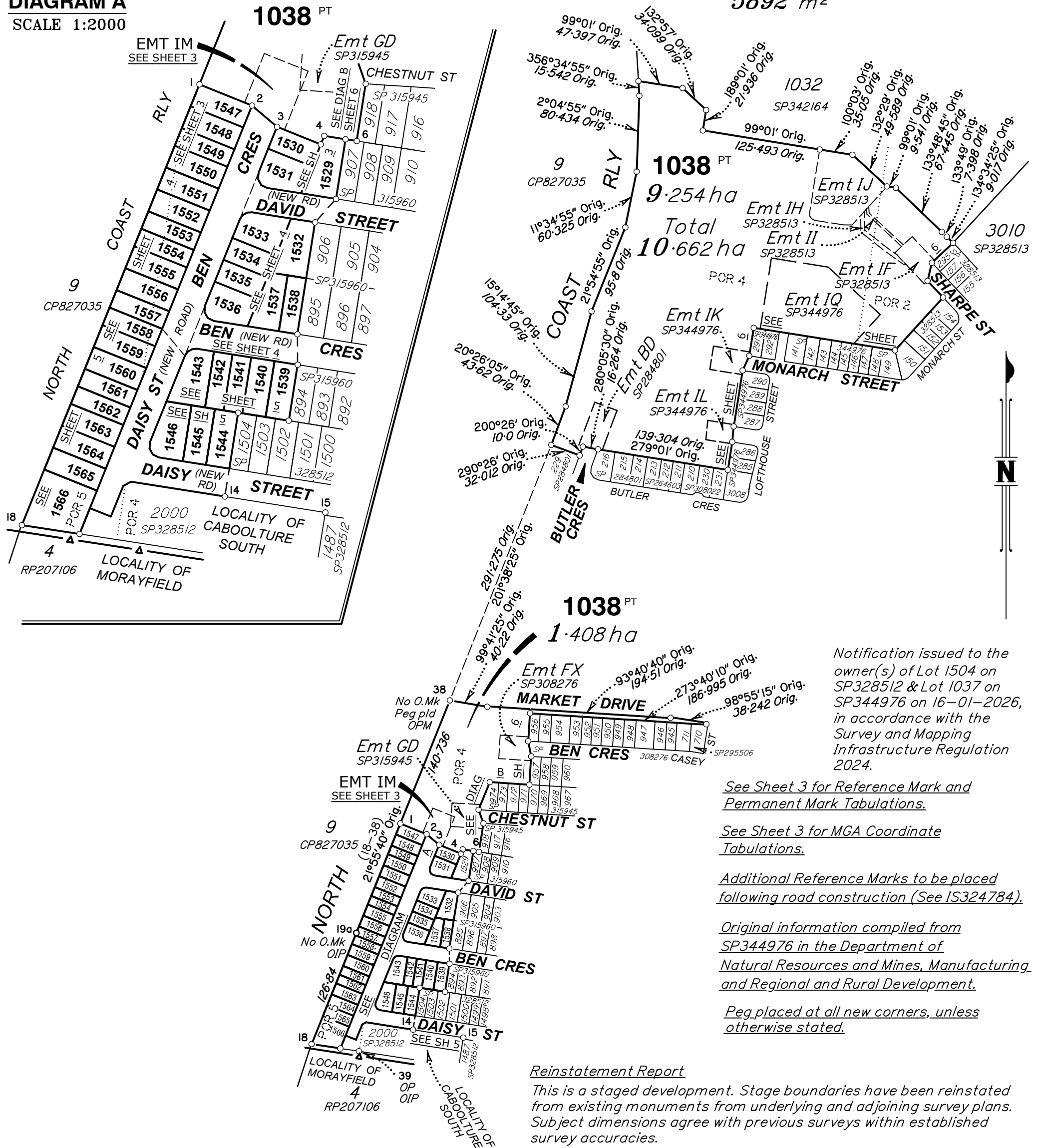


SCALE 1:2000



Notification issued to the owner(s) of Lot 1504 on SP328512 & Lot 1037 on SP344976 on 16-01-2026, in accordance with the Survey and Mapping Infrastructure Regulation 2024.

See Sheet 3 for Reference Mark and Permanent Mark Tabulations.

See Sheet 3 for MGA Coordinate
Tabulations.

Additional Reference Marks to be placed
following road construction (See IS324784).

Original information compiled from
SP344976 in the Department of
Natural Resources and Mines, Manufacturing
and Regional and Rural Development.

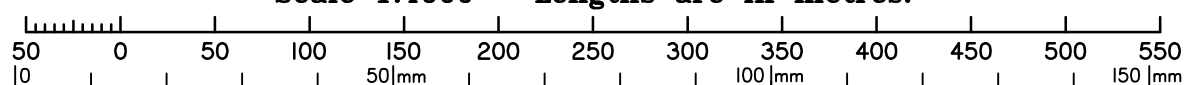
Peg placed at all new corners, unless otherwise stated.

Reinstatement Report

This is a staged development. Stage boundaries have been reinstated from existing monuments from underlying and adjoining survey plans. Subject dimensions agree with previous surveys within established survey accuracies.

The reinstatement of the subject boundaries directly follows the precedent established by SP300992, SP328512 & SP315960.

Scale 1:4000 – Lengths are in metres.



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*Plan of Lots 1038, 1529-1566
and Easement IM in Lot 1038*

Cancelling Lot 1037 on SP344976

LOCAL
GOVERNMENT: *MORETON BAY CITY*

LOCALITY: *CABOOLTURE*
SOUTH

Meridian: *MGA Zone 56 vide SP344976*

Survey Records:	No
--------------------	----

Scale: ***1:4000***

Format: **STANDARD**

SP344975

Therefor Group Pty Ltd (ACN 147 343 084) hereby certify that the land comprised in this plan was surveyed by the corporation, by Benjamin Todd ALCORN, Surveying Associate for whose work the corporation accepts responsibility, under the supervision of Angela Margaret DÄHN, Cadastral Surveyor and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 13-01-2026.

Authorised Delegate

16-01-2026

Date _____

Land Title Act 1994 ; Land Act 1994
Form 21B Version 2

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

Sheet
2

of
6

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

I. Existing

Created

Title Reference

Description

New Lots

Road

Secondary Interests

51388893

Lot 1037 on SP344976

1038 & 1529–1566

New Rd

Emt IM

ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
717176465 (Emt BD on SP284801)	1038
719753151 (Emt FX on SP308276)	1038
720033882 (Emt GD on SP315945)	1038
724086608 (Emts IF & IH on SP328513)	1038
724086609 (Emts II & IJ on SP328513)	1038
724210969 (Emts IK & IL on SP344976)	1038
724210970 (Emt IQ on SP344976)	1038

720133479 (Easements GH & GI on SP315960) to be
surrendered prior to the registration of this plan.

723495729 & 723495730 (Easement IE on SP328512) to be
surrendered prior to the registration of this plan.

1038
1529–1548
1549–1560
1561–1566

Pors 2 & 4
Por 4
Pors 4 & 5
Por 5

Lots

Orig

2. Orig Grant Allocation :

3. References :
Dept File :
Local Govt :
Surveyor : SB3594/22B

5. Passed & Endorsed :

By :
Date :
Signed :
Designation :

6. Building Format Plans only.
I certify that :
* As far as it is practical to determine, no part
of the building shown on this plan encroaches
onto adjoining lots or road;
* Part of the building shown on this plan
encroaches onto adjoining * lots and road

.....
Cadastral Surveyor/Director* Date
*delete words not required

7. Lodgement Fees :

Survey Deposit \$
Lodgement \$
.....New Titles \$
Photocopy \$
Postage \$
TOTAL \$

8. Insert Plan Number SP344975

SB3594–22B_SP344975_Ver D_15–01–2026

M.G.A. COORDINATES GDA-2020

STATION	EASTING	NORTHING	ZONE	P.U.	LINEAGE	METHOD	REMARKS
1	495 417.126	7 002 964.903	56	0.03	Derived	Network RTK	Peg
6	495 500.435	7 002 934.887	56	0.03	Derived	Network RTK	Peg
14	495 430.591	7 002 746.581	56	0.03	Derived	Network RTK	Peg
18	495 323.122	7 002 731.39	56	0.03	Derived	Network RTK	Peg

PERMANENT MARKS

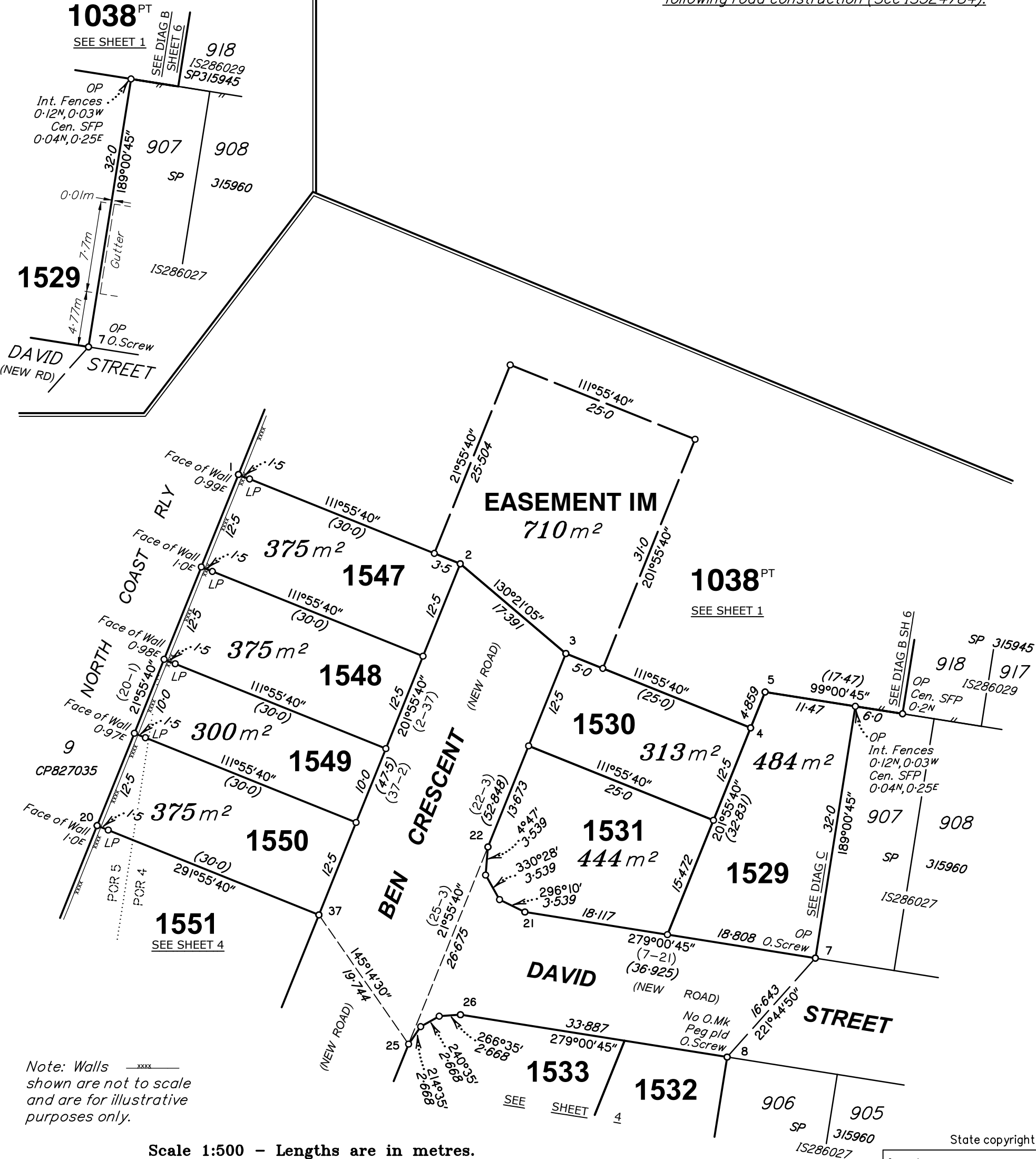
PM	ORIGIN	BEARING	DIST	NO	TYPE
38-OPM	17/IS239247	319°46'15"	41.408	150502	

REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
6	O.Screw in Kerb	11/IS286029	1°49'	3.904
7	O.Screw in Kerb	14/IS286027	188°13'30"	3.8
8	O.Screw in Kerb	13/IS286027	82°34'30"	13.529
9	O.Screw in Kerb	12/IS286027	188°13'	3.795
10	O.Screw in Kerb	11/IS286027	6°58'	3.839
13	OIP	16/SP328512	3°50'	6.254
13	O.Screw in Kerb	16/SP328512	140°44'	7.062
14	O.Screw in Kerb	15/SP328512	70°17'	3.96
18	OIP	3/SP300992	92°27'	0.59
18a	Pin		262°51'	6.756
19	Pin		323°47'	6.317
19a	OIP	7a/RP207106	220°11'10"	1.482
20a	Pin		263°10'	6.738
25	Pin		75°36'	3.052
28	Pin		70°04'	3.061
39	OIP	16/RP161166	205°42'20"	1.555

DIAGRAM C

Not to Scale



Additional Reference Marks to be placed
following road construction (See IS324784).

Note: Walls
shown are not to scale
and are for illustrative
purposes only.

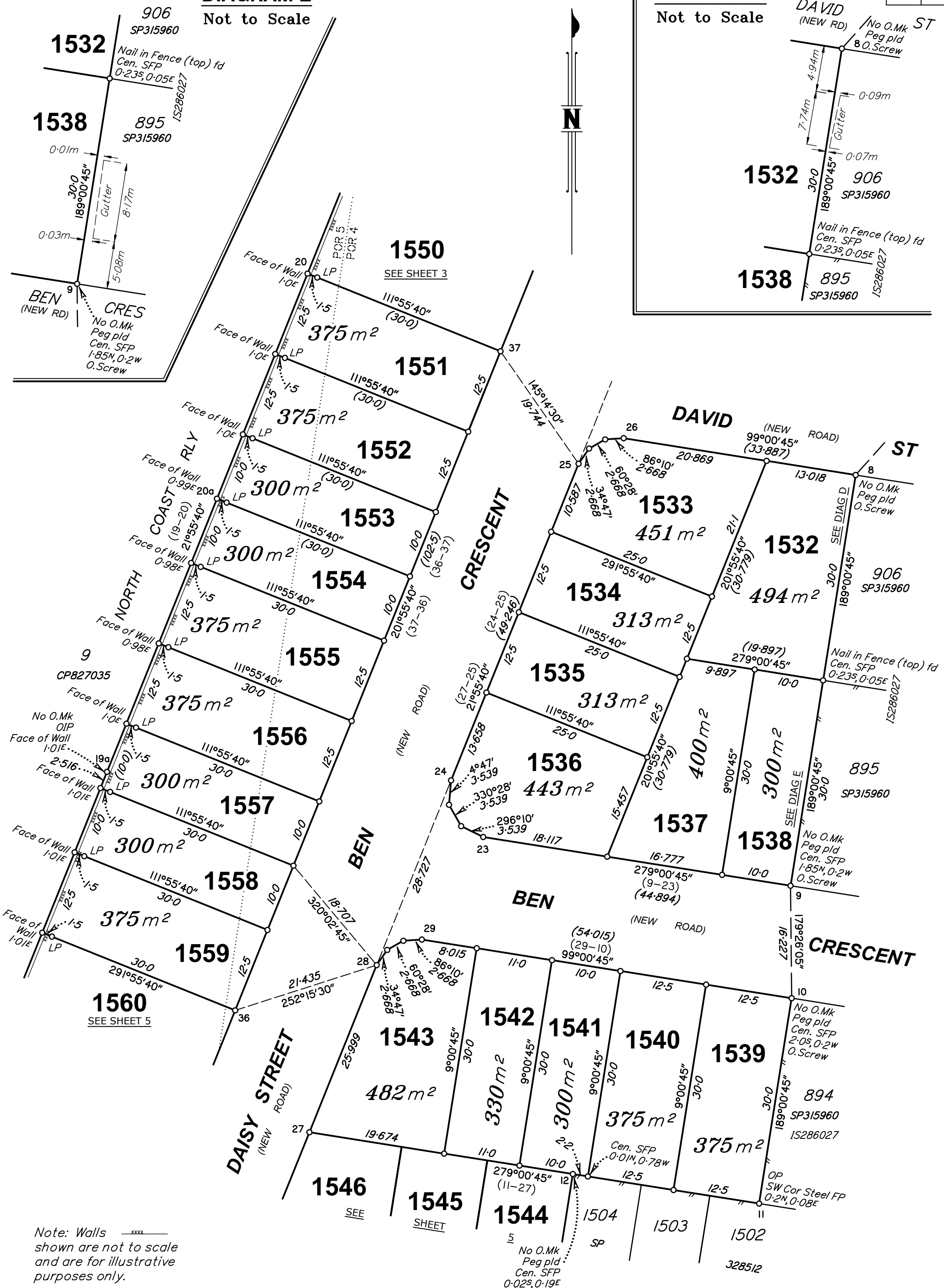
Scale 1:500 - Lengths are in metres.

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Insert
Plan
Number
SP344975

Not to Scale

Not to Scale



State copyright reserved.

Insert
Plan
Number **SP344975**

DIAGRAM F
Not to Scale

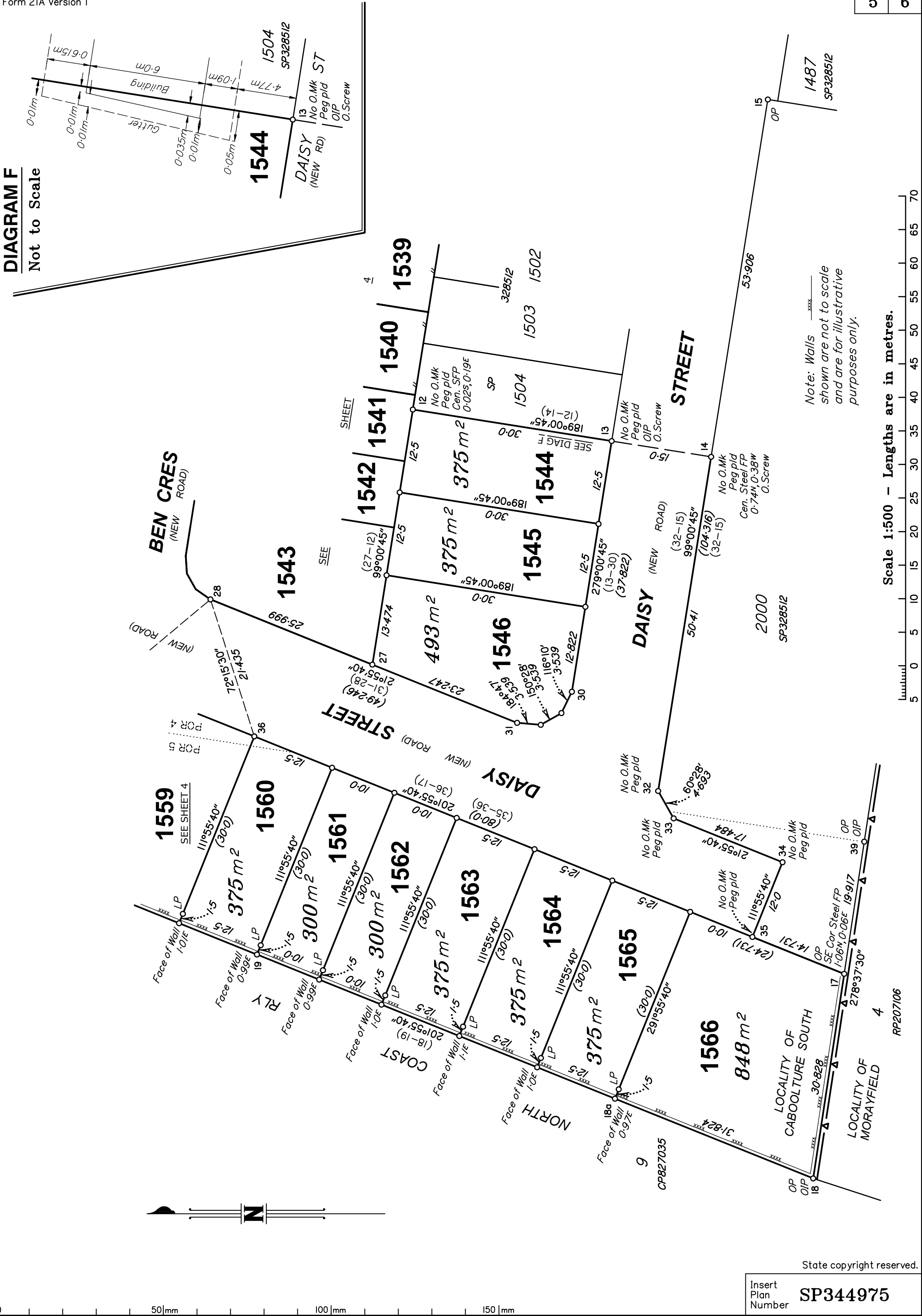
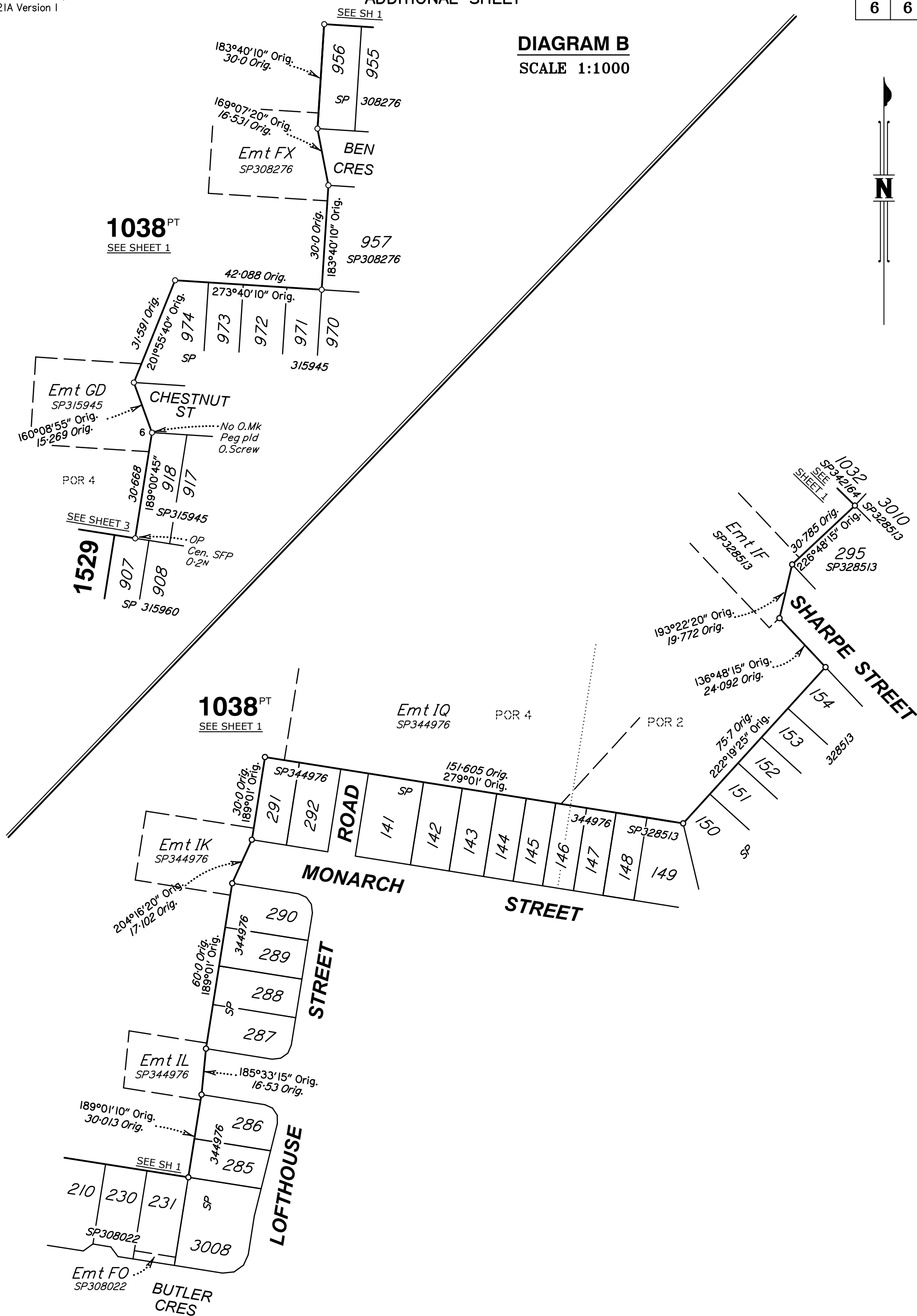


DIAGRAM B

SCALE 1:1000



Scale 1:1250 – Lengths are in metres.

State copyright reserved.

Insert
Plan
Number

SP344975