

DISCLOSURE PLAN

For Proposed Lot 1505
Riverbank - Stage 22A

Currently Described As	Part of Lot 1034 on SP328488
RPD:	Caboolture South
Locality:	Moreton Bay City
Local Authority:	

Legend:	
	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary

- Notes:
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

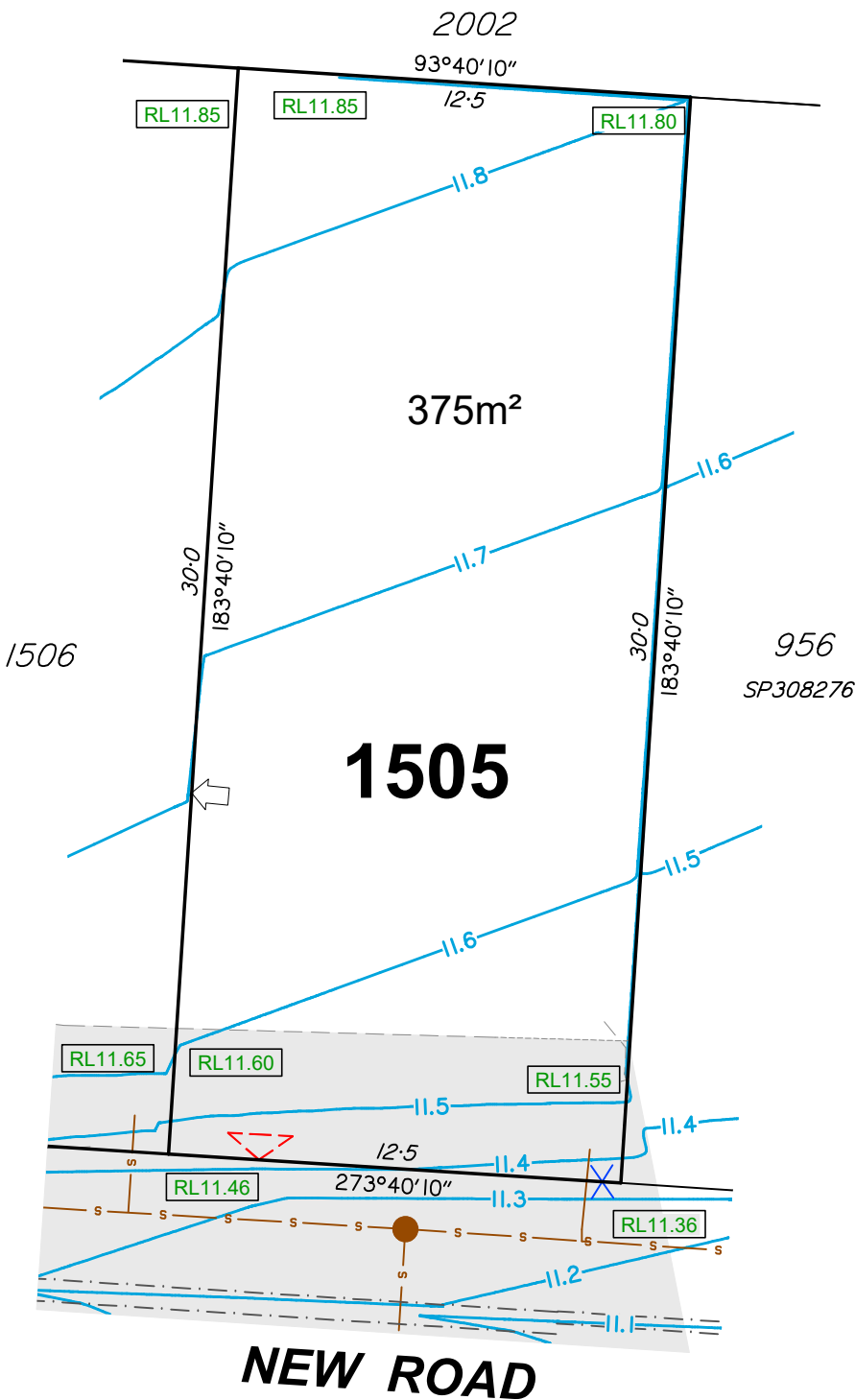
RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA
LEVEL DATUM AHD.
Scale 1:200 @A3

DATE DRAWN 26-06-2024
DRAWING NO. SB3594-22A_01-1505
VERSION A



PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1506
Riverbank - Stage 22A

Currently Described As	Part of Lot 1034 on SP328488
RPD:	Caboolture South
Locality:	Moreton Bay City
Local Authority:	

Legend:	
	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary

- Notes:
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

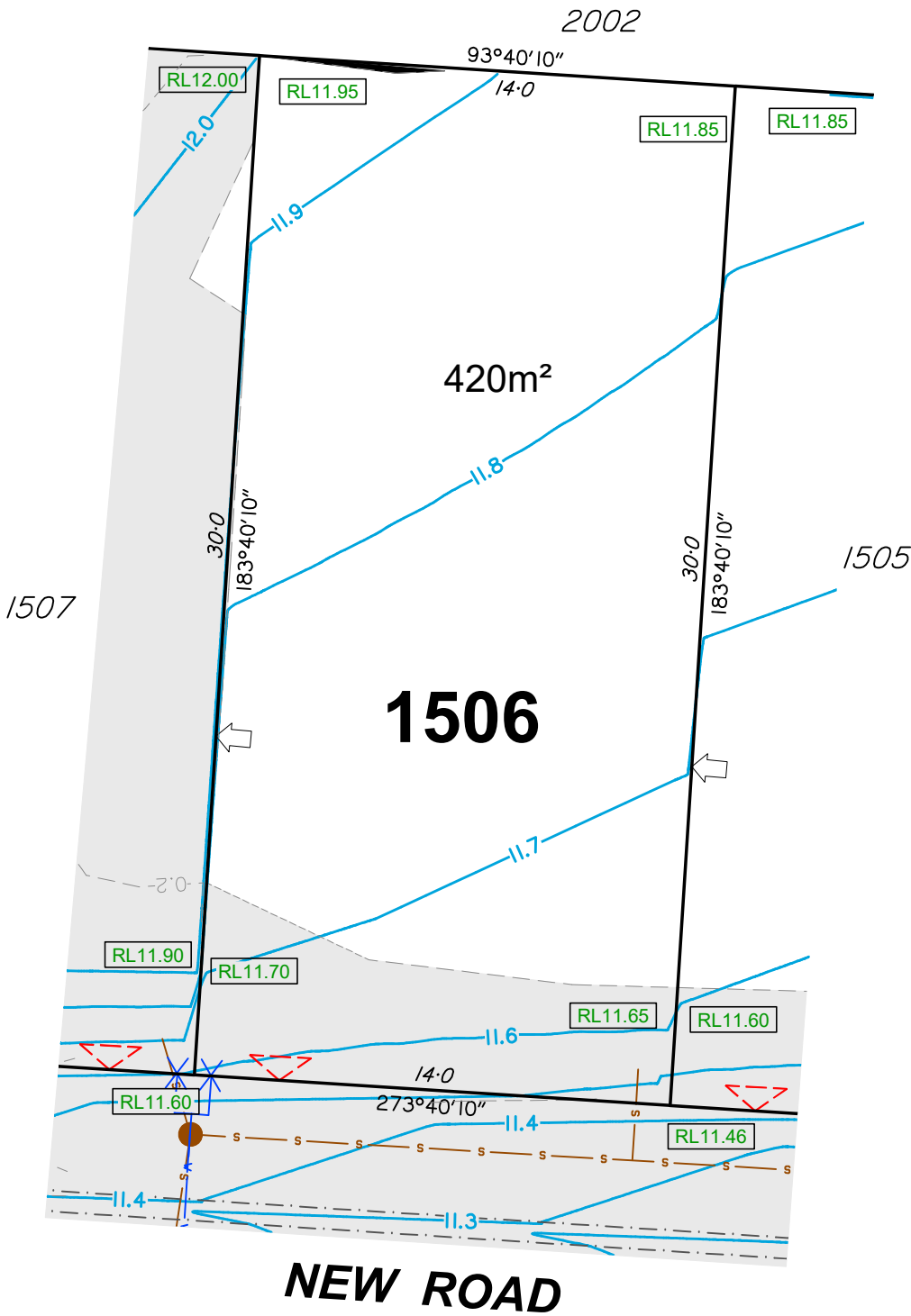
RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA
LEVEL DATUM AHD.
Scale 1:200 @A3

DATE DRAWN 26-06-2024
DRAWING NO. SB3594-22A_01-1506
VERSION A



PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1507
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S S Sewer/Sewer Manhole
- SV SV Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW RW Roofwater/Roofwater Pit
- V V Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

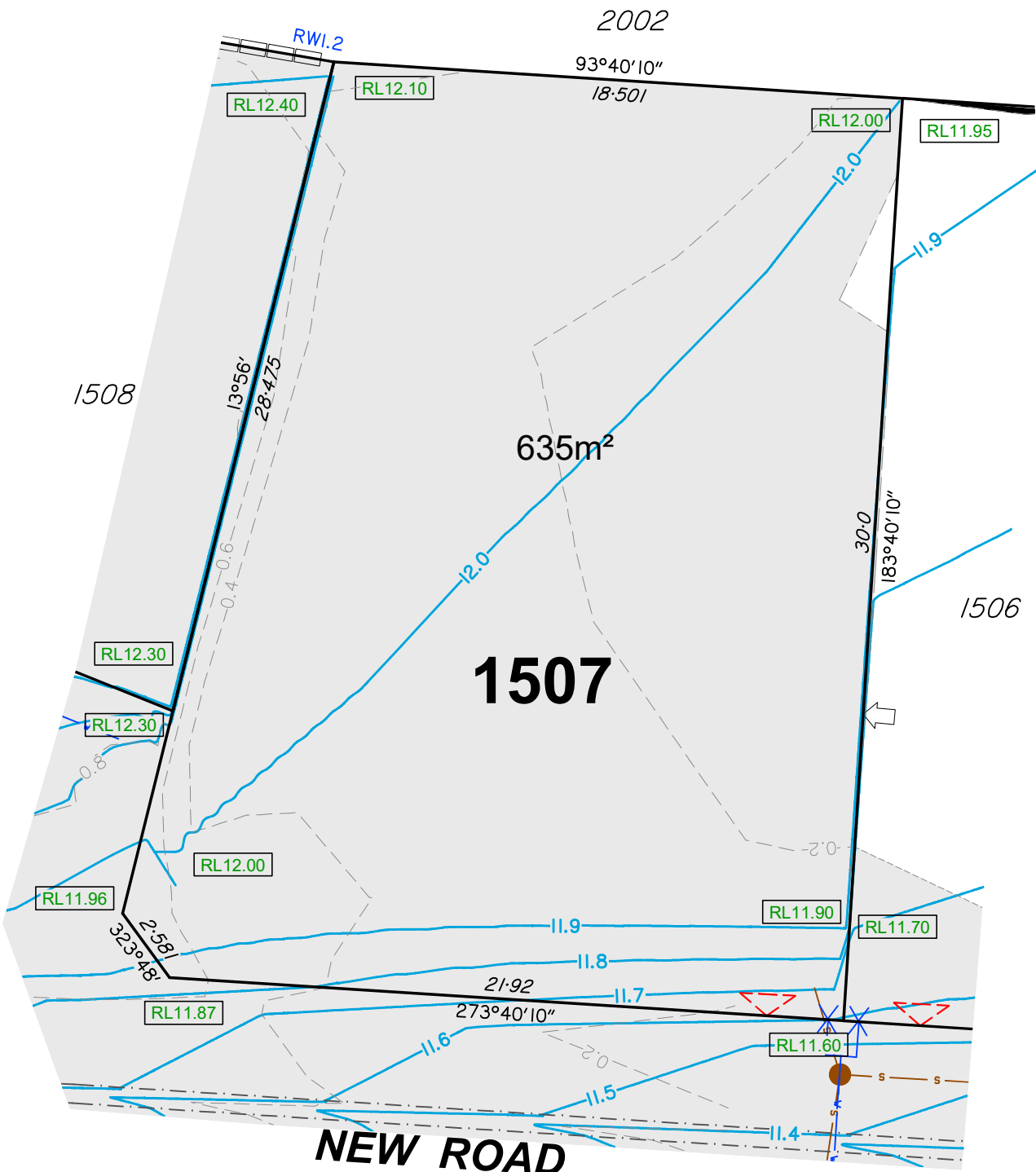
RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA
LEVEL DATUM AHD.

DATE DRAWN 26-06-2024
DRAWING NO. SB3594-22A_01-1507
VERSION A



PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1508
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S S Sewer/Sewer Manhole
- SV SV Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW RW Roofwater/Roofwater Pit
- V V Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

- Notes:
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

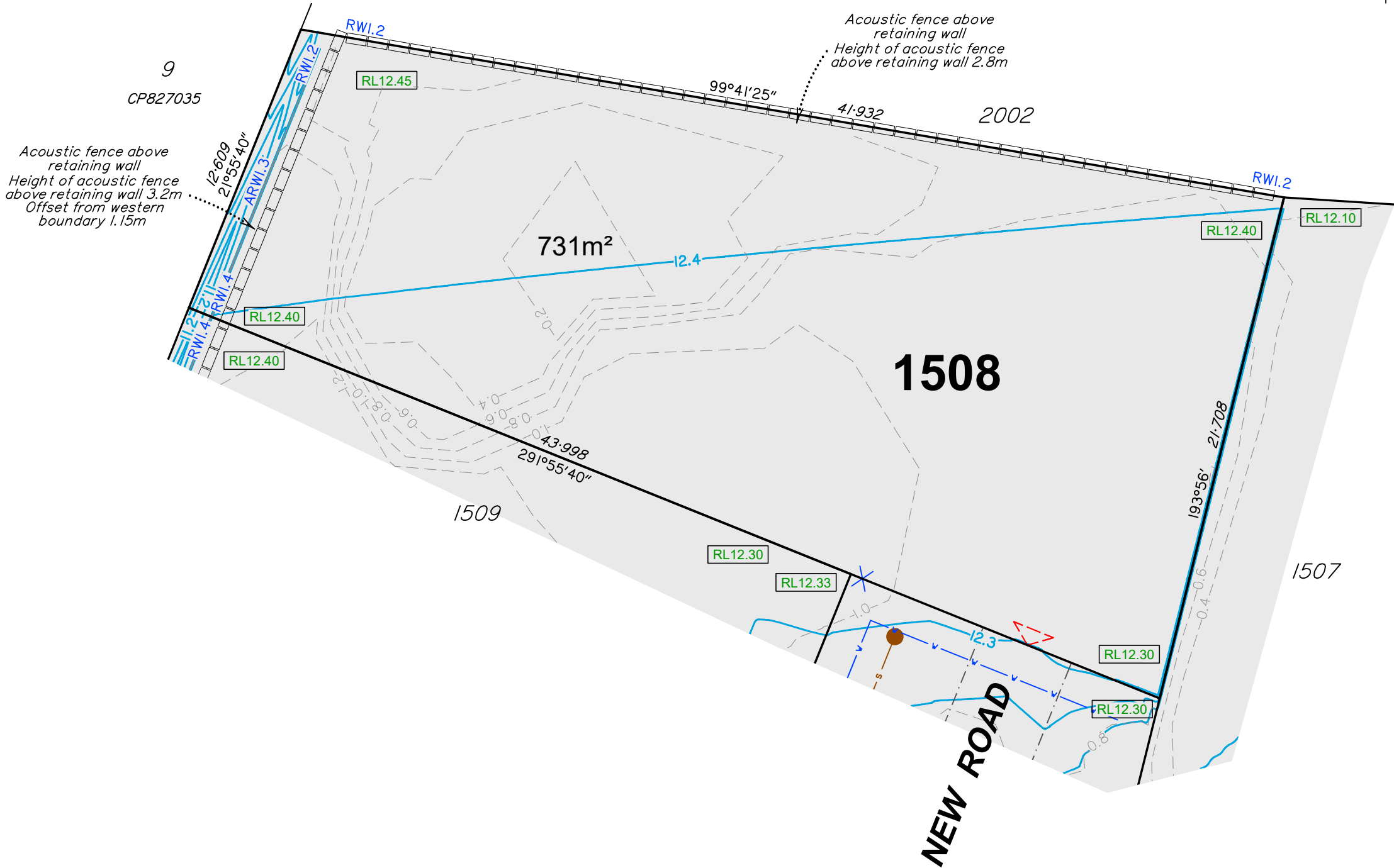


Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 04-07-2024
DRAWING NO. SB3594-22A_01-1508
VERSION B

PRELIMINARY
04-07-2024



DISCLOSURE PLAN

For Proposed Lot 1509
Riverbank - Stage 22A

Currently Described As	Part of Lot 1034 on SP328488
RPD:	
Locality:	Caboolture South
Local Authority:	Moreton Bay City

Legend:	
46.0	Finished Surface Contours (0.1m Interval)
1.0	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
s s	Sewer/Sewer Manhole
sw sw	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
rw rw	Roofwater/Roofwater Pit
v v	Water/Water Fitting
X	Water Meter
	Area to be Filled
RL57.32	Design Pad Level
	Retaining Wall
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary

- Notes:
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning Urban Design Landscape Environment Surveying

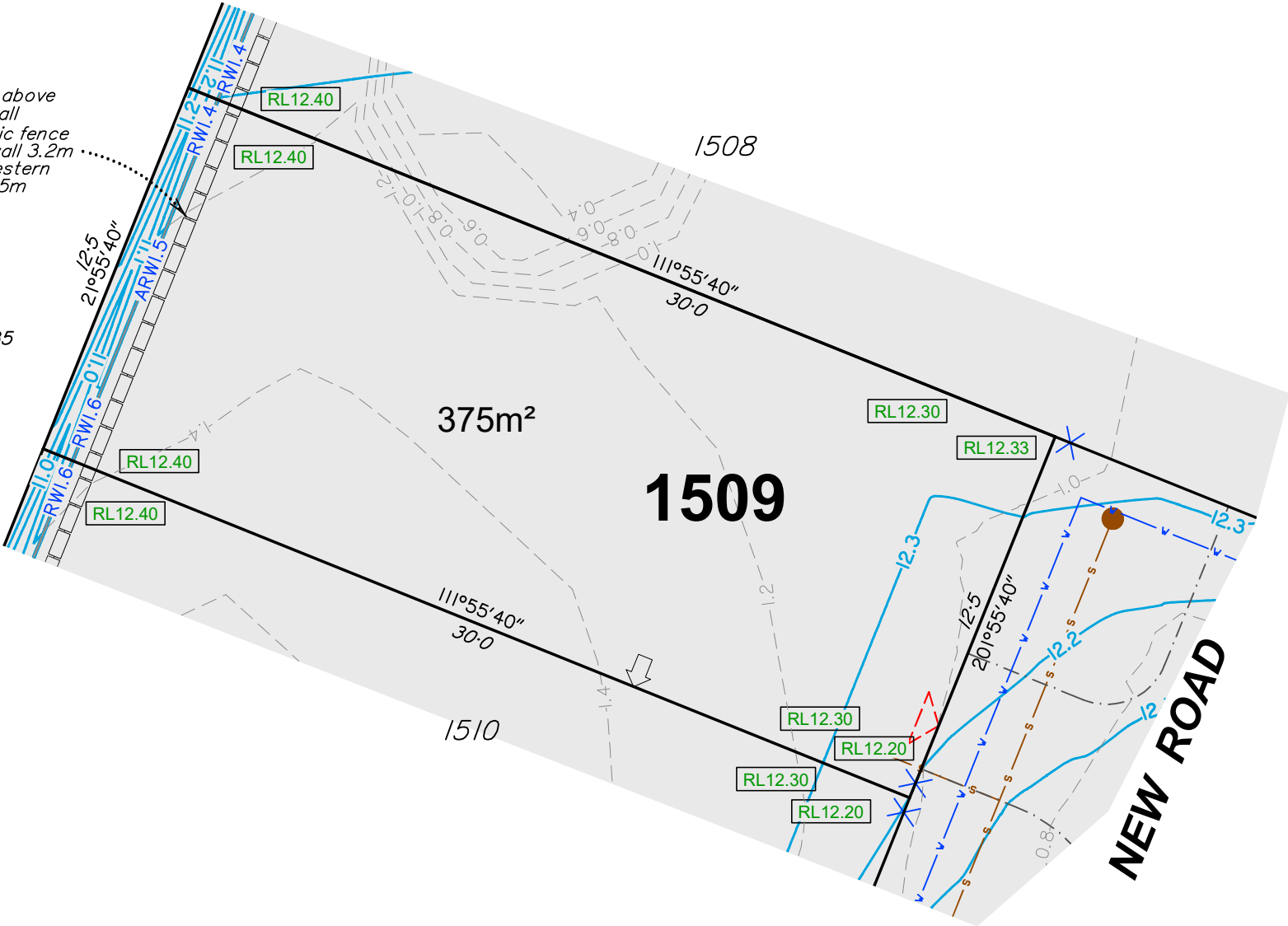
HORIZONTAL MERIDIAN MGA
LEVEL DATUM AHD.
Scale 1:200 @A3

DATE DRAWN 03-07-2024
DRAWING NO. SB3594-22A_01-1509
VERSION B



Acoustic fence above retaining wall
Height of acoustic fence above retaining wall 3.2m
Offset from western boundary 1.15m

9
CP827035



PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1510
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- s s Sewer/Sewer Manhole
- sw sw Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW RW Roofwater/Roofwater Pit
- v v Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

- Notes:
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



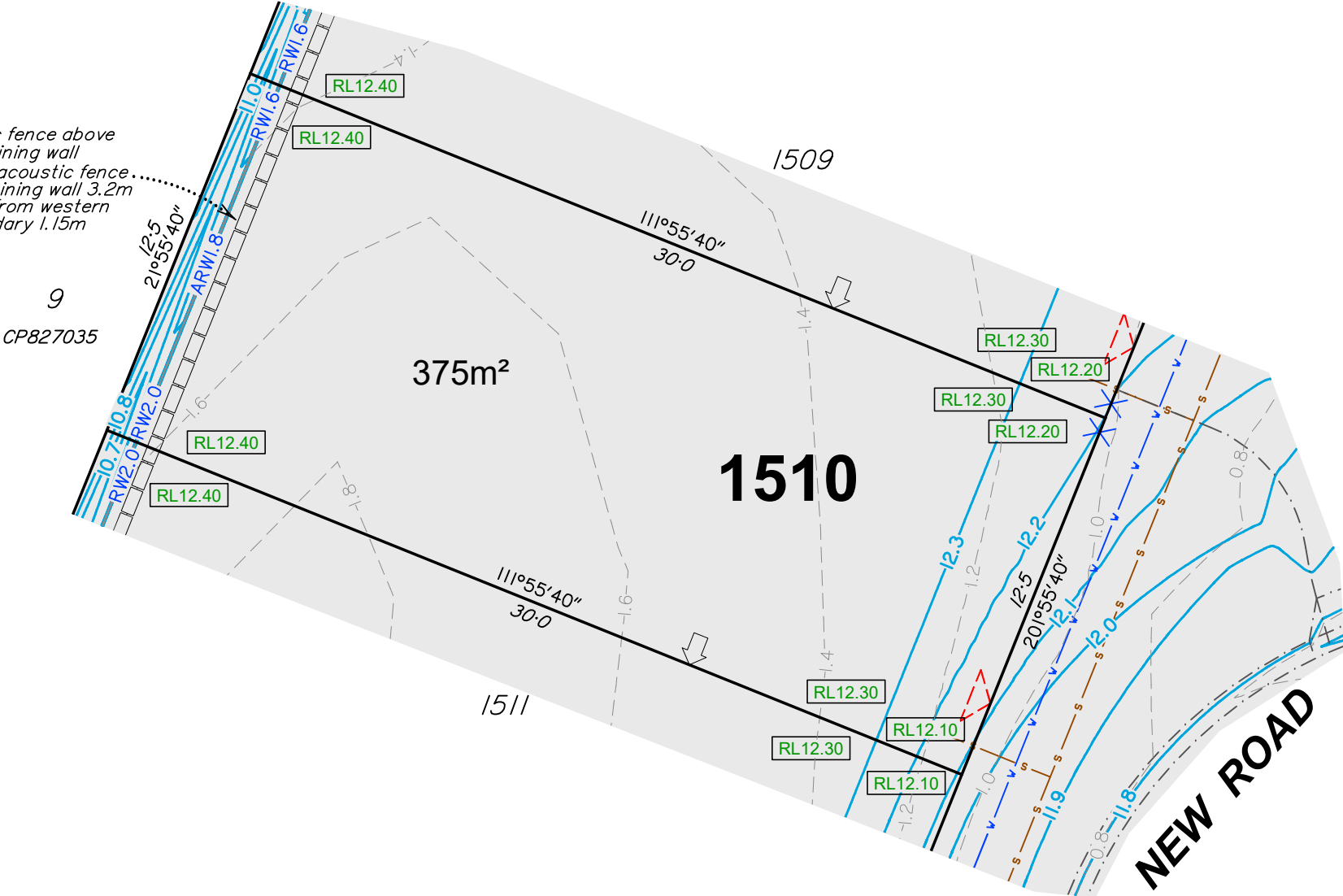
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 03-07-2024
DRAWING NO. SB3594-22A_01-1510
VERSION B



Acoustic fence above retaining wall
Height of acoustic fence above retaining wall 3.2m
Offset from western boundary 1.15m

PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1511
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S Sewer/Sewer Manhole
- SV Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW Roofwater/Roofwater Pit
- V Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

- This note is an integral part of this plan.
- Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
- Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

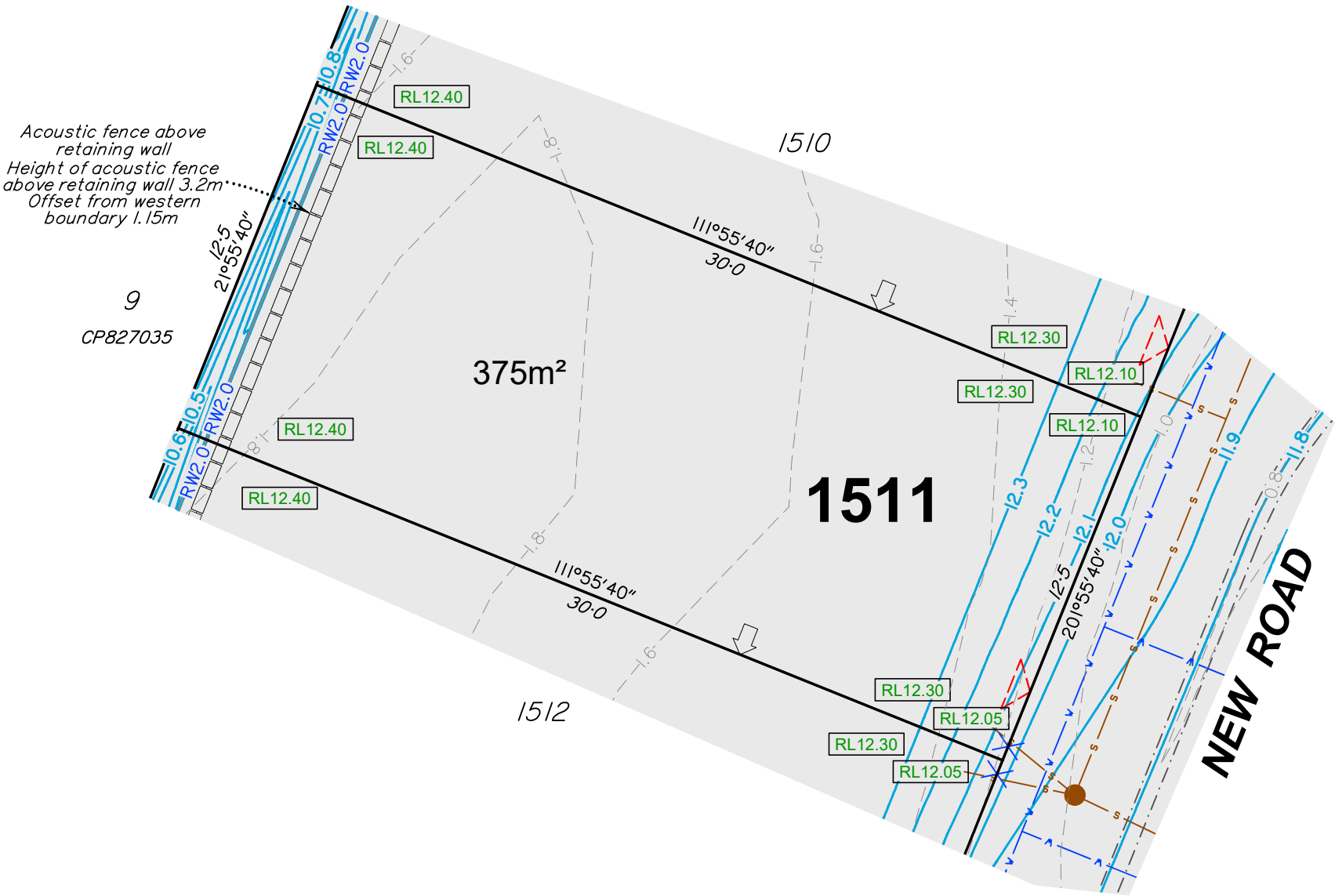
RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

DATE DRAWN 03-07-2024
DRAWING NO. SB3594-22A_01-1511
VERSION B



Acoustic fence above retaining wall
Height of acoustic fence above retaining wall 3.2m
Offset from western boundary 1.15m

9
CP827035

375m²

1511

NEW ROAD

PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1512
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S S Sewer/Sewer Manhole
- SW SW Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW RW Roofwater/Roofwater Pit
- V V Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

- This note is an integral part of this plan.
- Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
- Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA
LEVEL DATUM AHD.
Scale 1:200 @A3

DATE DRAWN 03-07-2024
DRAWING NO. SB3594-22A_01-1512
VERSION B

PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1513
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S S Sewer/Sewer Manhole
- SW SW Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW RW Roofwater/Roofwater Pit
- V V Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

- This note is an integral part of this plan.
- Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
- Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

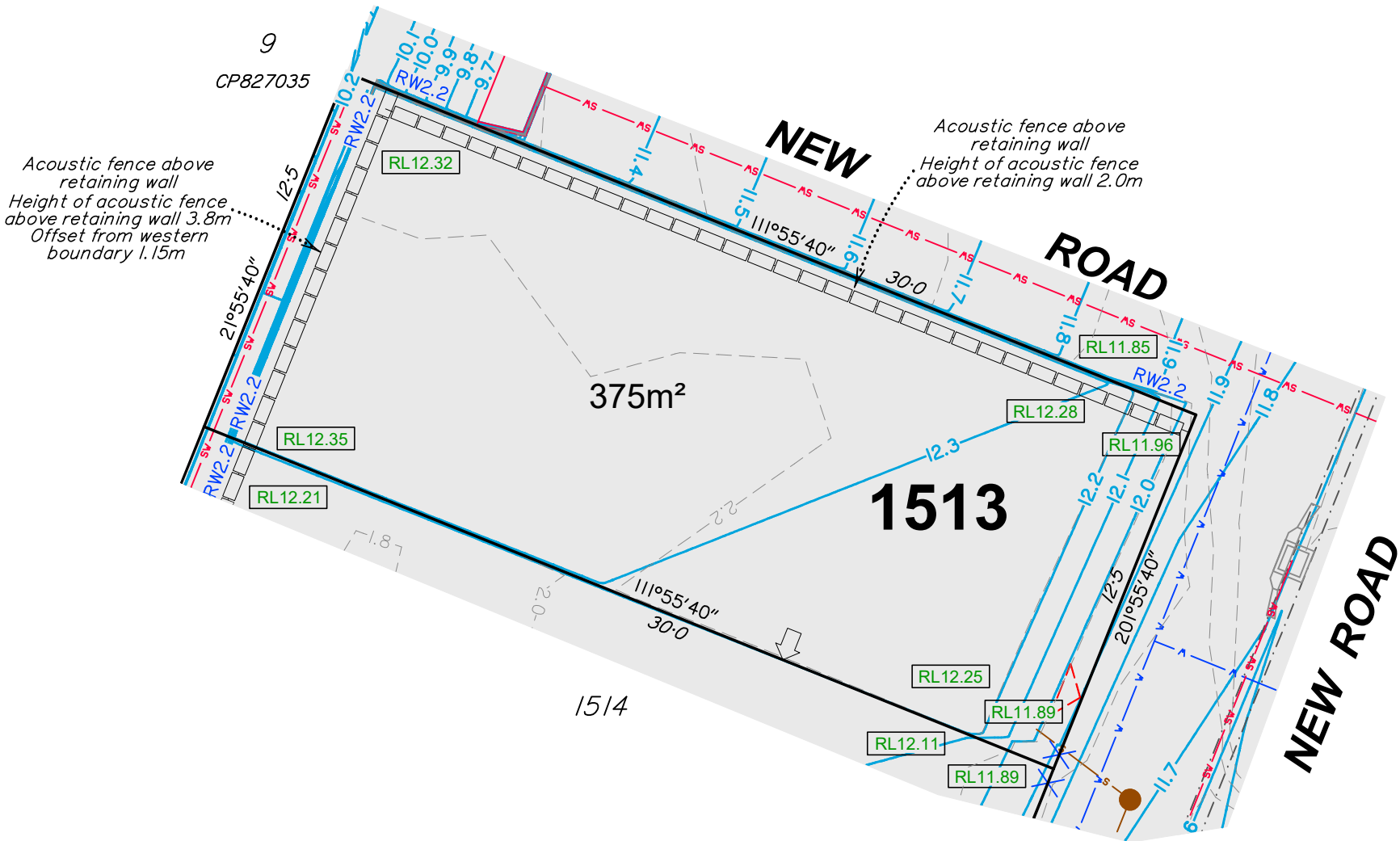
RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

DATE DRAWN 03-07-2024
DRAWING NO. SB3594-22A_01-1513
VERSION B



PRELIMINARY
04-07-2024

For Proposed Lot 1514
Riverbank - Stage 22A

RPD: Part of Lot 1034 on SP328488
 Locality: Caboolture South
 Local Authority: Moreton Bay City

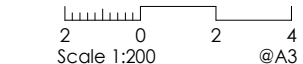
	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

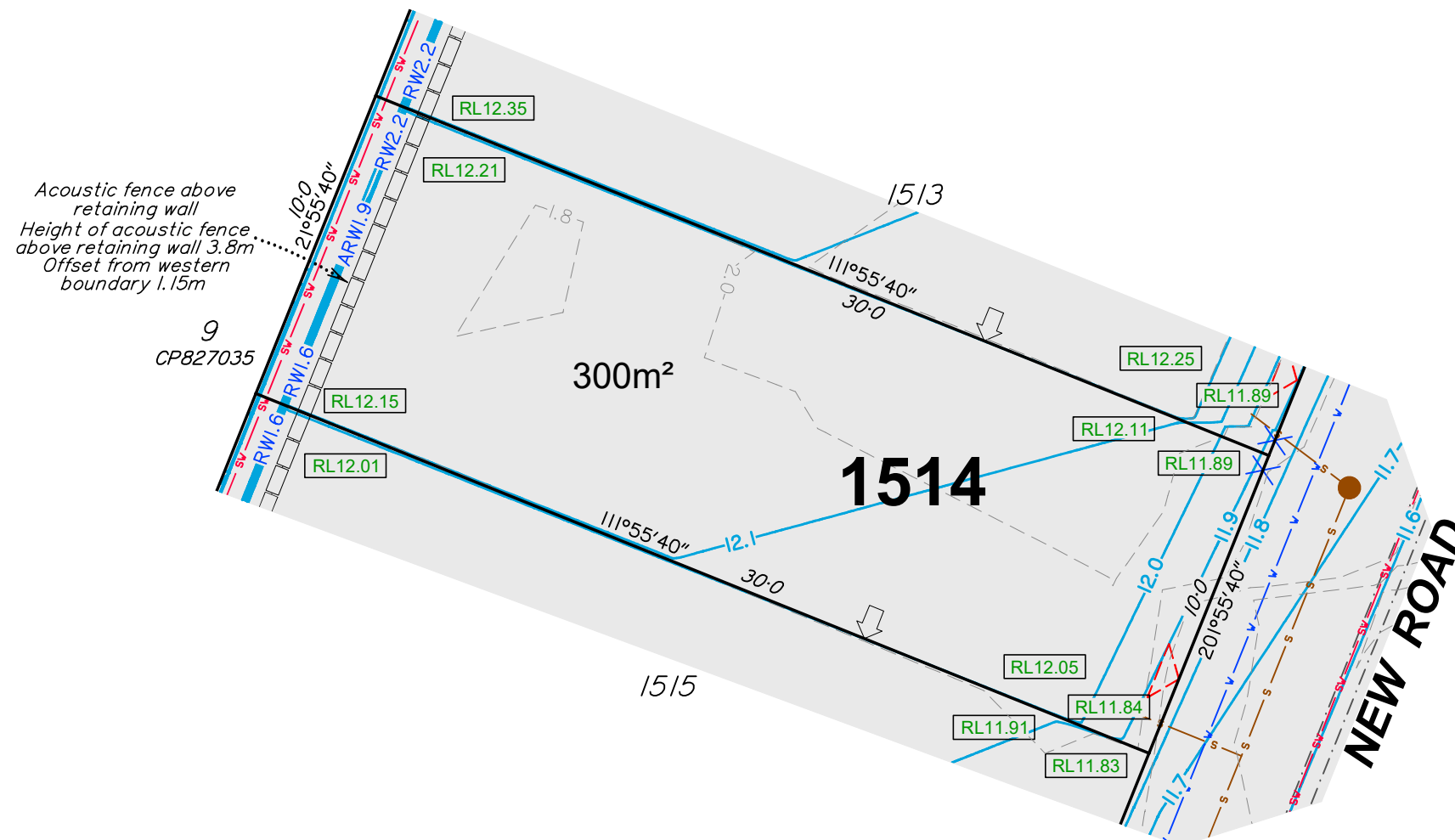


 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

DATE DRAWN	DRAWING NO.	VERSION
03-07-2024	SB3594-22A 01-1514	B



PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1515
Riverbank - Stage 22A

Currently Described As	Part of Lot 1034 on SP328488
RPD:	Caboolture South
Locality:	Moreton Bay City
Local Authority:	

Legend:	
46.0	Finished Surface Contours (0.1m Interval)
1.0	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
S S	Sewer/Sewer Manhole
SV SV	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
RW RW	Roofwater/Roofwater Pit
V V	Water/Water Fitting
X	Water Meter
	Area to be Filled
RL57.32	Design Pad Level
	Retaining Wall
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary

- Notes:
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



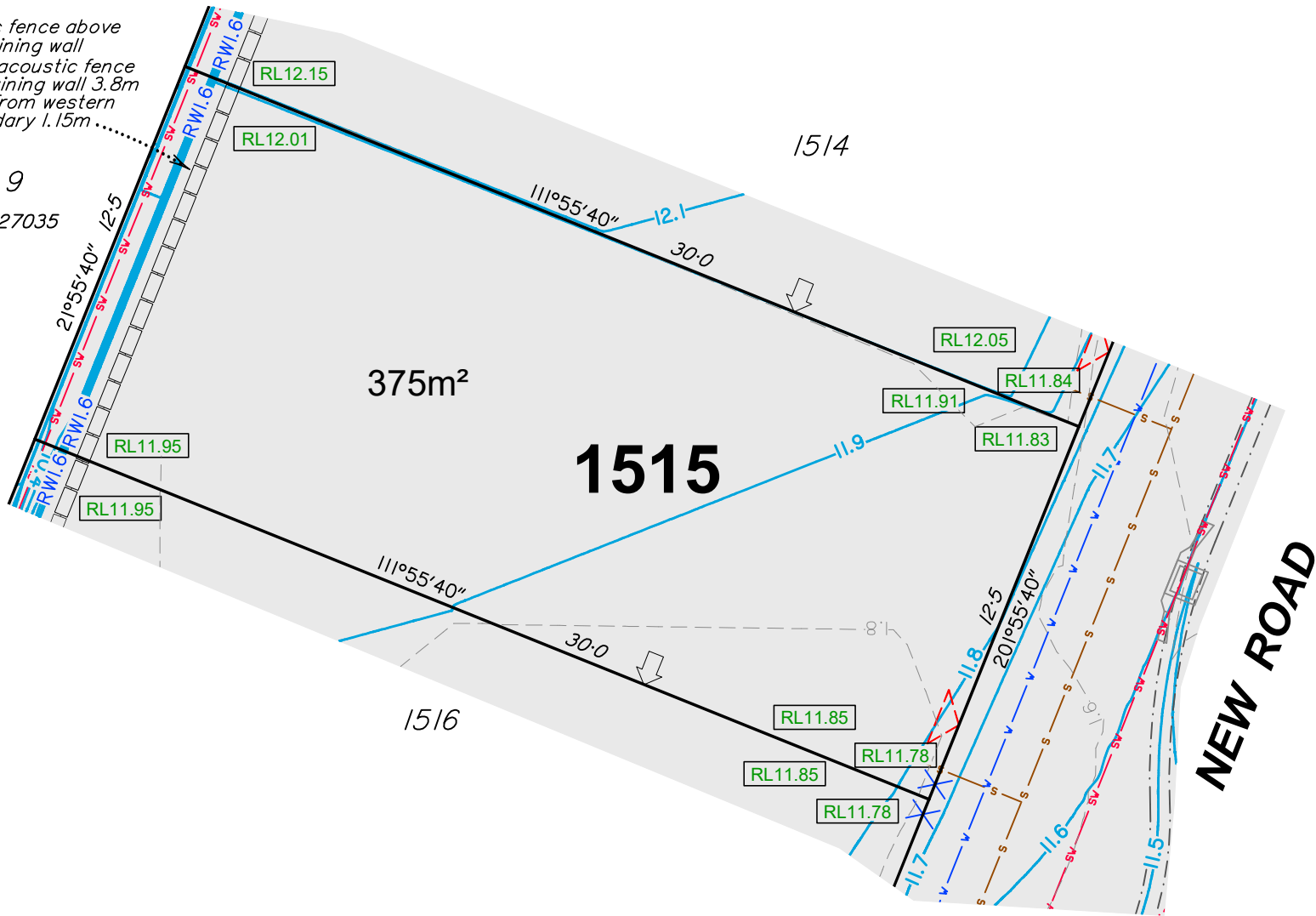
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 26-06-2024
DRAWING NO. SB3594-22A_01-1515
VERSION A

Acoustic fence above retaining wall
Height of acoustic fence above retaining wall 3.8m
Offset from western boundary 1.15m

9
CP827035



PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1516
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- - - Kerb Line
- - - Edge of Pad
- S S Sewer/Sewer Manhole
- SV SV Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW RW Roofwater/Roofwater Pit
- V V Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

- Notes:
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



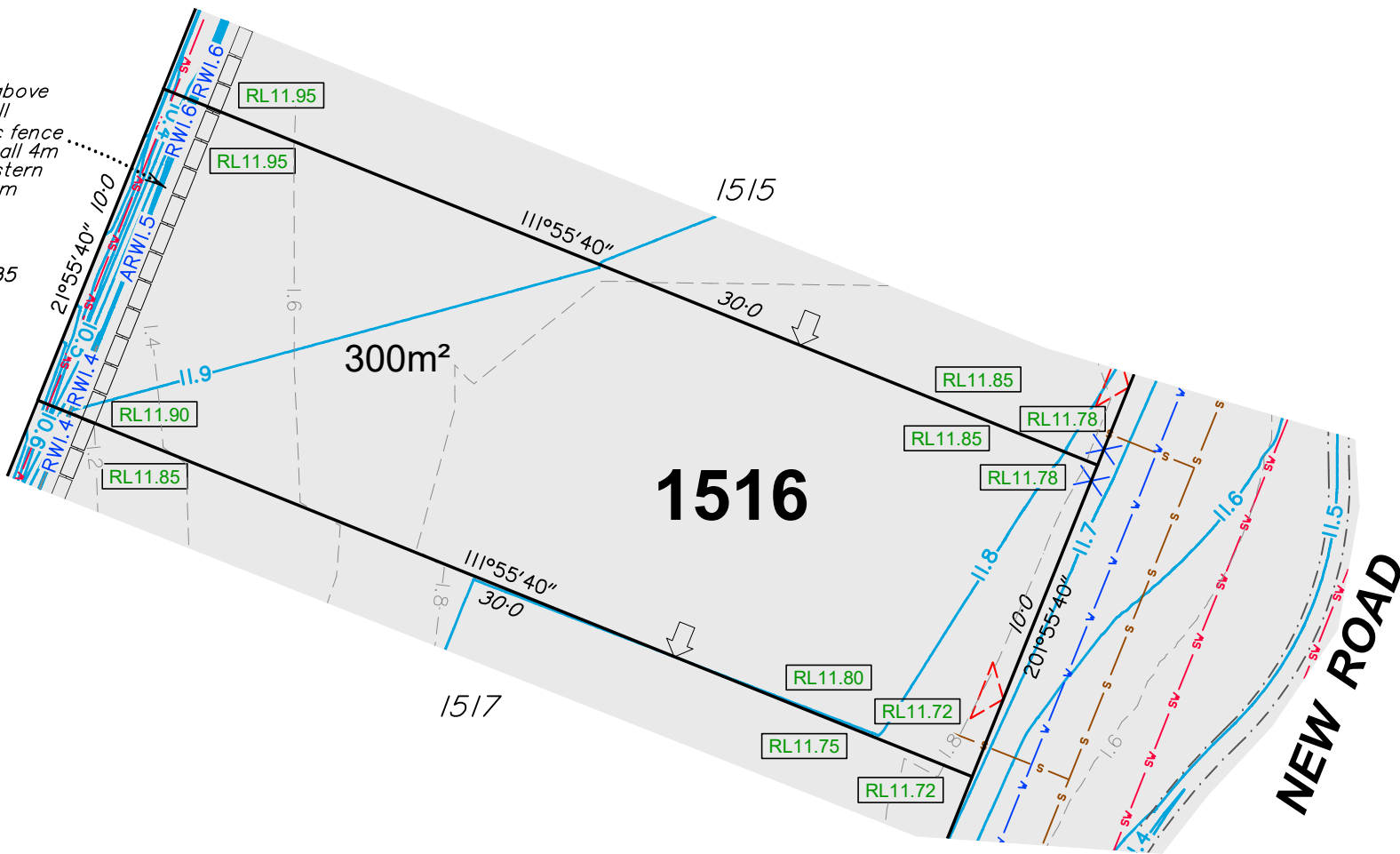
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

DATE DRAWN 03-07-2024
DRAWING NO. SB3594-22A_01-1516
VERSION B

Acoustic fence above
retaining wall
Height of acoustic fence
above retaining wall 4m
Offset from western
boundary 1.15m

9
CP827035



PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1517
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S S Sewer/Sewer Manhole
- SV SV Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW RW Roofwater/Roofwater Pit
- V V Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

- This note is an integral part of this plan.
- Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
- Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



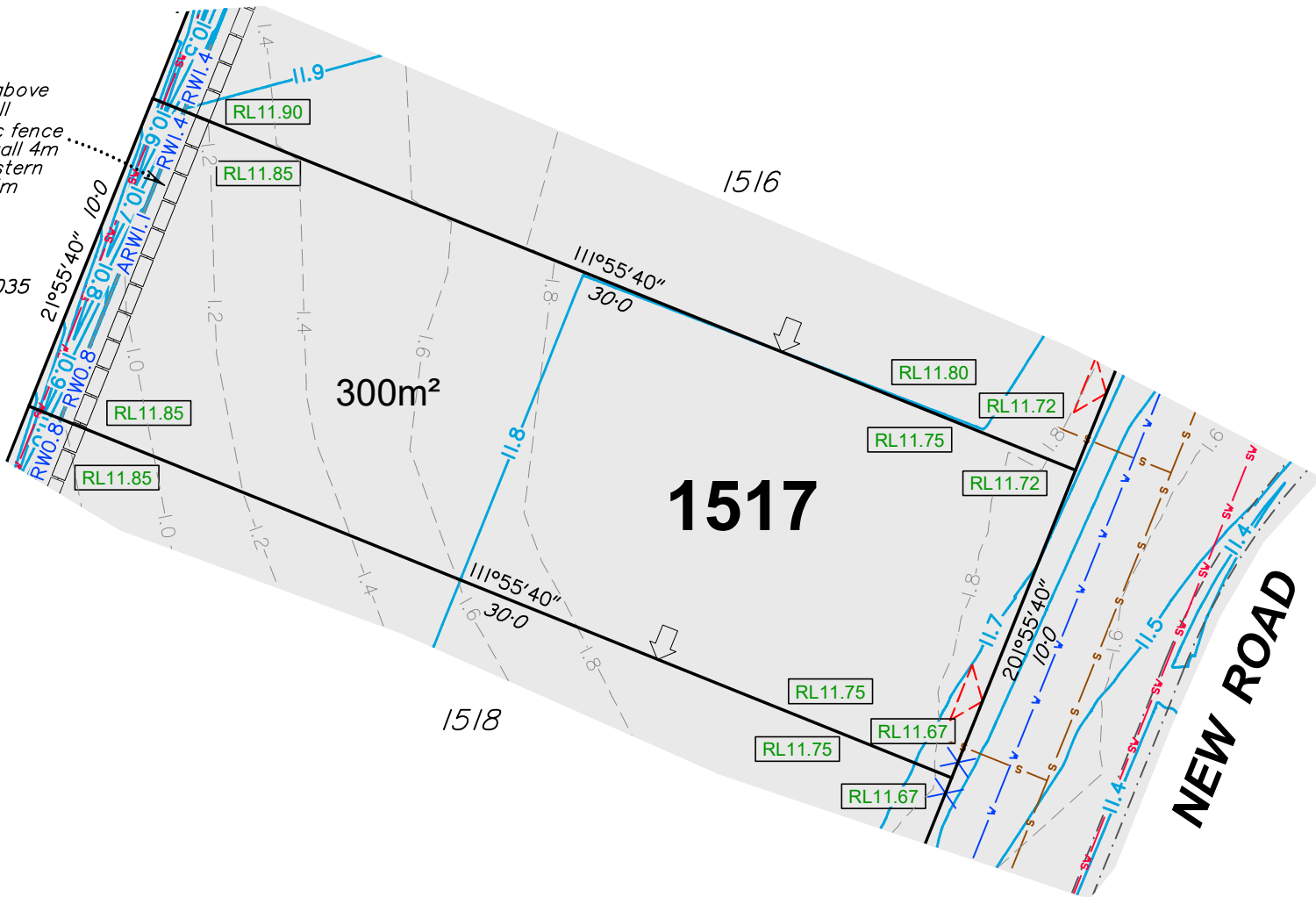
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

DATE DRAWN 03-07-2024
DRAWING NO. SB3594-22A_01-1517
VERSION B

Acoustic fence above retaining wall
Height of acoustic fence above retaining wall 4m
Offset from western boundary 1.15m

9
CP827035



DISCLOSURE PLAN

For Proposed Lot 1518
Riverbank - Stage 22A

Currently Described As	Part of Lot 1034 on SP328488
RPD:	Caboolture South
Locality:	Moreton Bay City
Local Authority:	

Legend:	
	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary

- Notes:
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

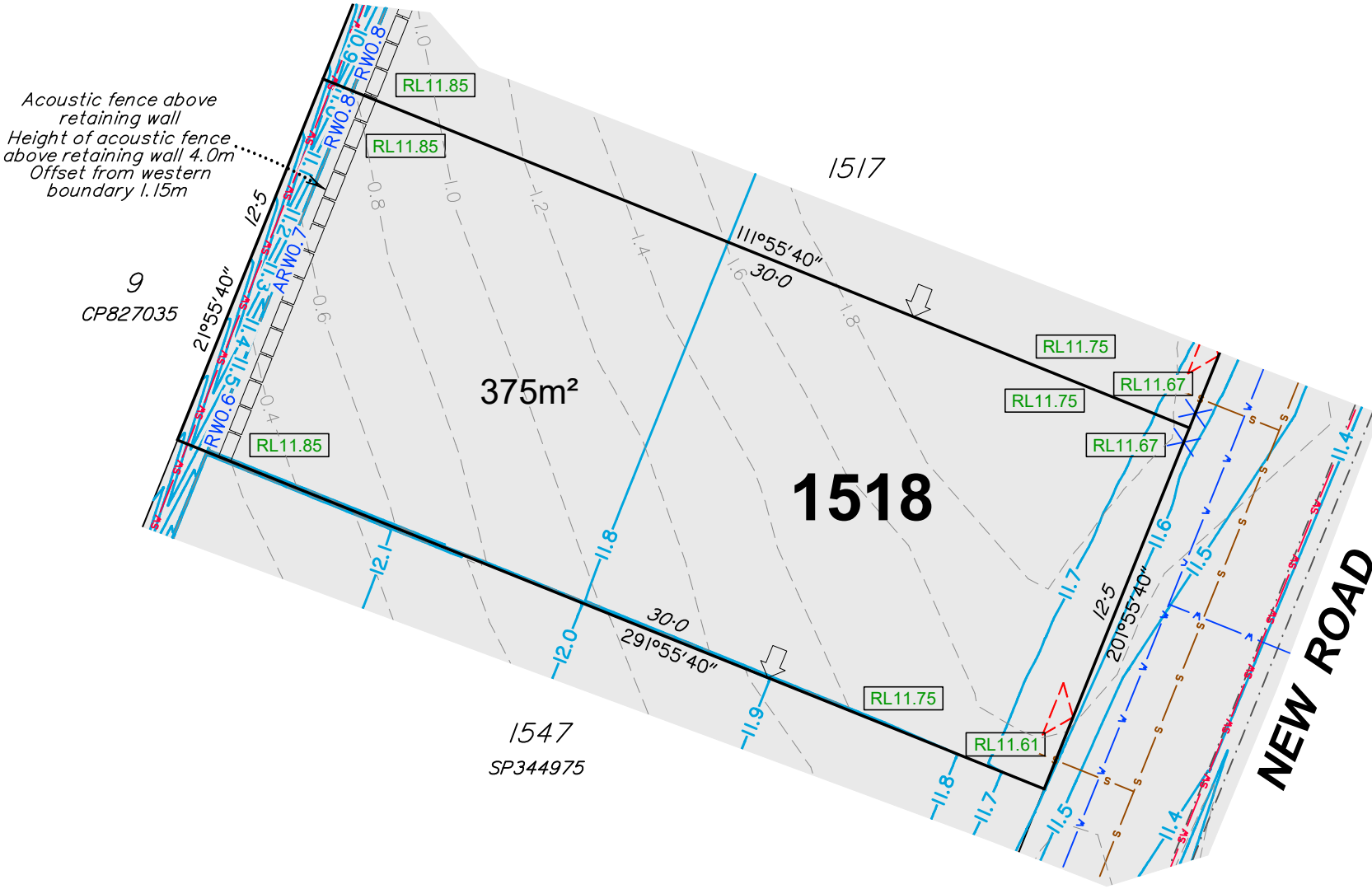
RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

DATE DRAWN 03-07-2024
DRAWING NO. SB3594-22A_01-1518
VERSION B



Acoustic fence above retaining wall
Height of acoustic fence above retaining wall 4.0m
Offset from western boundary 1.15m

DISCLOSURE PLAN

For Proposed Lot 1519
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- - - Kerb Line
- - - Edge of Pad
- S S Sewer/Sewer Manhole
- SV SV Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW RW Roofwater/Roofwater Pit
- V V Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

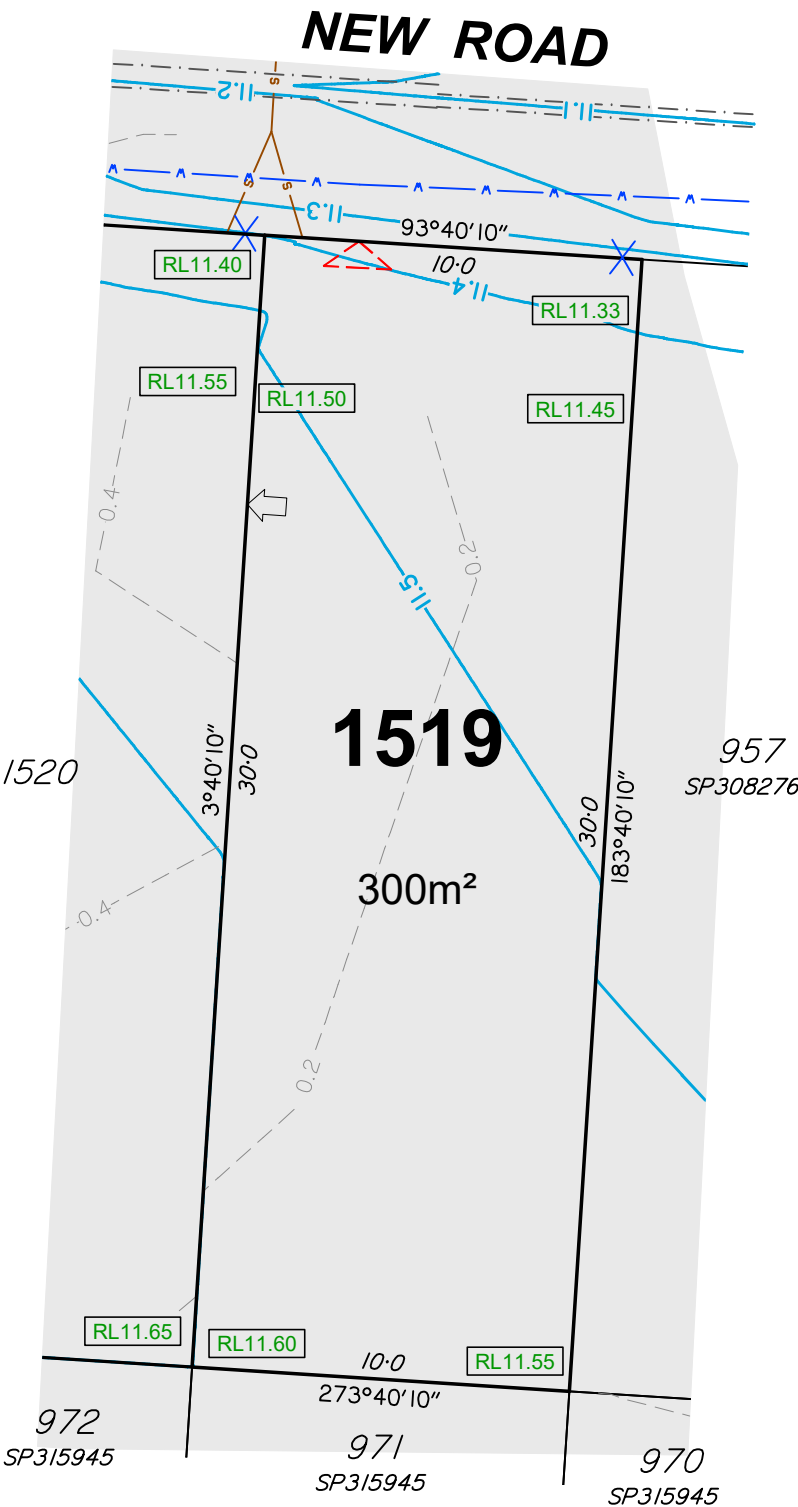
WOLTER consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA

LEVEL DATUM AHD.

DATE DRAWN 03-07-2024
DRAWING NO. SB3594-22A_01-1519
VERSION B



PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1520
Riverbank - Stage 22A

Currently Described As	Part of Lot 1034 on SP328488
RPD:	Caboolture South
Locality:	Moreton Bay City
Local Authority:	

Legend:	
46.0	Finished Surface Contours (0.1m Interval)
1.0	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
S S	Sewer/Sewer Manhole
SV SV	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
RW RW	Roofwater/Roofwater Pit
V V	Water/Water Fitting
X	Water Meter
	Area to be Filled
RL57.32	Design Pad Level
	Retaining Wall
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary

- Notes:
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

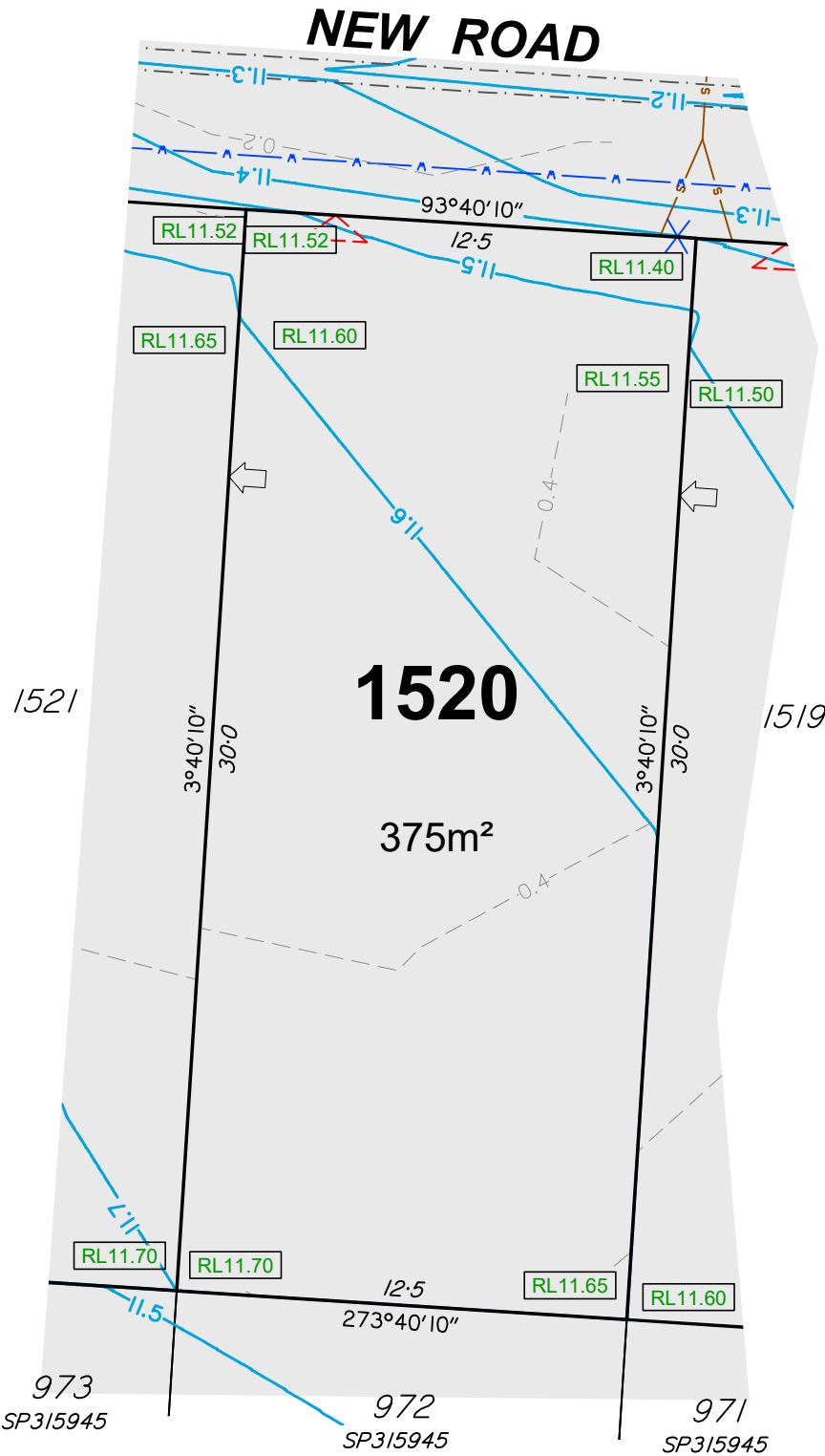
RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

DATE DRAWN 03-07-2024
DRAWING NO. SB3594-22A_01-1520
VERSION B



DISCLOSURE PLAN

For Proposed Lot 1521
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.2m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - S S Sewer/Sewer Manhole
 - SW SW Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RW RW Roofwater/Roofwater Pit
 - V V Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary

- Notes:
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

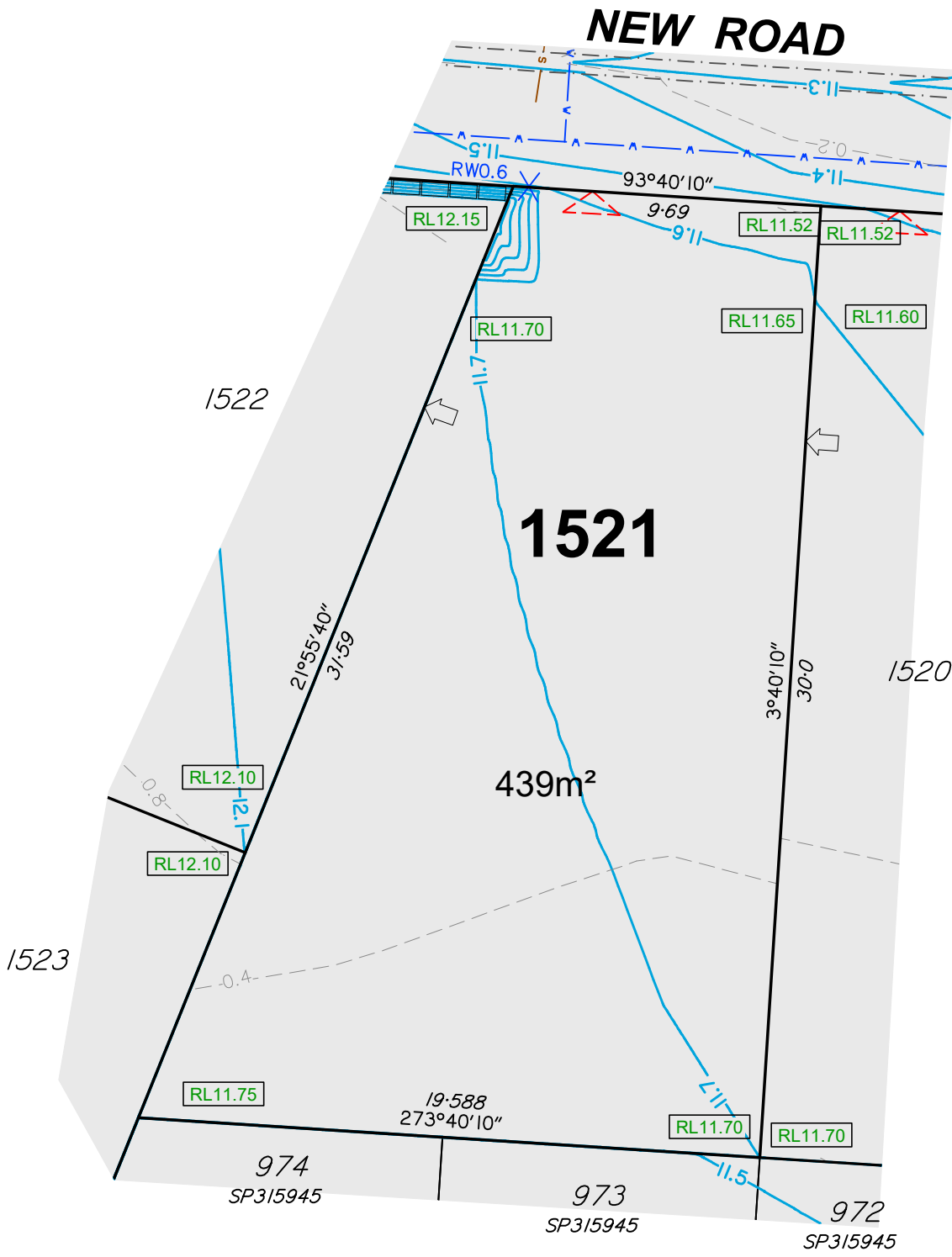
RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

DATE DRAWN 26-06-2024
DRAWING NO. SB3594-22A_01-1521
VERSION A



PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1522
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S S Sewer/Sewer Manhole
- SV SV Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW RW Roofwater/Roofwater Pit
- V V Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

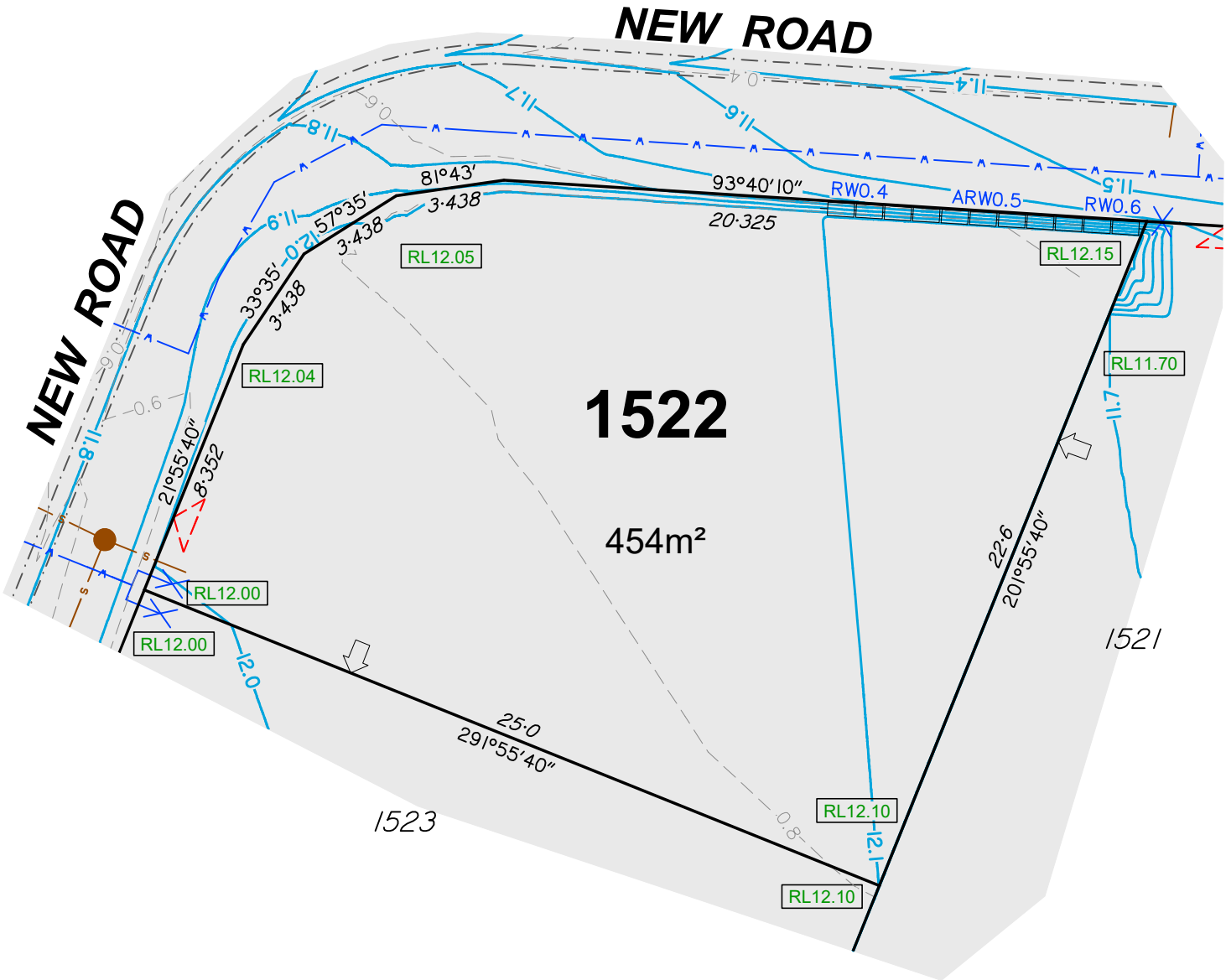
RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

DATE DRAWN 26-06-2024
DRAWING NO. SB3594-22A_01-1522
VERSION A



PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1523
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S S Sewer/Sewer Manhole
- SV SV Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW RW Roofwater/Roofwater Pit
- V V Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

- This note is an integral part of this plan.
- Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
- Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

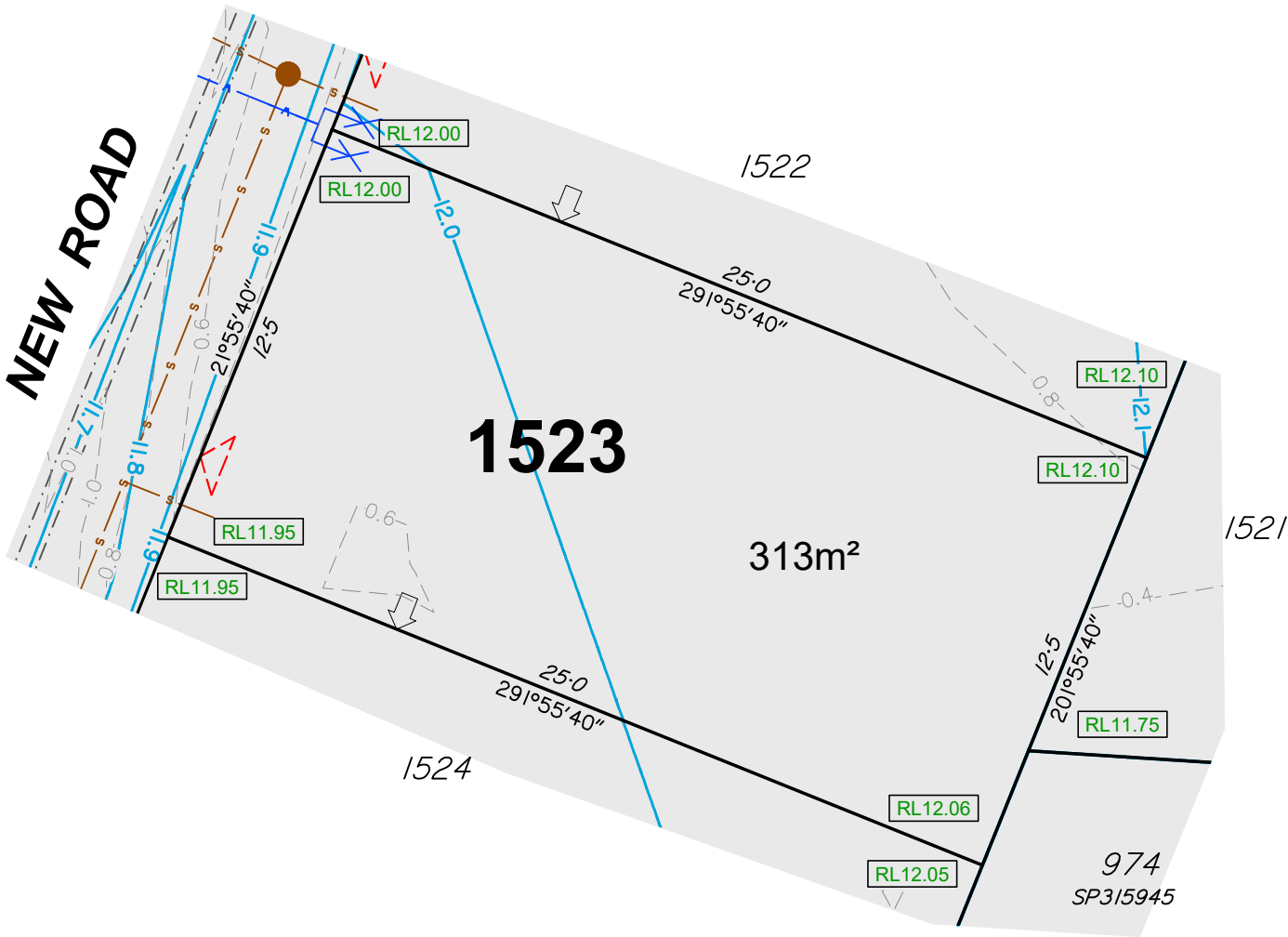


HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 26-06-2024
DRAWING NO. SB3594-22A_01-1523
VERSION A



DISCLOSURE PLAN

For Proposed Lot 1524
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S S Sewer/Sewer Manhole
- SV SV Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW RW Roofwater/Roofwater Pit
- V V Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

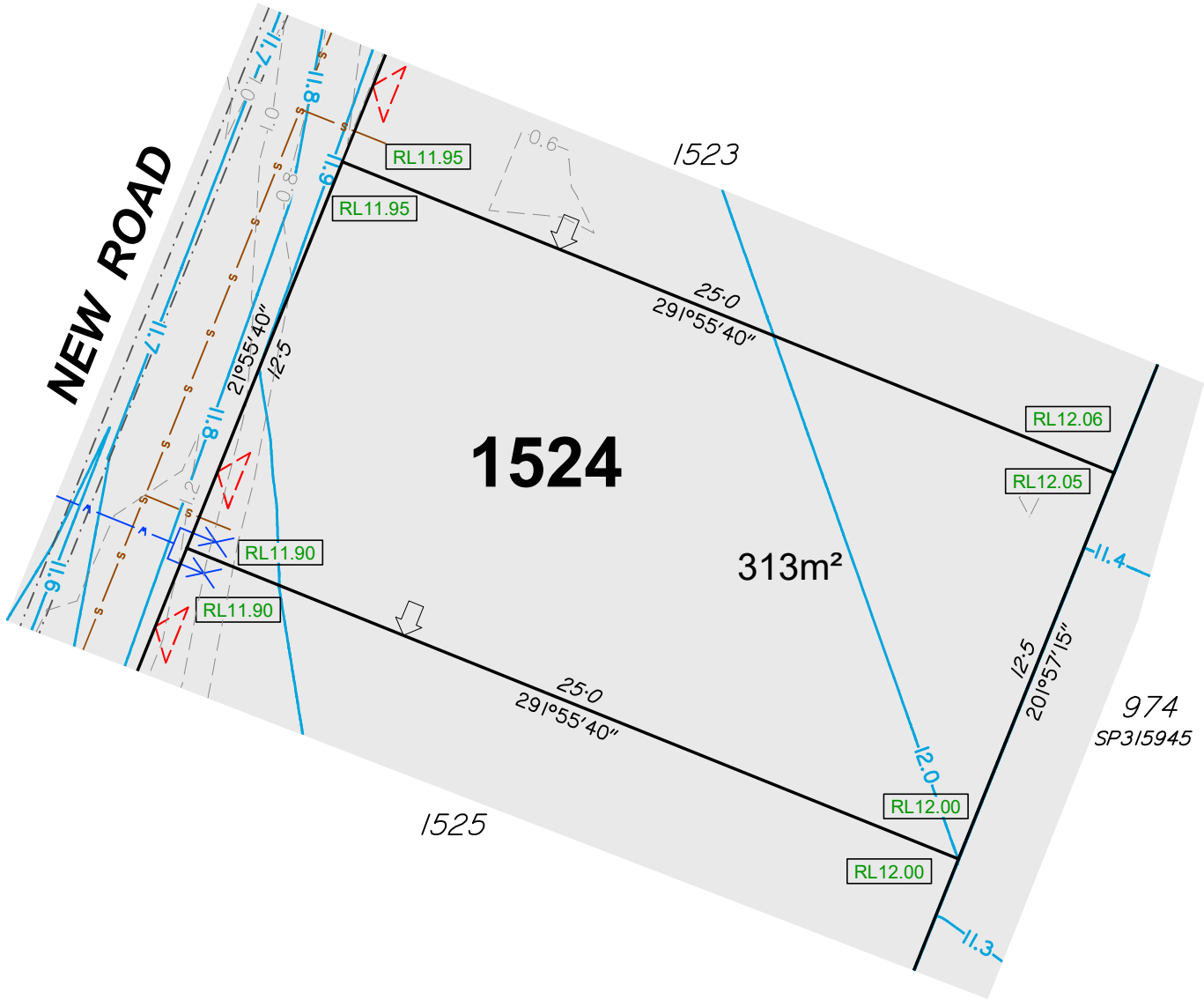
RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

DATE DRAWN 26-06-2024
DRAWING NO. SB3594-22A_01-1524
VERSION A



DISCLOSURE PLAN

For Proposed Lot 1525
Riverbank - Stage 22A

Currently Described As	Part of Lot 1034 on SP328488
RPD:	Caboolture South
Locality:	Moreton Bay City
Local Authority:	

Legend:	
	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary

- Notes:
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

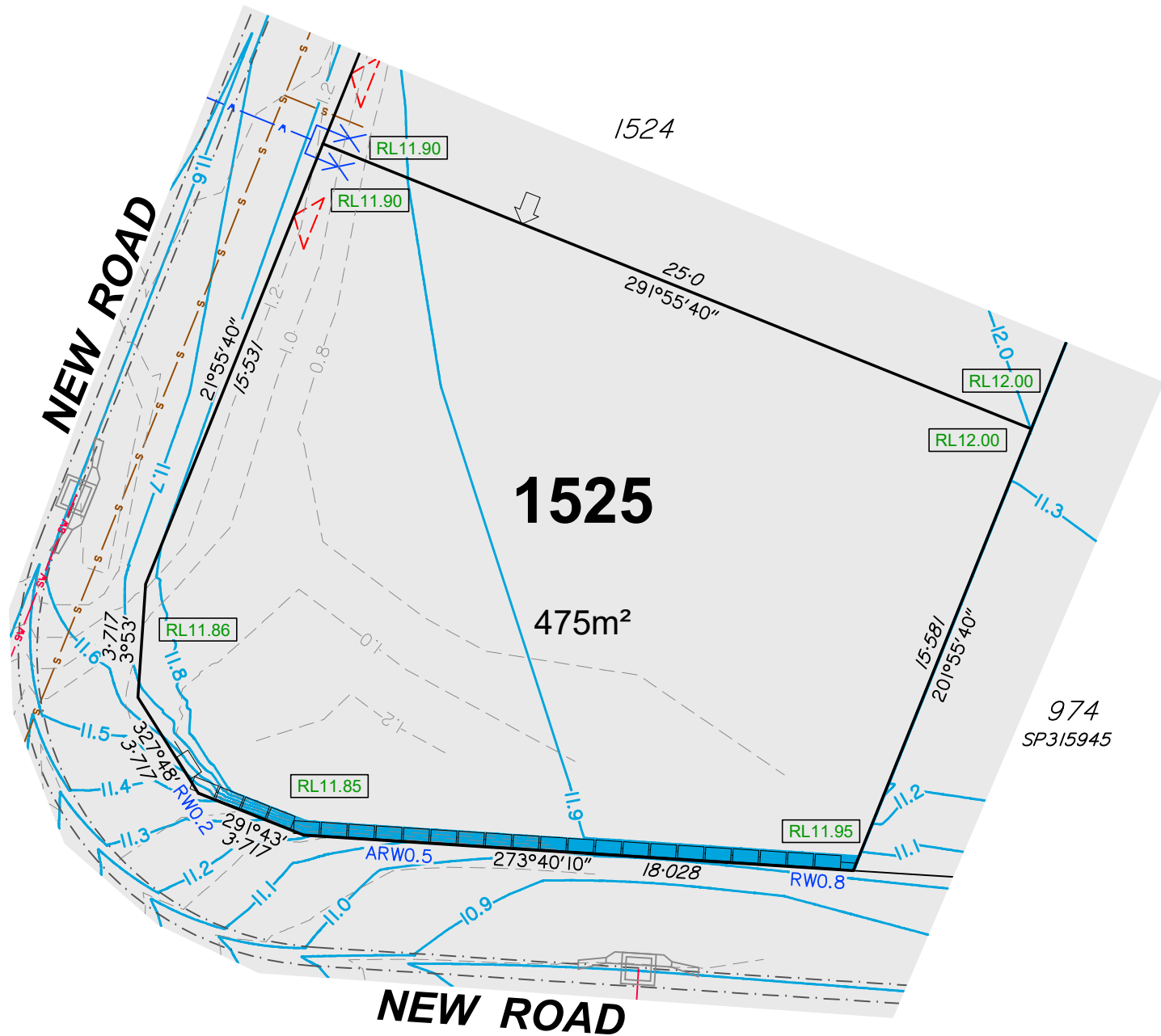
RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 26-06-2024
DRAWING NO. SB3594-22A_01-1525
VERSION A



PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1526
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- - - Kerb Line
- Edge of Pad
- S S Sewer/Sewer Manhole
- SV SV Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW RW Roofwater/Roofwater Pit
- V V Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

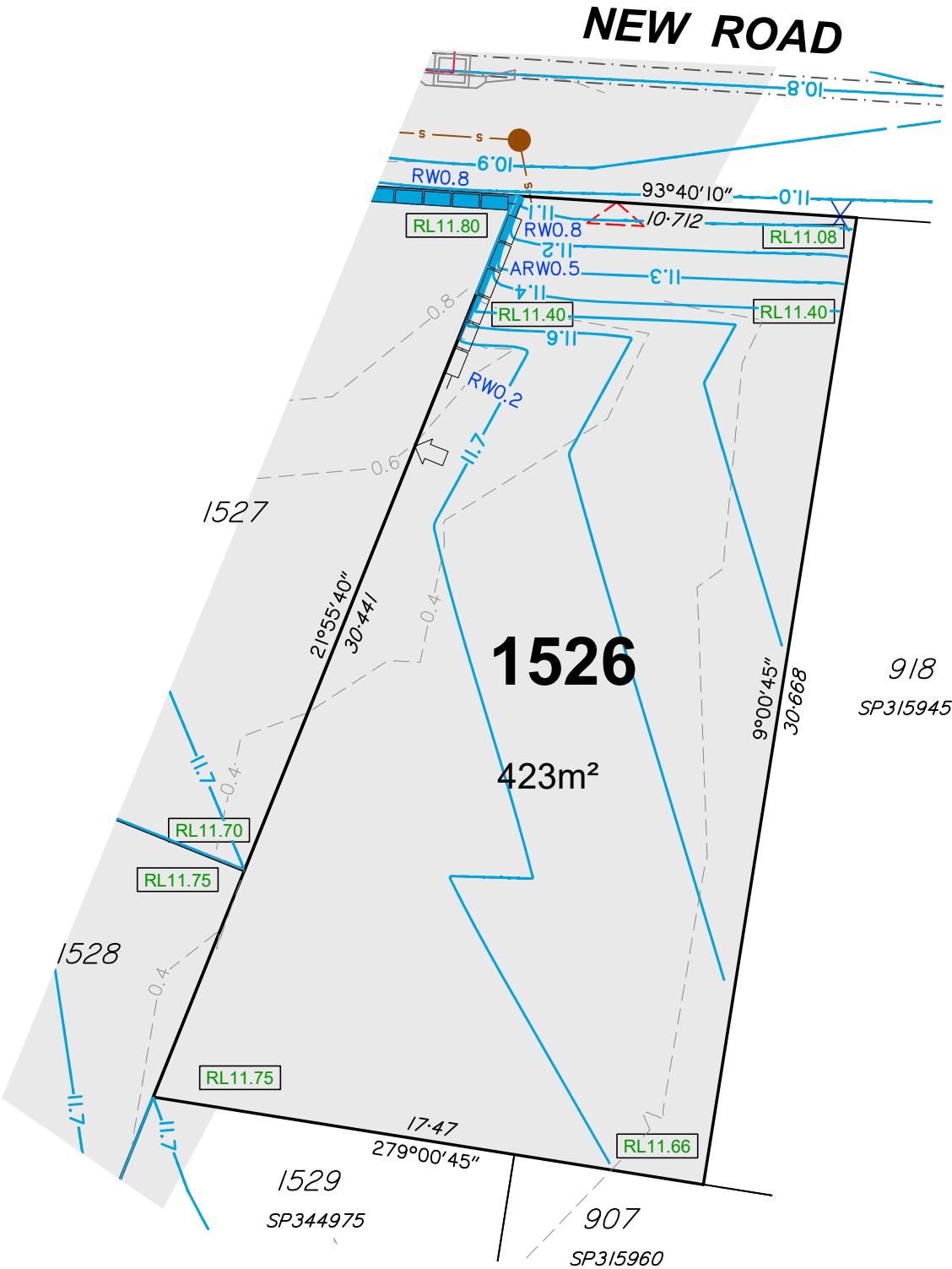
- Notes:
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Therefor Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

DATE DRAWN 12-09-2025
DRAWING NO. SB3594-22A_01-1526
VERSION B



PRELIMINARY

DISCLOSURE PLAN

For Proposed Lot 1527
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S S Sewer/Sewer Manhole
- SV SV Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW RW Roofwater/Roofwater Pit
- V V Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

- This note is an integral part of this plan.
- Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
- Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



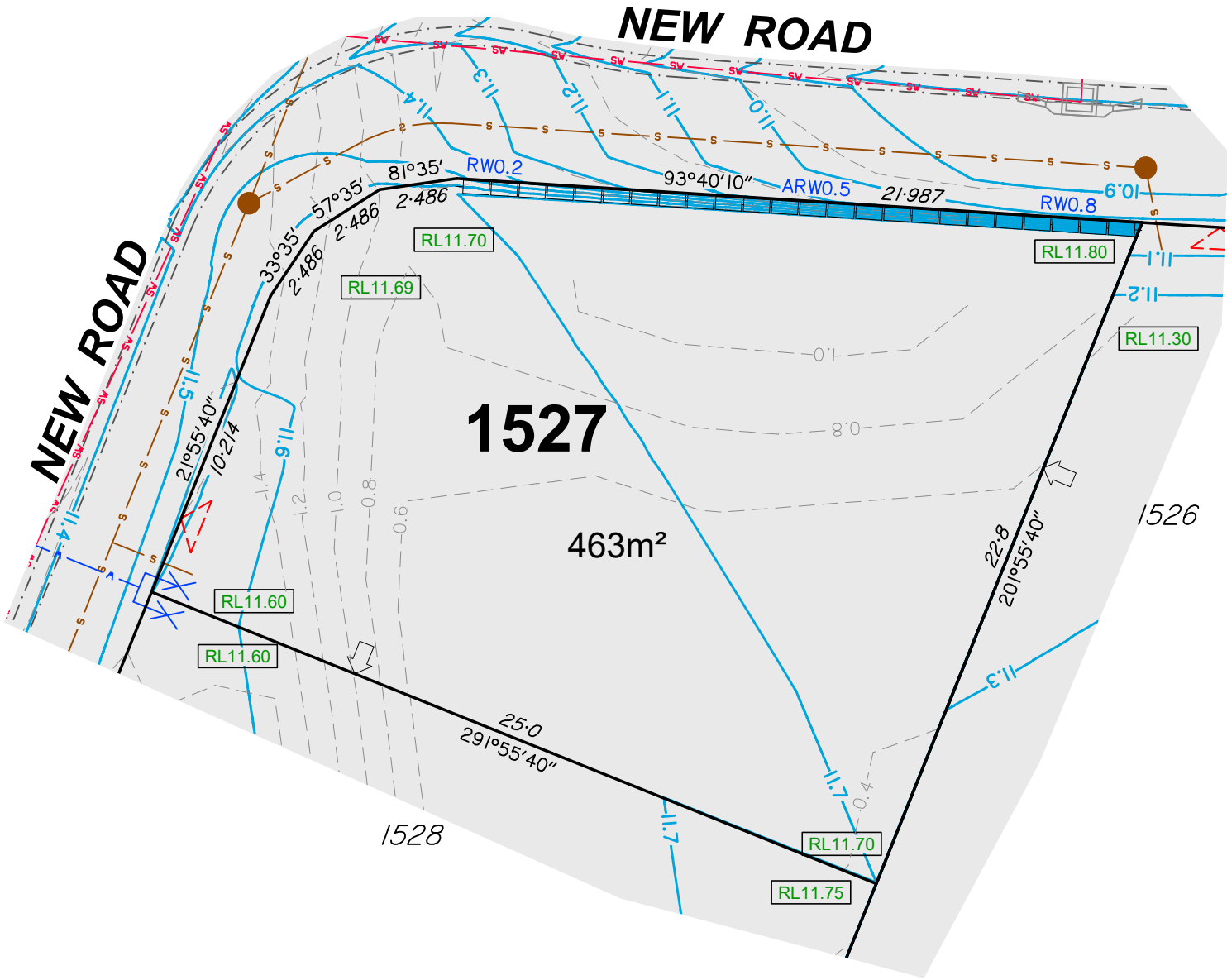
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 26-06-2024
DRAWING NO. SB3594-22A_01-1527
VERSION A



PRELIMINARY
04-07-2024

DISCLOSURE PLAN

For Proposed Lot 1528
Riverbank - Stage 22A

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S S Sewer/Sewer Manhole
- SV SV Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RW RW Roofwater/Roofwater Pit
- V V Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

Notes:

- This note is an integral part of this plan.
- Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
- Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

DATE DRAWN 26-06-2024
DRAWING NO. SB3594-22A_01-1528
VERSION A

