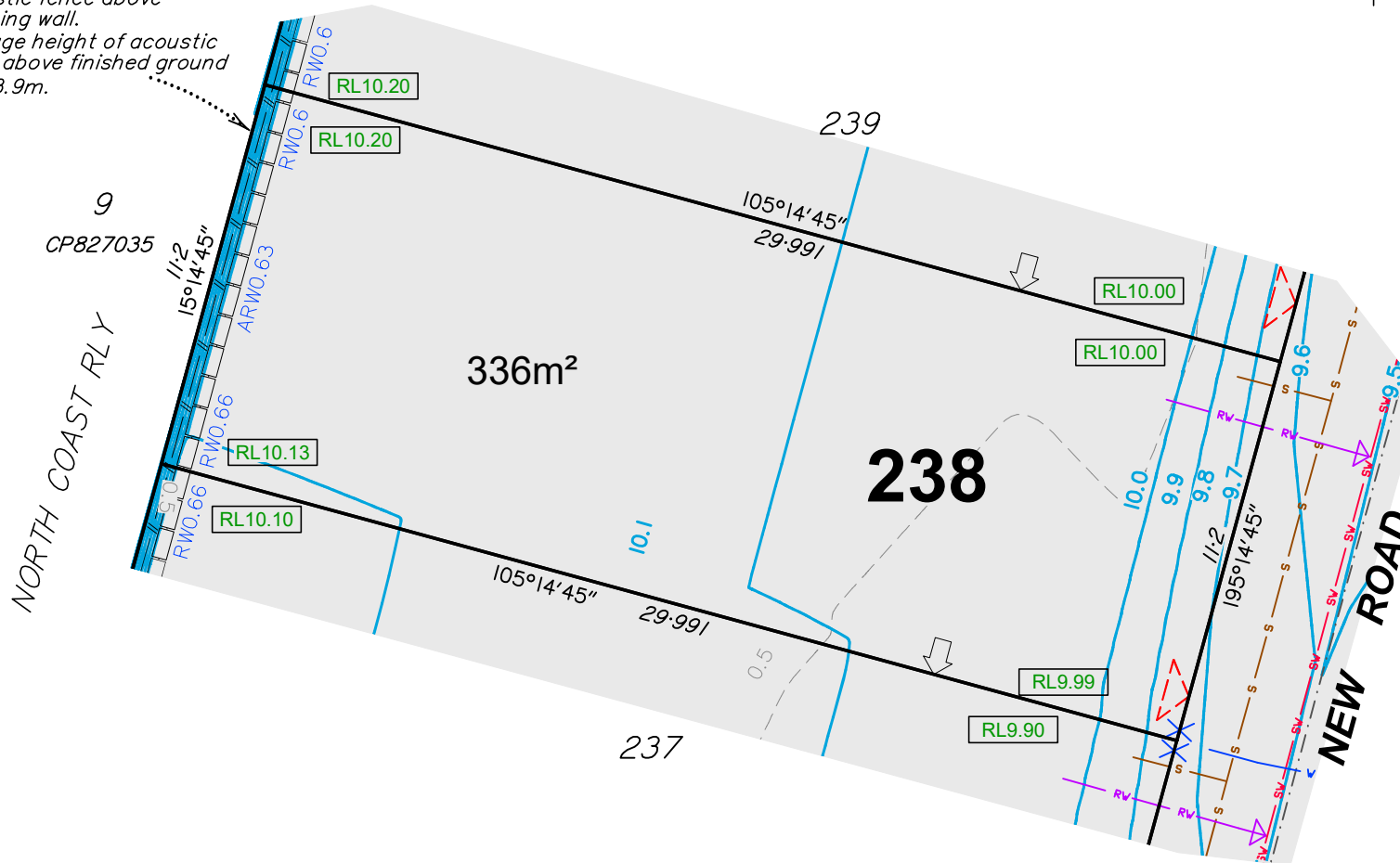


HORIZONTAL MERIDIAN: MGA LEVEL DATUM: AHD.

DATE DRAWN: 11-04-2025 DRAWING NO.: SB3594_04-01-238 VERSION: A



Acoustic fence above retaining wall.
Average height of acoustic fence above finished ground level 3.9m.



9
CP827035
NORTH COAST RLY

NEW ROAD

238

336m²

237

239

15°14'45"

11:2

ARW0.63

RW0.66

RW0.66

RW0.66

RW0.66

RW0.66

RW0.66

RW0.66

RW0.66

RW0.66

RW0.66

RW0.66

RW0.66

RW0.66

RW0.66

RW0.66

RW0.66

RW0.66

RW0.66

RL10.20

RL10.20

RL10.13

RL10.10

RL10.00

RL10.00

RL9.99

RL9.90

105°14'45"

29.991

10.1

0.5

10.0

9.9

9.8

9.7

11:2

195°14'45"

9.6

9.5

9.4

9.3

9.2

9.1

9.0

8.9

8.8

8.7

8.6

8.5

8.4

8.3

8.2

8.1

8.0

7.9

7.8

7.7

7.6

7.5

7.4

7.3

7.2

7.1

7.0

6.9

6.8

6.7

6.6

6.5

6.4

6.3

6.2

6.1

6.0

5.9

5.8

5.7

5.6

5.5

5.4

5.3

5.2

5.1

5.0

4.9

4.8

4.7

4.6

4.5

4.4

4.3

4.2

4.1

4.0

3.9

3.8

3.7

3.6

3.5

3.4

3.3

3.2

3.1

3.0

2.9

2.8

2.7

2.6

2.5

2.4

2.3

2.2

2.1

2.0

1.9

1.8

1.7

1.6

1.5

1.4

1.3

1.2

1.1

1.0

0.9

0.8

0.7

0.6

0.5

0.4

0.3

0.2

0.1

0.0

-0.1

-0.2

-0.3

-0.4

-0.5

-0.6

-0.7

-0.8

-0.9

-1.0

-1.1

-1.2

-1.3

-1.4

-1.5

-1.6

-1.7

-1.8

-1.9

-2.0

-2.1

-2.2

-2.3

-2.4

-2.5

-2.6

-2.7

-2.8

-2.9

-3.0

-3.1

-3.2

-3.3

-3.4

-3.5

-3.6

-3.7

-3.8

-3.9

-4.0

-4.1

-4.2

-4.3

-4.4

-4.5

-4.6

-4.7

-4.8

-4.9

-5.0

-5.1

-5.2

-5.3

-5.4

-5.5

-5.6

-5.7

-5.8

-5.9

-6.0

-6.1

-6.2

-6.3

-6.4

-6.5

-6.6

-6.7

-6.8

-6.9

-7.0

-7.1

-7.2

-7.3

-7.4

-7.5

-7.6

-7.7

-7.8

-7.9

-8.0

-8.1

-8.2

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-8.5

-8.6

-8.7

-8.8

-8.9

-9.0

-9.1

-9.2

-9.3

-9.4

-9.5

-9.6

-9.7

-9.8

-9.9

-10.0

-10.1

-10.2

-10.3

-10.4

-10.5

-10.6

-10.7

-10.8

-10.9

-11.0

-11.1

-11.2

-11.

DISCLOSURE PLAN

For Proposed Lot 239
Riverbank - Stage 4A

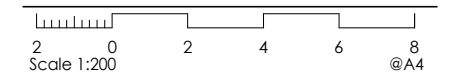
Currently Described As Part of Lot 1035 on SP328512
 RPD: Caboolture South
 Locality: Moreton Bay Regional
 Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the lower side of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

Notes:

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RIVERBANK

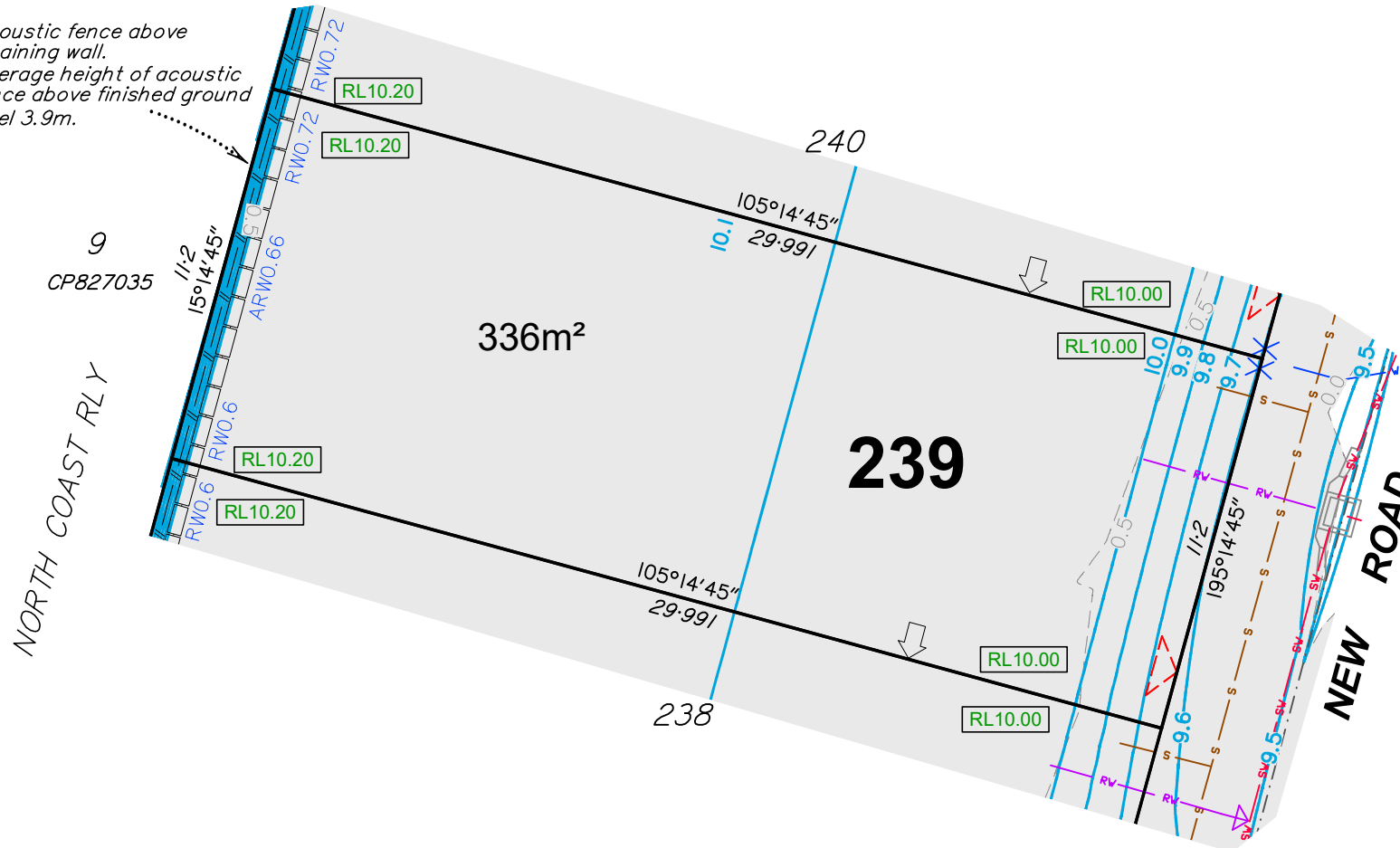


HORIZONTAL MERIDIAN: MGA LEVEL DATUM: AHD.

DATE DRAWN: 11-04-2025 DRAWING NO.: SB3594_04-01-239 VERSION: A



Acoustic fence above retaining wall.
Average height of acoustic fence above finished ground level 3.9m.



DISCLOSURE PLAN

For Proposed Lot 240
Riverbank - Stage 4A

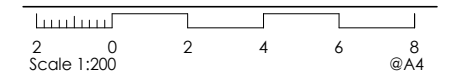
Currently Described As
RPD: Part of Lot 1035 on SP328512
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s Sewer/Sewer Manhole
 - sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lower side of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

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6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

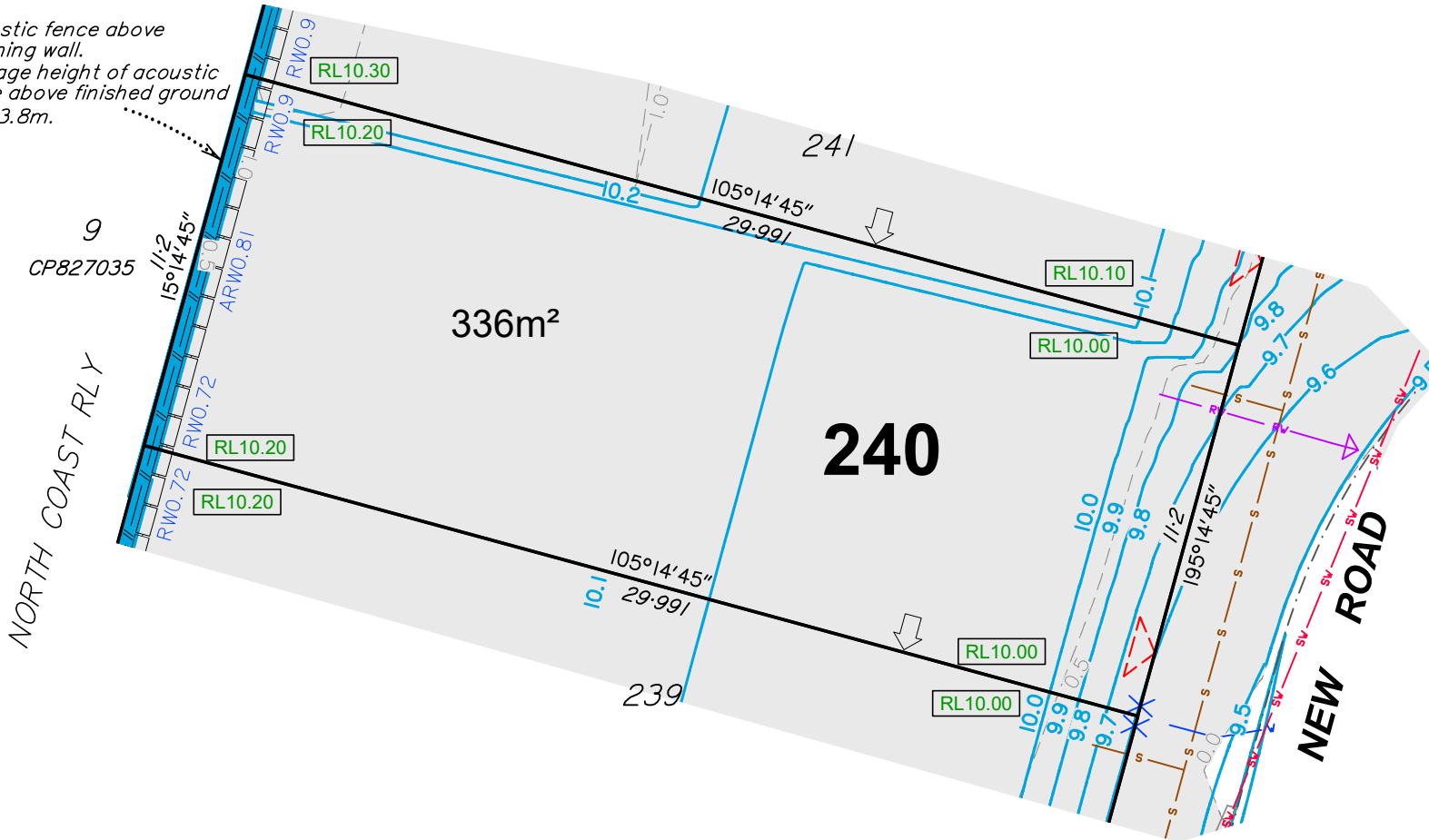


HORIZONTAL MERIDIAN: MGA LEVEL DATUM: AHD.

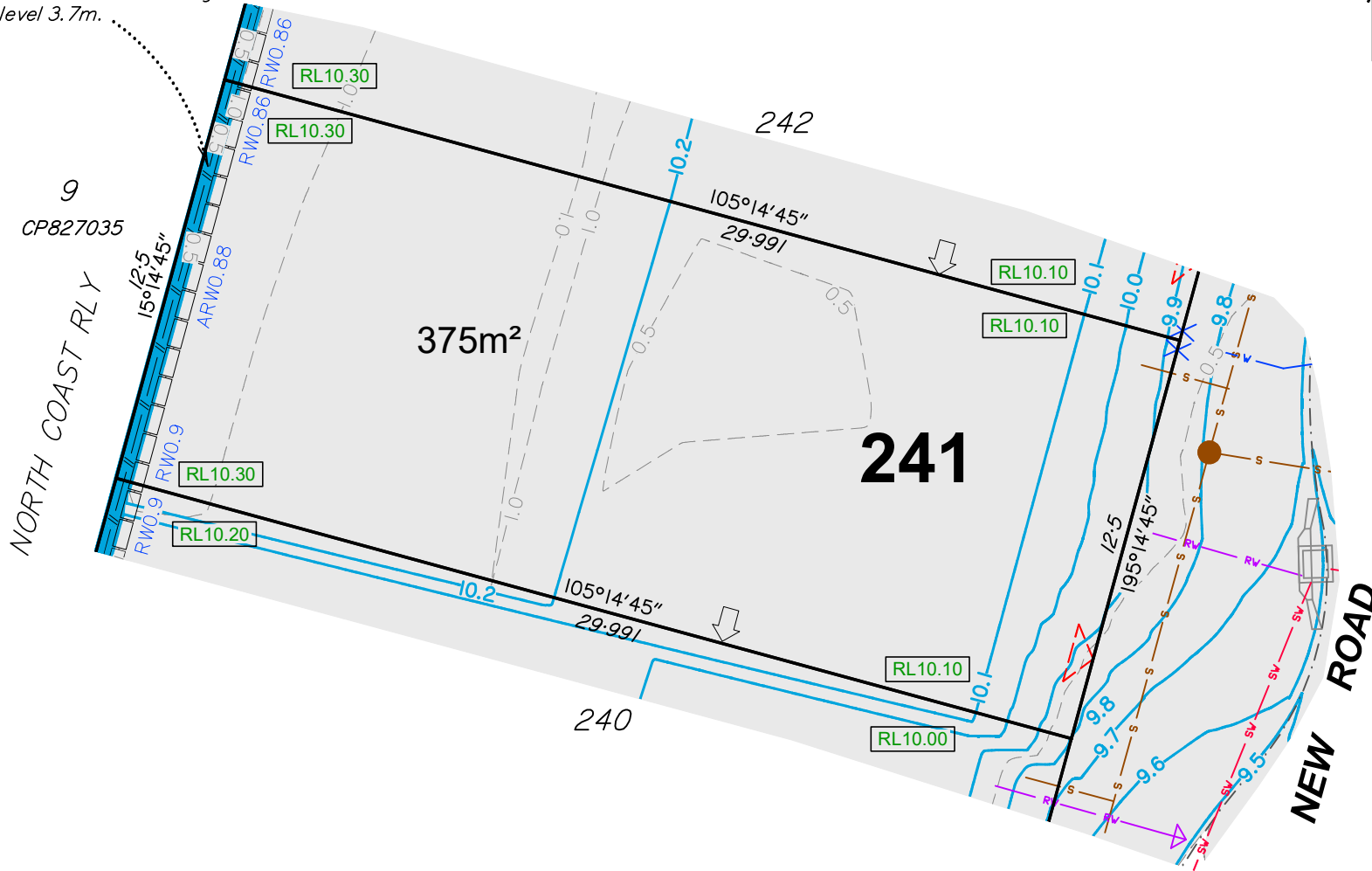
DATE DRAWN: 11-04-2025 DRAWING NO.: SB3594_04-01-240 VERSION: A



Acoustic fence above retaining wall.
Average height of acoustic fence above finished ground level 3.8m.



Acoustic fence above retaining wall.
Average height of acoustic fence above finished ground level 3.7m.



DISCLOSURE PLAN

For Proposed Lot 241
Riverbank - Stage 4A

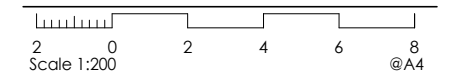
Currently Described As
RPD: Part of Lot 1035 on SP328512
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the lower side of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
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6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN: MGA
LEVEL DATUM: AHD.

DATE DRAWN: 11-04-2025
DRAWING NO.: SB3594_04-01-241
VERSION: A

DISCLOSURE PLAN

For Proposed Lot 242
Riverbank - Stage 4A

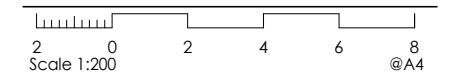
Currently Described As
RPD: Part of Lot 1035 on SP328512
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s Sewer/Sewer Manhole
 - sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - ↖ Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - RW Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lower side of the wall)
 - ↘ Proposed Driveway
 - Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

Notes:

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6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN: MGA LEVEL DATUM: AHD.


DATE DRAWN: 11-04-2025 DRAWING NO.: SB3594_04-01-242 VERSION: A



DISCLOSURE PLAN

For Proposed Lot 243
Riverbank - Stage 4A

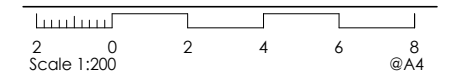
Currently Described As Part of Lot 1035 on SP328512
 RPD: Caboolture South
 Locality: Moreton Bay Regional
 Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - - - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s Sewer/Sewer Manhole
 - sv Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RV Roofwater/Roofwater Pit
 - K Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - RW Retaining Wall
 - ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the underside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

Notes:

1. This note is an integral part of this plan.
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RIVERBANK

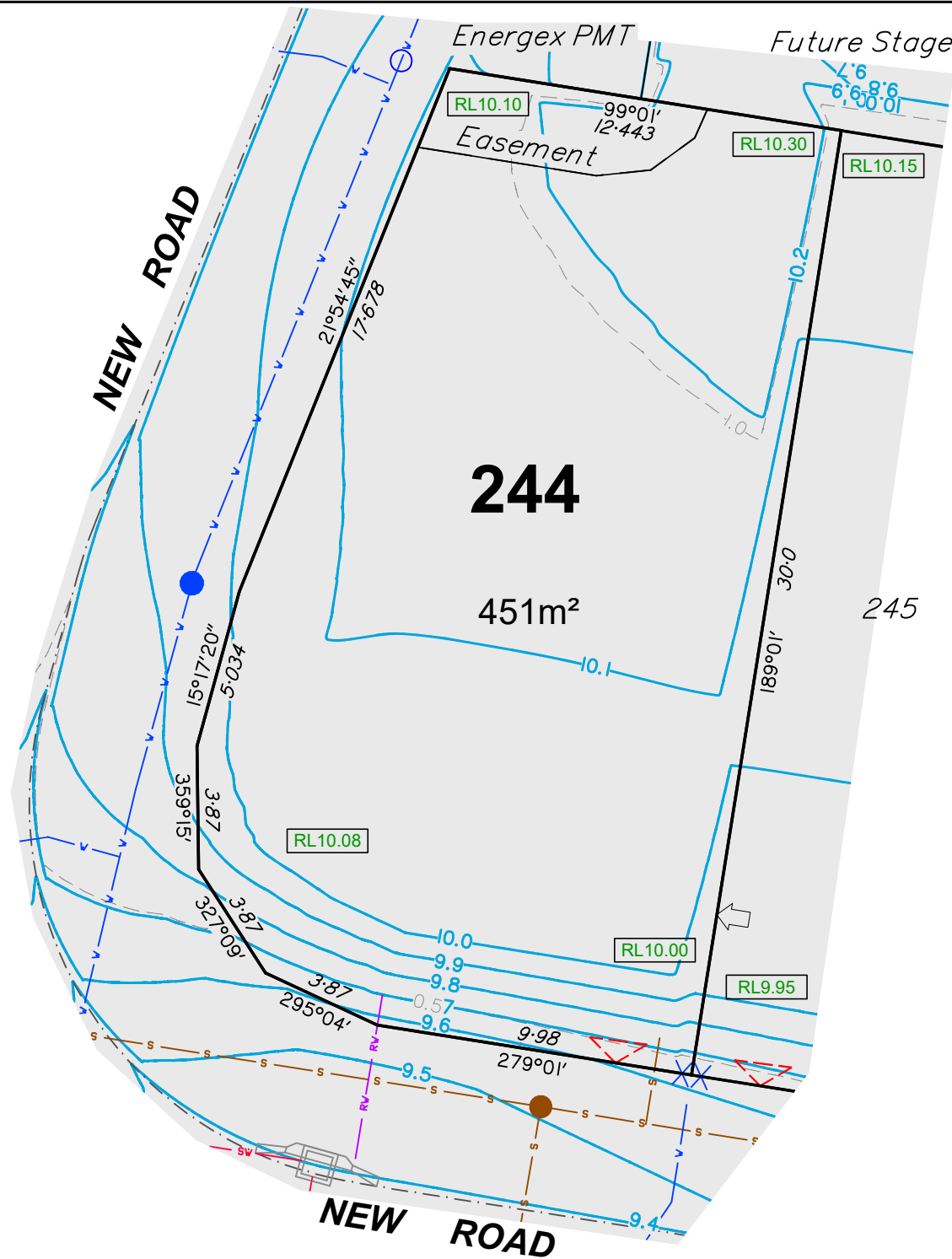


HORIZONTAL MERIDIAN: MGA LEVEL DATUM: AHD.

DATE DRAWN: 11-04-2025 DRAWING NO.: SB3594_04-01-243 VERSION: A



Acoustic fence above retaining wall.
Average height of acoustic fence above finished ground level 3.6m.



DISCLOSURE PLAN

For Proposed Lot 244
Riverbank - Stage 4A

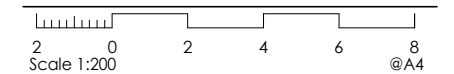
Currently Described As
RPD: Part of Lot 1035 on SP328512
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - ← Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the lowside of the wall)
 - < Proposed Driveway
 - ← Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

Notes:

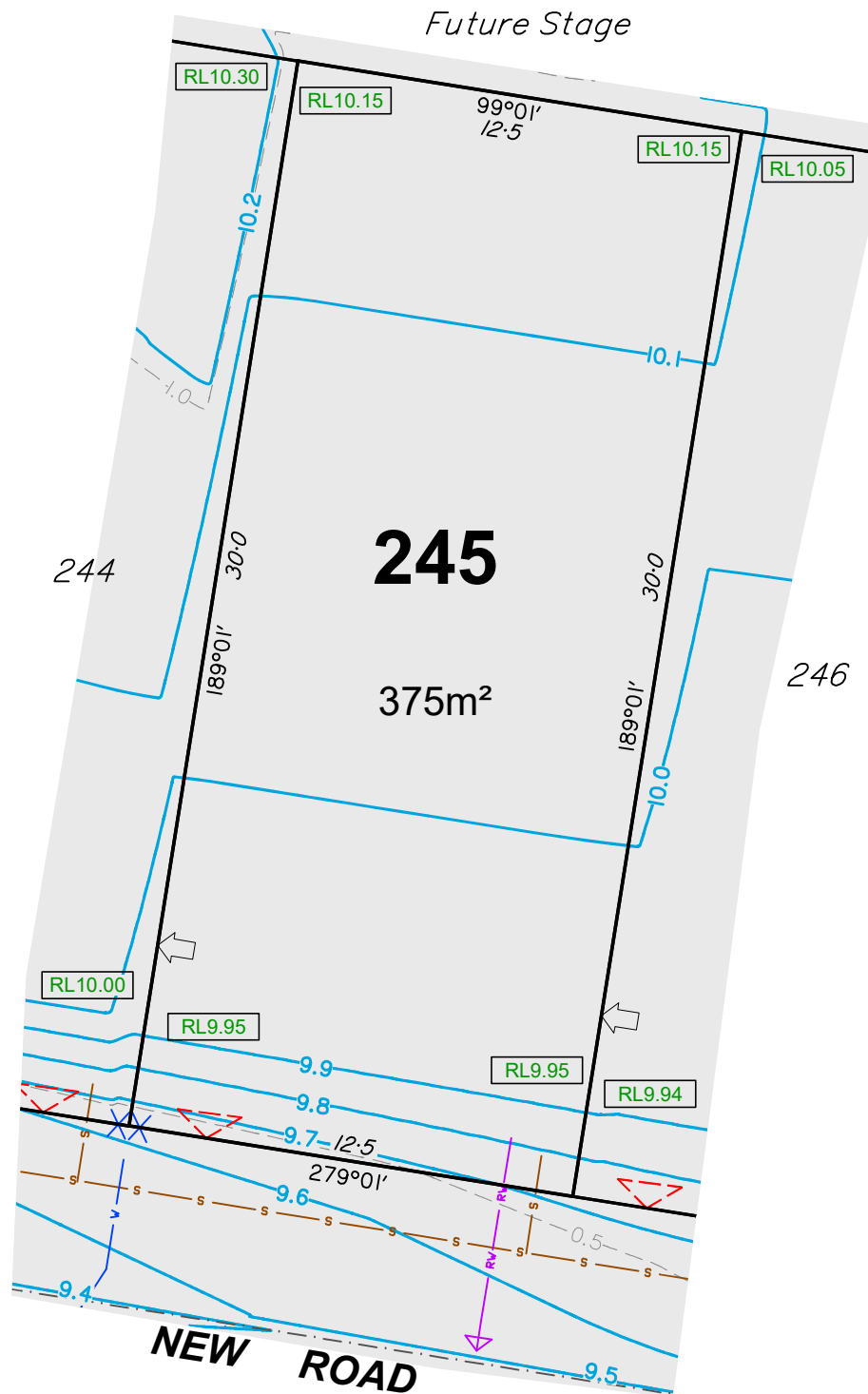
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RIVERBANK



HORIZONTAL MERIDIAN: MGA
LEVEL DATUM: AHD.

DATE DRAWN: 15-12-2025
DRAWING NO.: SB3594_04-01-244
VERSION: C



DISCLOSURE PLAN

For Proposed Lot 245
Riverbank - Stage 4A

Currently Described As

RPD: 46.0 Part of Lot 1035 on SP328512

Locality: Caboolture South

Local Authority: Moreton Bay Regional

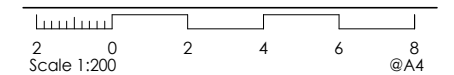
Legend:

- Finished Surface Contours (0.1m Interval)
- Depth of Fill Contours (0.5m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- Sewer/Sewer Manhole
- Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- Roofwater/Roofwater Pit
- Kerb Adapter
- Area to be Filled
- Design Pad Level
- Retaining Wall
- Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the lowside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- Acoustic Fence above Retaining Wall

Notes:

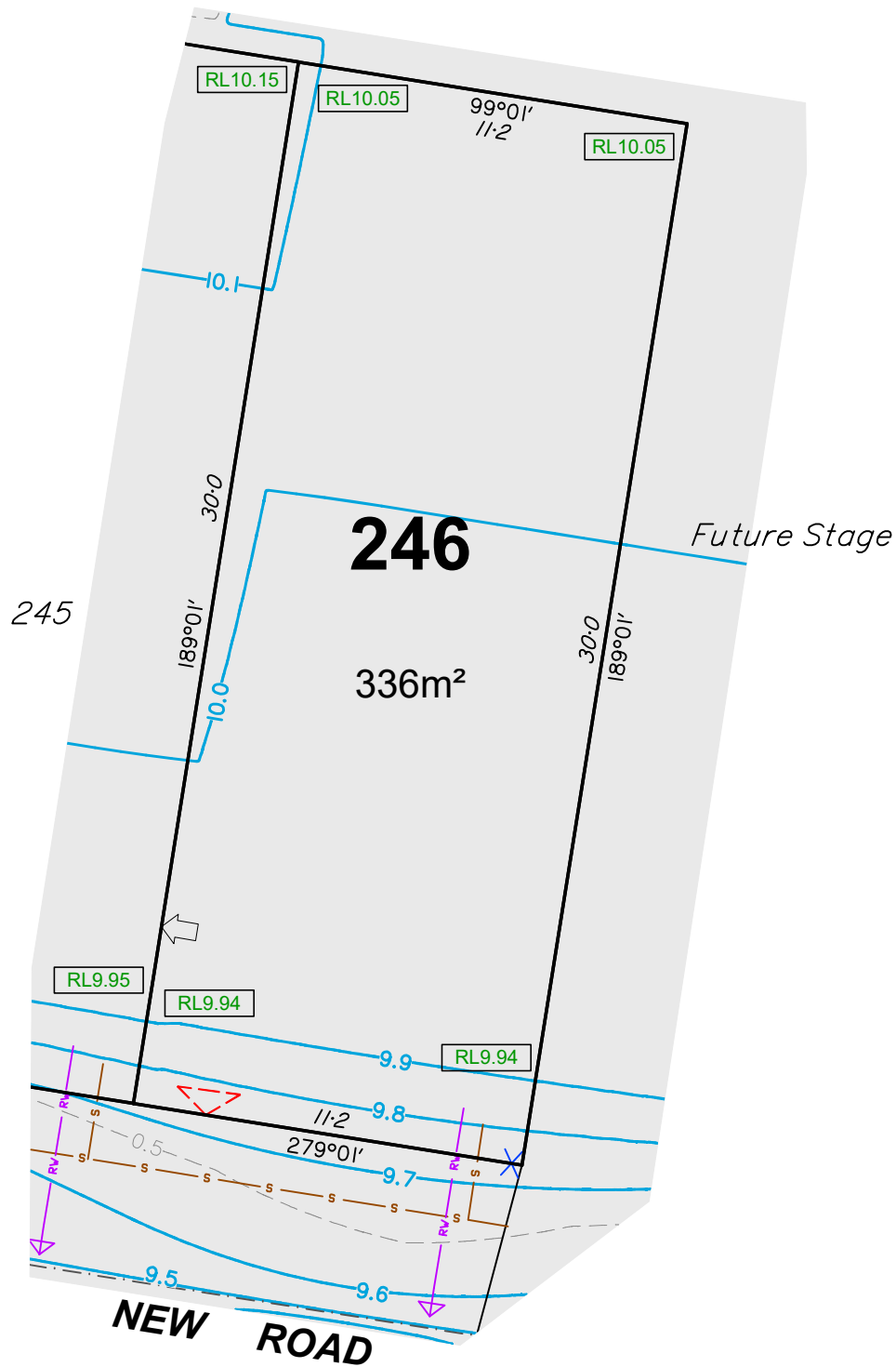
1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025.
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6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN: MGA
LEVEL DATUM: AHD.

DATE DRAWN: 15-12-2025
DRAWING NO.: SB3594_04-01-245
VERSION: C



DISCLOSURE PLAN

For Proposed Lot 246
Riverbank - Stage 4A

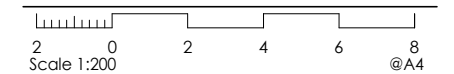
Currently Described As: Part of Lot 1035 on SP328512
 RPD: Caboolture South
 Locality: Moreton Bay Regional
 Local Authority:

- Legend:**
- Finished Surface Contours (0.1m Interval)
 - Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

Notes:

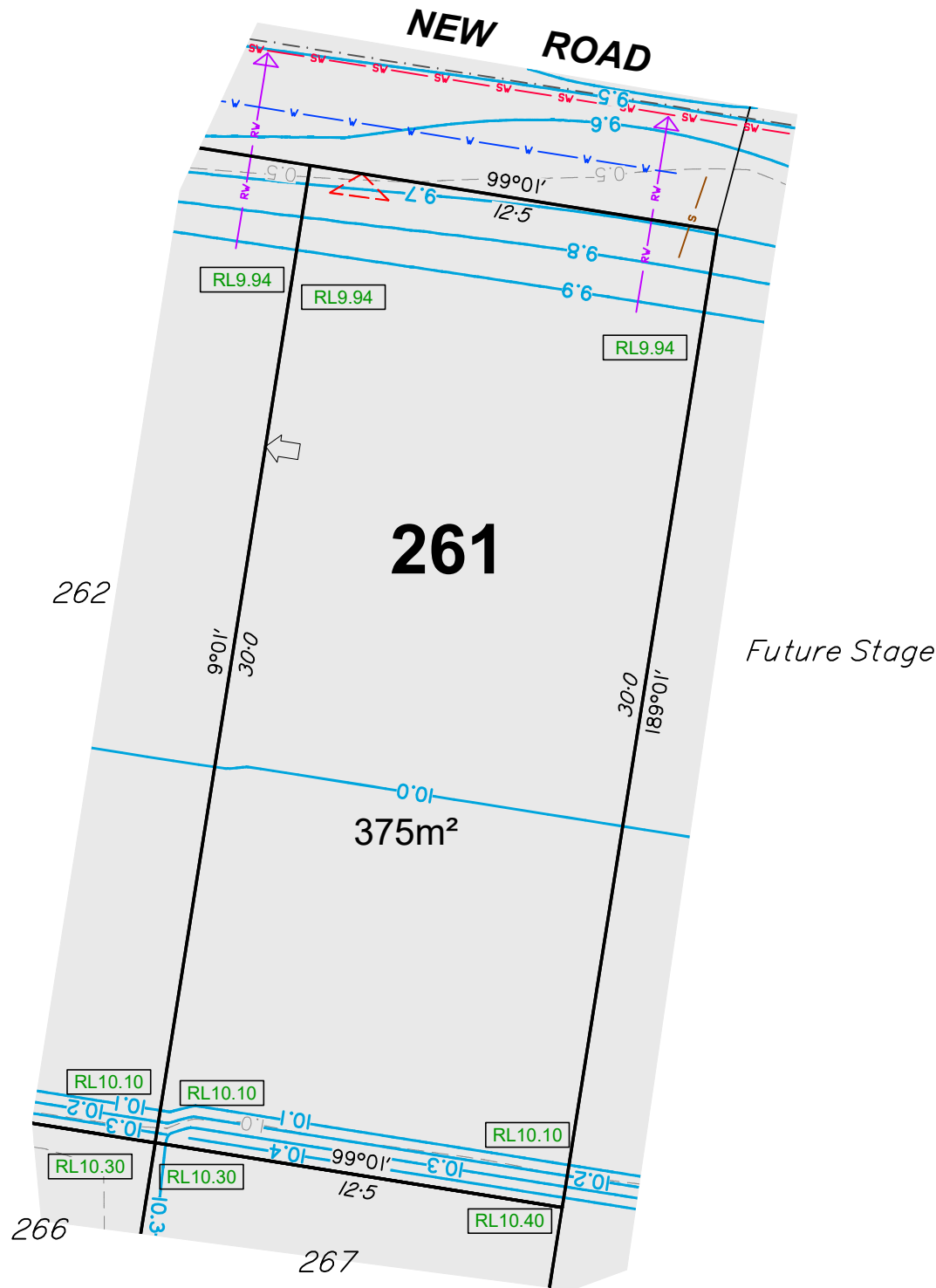
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RIVERBANK



HORIZONTAL MERIDIAN: MGA
 LEVEL DATUM: AHD.

DATE DRAWN: 15-12-2025
 DRAWING NO.: SB3594_04-01-246
 VERSION: B



DISCLOSURE PLAN

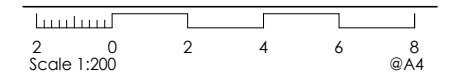
For Proposed Lot 261
Riverbank - Stage 4A

Currently Described As
RPD: 46.0 Part of Lot 1035 on SP328512
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s Sewer/Sewer Manhole
 - sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

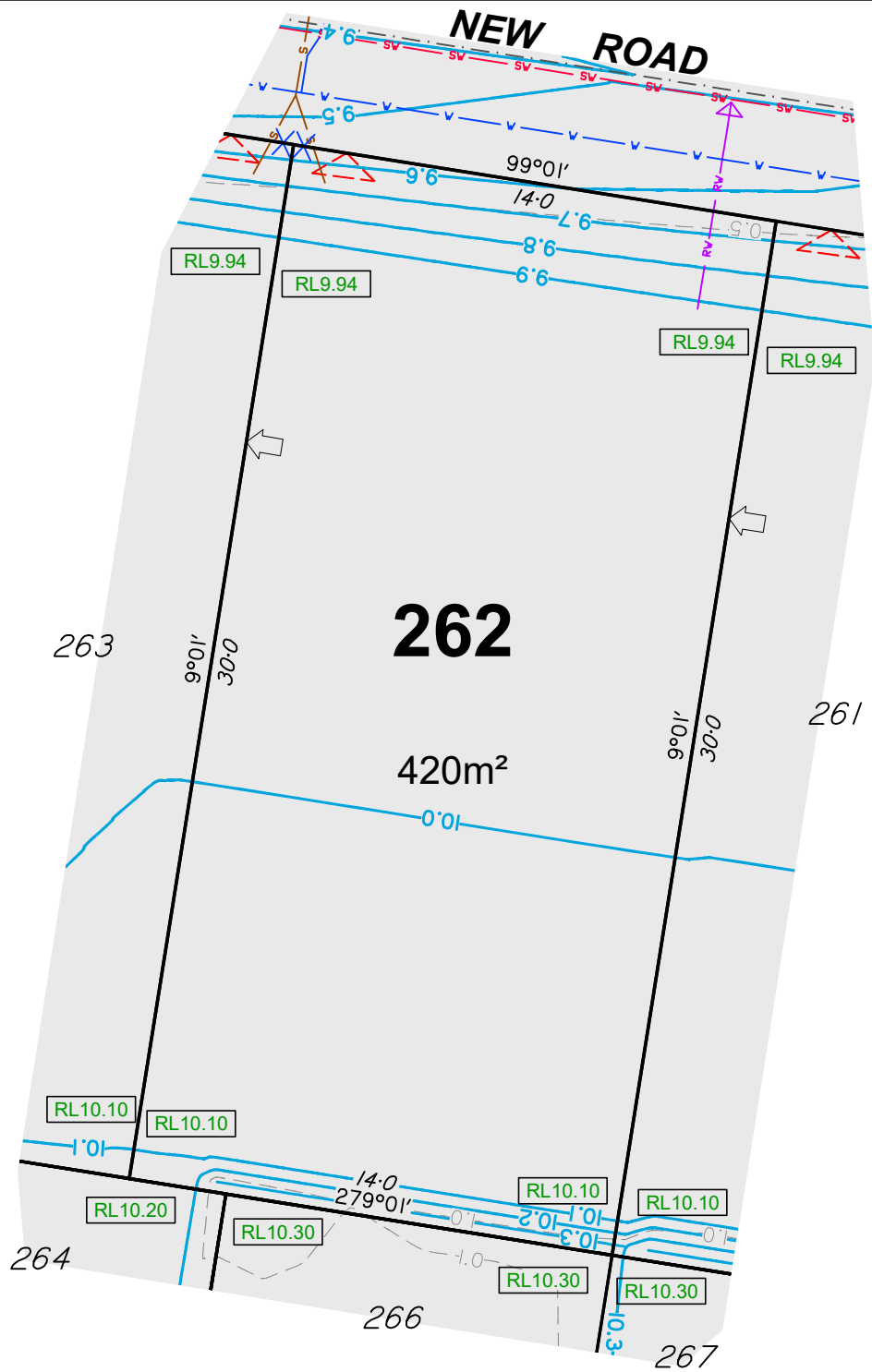
- Notes:**
1. This note is an integral part of this plan.
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 6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN: MGA
LEVEL DATUM: AHD.

DATE DRAWN: 15-12-2025
DRAWING NO.: SB3594_04-01-261
VERSION: B



DISCLOSURE PLAN

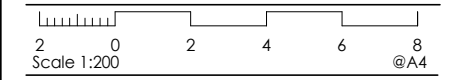
For Proposed Lot 262
Riverbank - Stage 4A

Currently Described As Part of Lot 1035 on SP328512
 RPD: Caboolture South
 Locality: Moreton Bay Regional
 Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - - - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - ← Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - - - Proposed Driveway
 - ← Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

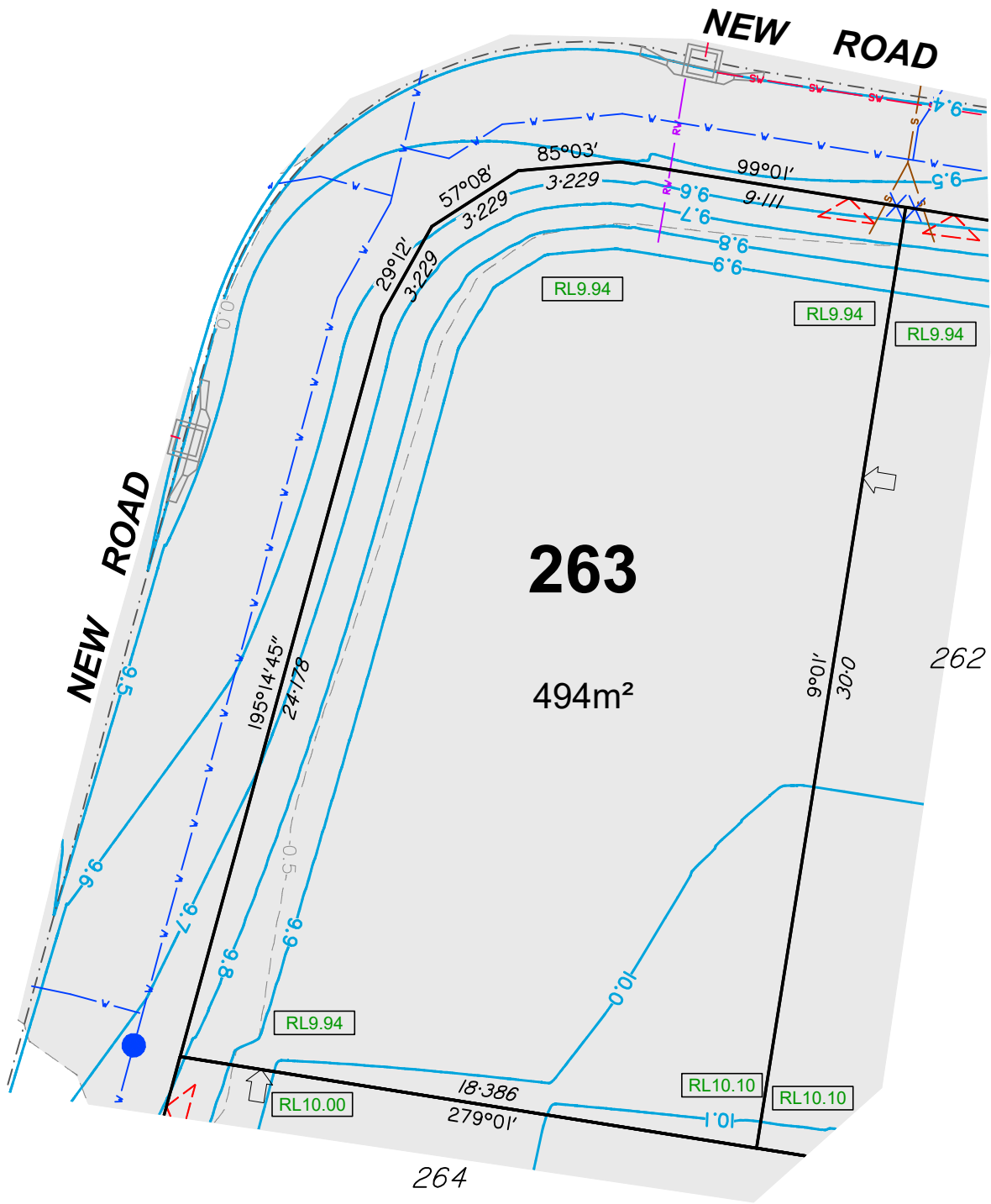
- Notes:**
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 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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RIVERBANK



HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 15-12-2025 DRAWING NO. SB3594_04-01-262 VERSION B



DISCLOSURE PLAN

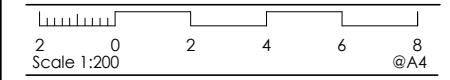
For Proposed Lot 263
Riverbank - Stage 4A

Currently Described As
RPD: Part of Lot 1035 on SP328512
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s Sewer/Sewer Manhole
 - sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lower side of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

- Notes:**
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 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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RIVERBANK



HORIZONTAL MERIDIAN: MGA
LEVEL DATUM: AHD.

DATE DRAWN: 15-12-2025
DRAWING NO.: SB3594_04-01-263
VERSION: B

DISCLOSURE PLAN

For Proposed Lot 264
Riverbank - Stage 4A

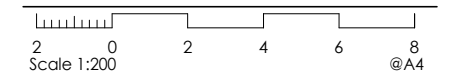
Currently Described As Part of Lot 1035 on SP328512
 RPD: Caboolture South
 Locality: Moreton Bay Regional
 Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lower side of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

Notes:

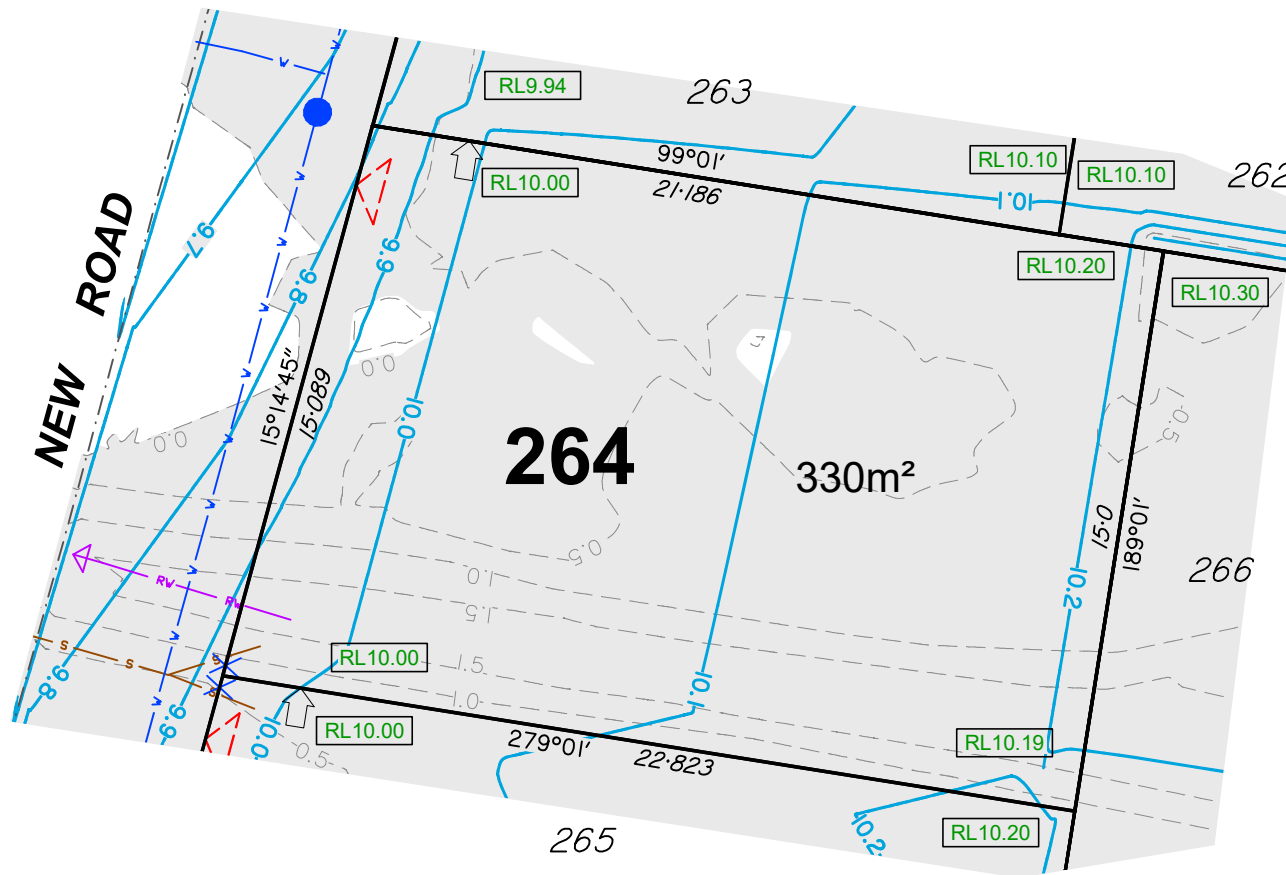
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RIVERBANK



HORIZONTAL MERIDIAN: MGA LEVEL DATUM: AHD.

DATE DRAWN: 15-12-2025 DRAWING NO.: SB3594_04-01-264 VERSION: B



DISCLOSURE PLAN

For Proposed Lot 265
Riverbank - Stage 4A

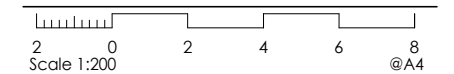
Currently Described As Part of Lot 1035 on SP328512
 RPD: Caboolture South
 Locality: Moreton Bay Regional
 Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - - - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s Sewer/Sewer Manhole
 - sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv Roofwater/Roofwater Pit
 - ↖ Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lower side of the wall)
 - < Proposed Driveway
 - ← Zero Lot Line Boundary
 - // Acoustic Fence above Retaining Wall

Notes:

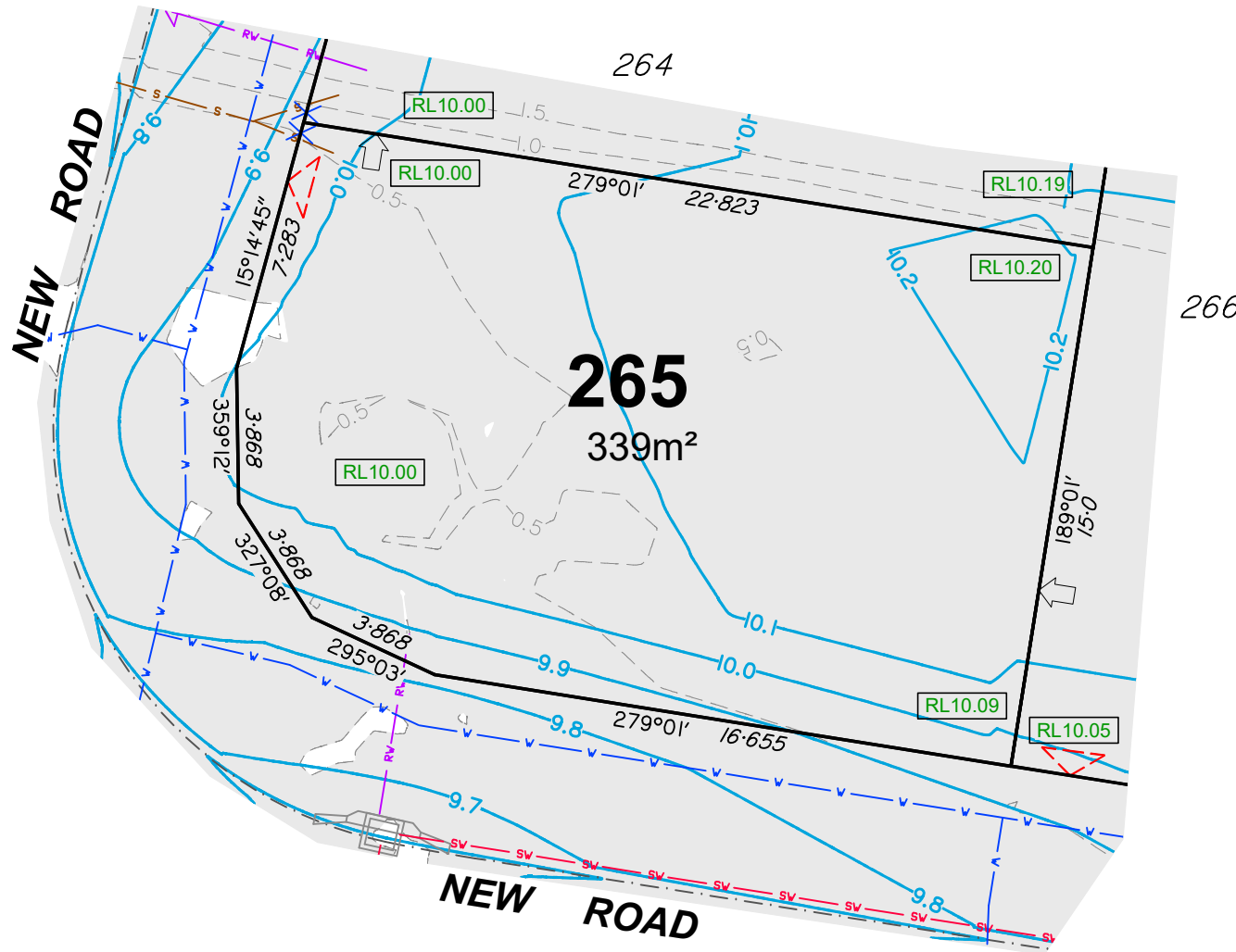
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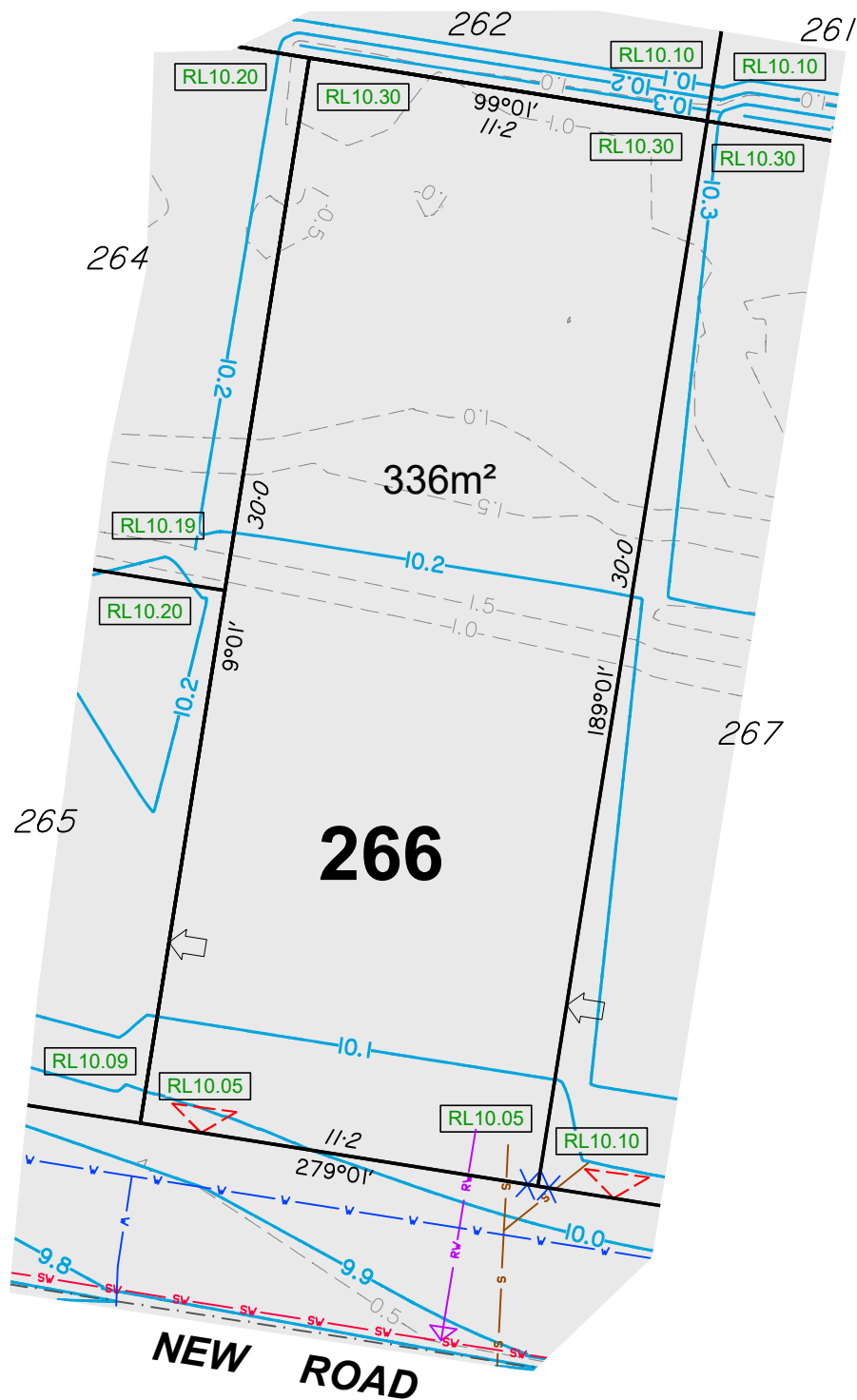
RIVERBANK



HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 15-12-2025 DRAWING NO. SB3594_04-01-265 VERSION B





DISCLOSURE PLAN

For Proposed Lot 266
Riverbank - Stage 4A

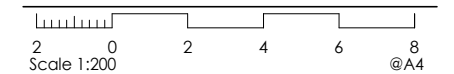
Currently Described As
RPD: 46.0 Part of Lot 1035 on SP328512
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
 - Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

Notes:

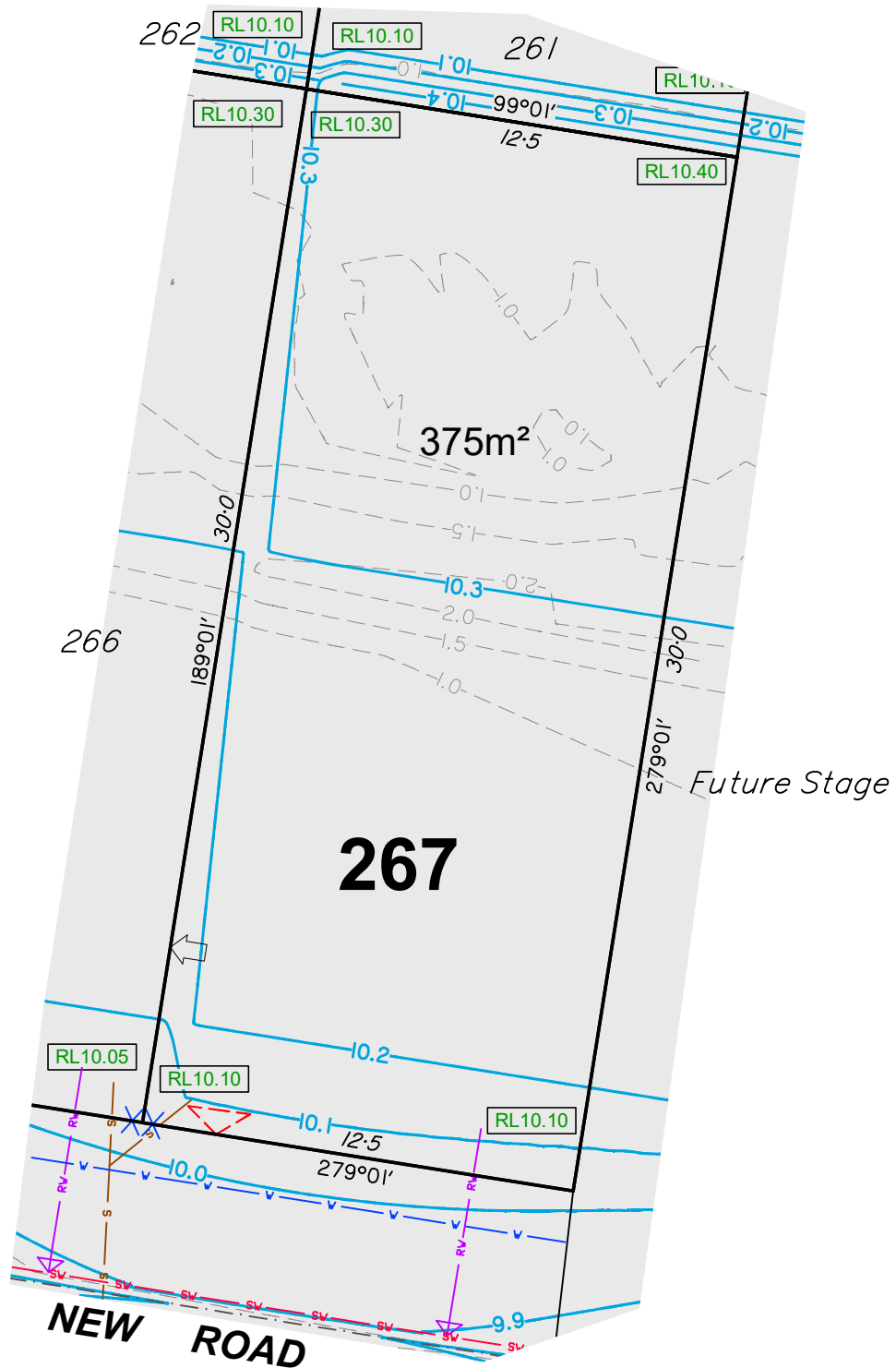
1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 15-12-2025 DRAWING NO. SB3594_04-01-266 VERSION B



DISCLOSURE PLAN

For Proposed Lot 267
Riverbank - Stage 4A

Currently Described As

RPD: 46.0 Part of Lot 1035 on SP328512
 Locality: Caboolture South
 Local Authority: Moreton Bay Regional

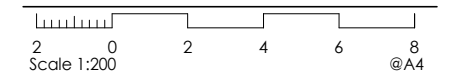
Legend:

- Finished Surface Contours (0.1m Interval)
- Depth of Fill Contours (0.5m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- Sewer/Sewer Manhole
- Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- Roofwater/Roofwater Pit
- Kerb Adapter
- Area to be Filled
- Design Pad Level
- Retaining Wall
- Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the lowside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- Acoustic Fence above Retaining Wall

Notes:

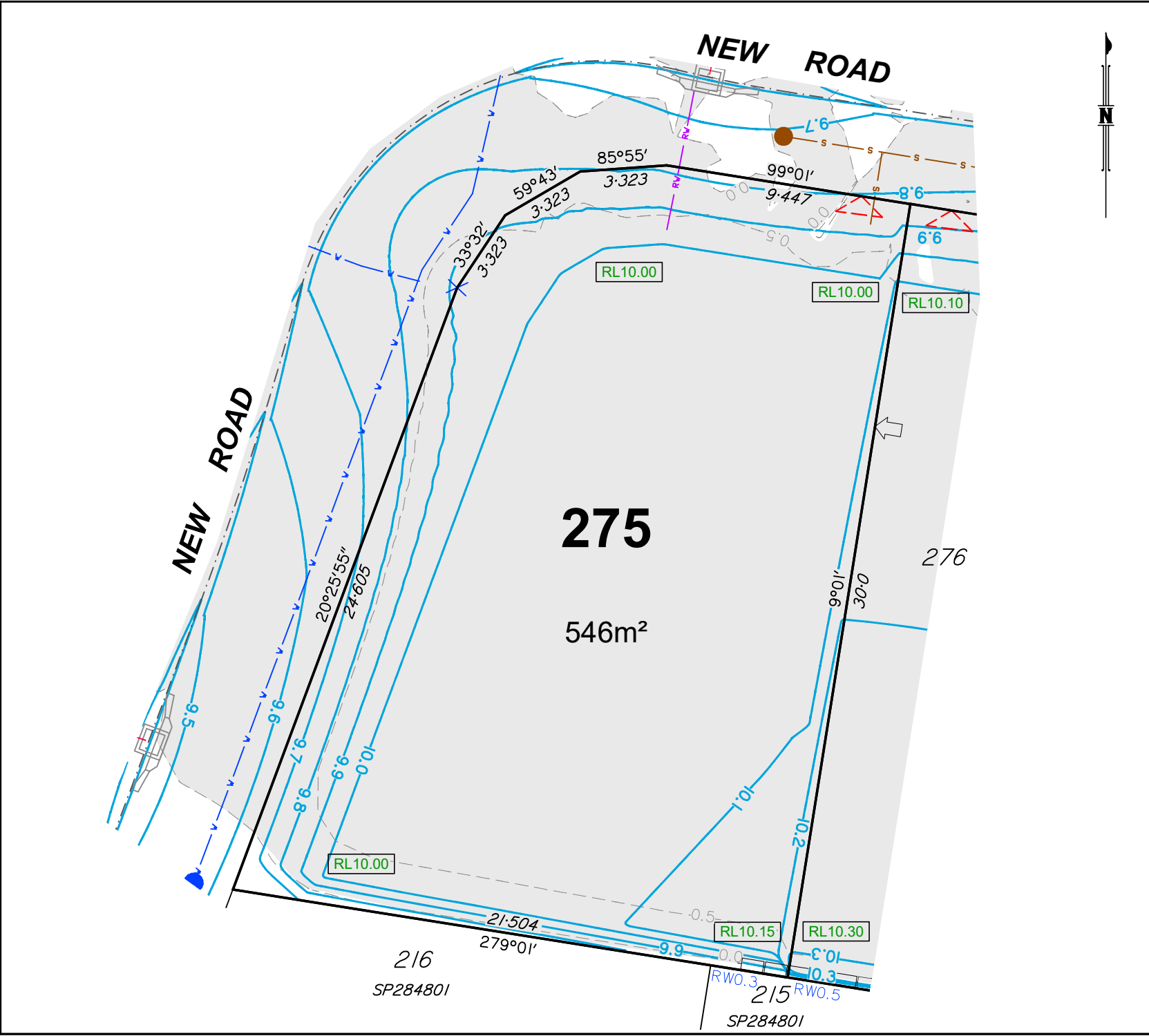
1. This note is an integral part of this plan.
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3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN: MGA
 LEVEL DATUM: AHD.

DATE DRAWN: 15-12-2025
 DRAWING NO.: SB3594_04-01-267
 VERSION: B



DISCLOSURE PLAN

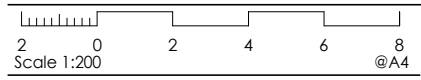
For Proposed Lot 275
Riverbank - Stage 4A

Currently Described As Part of Lot 1035 on SP328512
 RPD: Caboolture South
 Locality: Moreton Bay Regional
 Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - ⊙ Stormwater Gully Trap
 - ⊙ Roofwater/Roofwater Pit
 - ↔ Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - RW Retaining Wall
 - ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the lowside of the wall)
 - ↔ Proposed Driveway
 - ↔ Zero Lot Line Boundary
 - // // Acoustic Fence above Retaining Wall

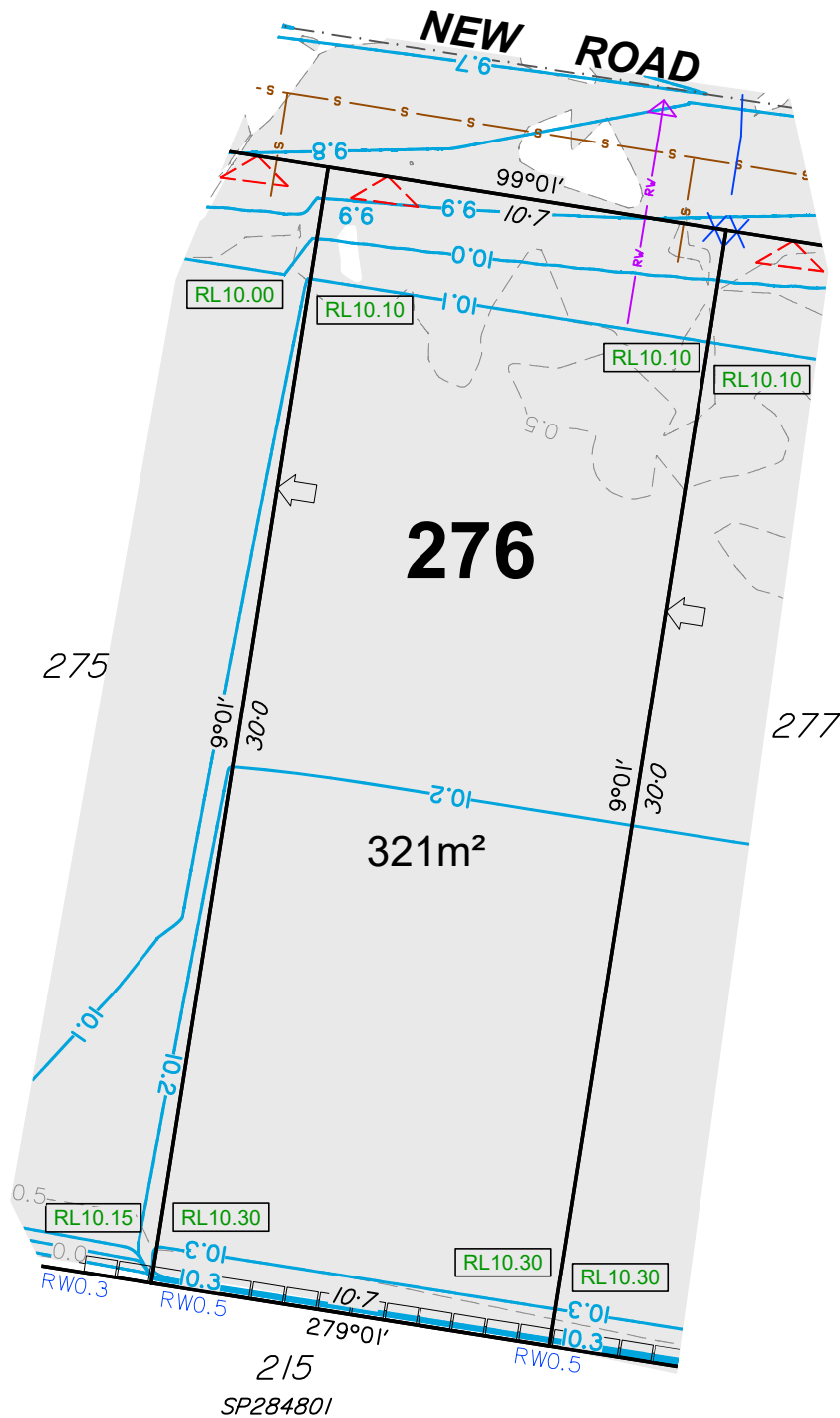
- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 17-06-2026 DRAWING NO. SB3594_04-01-275 VERSION C



DISCLOSURE PLAN

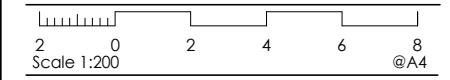
For Proposed Lot 276
Riverbank - Stage 4A

Currently Described As
RPD: Part of Lot 1035 on SP328512
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s Sewer/Sewer Manhole
 - sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RV Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - Acoustic Fence above Retaining Wall

- Notes:**
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 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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 6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

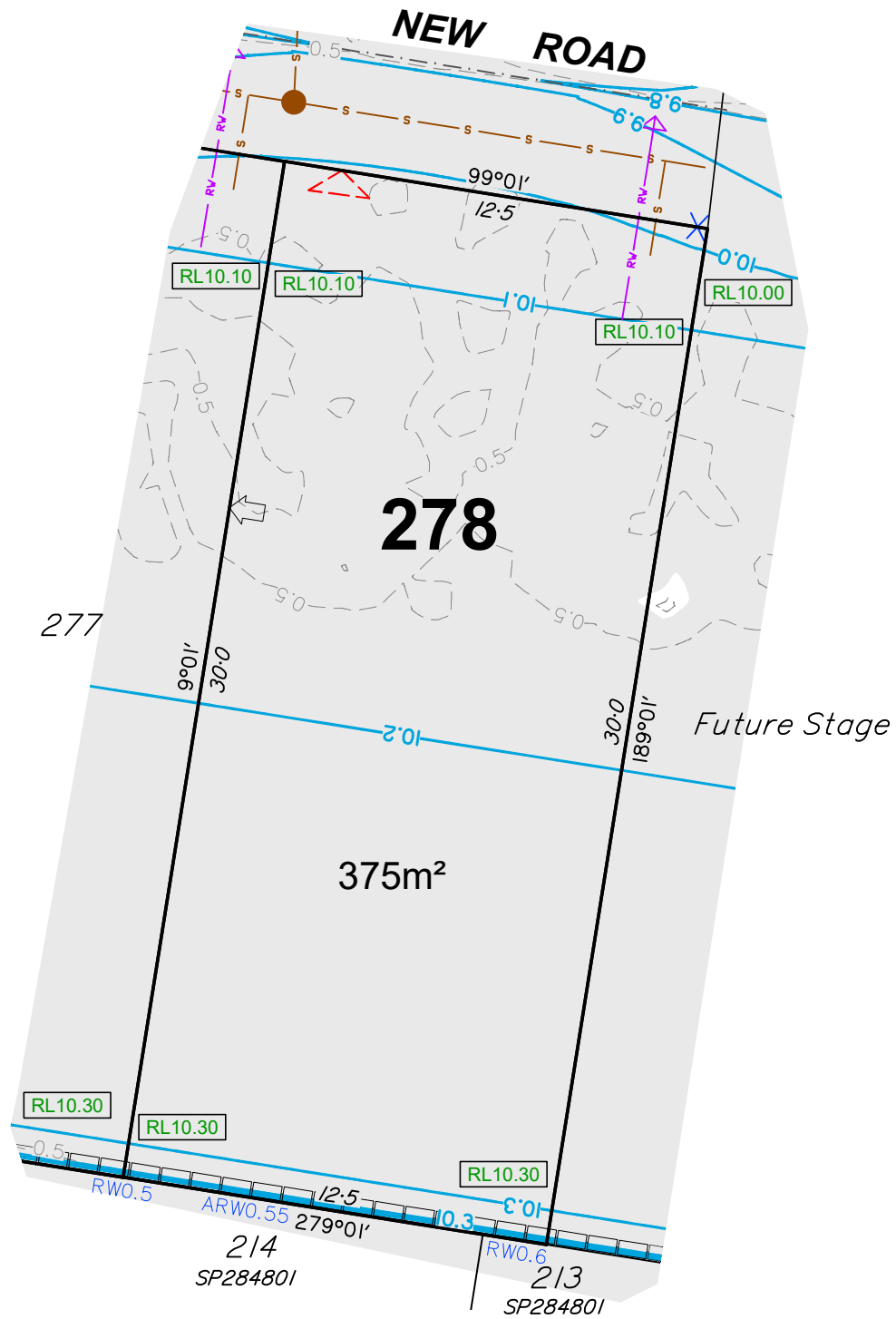
RIVERBANK



HORIZONTAL MERIDIAN: MGA
LEVEL DATUM: AHD.

DATE DRAWN: 17-06-2026
DRAWING NO.: SB3594_04-01-276
VERSION: C

215
SP284801



DISCLOSURE PLAN

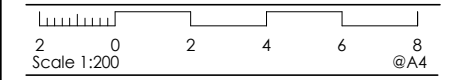
For Proposed Lot 278
Riverbank - Stage 4A

Currently Described As
RPD: Part of Lot 1035 on SP328512
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - - - 1.0 Depth of Fill Contours (0.5m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s Sewer/Sewer Manhole
 - sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - // Acoustic Fence above Retaining Wall

- Notes:**
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RIVERBANK



HORIZONTAL MERIDIAN: MGA
LEVEL DATUM: AHD.

DATE DRAWN: 17-06-2026
DRAWING NO.: SB3594_04-01-278
VERSION: C