

# DISCLOSURE PLAN

For Proposed Lot 247  
Riverbank - Stage 4B

Currently Described As: Part of Lot 1035 on SP328512  
 RPD: 46.0  
 Locality: Caboolture South  
 Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - s Sewer/Sewer Manhole
  - sv Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv Roofwater/Roofwater Pit
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lower side of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



HORIZONTAL MERIDIAN: MGA  
 LEVEL DATUM: AHD.

DATE DRAWN: 16-12-2025  
 DRAWING NO.: SB3594\_4B-01-247  
 VERSION: C

# DISCLOSURE PLAN

For Proposed Lot 248  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
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  - Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

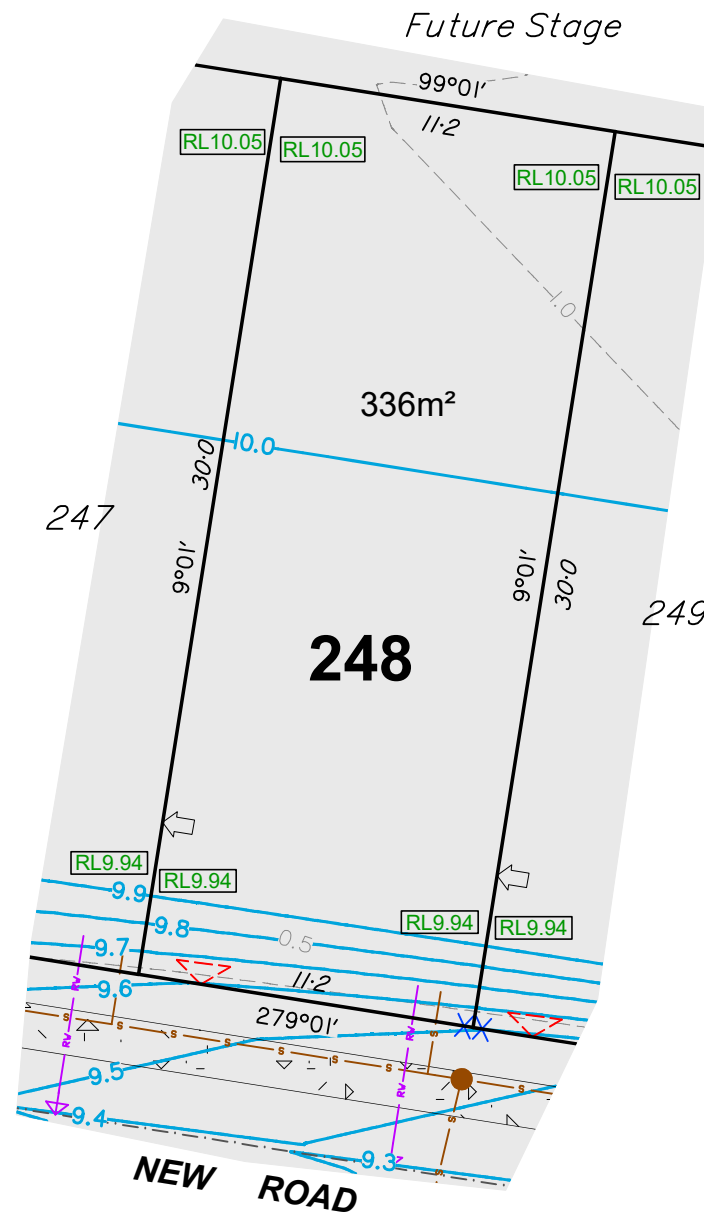
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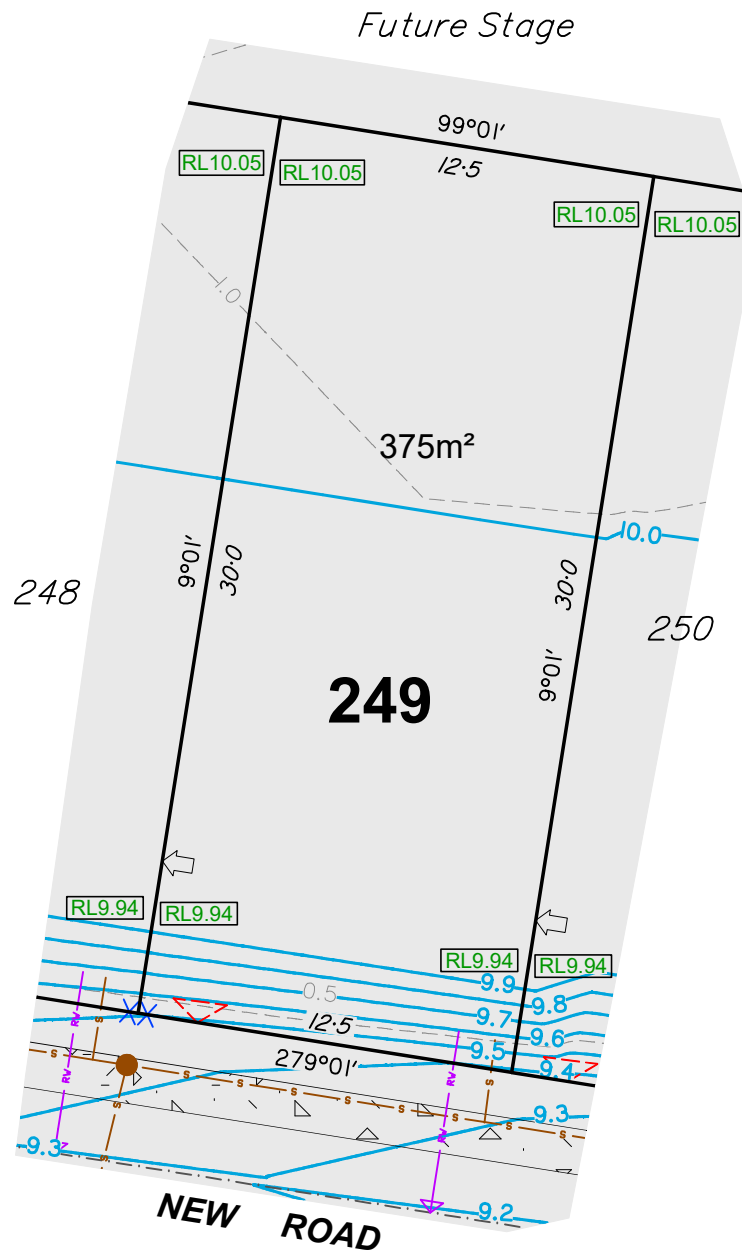
# RIVERBANK



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 16-12-2025  
DRAWING NO.: SB3594\_4B-01-248  
VERSION: C





# DISCLOSURE PLAN

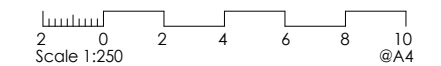
For Proposed Lot 249  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - ← Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - RW Retaining Wall
  - ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lower side of the wall)
  - △ Proposed Driveway
  - ← Zero Lot Line Boundary
  - // Acoustic Fence above Retaining Wall

- Notes:**
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# RIVERBANK



HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 16-12-2025 DRAWING NO. SB3594\_4B-01-249 VERSION C

# DISCLOSURE PLAN

For Proposed Lot 250  
Riverbank - Stage 4B

Currently Described As Part of Lot 1035 on SP328512  
 RPD: 46.0  
 Locality: Caboolture South  
 Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
  - Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

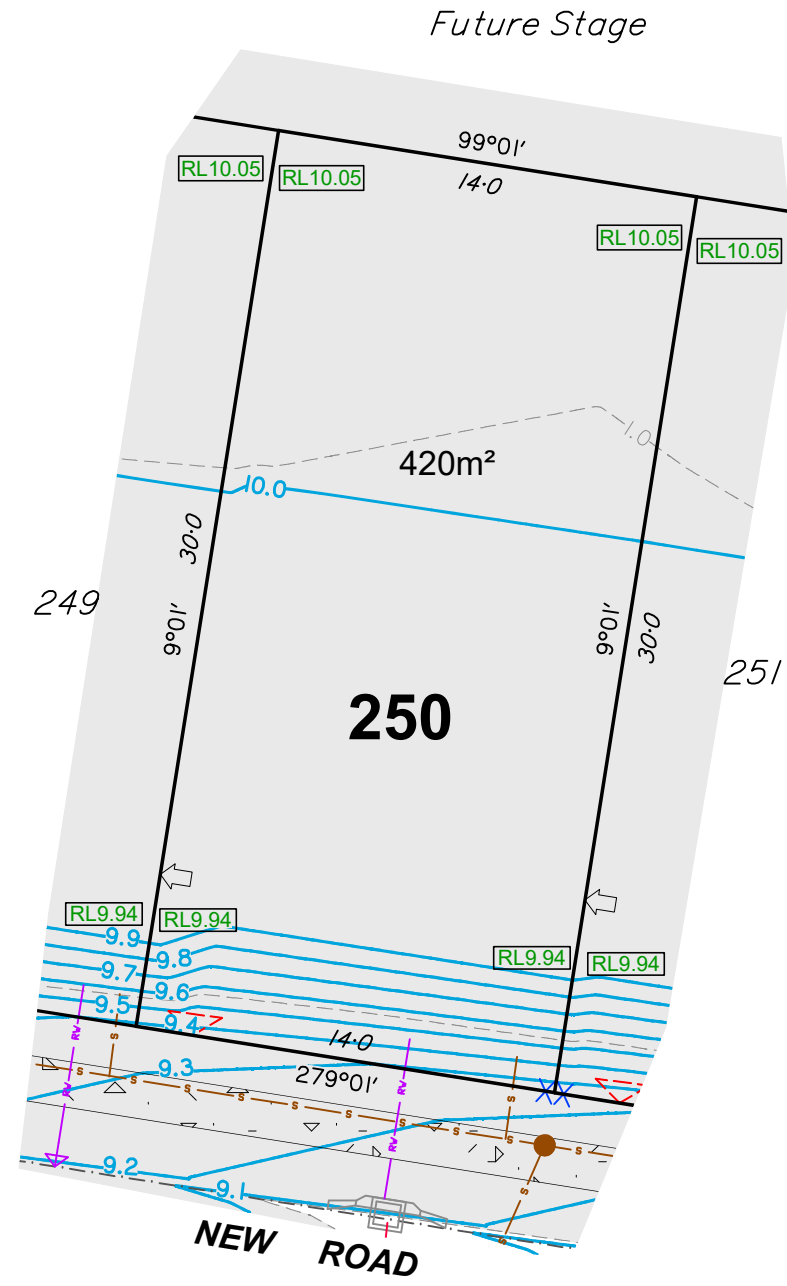
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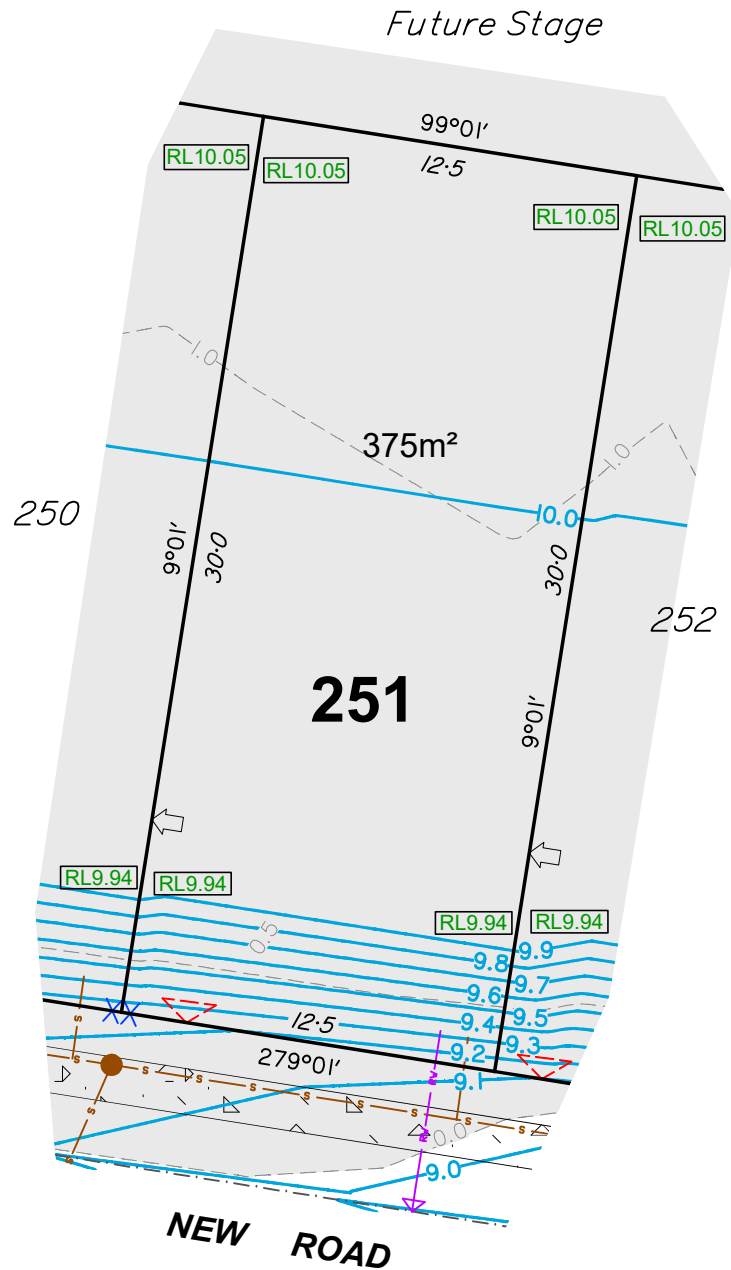
# RIVERBANK



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 16-12-2025      DRAWING NO. SB3594\_4B-01-250      VERSION C





# DISCLOSURE PLAN

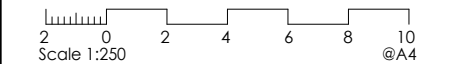
For Proposed Lot 251  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - ↔ Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - ↘ Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

- Notes:**
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## RIVERBANK



HORIZONTAL MERIDIAN: MGA      LEVEL DATUM: AHD.

DATE DRAWN: 16-12-2025      DRAWING NO.: SB3594\_4B-01-251      VERSION: C

# DISCLOSURE PLAN

For Proposed Lot 252  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - s Sewer/Sewer Manhole
  - sv Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - RV Roofwater/Roofwater Pit
  - ← Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - RW Retaining Wall
  - ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - ← Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

**Notes:**

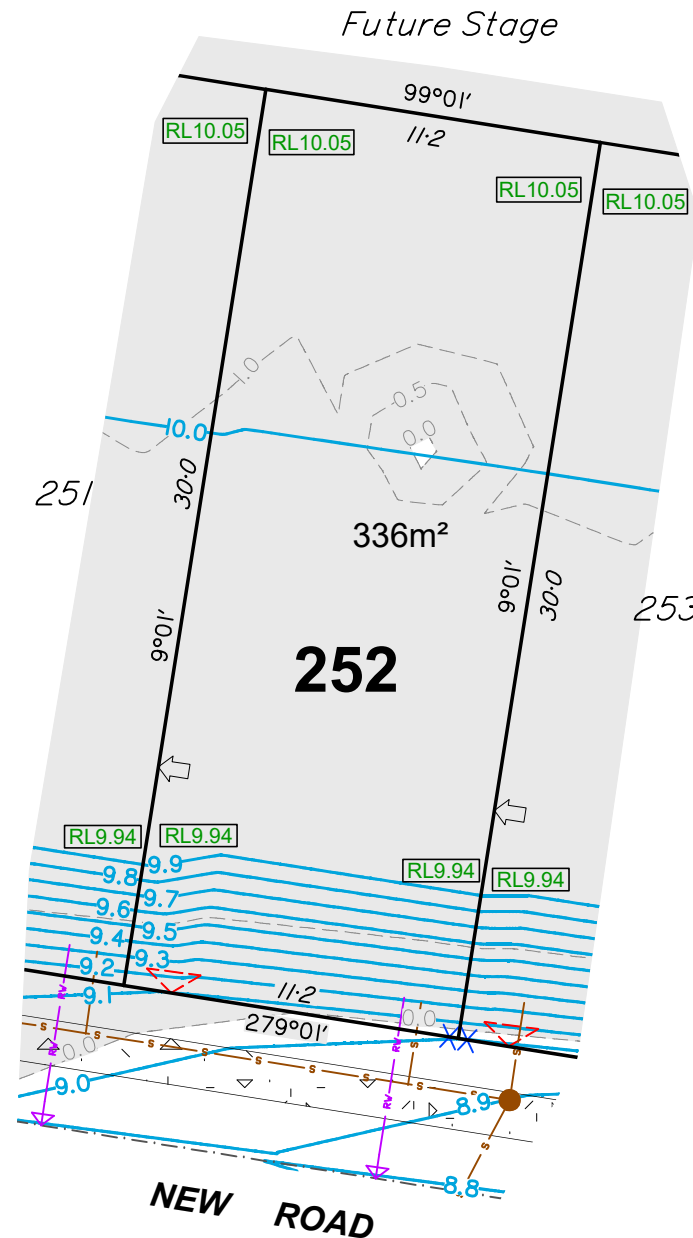
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# RIVERBANK



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 16-12-2025      DRAWING NO. SB3594\_4B-01-252      VERSION C



# DISCLOSURE PLAN

For Proposed Lot 253  
Riverbank - Stage 4B

Currently Described As  
RPD: Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

- 46.0 Finished Surface Contours (0.1m Interval)
- - - 1.0 Depth of Fill Contours (0.5m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- Sewer/Sewer Manhole
- Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- Roofwater/Roofwater Pit
- ← Kerb Adapter
- Area to be Filled
- RL57.32 Design Pad Level
- RW Retaining Wall
- ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
- ↘ Proposed Driveway
- ← Zero Lot Line Boundary
- Acoustic Fence above Retaining Wall

**Notes:**

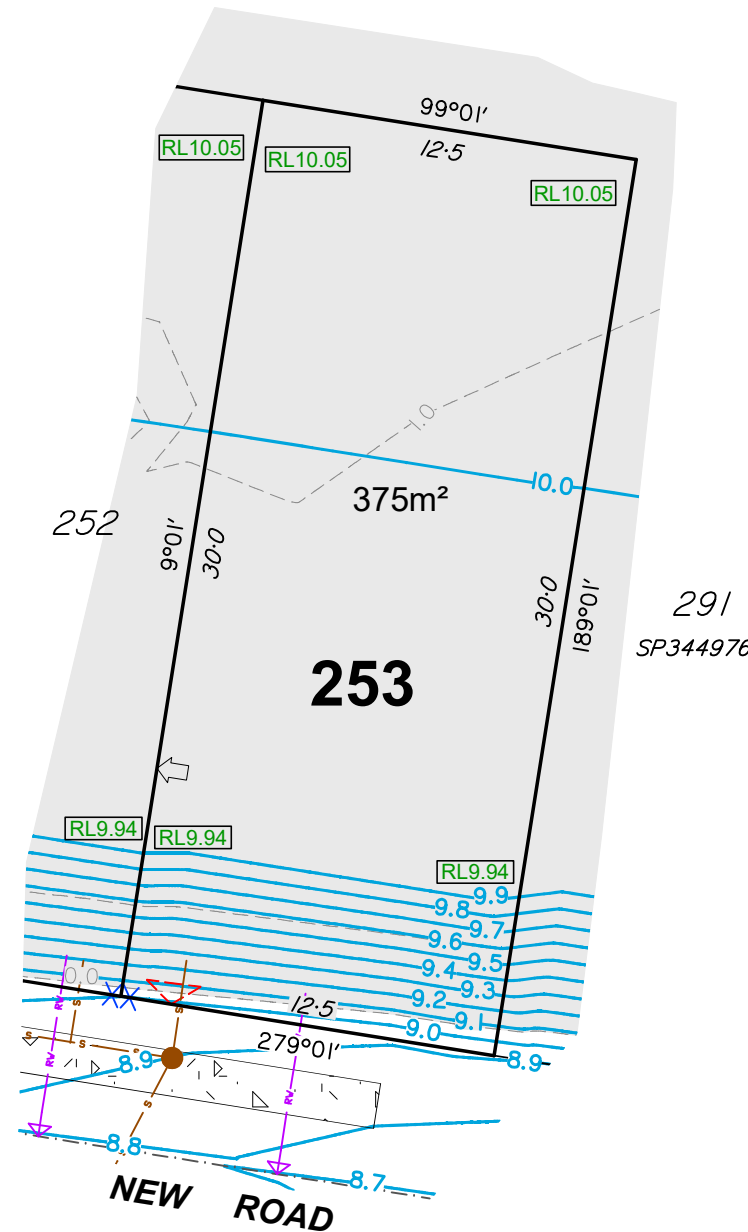
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## RIVERBANK

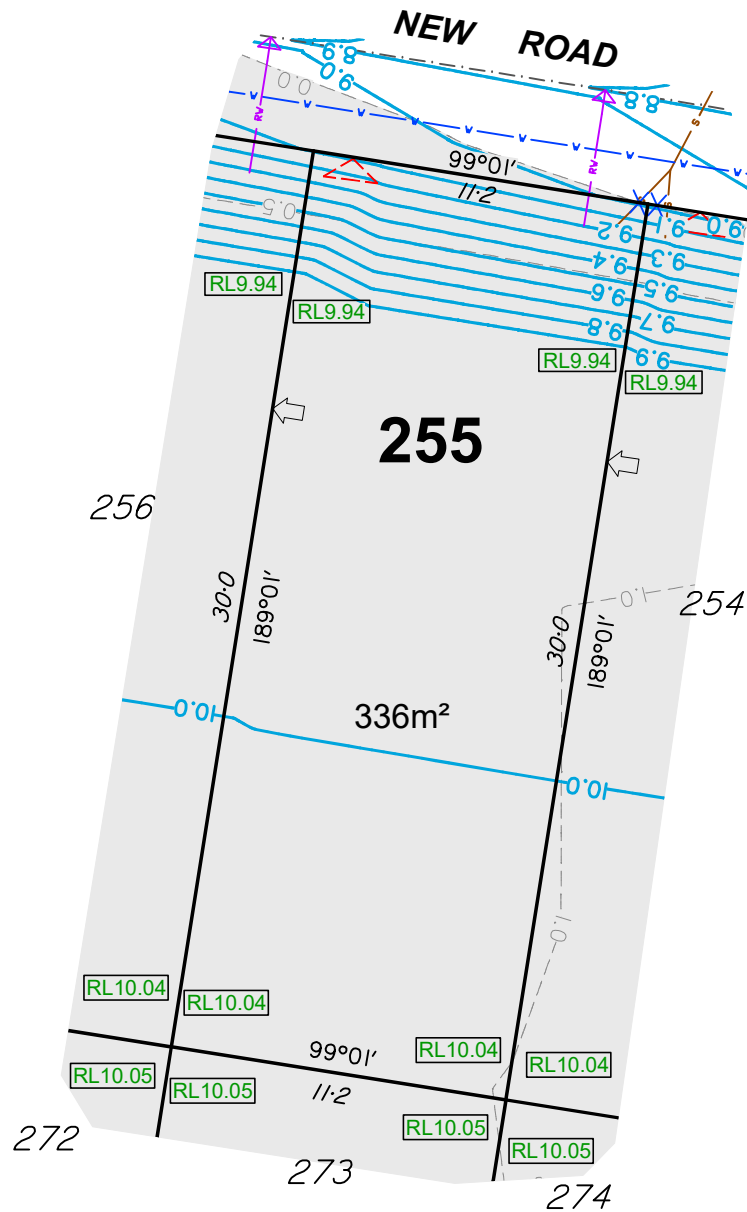


HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 16-12-2025  
DRAWING NO.: SB3594\_4B-01-253  
VERSION: C







# DISCLOSURE PLAN

For Proposed Lot 255  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

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# RIVERBANK



HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 16-12-2025 DRAWING NO. SB3594\_4B-01-255 VERSION C

# DISCLOSURE PLAN

For Proposed Lot 256  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

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  - Stormwater Gully Trap
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  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lower side of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

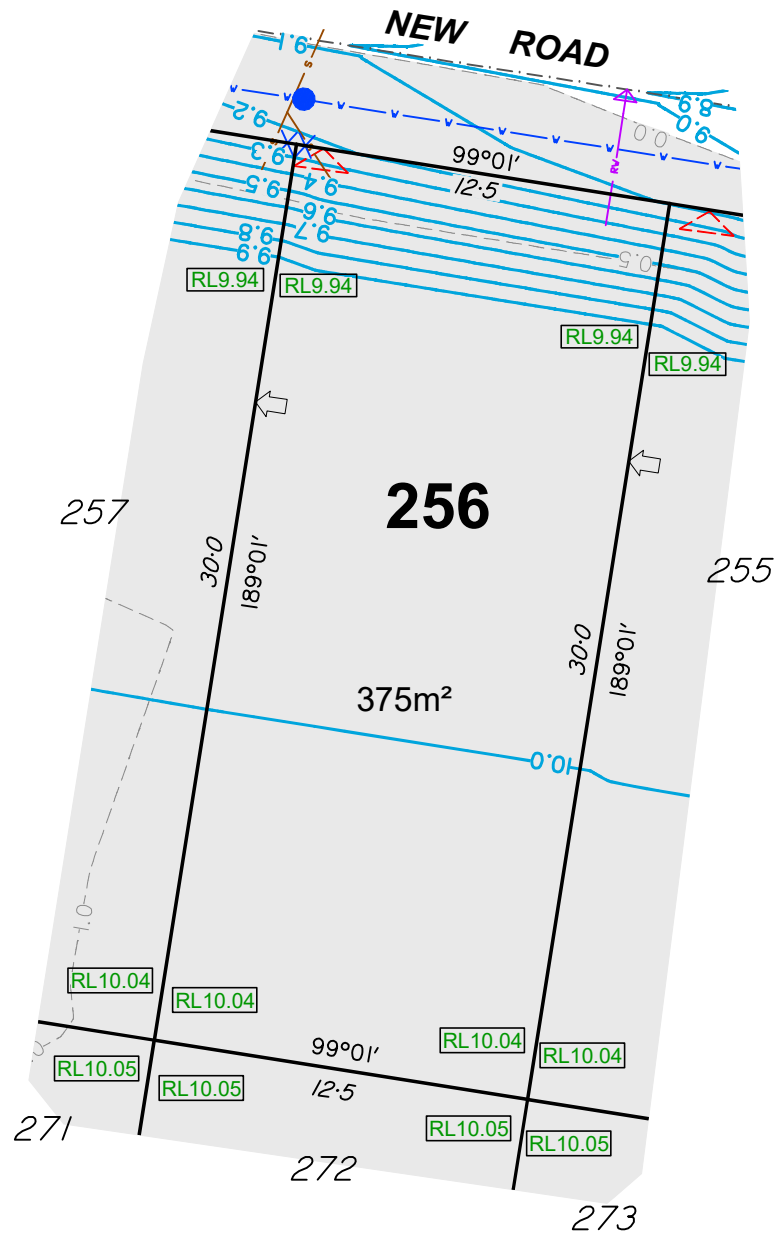
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## RIVERBANK



HORIZONTAL MERIDIAN: MGA      LEVEL DATUM: AHD.

DATE DRAWN: 16-12-2025      DRAWING NO.: SB3594\_4B-01-256      VERSION: C



# DISCLOSURE PLAN

For Proposed Lot 257  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
  - Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lower side of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

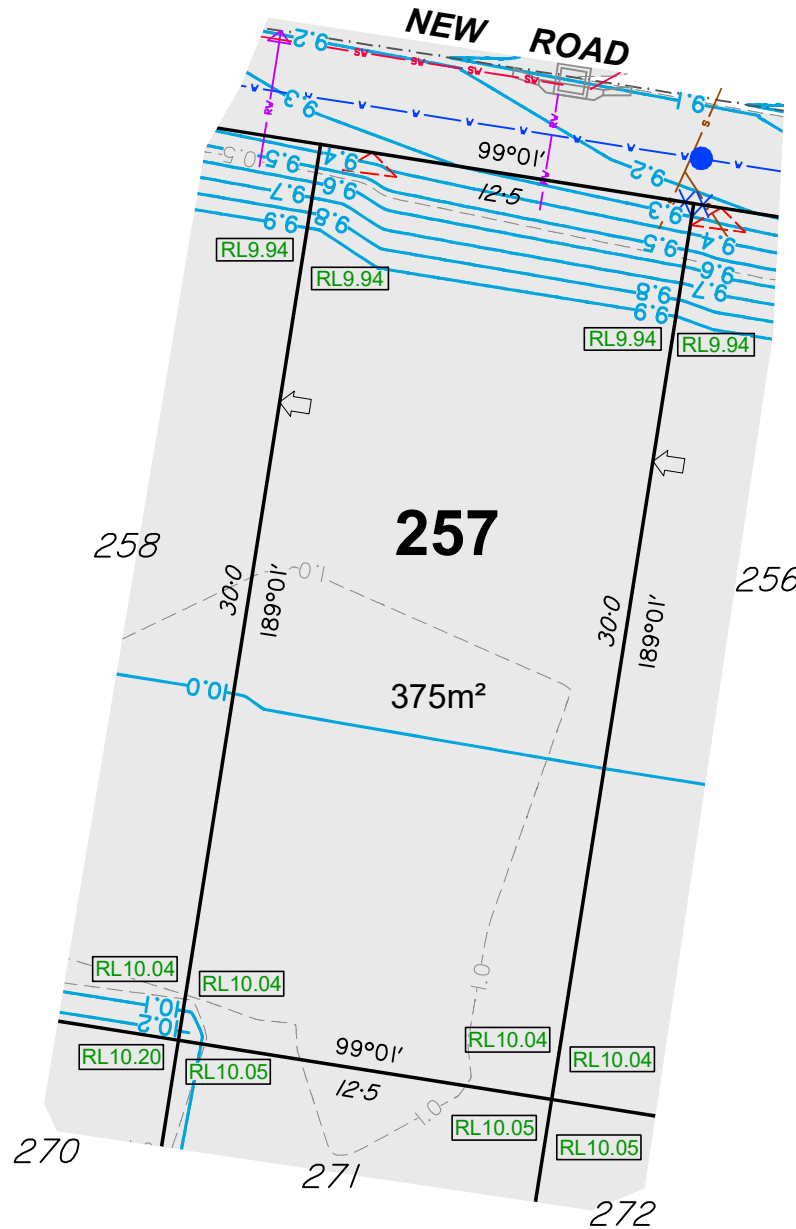
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# RIVERBANK



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 16-12-2025  
DRAWING NO.: SB3594\_4B-01-257  
VERSION: C



# DISCLOSURE PLAN

For Proposed Lot 258  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

- Finished Surface Contours (0.1m Interval)
- Depth of Fill Contours (0.5m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- Sewer/Sewer Manhole
- Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- Roofwater/Roofwater Pit
- Kerb Adapter
- Area to be Filled
- Design Pad Level
- Retaining Wall
- Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lower side of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- Acoustic Fence above Retaining Wall

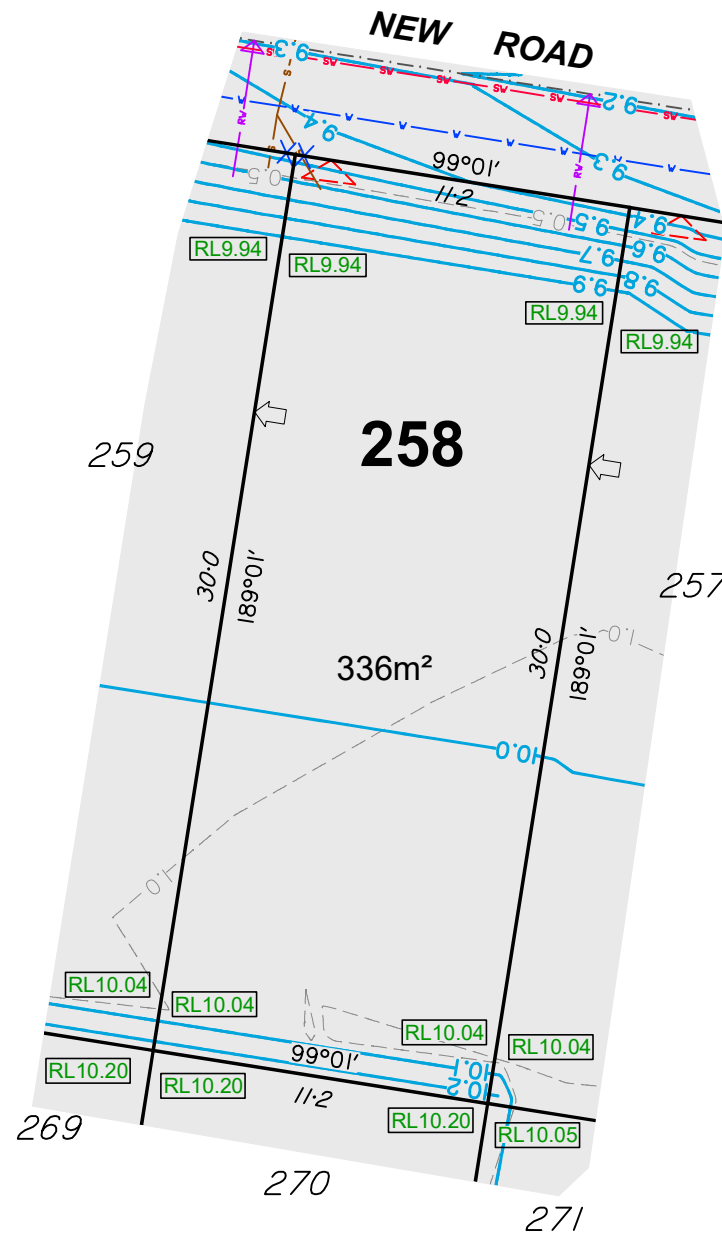
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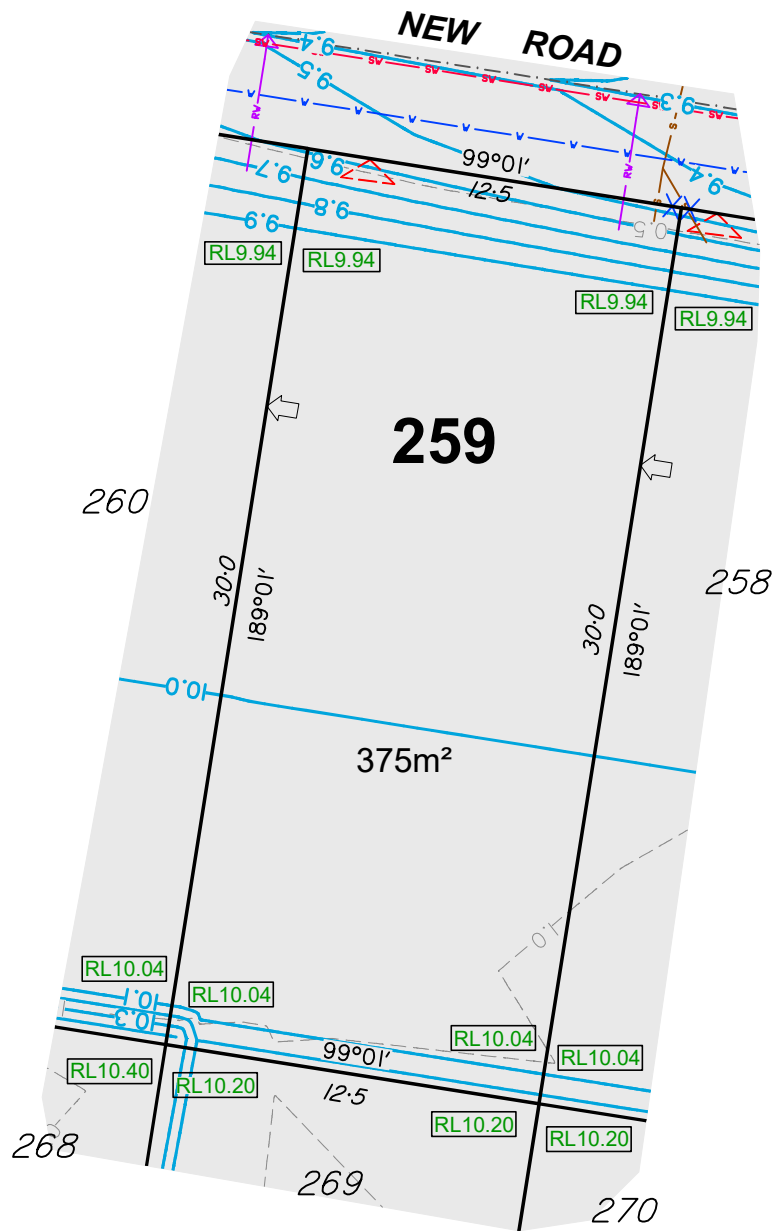
# RIVERBANK



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 16-12-2025  
DRAWING NO.: SB3594\_4B-01-258  
VERSION: C





# DISCLOSURE PLAN

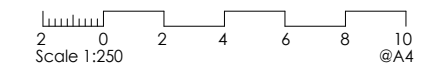
For Proposed Lot 259  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
  - Depth of Fill Contours (0.5m Interval)
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  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
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  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
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  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lower side of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
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# RIVERBANK



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 16-12-2025  
DRAWING NO.: SB3594\_4B-01-259  
VERSION: C

# DISCLOSURE PLAN

For Proposed Lot 260  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
  - Depth of Fill Contours (0.5m Interval)
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  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lower side of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

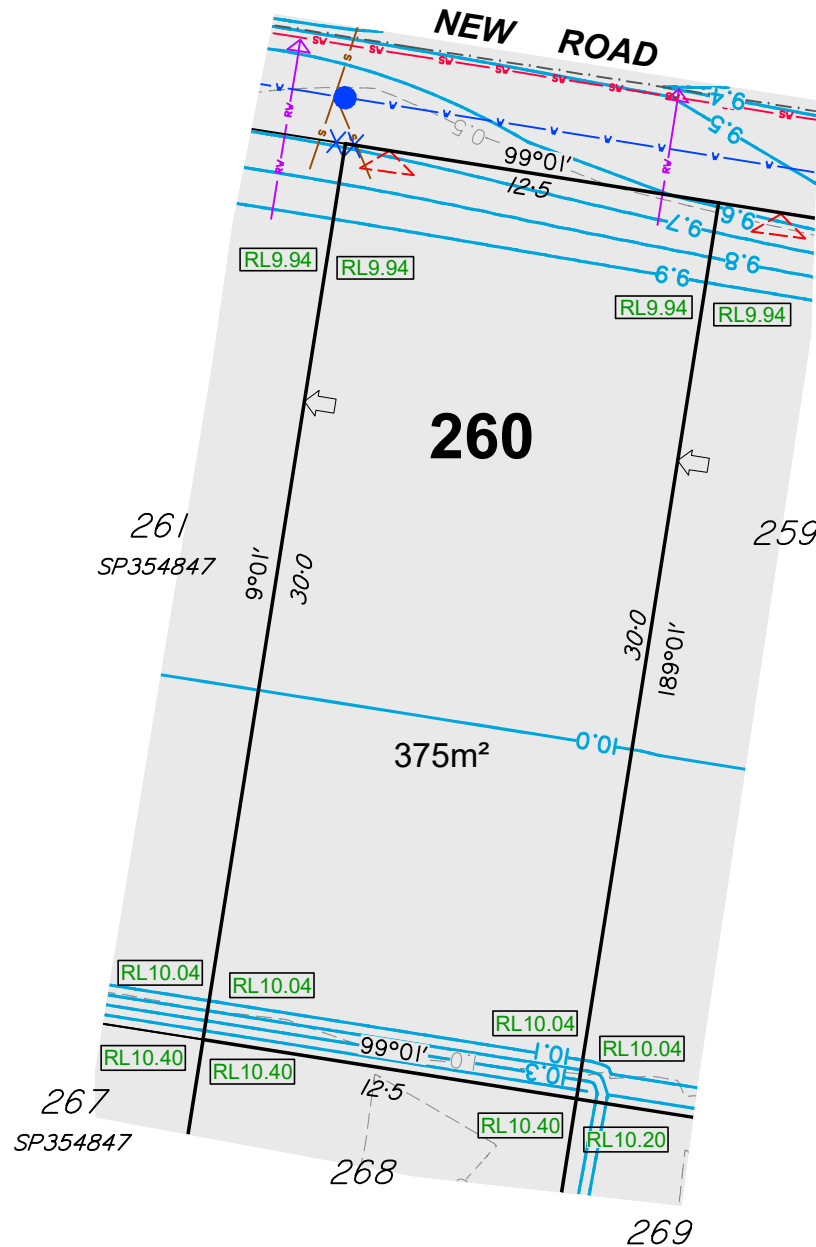
- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

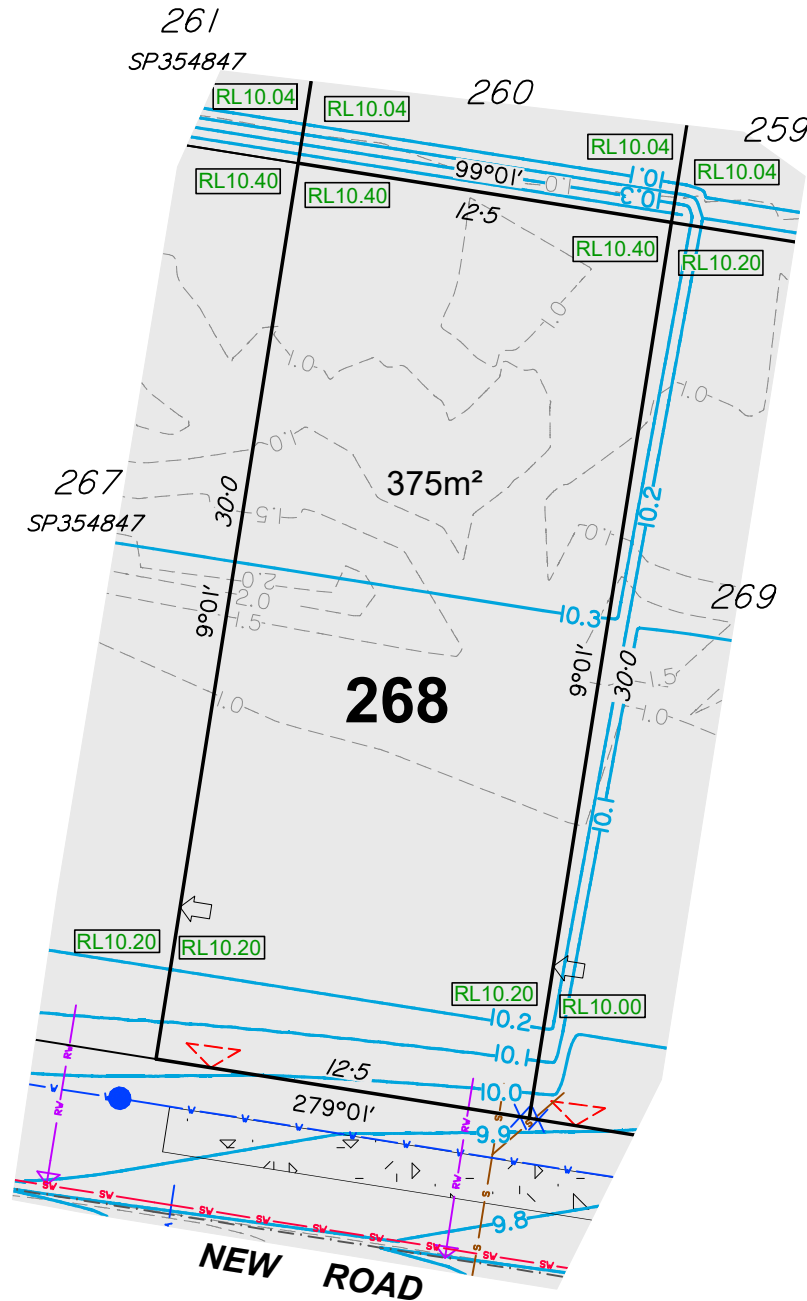
# RIVERBANK



HORIZONTAL MERIDIAN: MGA      LEVEL DATUM: AHD.

DATE DRAWN: 16-12-2025      DRAWING NO.: SB3594\_4B-01-260      VERSION: C





## DISCLOSURE PLAN

For Proposed Lot 268  
Riverbank - Stage 4B

Currently Described As

RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

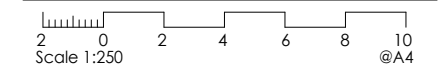
### Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.5m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- Sewer/Sewer Manhole
- Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- Roofwater/Roofwater Pit
- ← Kerb Adapter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the downside of the wall)
- > Proposed Driveway
- Zero Lot Line Boundary
- Acoustic Fence above Retaining Wall

### Notes:

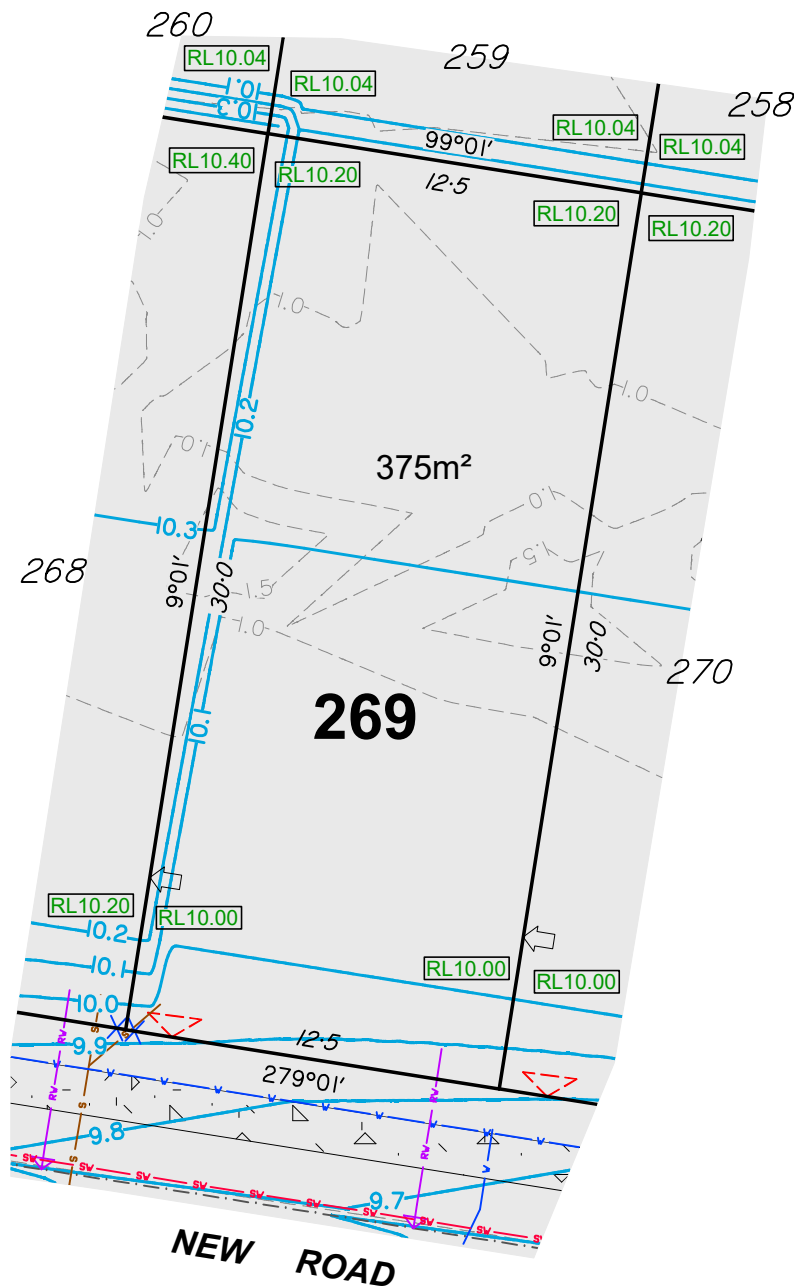
1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 16-12-2025 DRAWING NO. SB3594\_4B-01-268 VERSION C



# DISCLOSURE PLAN

For Proposed Lot 269  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
  - Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

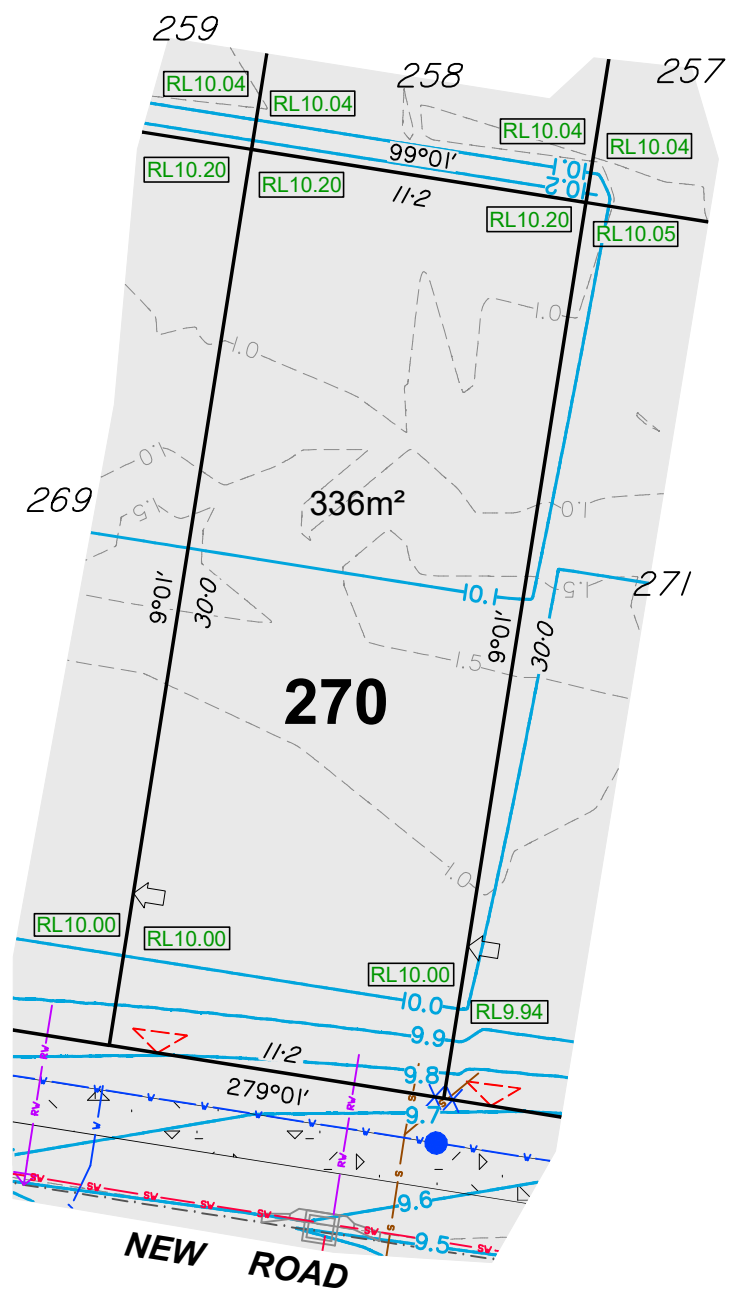
- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 16-12-2025      DRAWING NO. SB3594\_4B-01-269      VERSION C



# DISCLOSURE PLAN

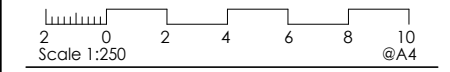
For Proposed Lot 270  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - - - Edge of Pad
  - S Sewer/Sewer Manhole
  - SV Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - RV Roofwater/Roofwater Pit
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lower side of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - // Acoustic Fence above Retaining Wall

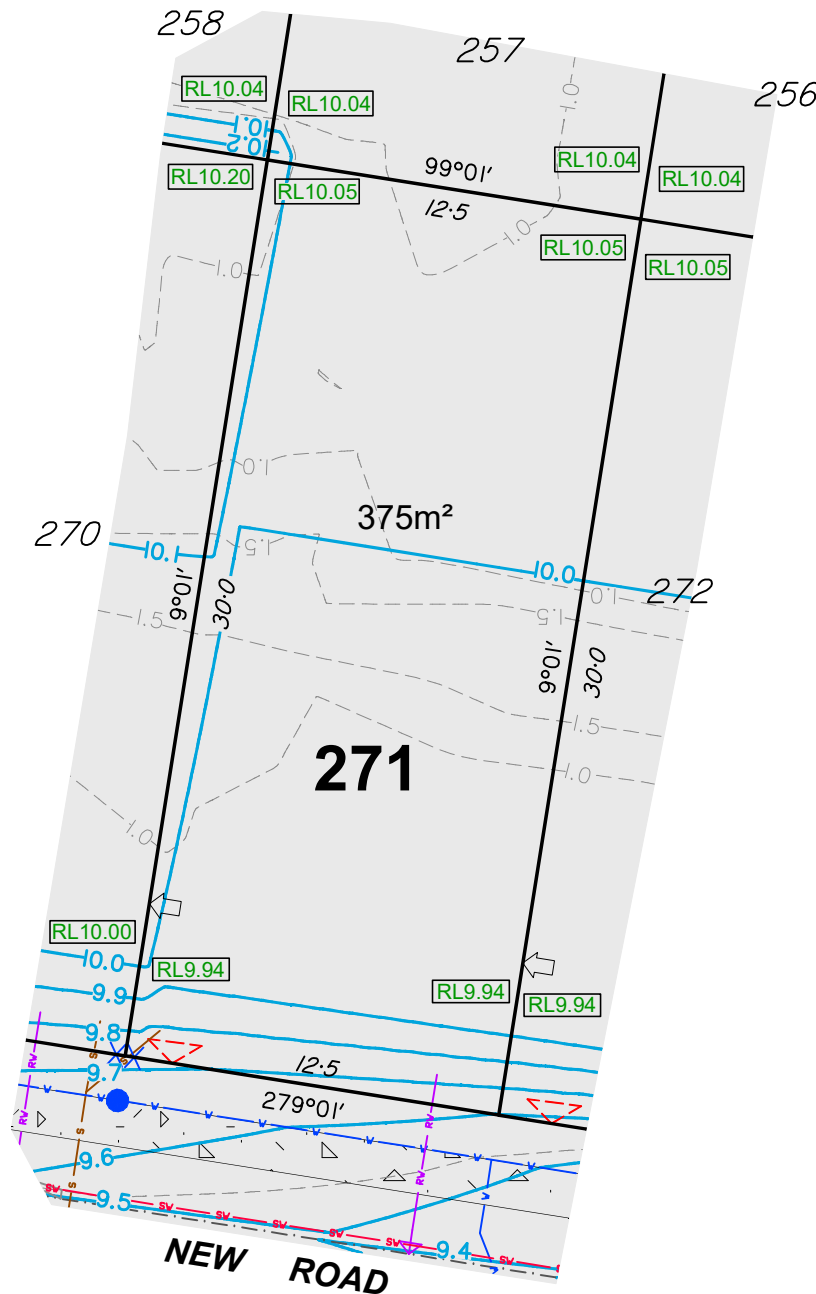
- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 16-12-2025	DRAWING NO. SB3594_4B-01-270	VERSION C
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# DISCLOSURE PLAN

For Proposed Lot 271  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - ← Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lower side of the wall)
  - >>> Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

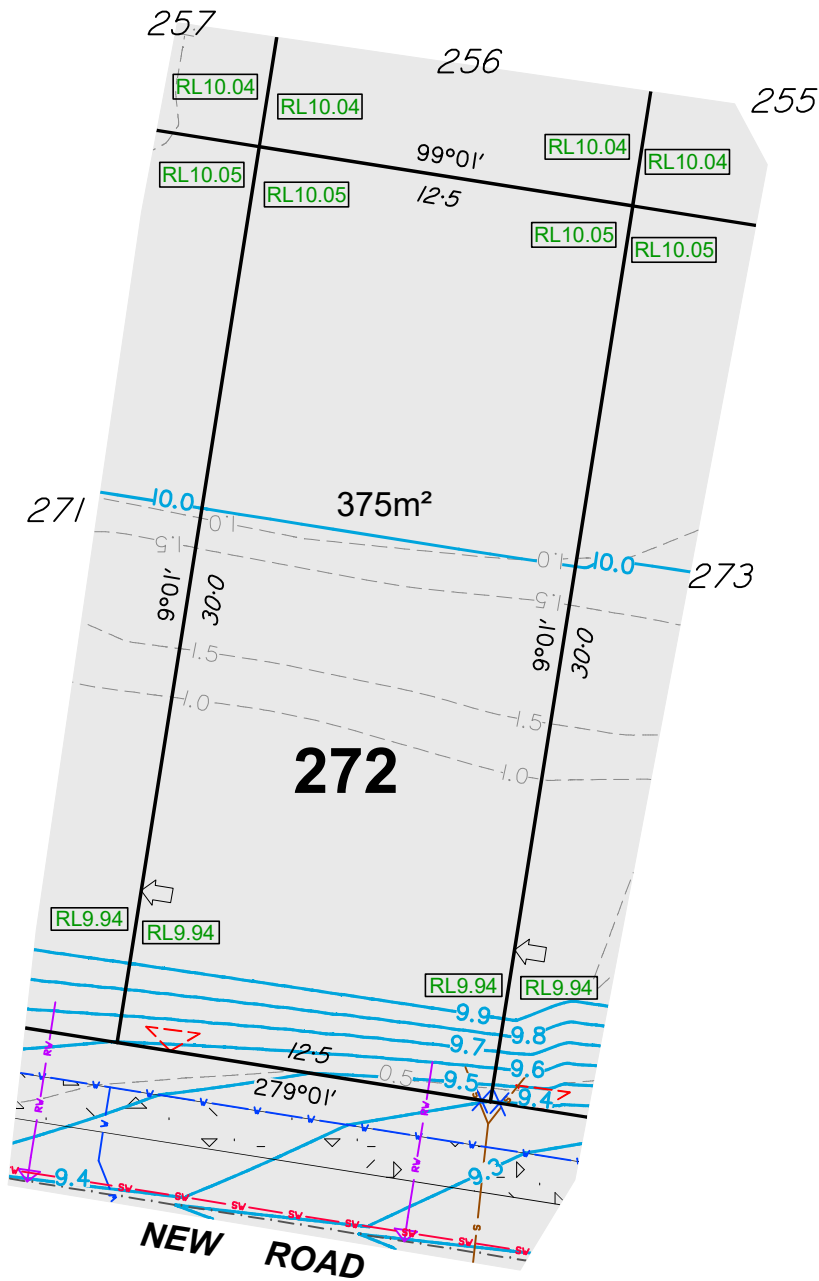
- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 16-12-2025      DRAWING NO. SB3594\_4B-01-271      VERSION C



# DISCLOSURE PLAN

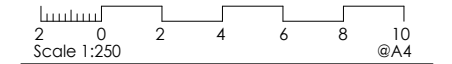
For Proposed Lot 272  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - s Sewer/Sewer Manhole
  - sv Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv Roofwater/Roofwater Pit
  - ← Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - > Proposed Driveway
  - ← Zero Lot Line Boundary
  - // Acoustic Fence above Retaining Wall

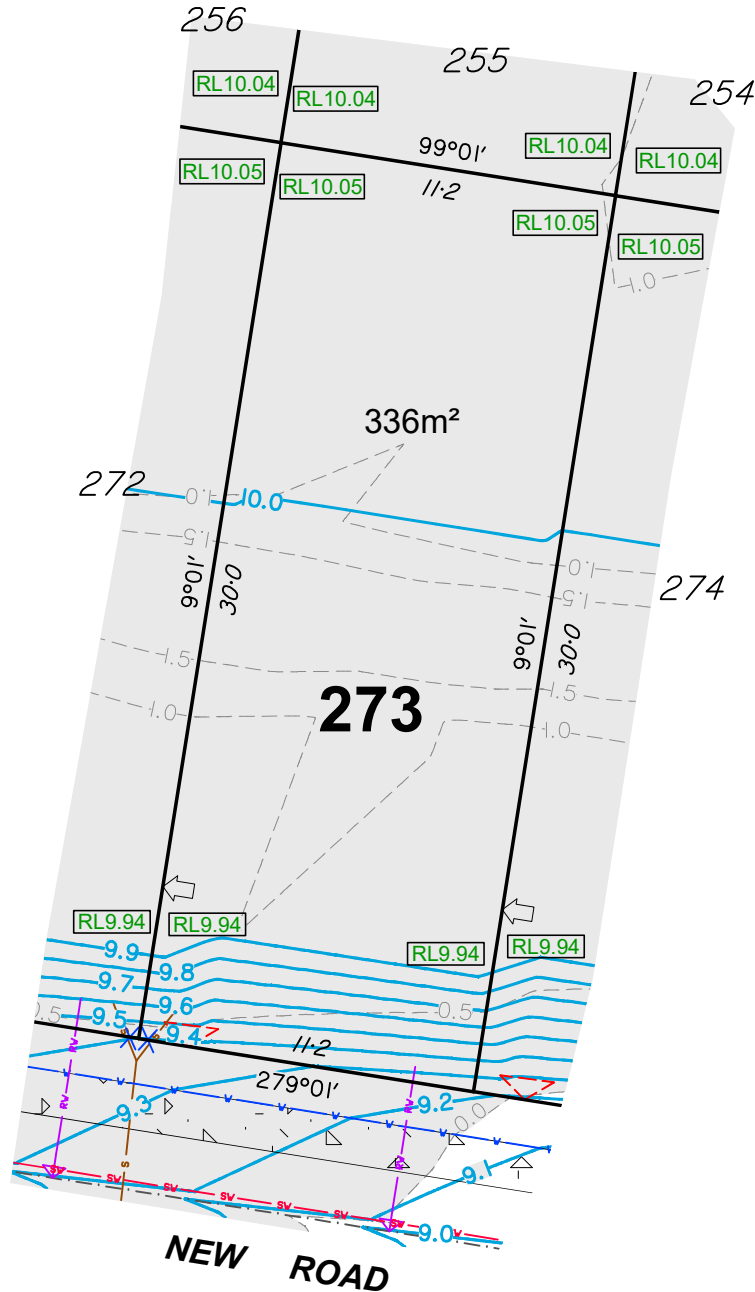
- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 16-12-2025      DRAWING NO. SB3594\_4B-01-272      VERSION C



# DISCLOSURE PLAN

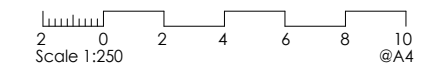
For Proposed Lot 273  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - S Sewer/Sewer Manhole
  - SV Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - RV Roofwater/Roofwater Pit
  - ← Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - > Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

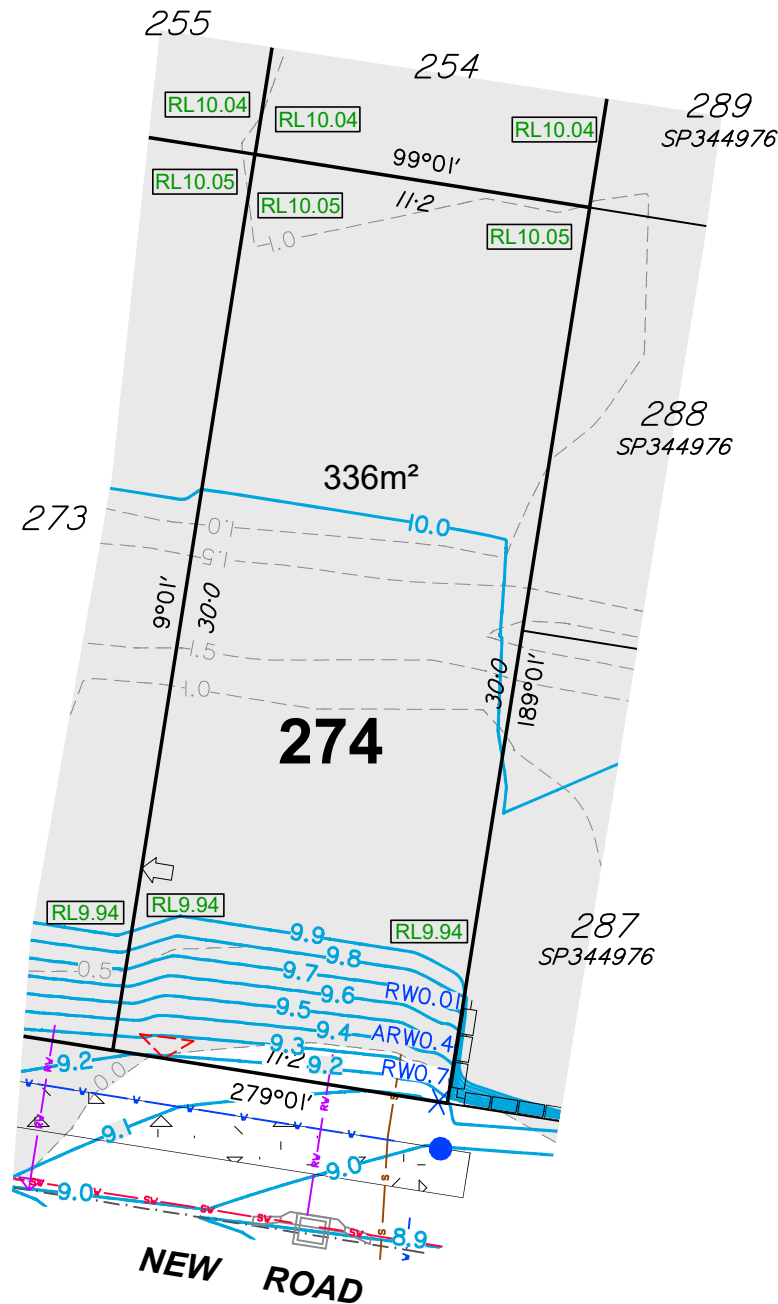
- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 16-12-2025      DRAWING NO. SB3594\_4B-01-273      VERSION C



# DISCLOSURE PLAN

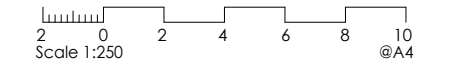
For Proposed Lot 274  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - ← Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lower side of the wall)
  - > Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

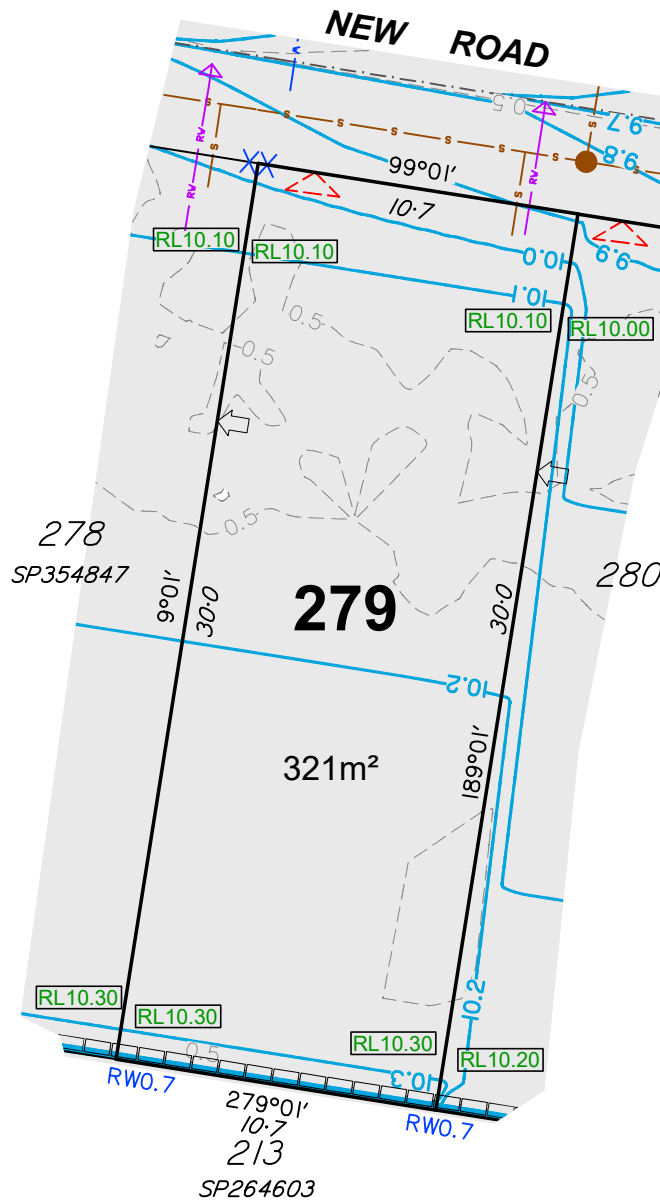
- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
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  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 16-12-2025      DRAWING NO. SB3594\_4B-01-274      VERSION C



# DISCLOSURE PLAN

For Proposed Lot 279  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - s Sewer/Sewer Manhole
  - sv Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - RV Roofwater/Roofwater Pit
  - ← Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lower side of the wall)
  - △ Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

**Notes:**

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



HORIZONTAL MERIDIAN: MGA      LEVEL DATUM: AHD.

DATE DRAWN: 16-12-2025      DRAWING NO.: SB3594\_4B-01-279      VERSION: C

# DISCLOSURE PLAN

For Proposed Lot 280  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - S Sewer/Sewer Manhole
  - SV Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - RV Roofwater/Roofwater Pit
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

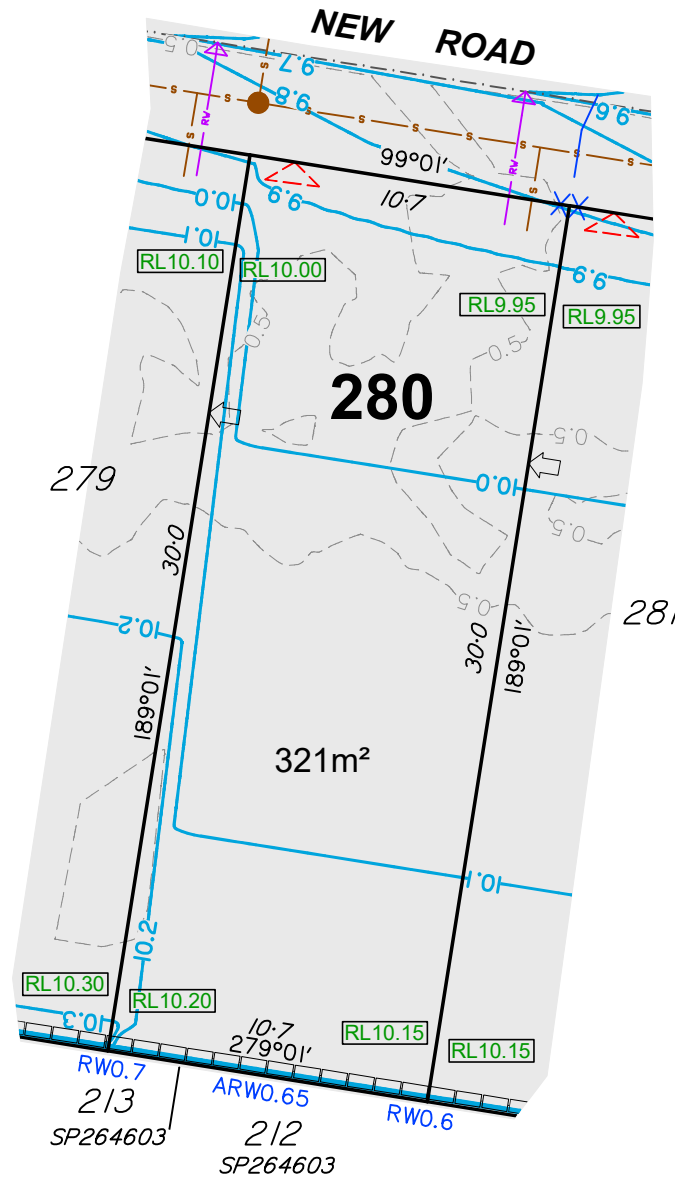
- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 16-12-2025  
DRAWING NO.: SB3594\_4B-01-280  
VERSION: C



# DISCLOSURE PLAN

For Proposed Lot 281  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - s Sewer/Sewer Manhole
  - sv Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - RV Roofwater/Roofwater Pit
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

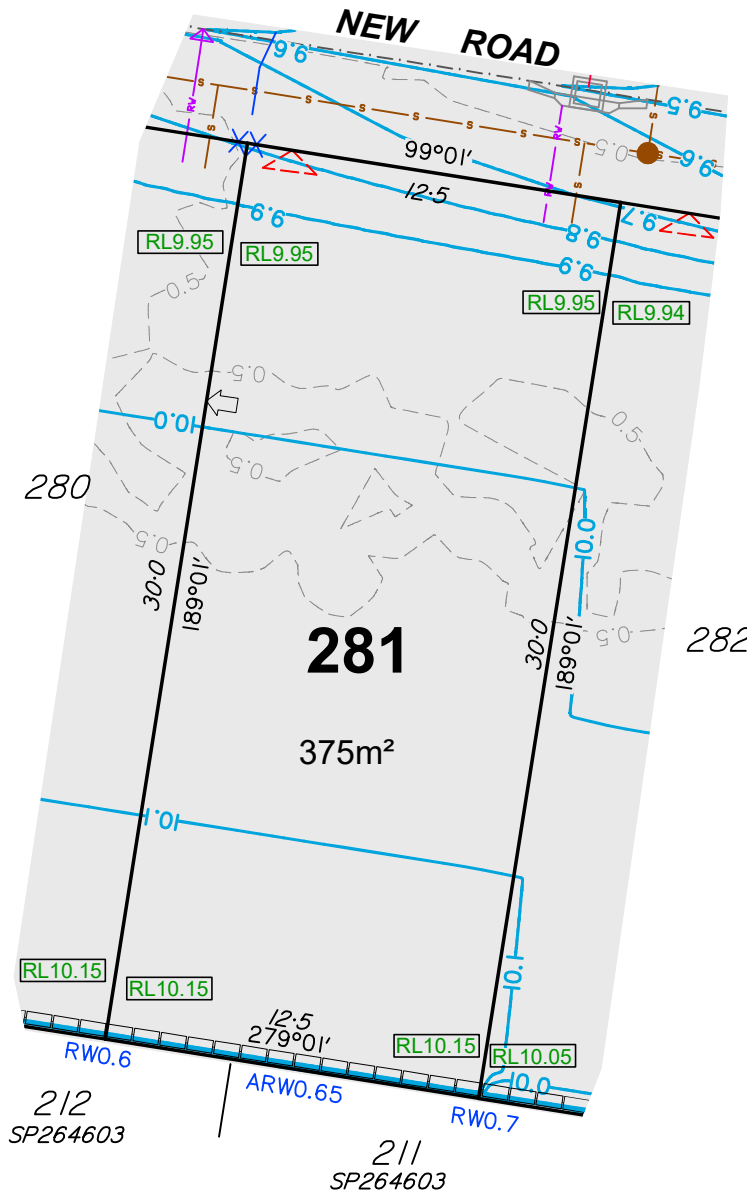
- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 16-12-2025  
DRAWING NO.: SB3594\_4B-01-281  
VERSION: C



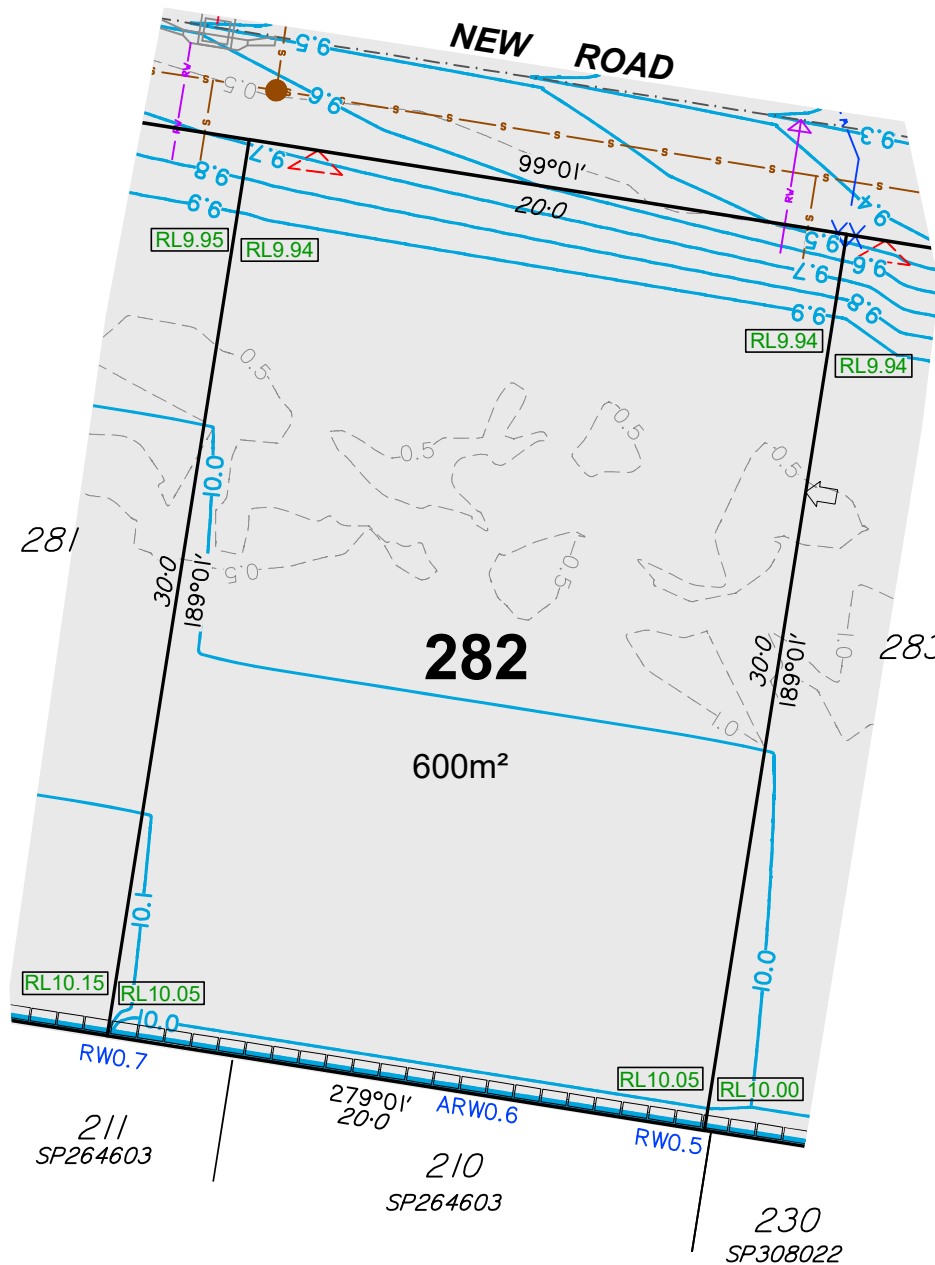
# DISCLOSURE PLAN

For Proposed Lot 282  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lower side of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



## RIVERBANK



HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 16-12-2025 DRAWING NO. SB3594\_4B-01-282 VERSION C

# DISCLOSURE PLAN

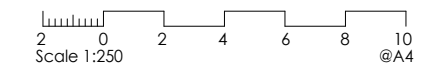
For Proposed Lot 283  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
  - Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lower side of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - Acoustic Fence above Retaining Wall

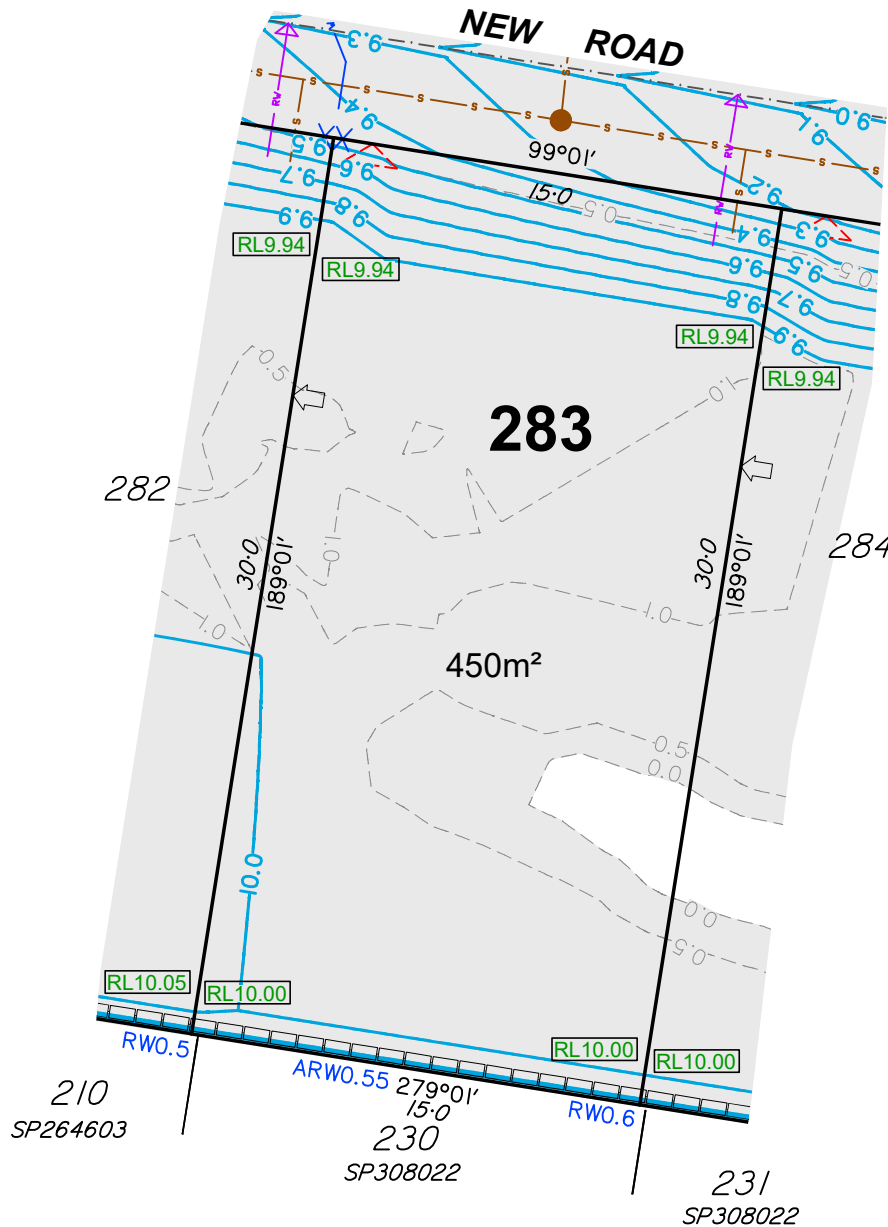
- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 16-12-2025  
DRAWING NO.: SB3594\_4B-01-283  
VERSION: C



# DISCLOSURE PLAN

For Proposed Lot 284  
Riverbank - Stage 4B

Currently Described As  
RPD: 46.0 Part of Lot 1035 on SP328512  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - - - Edge of Pad
  - s Sewer/Sewer Manhole
  - sv Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv Roofwater/Roofwater Pit
  - Kerb Adapter
  - Area to be Filled
  - RL9.94 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - // Acoustic Fence above Retaining Wall

**Notes:**

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers on 03-03-2025 and 28-08-2025.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



HORIZONTAL MERIDIAN: MGA      LEVEL DATUM: AHD.

DATE DRAWN: 16-12-2025      DRAWING NO.: SB3594\_4B-01-284      VERSION: C

