

For Proposed Lot 3467 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 & USL RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

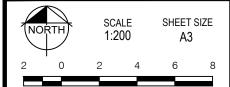
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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	09/10	0/2025
Checke	d: DL	DL Date: 10/10		0/2025
Issue	Descri	otion		Date
DRAFT	Draft plans	for review		09/10/25
ORIG	Issue to	Client		10/10/25
Α	Developer Fe	nces Added	i	28/11/25





ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

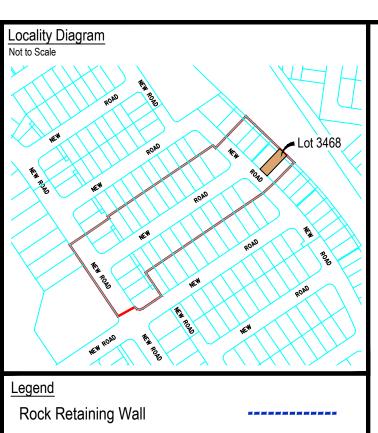
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000

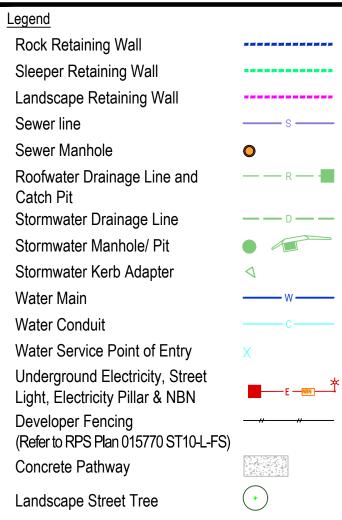
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DWG. TLX370977-014-Stg10F-Site

AMD. SHEET PLAN ORIG 1 of 1 TLX370977 14/3467



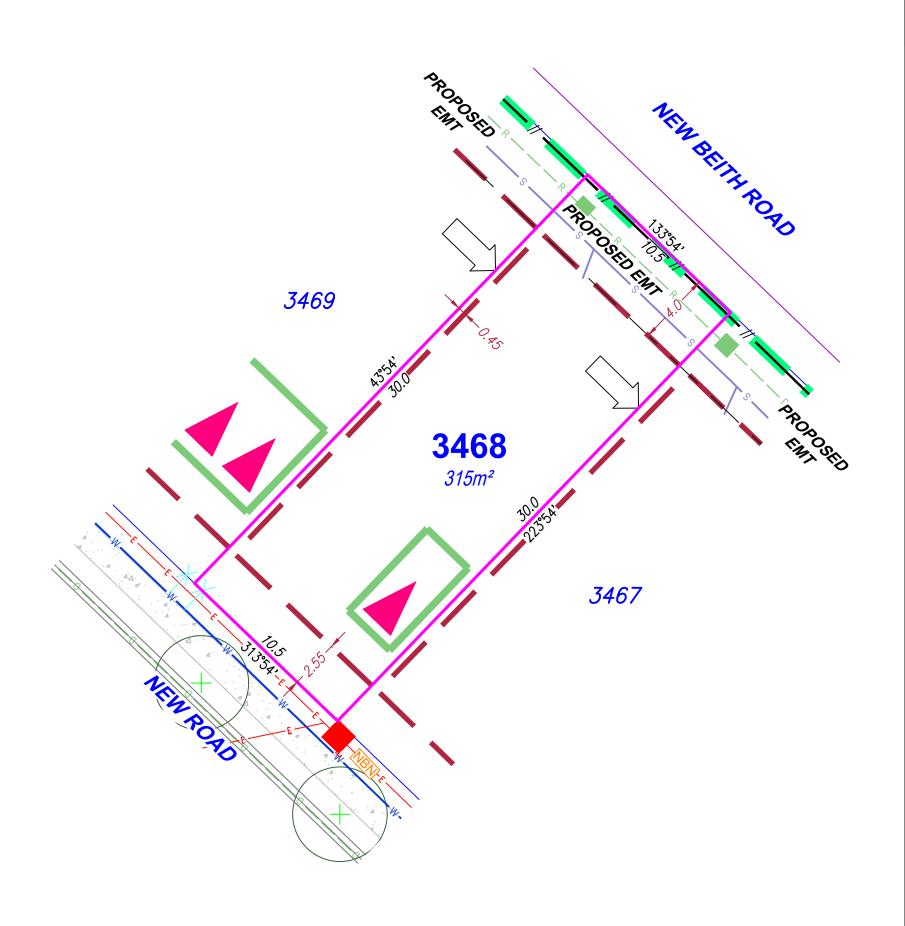


Zero Setback Building Line

Indicative Building Envelope

Indicative Parking Access Location

Bin Pads



SITE PLAN

For Proposed Lot 3468 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 & USL RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

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ORIG	Issue to	Client		10/10/25
Α	Developer Fe	nces Added		28/11/25





ACN 117 883 173 ABN 97 117 883 173

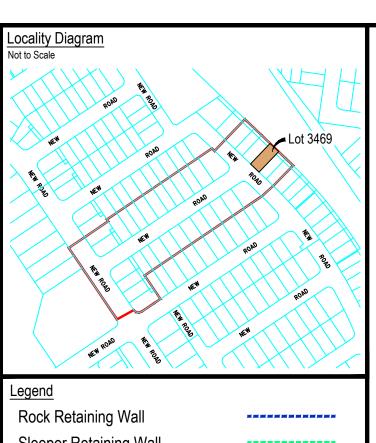
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

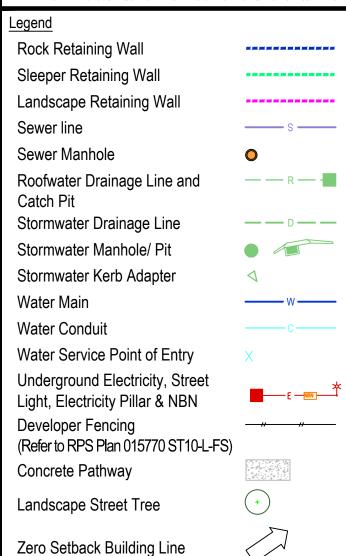
Suite A.02, Level 1

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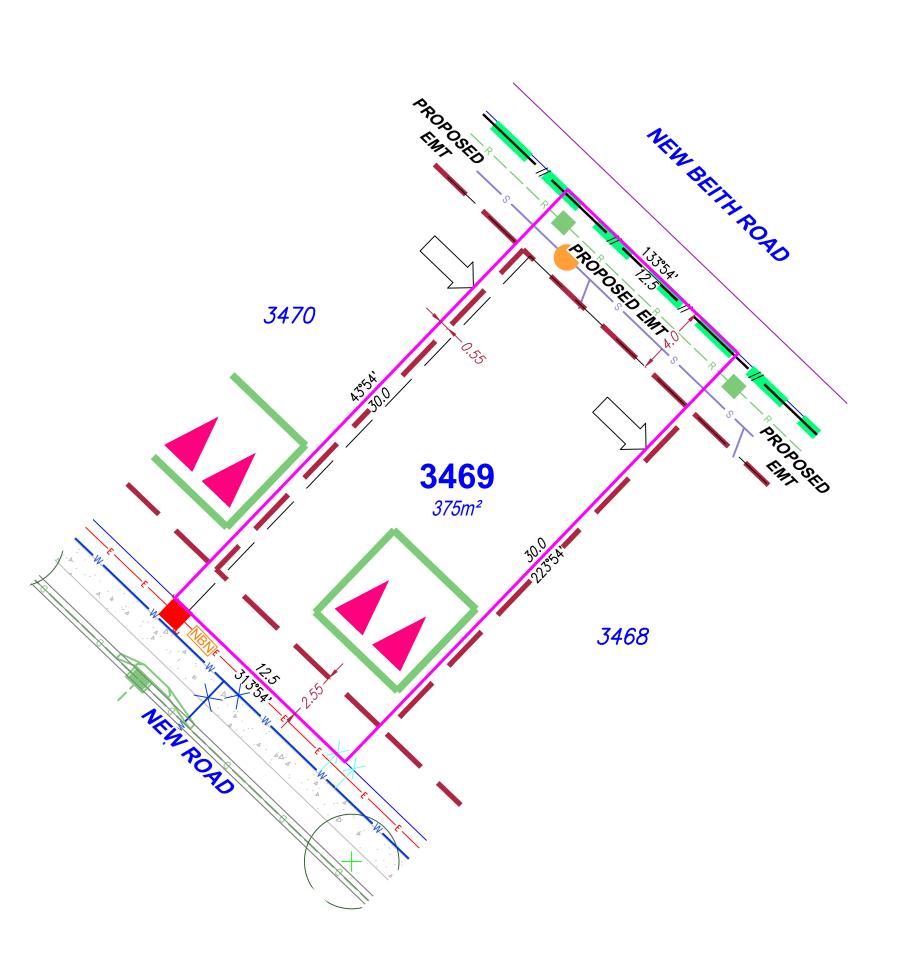




Indicative Building Envelope

Indicative Parking Access Location

Bin Pads



SITE PLAN

For Proposed Lot 3469 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 & USL RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Notes

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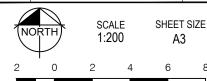
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ORIG	Issue to	Client		10/10/25
Α	Developer Fei	nces Added		28/11/25





ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

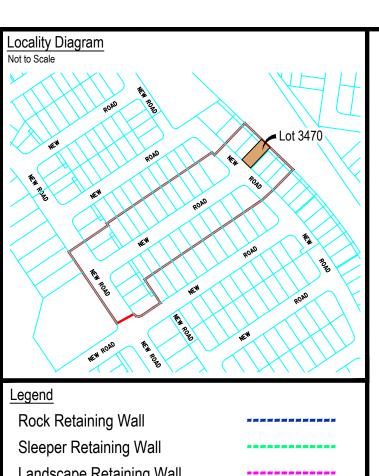
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

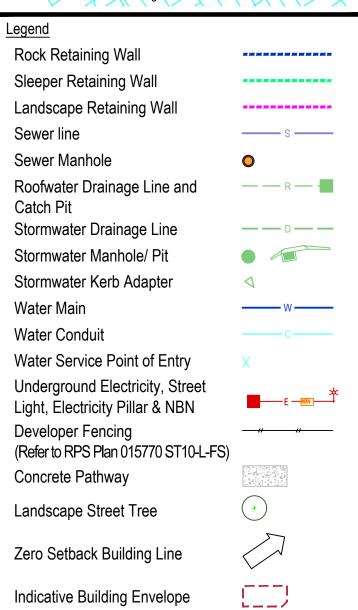
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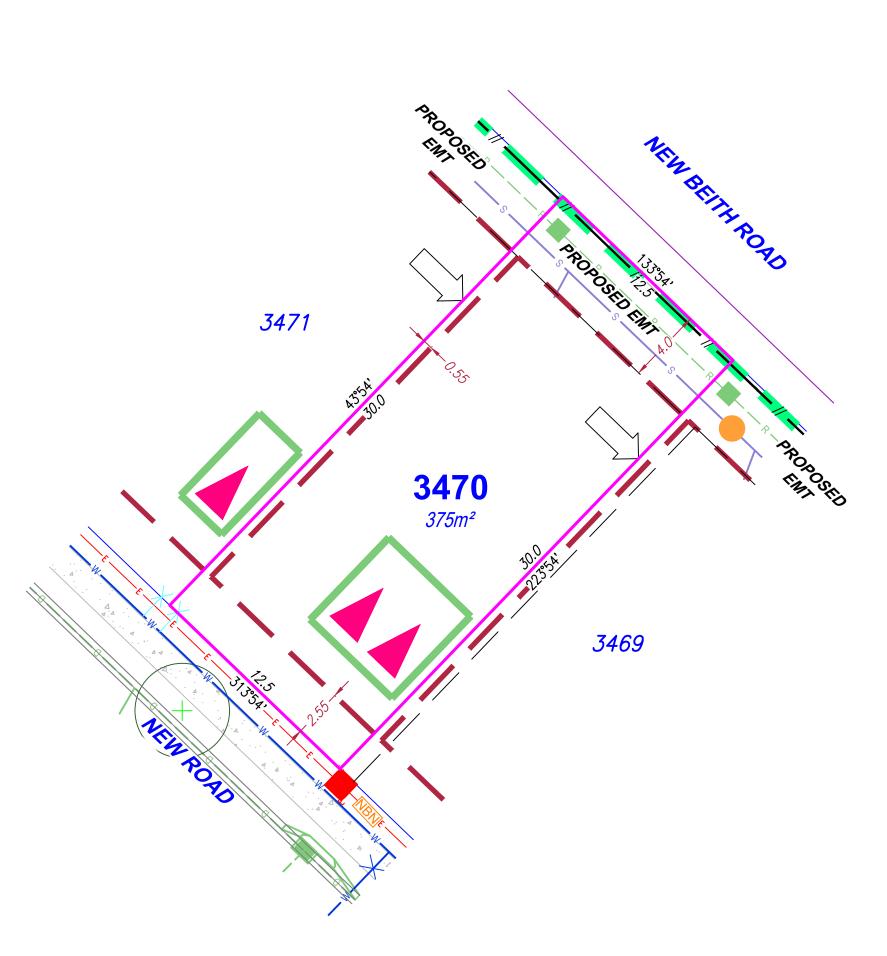
AMD. SHEET TLX370977 | 14/3469 | ORIG | 1 of 1





Bin Pads

Indicative Parking Access Location



SITE PLAN

For Proposed Lot 3470 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 & USL RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Notes

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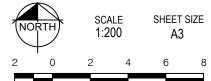
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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Date:

09/10/2025





ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

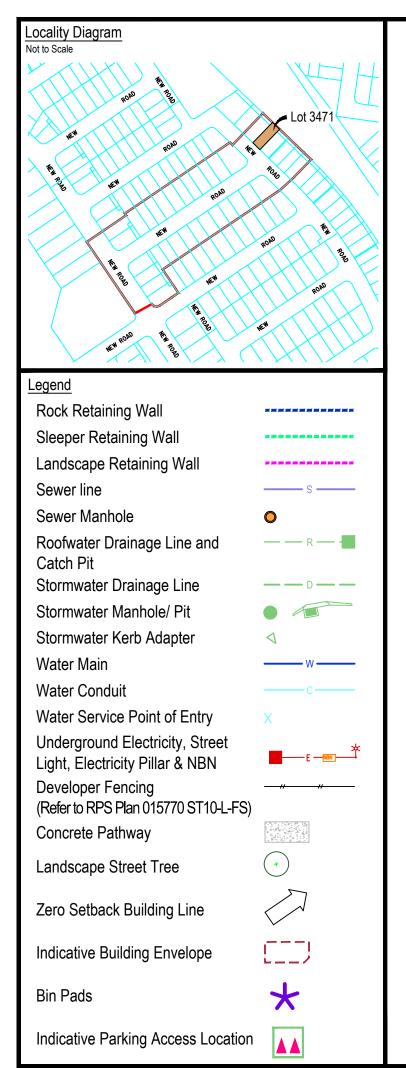
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

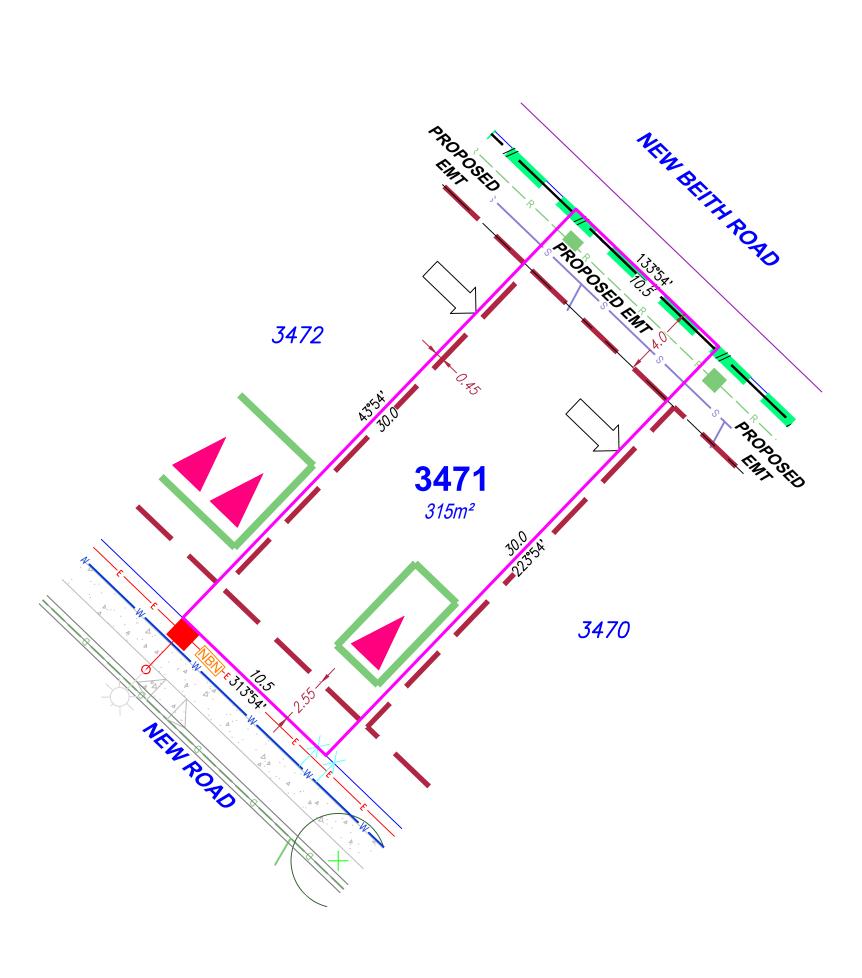
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PROJECT	PLAN	AMD.	SHEE
TLX370977	14/3470	ORIG	1 of





For Proposed Lot 3471 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

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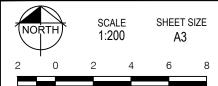
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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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ORIG	Issue to	Client		10/10/25
Α	Developer Fe	nces Added	d	28/11/25





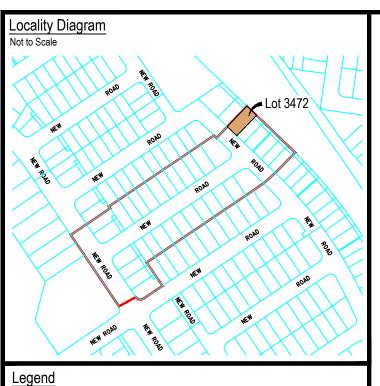
ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

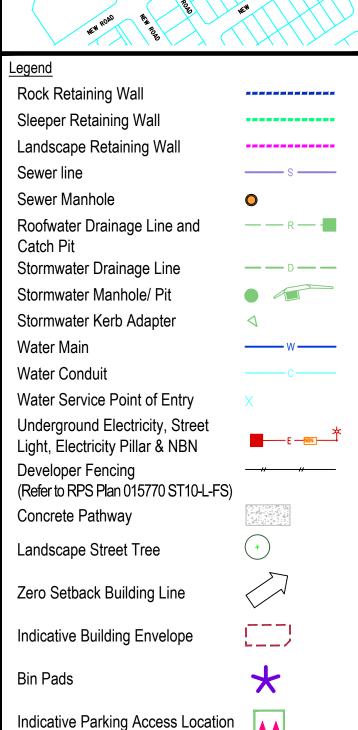
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

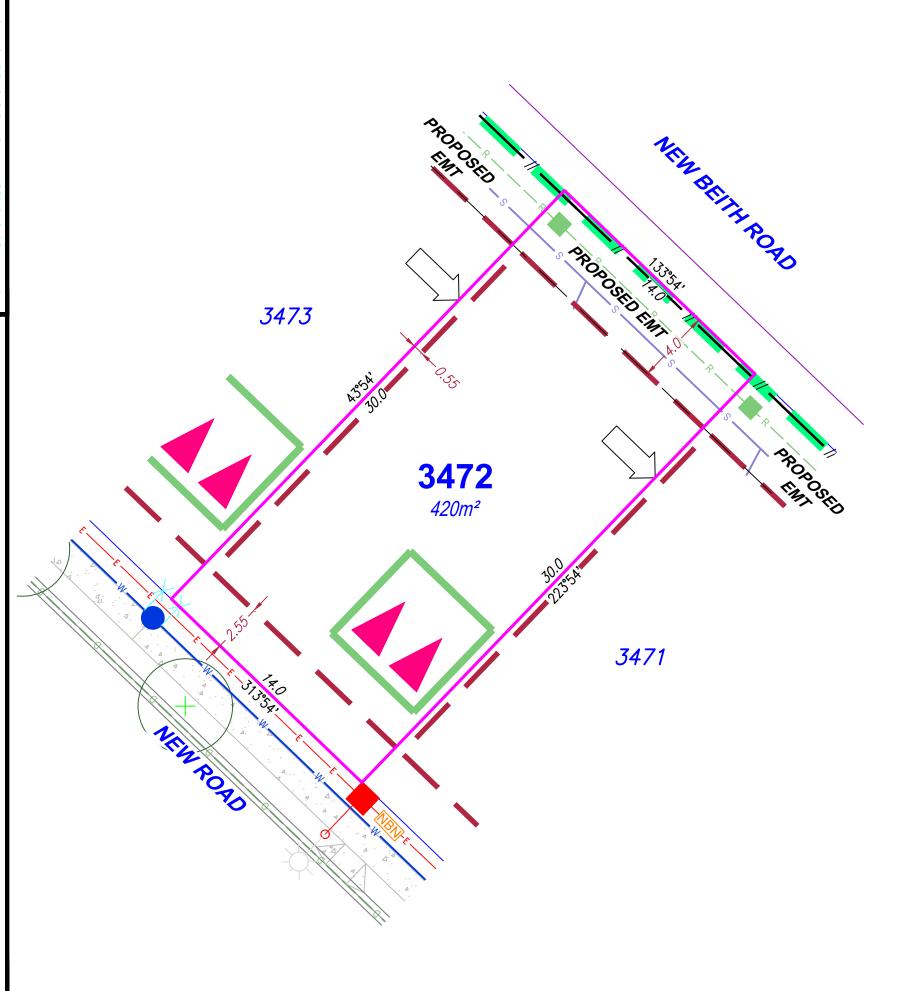
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AMD. TLX370977 | 14/3471 | ORIG | 1 of 1







For Proposed Lot 3472 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

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ORIG	Issue to	Client		10/10/25
Α	Developer Fei	nces Added	I	28/11/25



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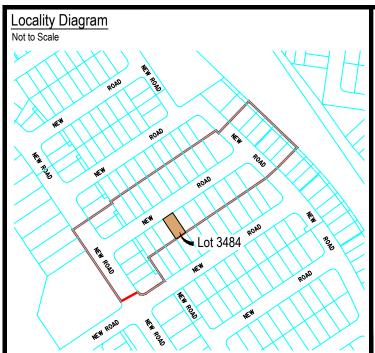
ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

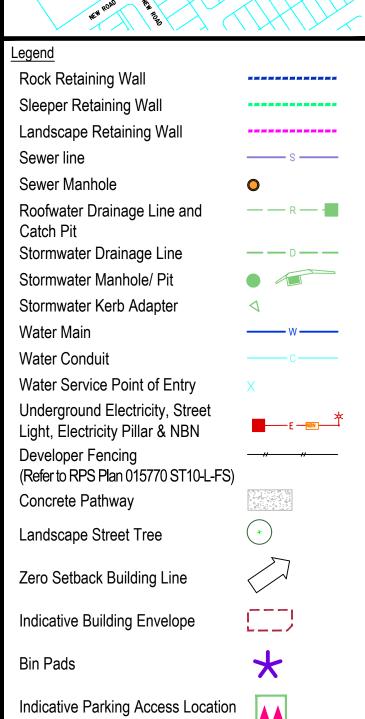
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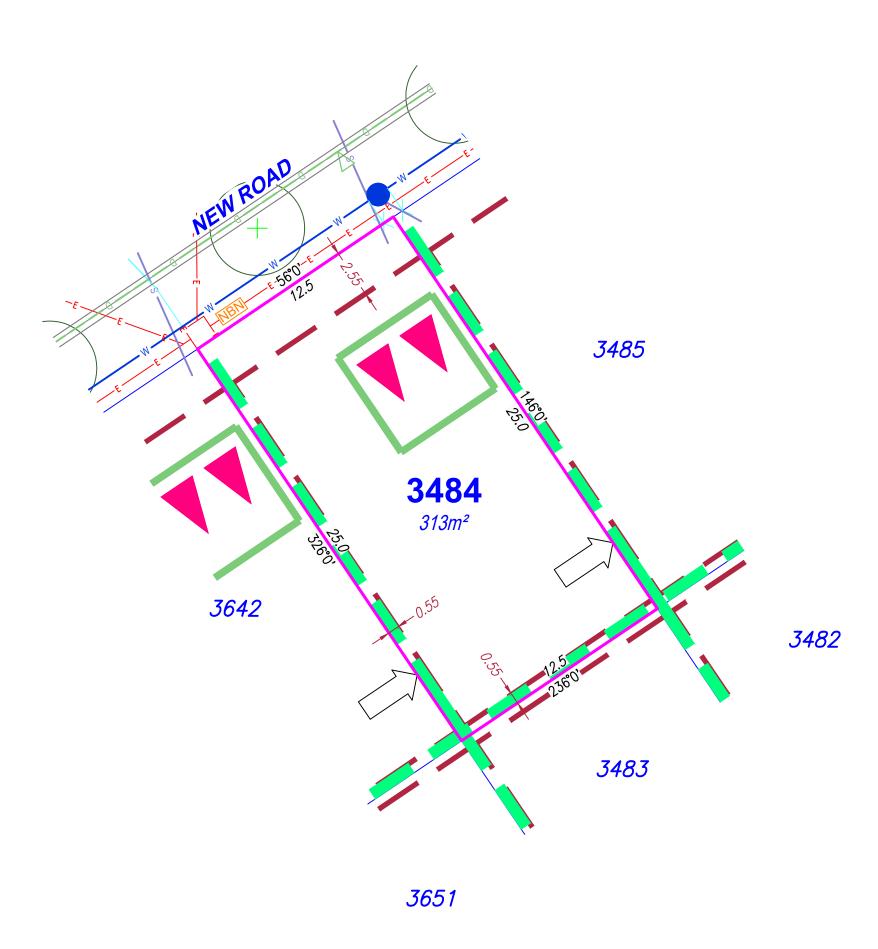
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3472 | ORIG | 1 of 1







For Proposed Lot 3484 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

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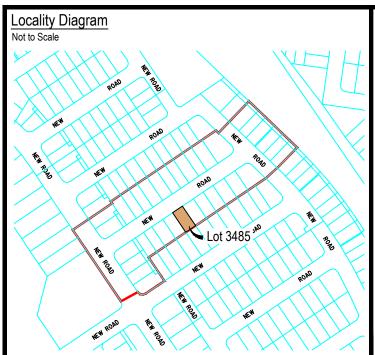
ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

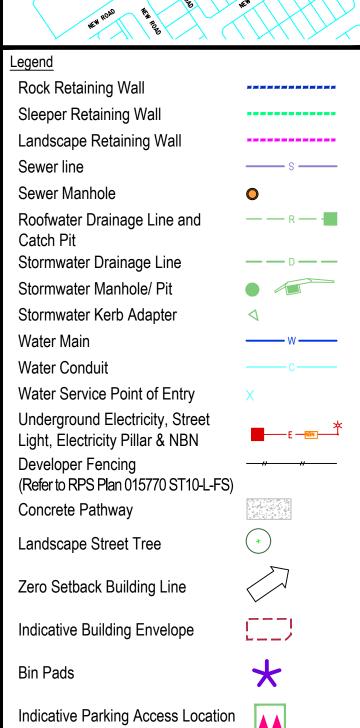
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

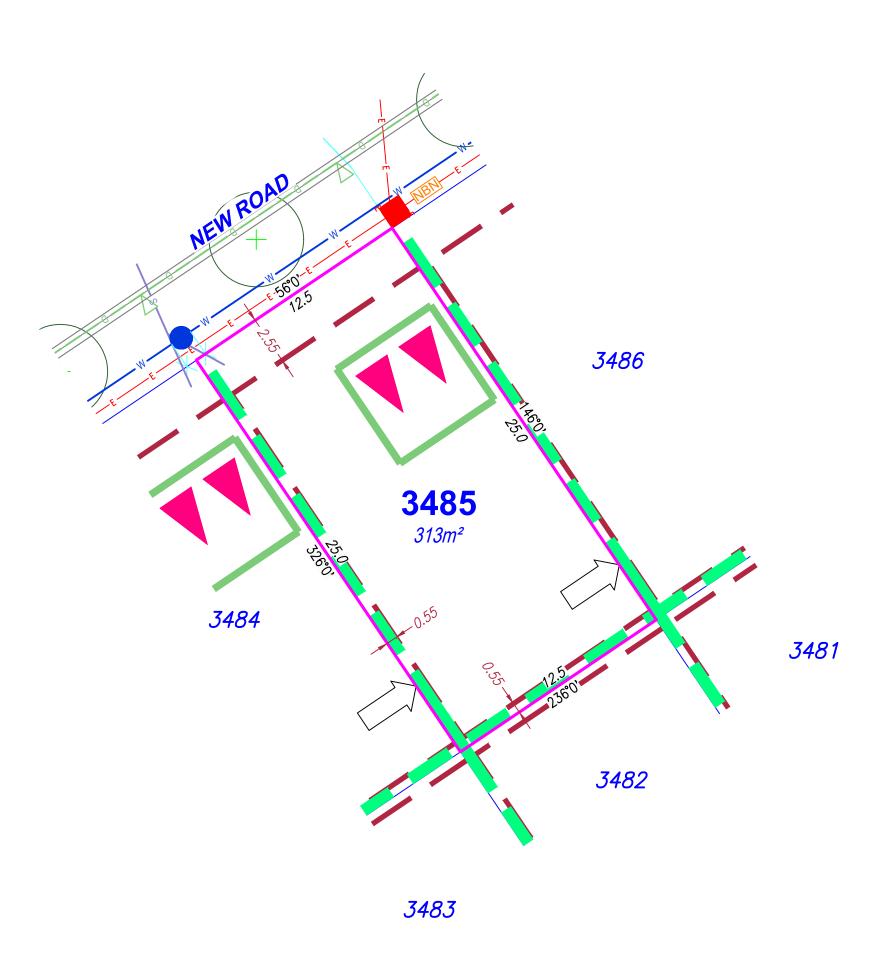
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PROJECT	PLAN	AMD.	SHEE
TLX370977	14/3484	ORIG	1 of







For Proposed Lot 3485 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

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Drawn.	GBF	Date.	09/10	0/2025
Checked: DL Date: 10/1			0/2025	
Issue	Description			Date
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ORIG	Issue to Client			10/10/25
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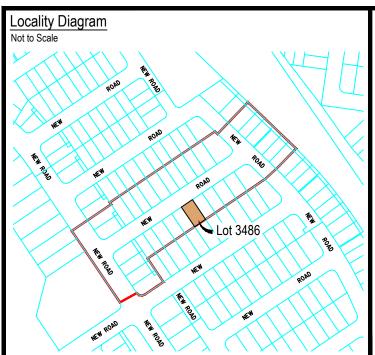
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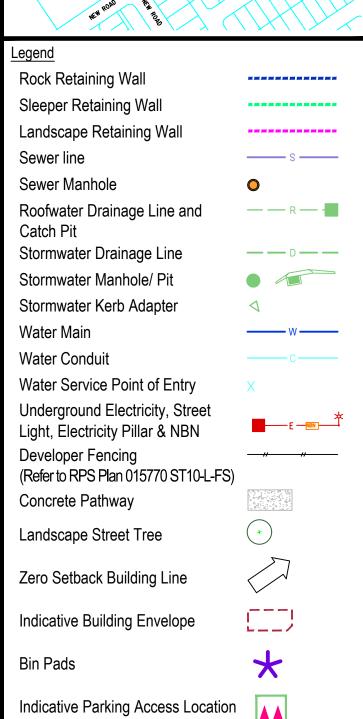
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

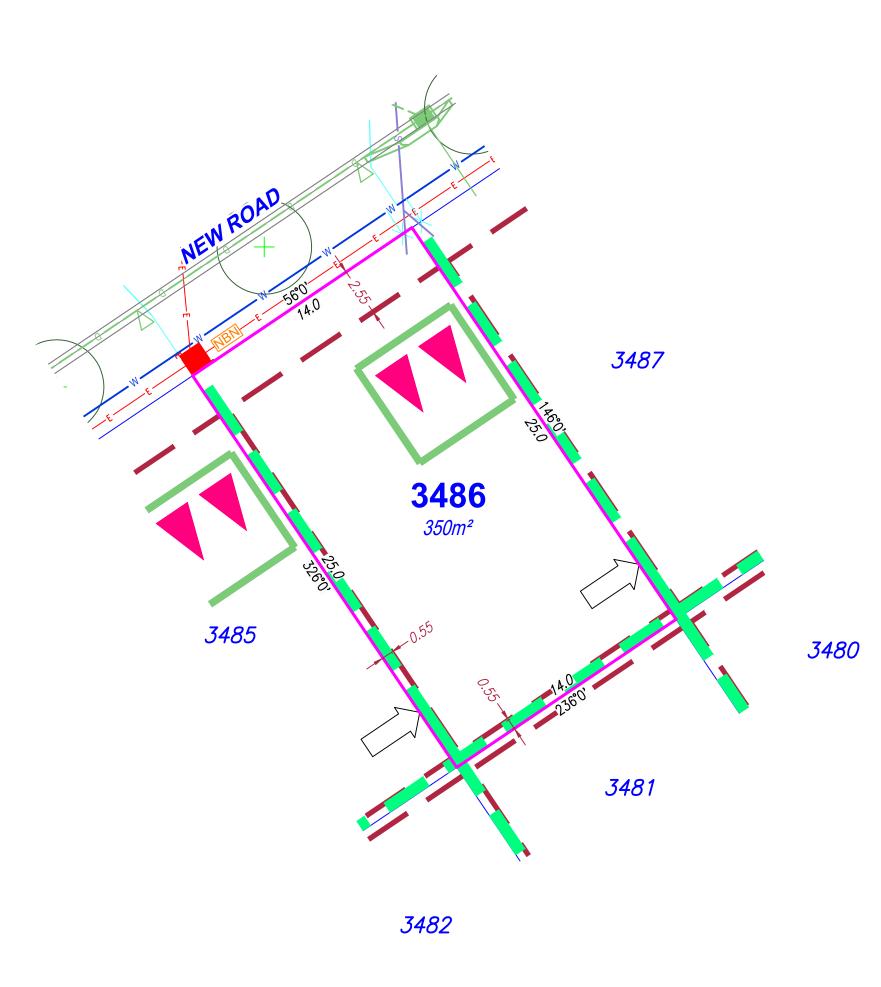
Suite A.02, Level 1

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3485 | ORIG | 1 of 1







For Proposed Lot 3486 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Votes

Allotments used as Multiple Residential
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Issue	Description			Date
DRAFT	Draft plans for review			09/10/25
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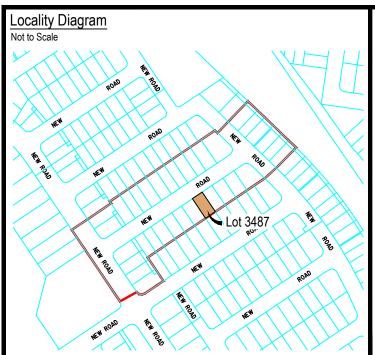
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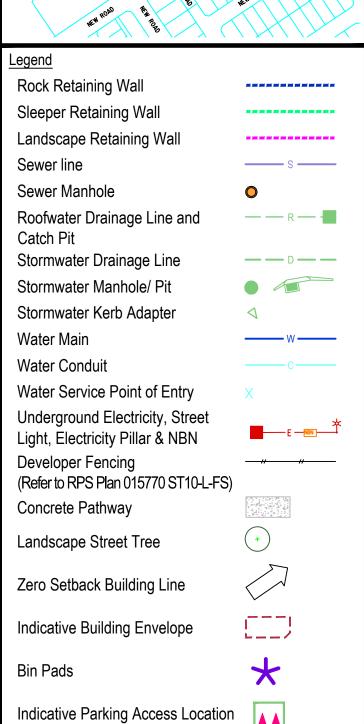
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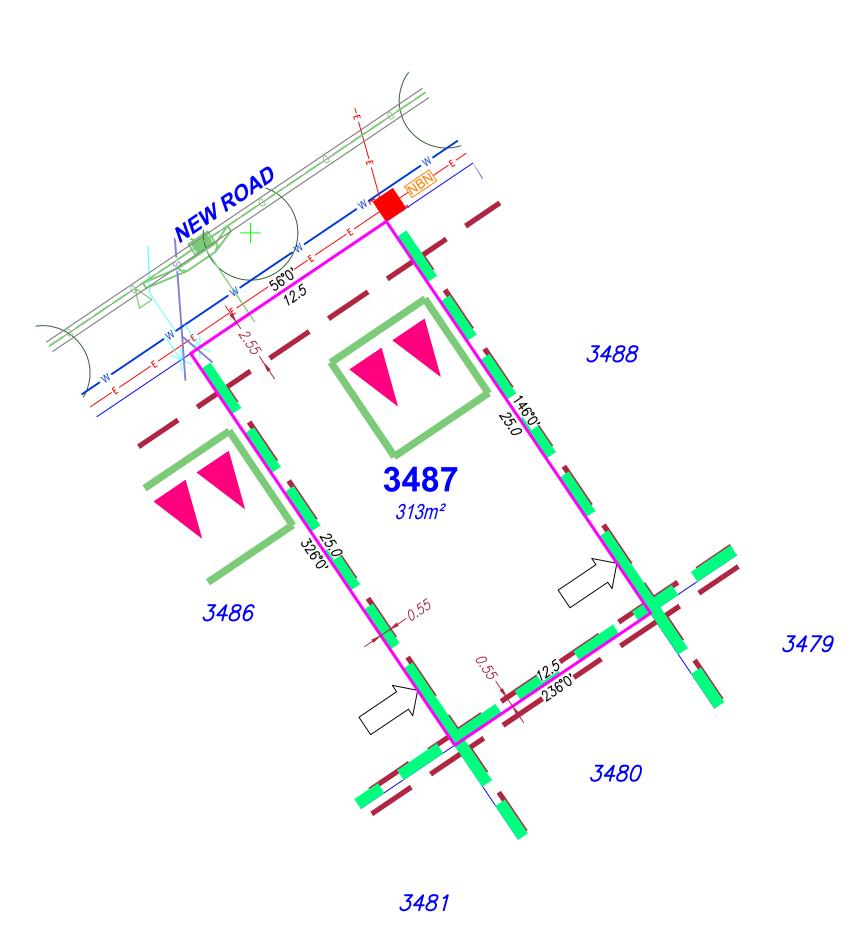
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PROJECT PLAN AMD. SHEET TLX370977 14/3486 ORIG 1 of 1







For Proposed Lot 3487 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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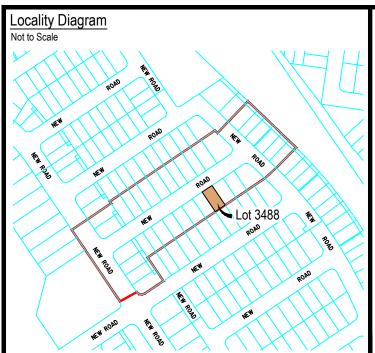
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T +61 7 3437 2000
F +61 7 3434 2009

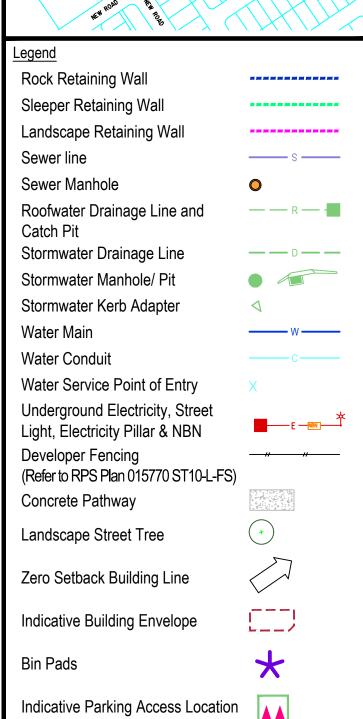
This plan has been prepared by Australia East Pty Ltd (Cadastr Surveyor) to satisfy the requirer of the Land Sales Act 1984. **T**+61 7 3437 2000 **F**+61 7 3434 2009 **W** rpsgroup.com

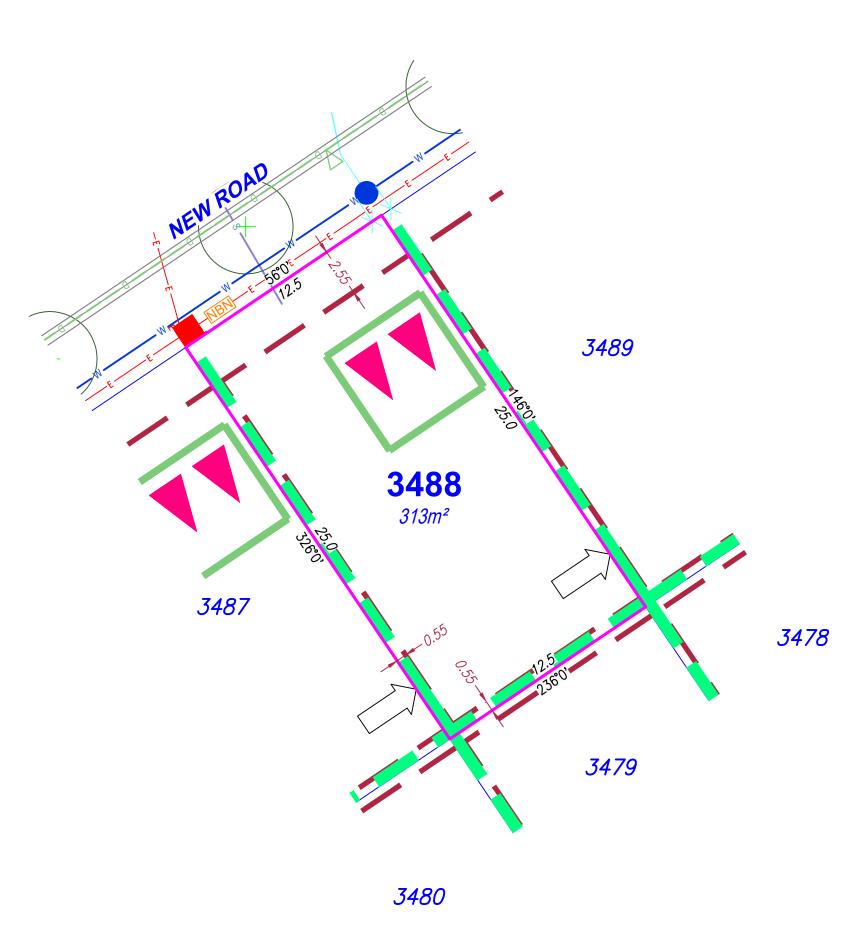
DWG. TLX370977-014-Stg10F-Site

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 TLX370977
 14/3487
 ORIG
 1 of 1







For Proposed Lot 3488 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

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ORIG	Issue to	Client		10/10/25
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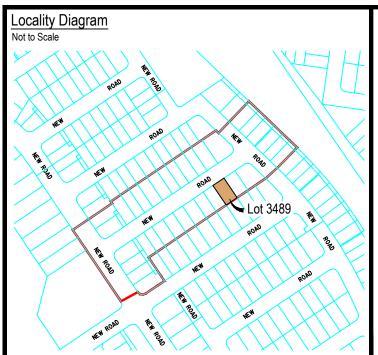
ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

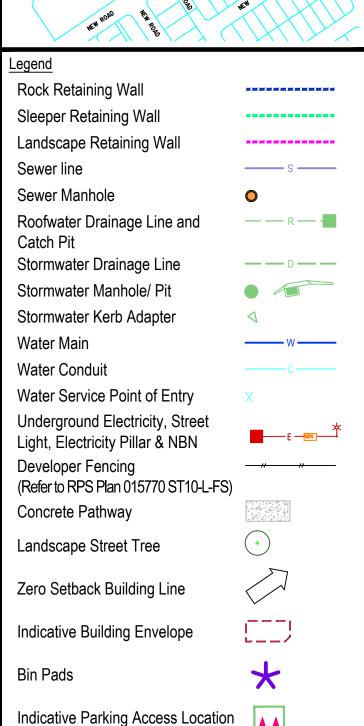
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000

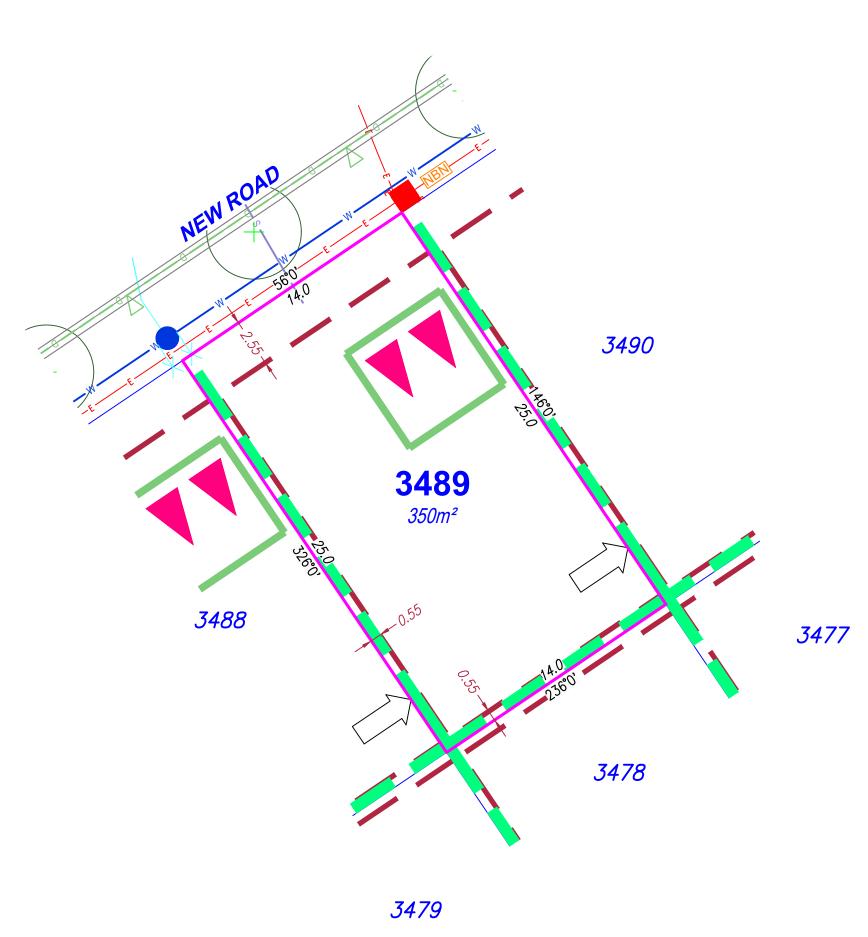
F+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3488 | ORIG | 1 of 1







For Proposed Lot 3489 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

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Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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ORIG	Issue to Client		10/10/25	
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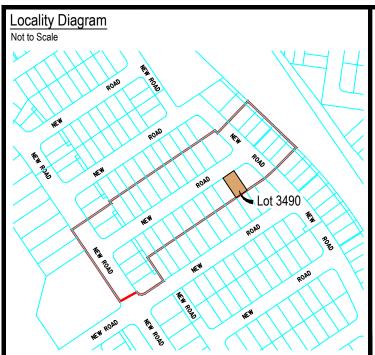


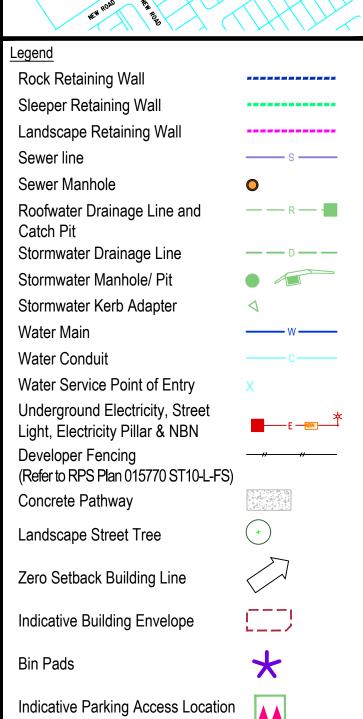
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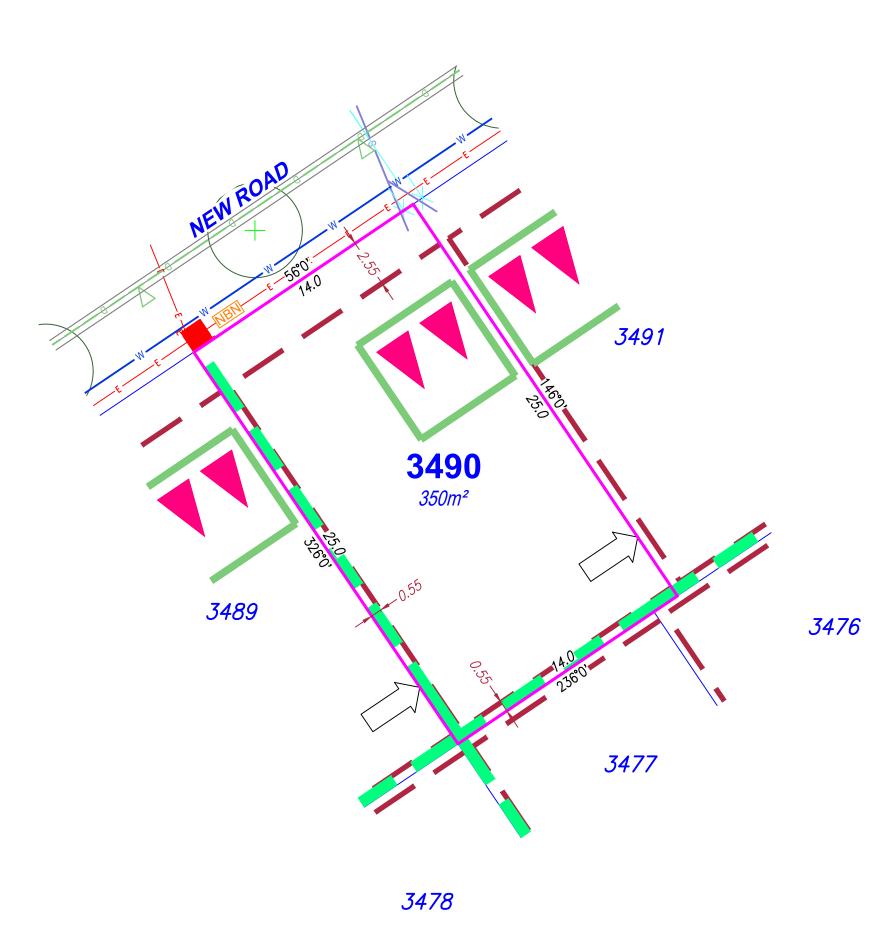
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3489 | ORIG | 1 of 1







For Proposed Lot 3490 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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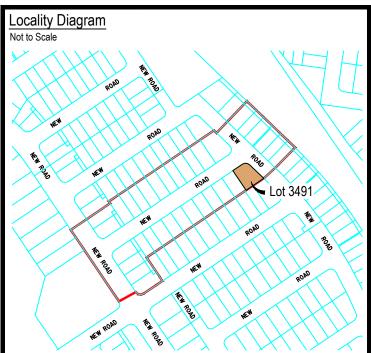
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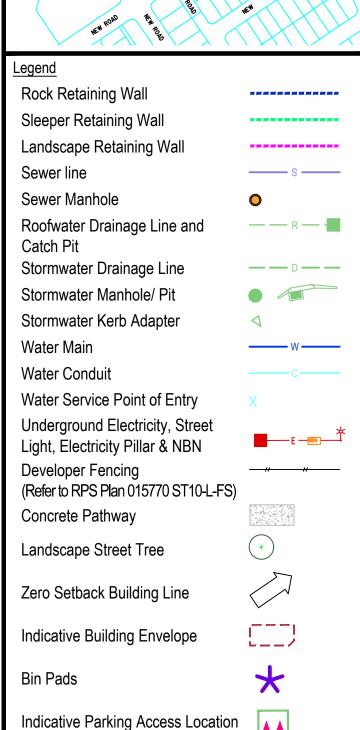
F +61 7 3434 2009

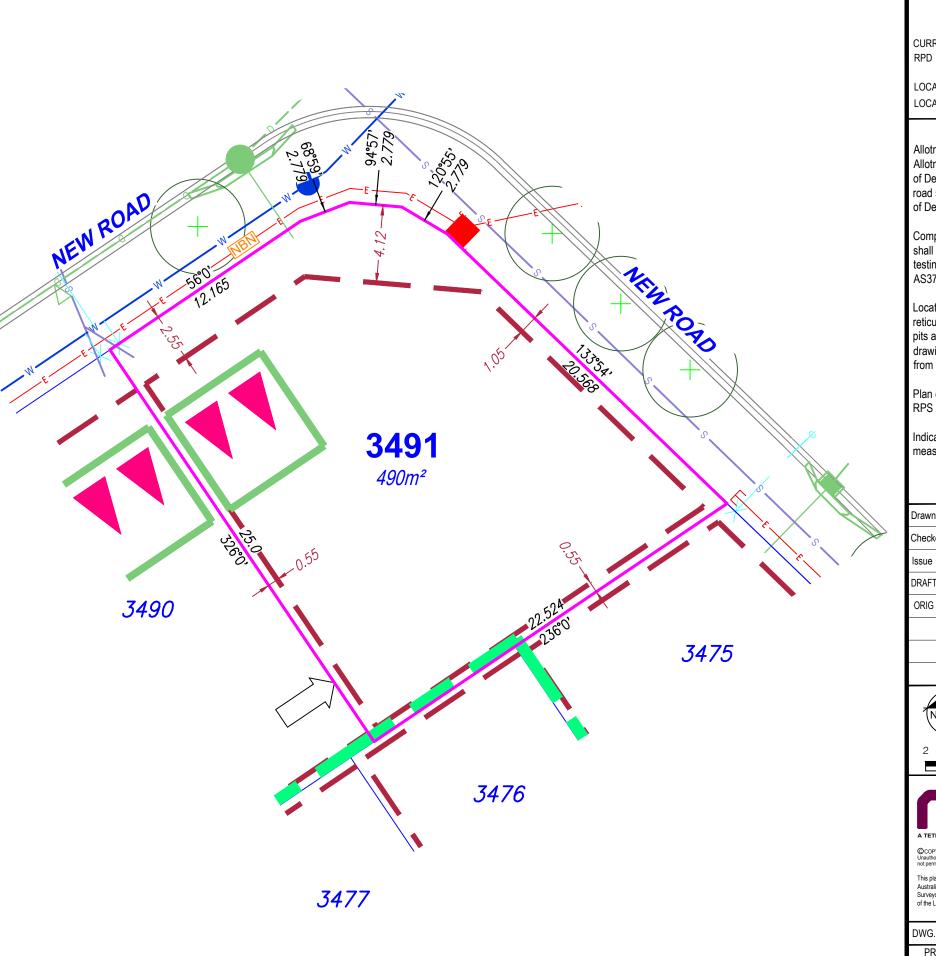
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DWG. TLX370977-014-Stg10F-Site

PROJECT PLAN AMD. SHEET TLX370977 14/3490 ORIG 1 of 1







For Proposed Lot 3491 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

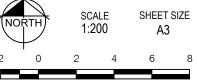
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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Date:

09/10/2025





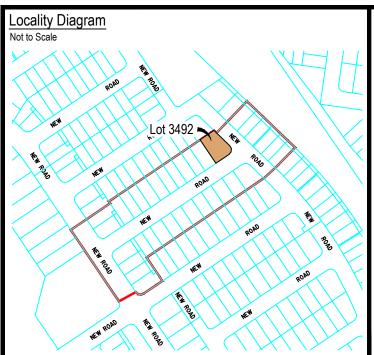
Suite A.02, Level 1 114 Brisbane Street Ipswich Qld 4305

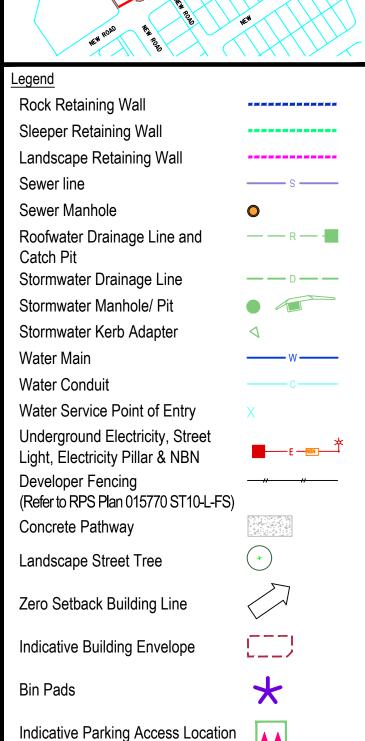
T+61 7 3437 2000 **F**+61 7 3434 2009 W rpsgroup.com

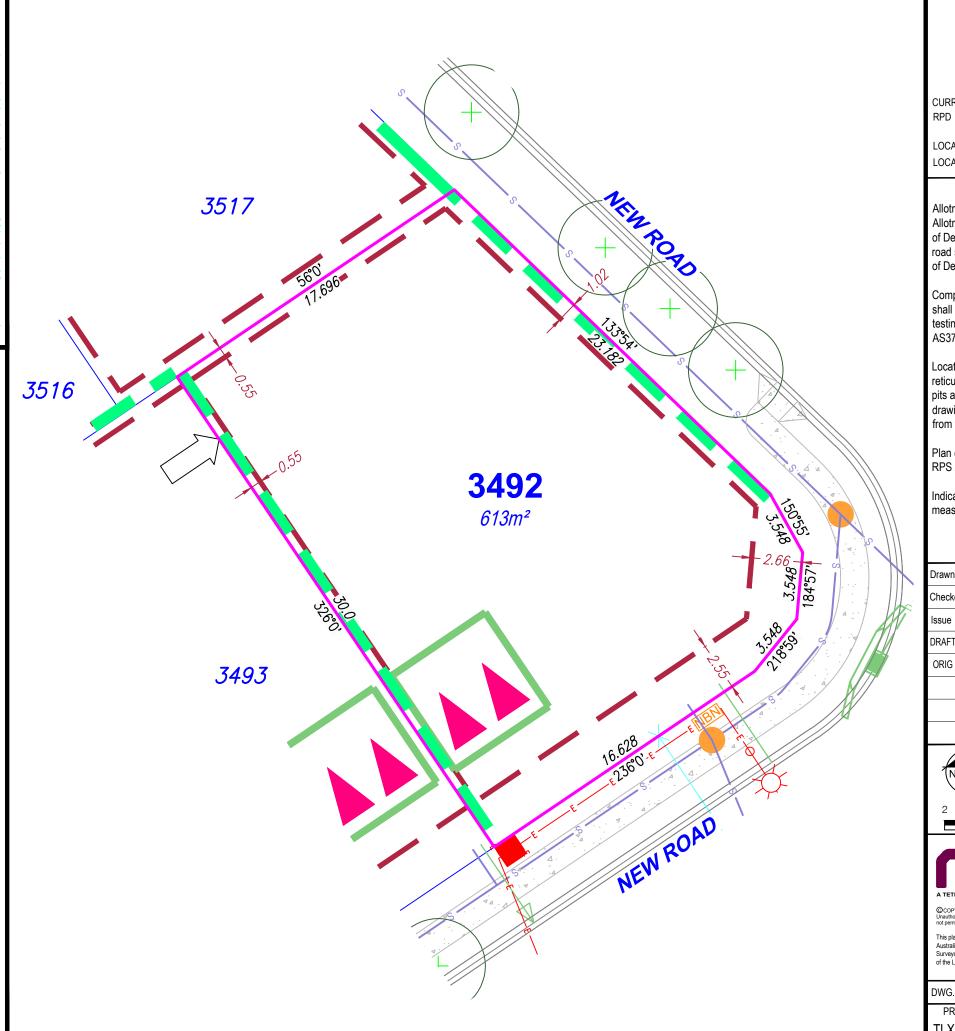
ACN 117 883 173 ABN 97 117 883 173

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TLX370977	14/3491	ORIG	1 of







For Proposed Lot 3492 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

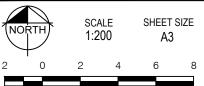
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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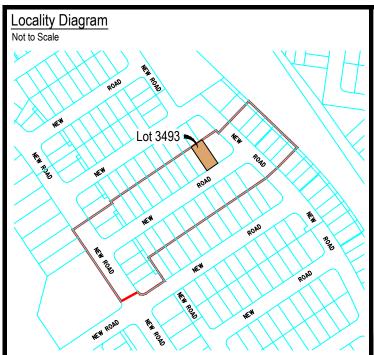


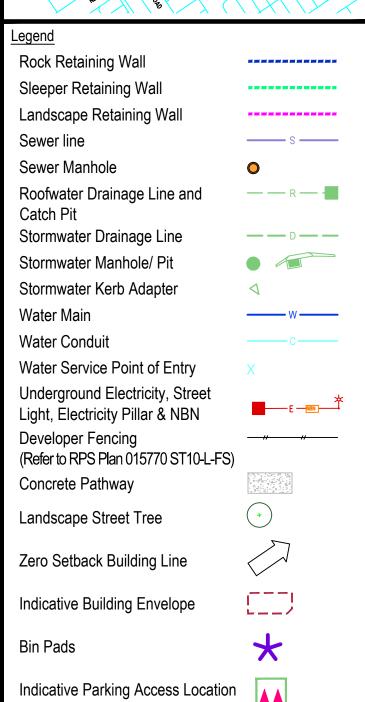
ACN 117 883 173 ABN 97 117 883 173 114 Brisbane Street Ipswich Qld 4305

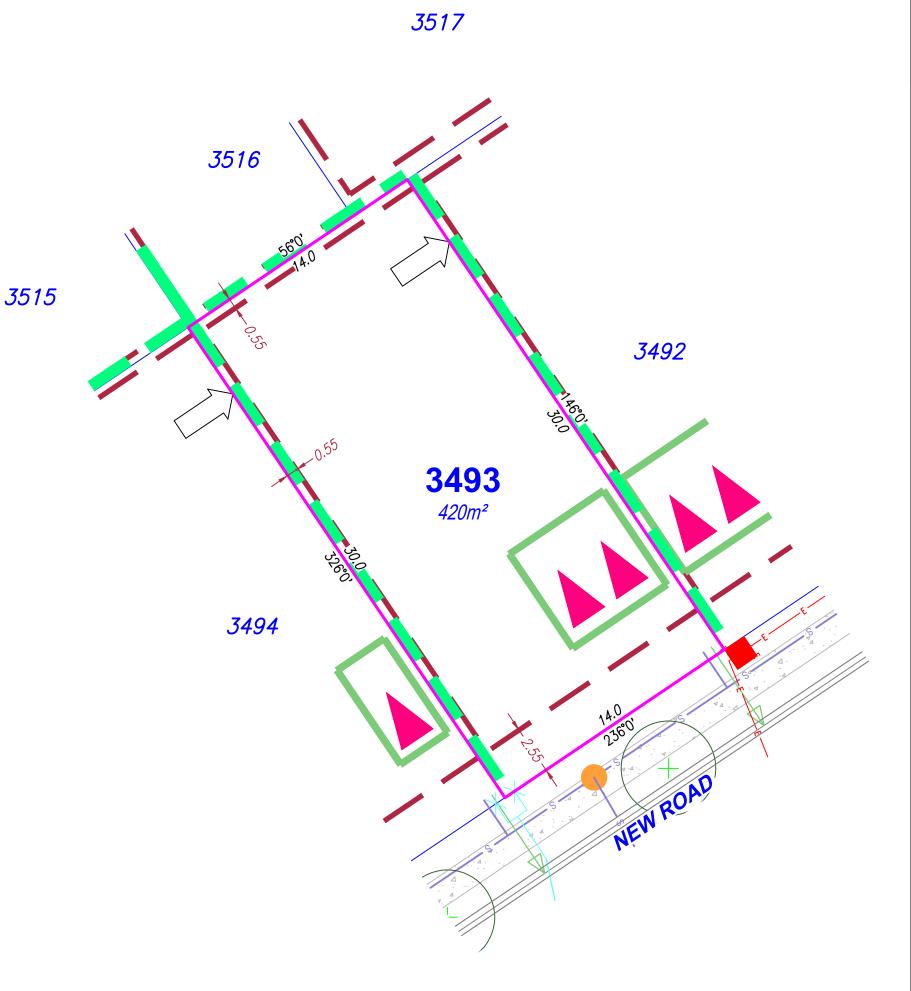
F+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3492 | ORIG | 1 of 1







For Proposed Lot 3493 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Votes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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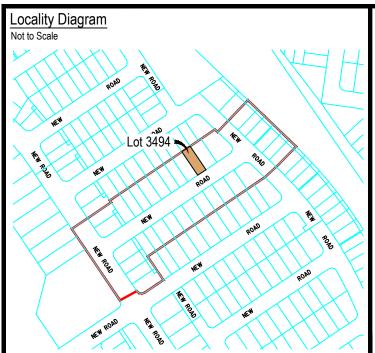
114 Brisbane Street Ipswich Qld 4305

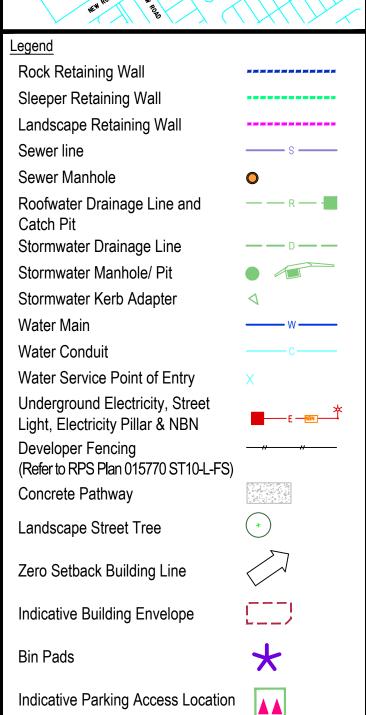
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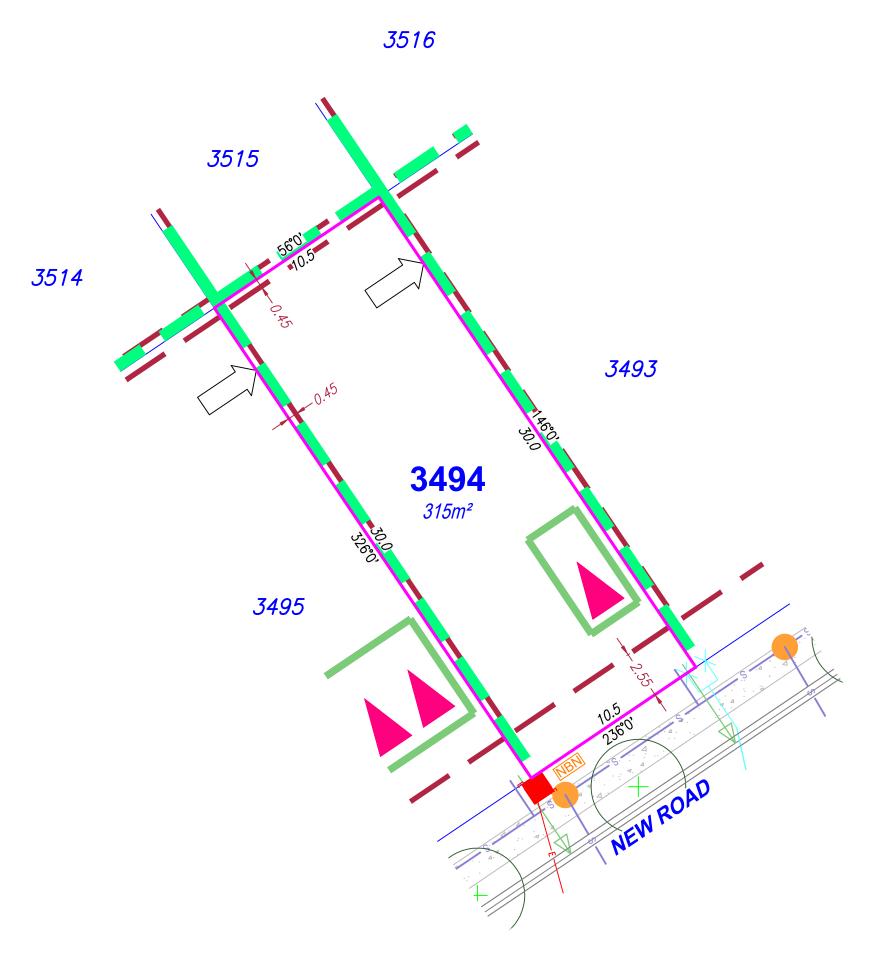
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 14/3493
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For Proposed Lot 3494 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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09/10/2025

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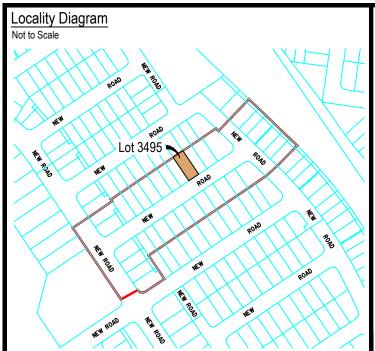
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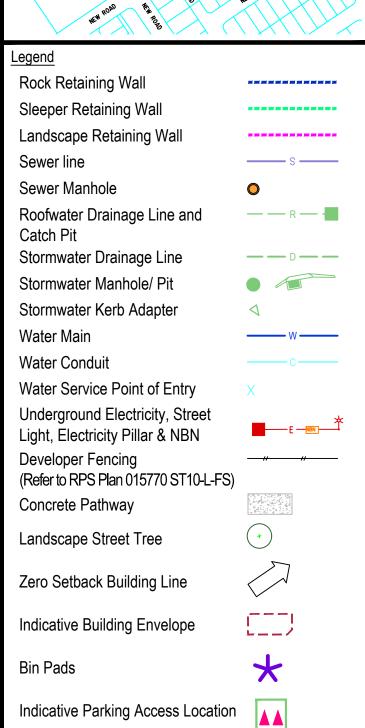
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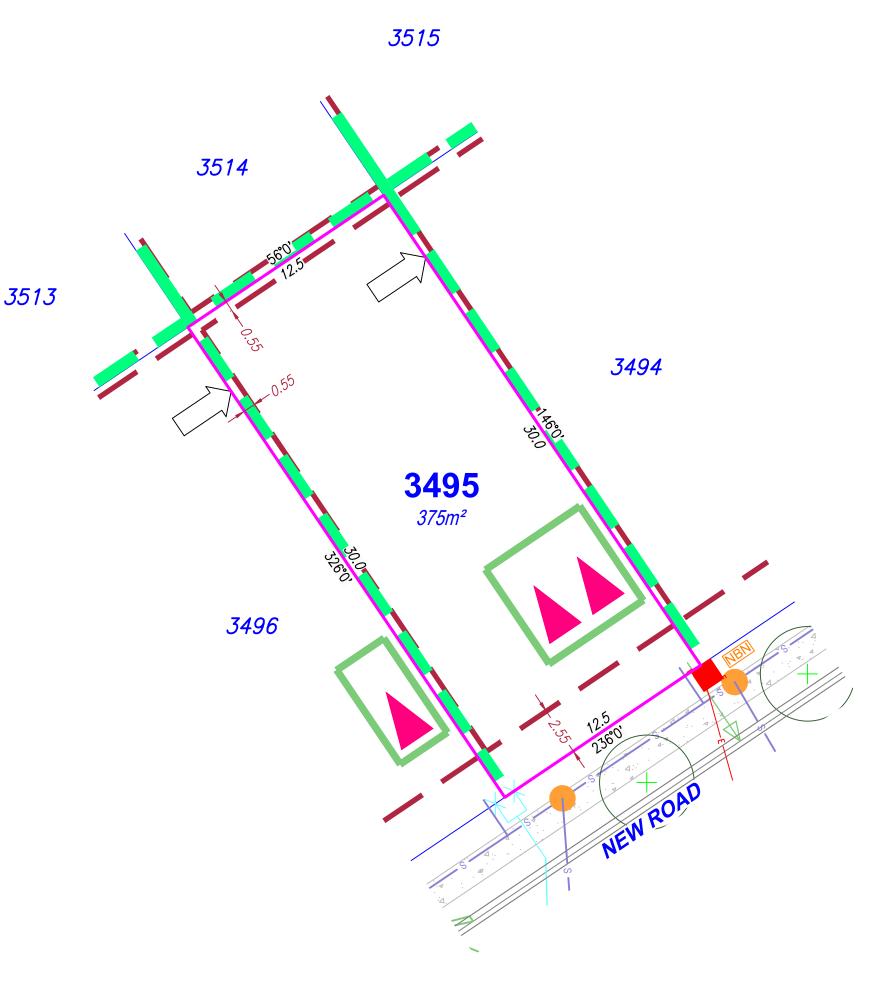
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PROJECT PLAN AMD. SHEET TLX370977 14/3494 ORIG 1 of 1







For Proposed Lot 3495 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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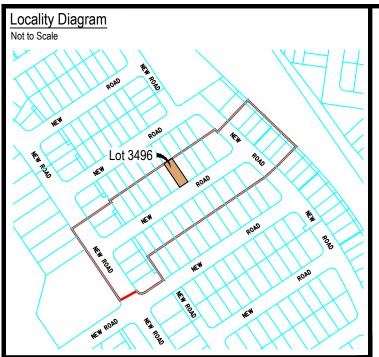
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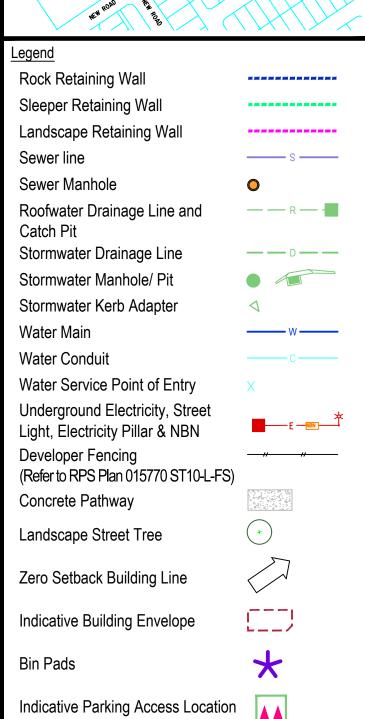
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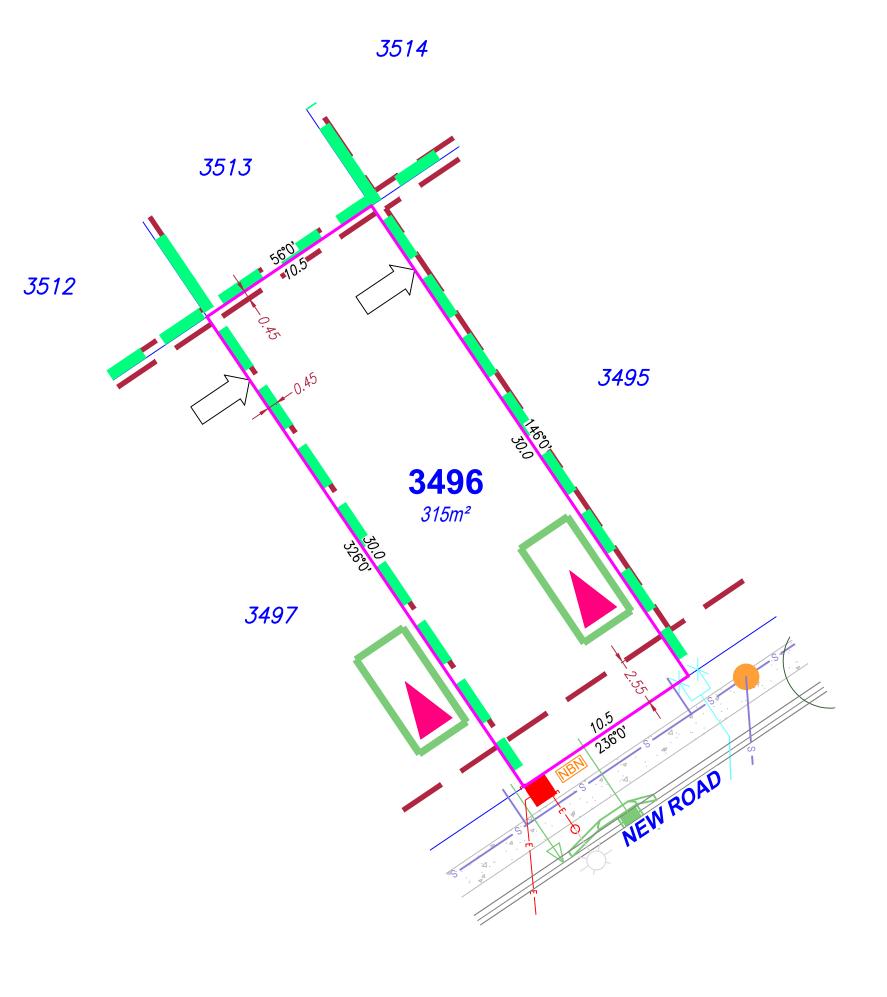
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009 W rpsgroup.com

DWG. TLX370977-014-Stg10F-Site

PROJECT PLAN AMD. SHEET TLX370977 14/3495 ORIG 1 of 1







For Proposed Lot 3496 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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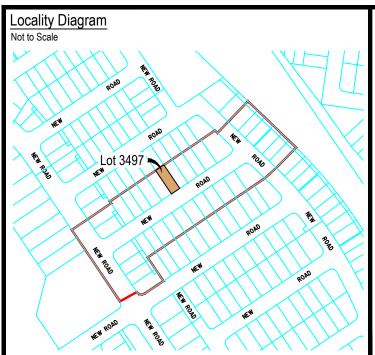


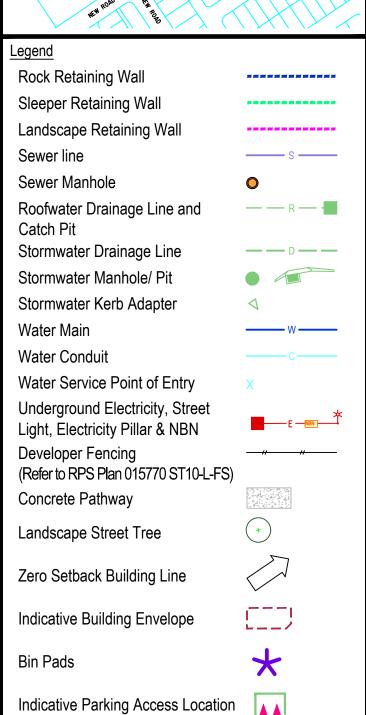
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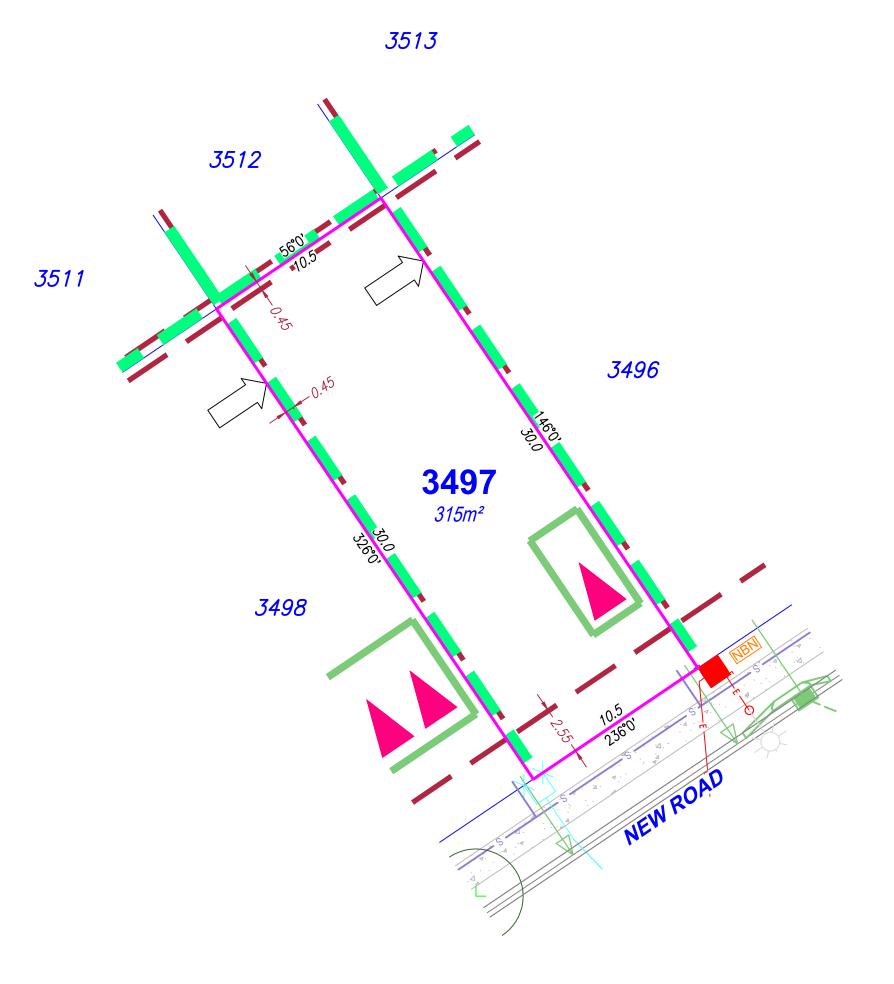
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

SHEET PROJECT PLAN AMD. TLX370977 14/3496 ORIG 1 of 1







For Proposed Lot 3497 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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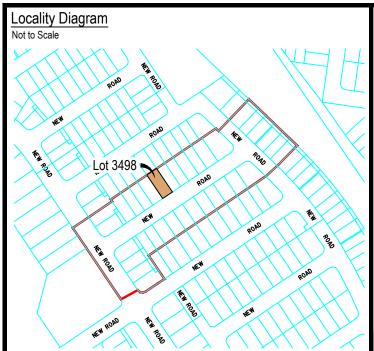
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000

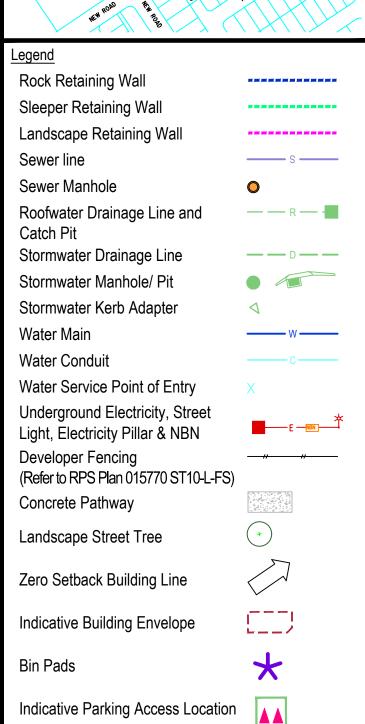
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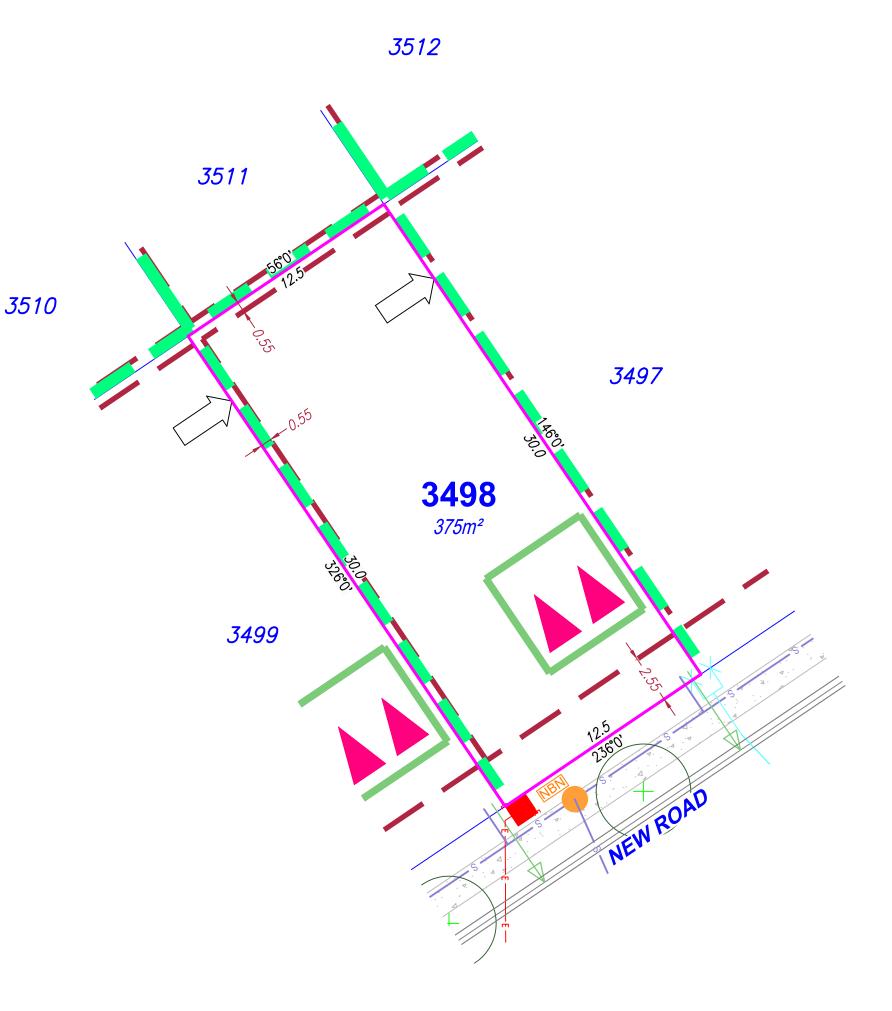
F+61 7 3434 2009

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PROJECT PLAN AMD. SHEET TLX370977 14/3497 ORIG 1 of 1







For Proposed Lot 3498 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Date:

09/10/2025

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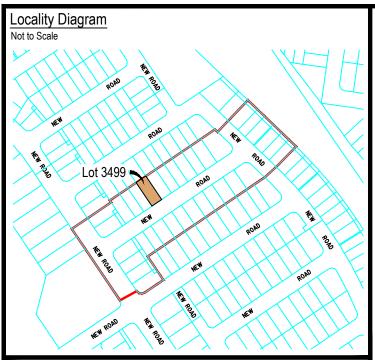


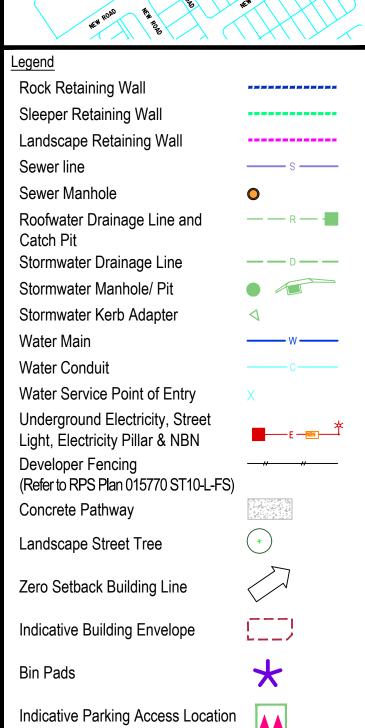
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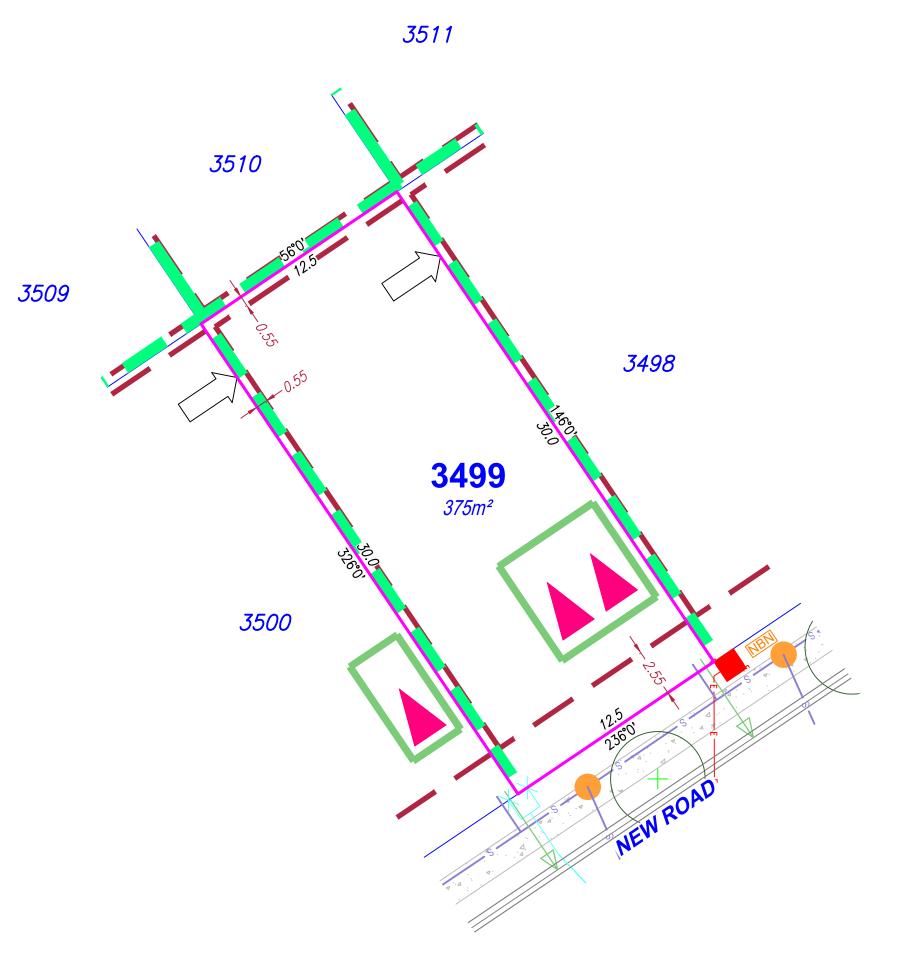
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3498 | ORIG | 1 of 1







For Proposed Lot 3499 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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09/10/2025

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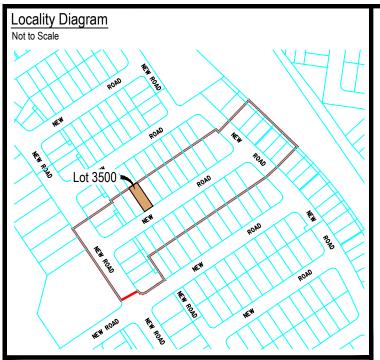
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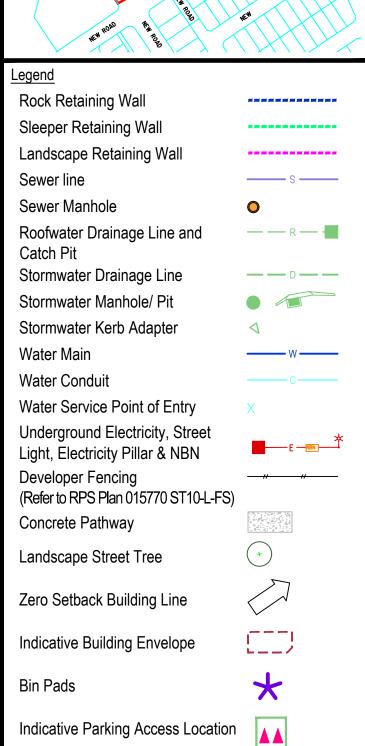
Suite A.02, Level 1

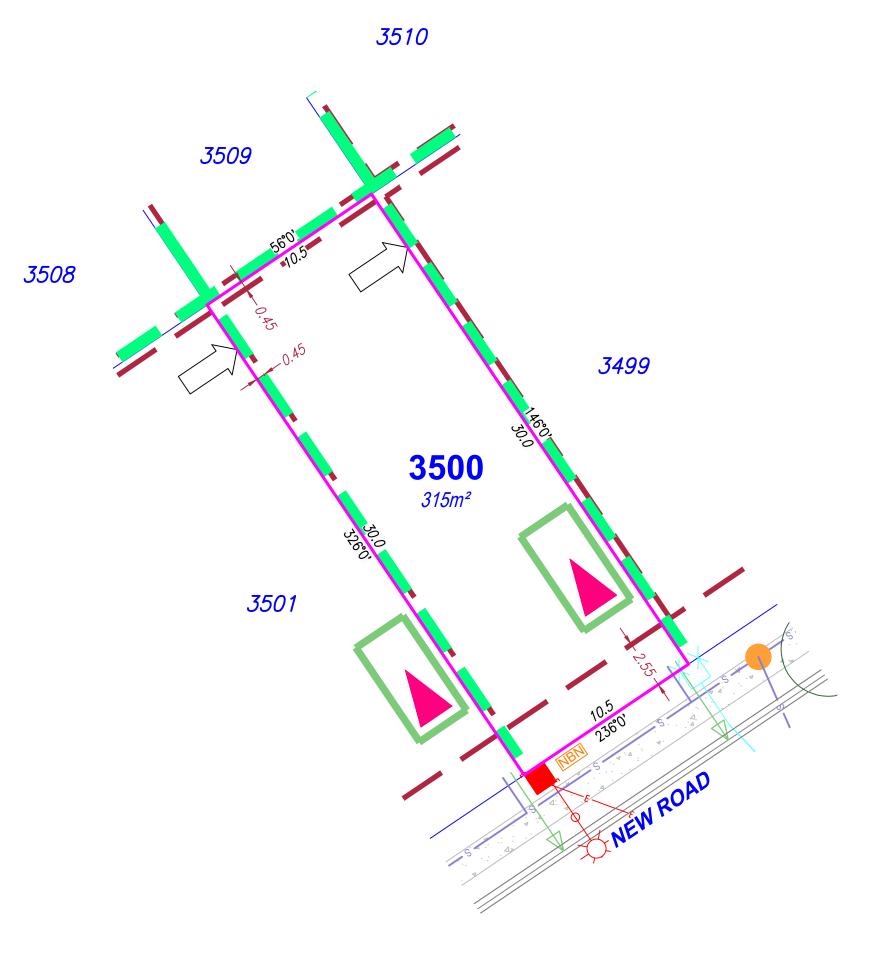
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 1 of 1







For Proposed Lot 3500 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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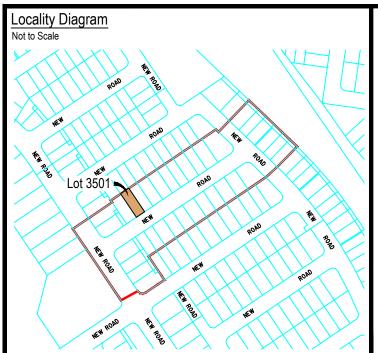
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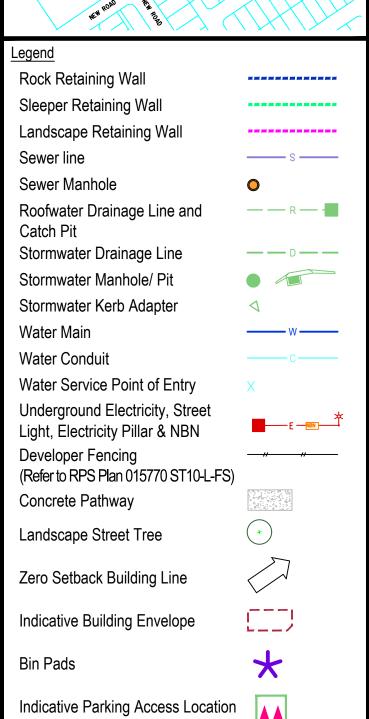
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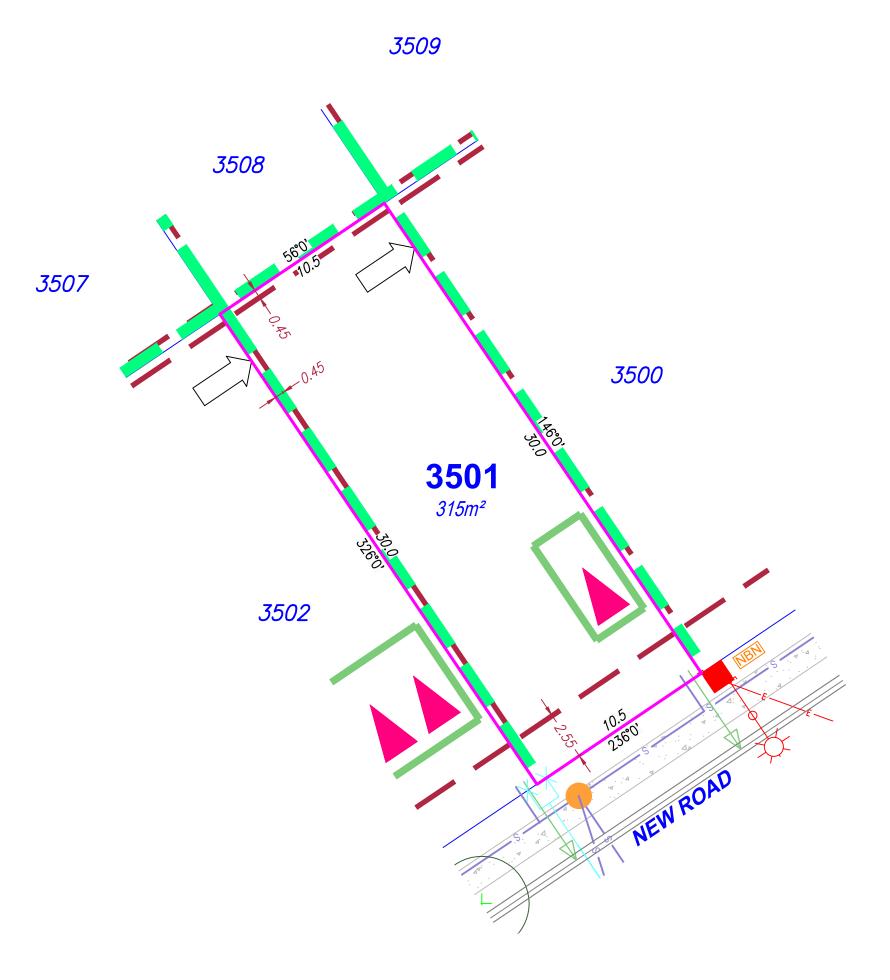
114 Brisbane Street Ipswich Qld 4305 T+61 7 3437 2000 F+61 7 3434 2009 W rpsgroup.com

DWG. TLX370977-014-Stg10F-Site

PROJECT PLAN AMD. SHEET TLX370977 14/3500 ORIG 1 of 1







For Proposed Lot 3501 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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09/10/2025

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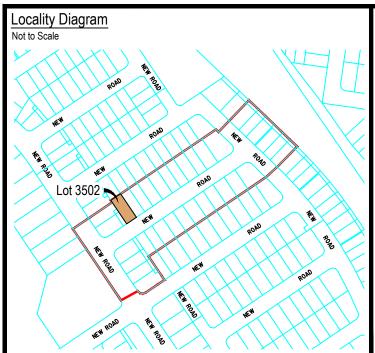
114 Brisbane Street Ipswich Qld 4305

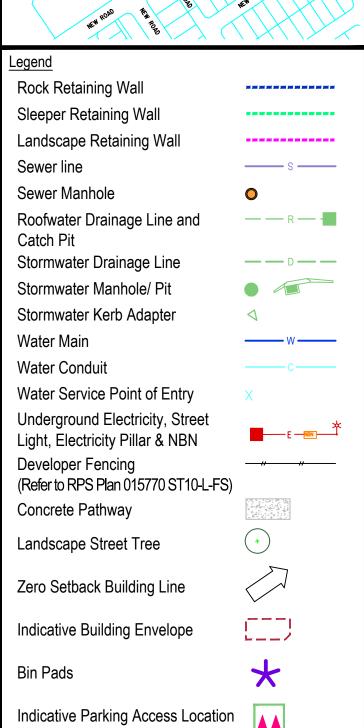
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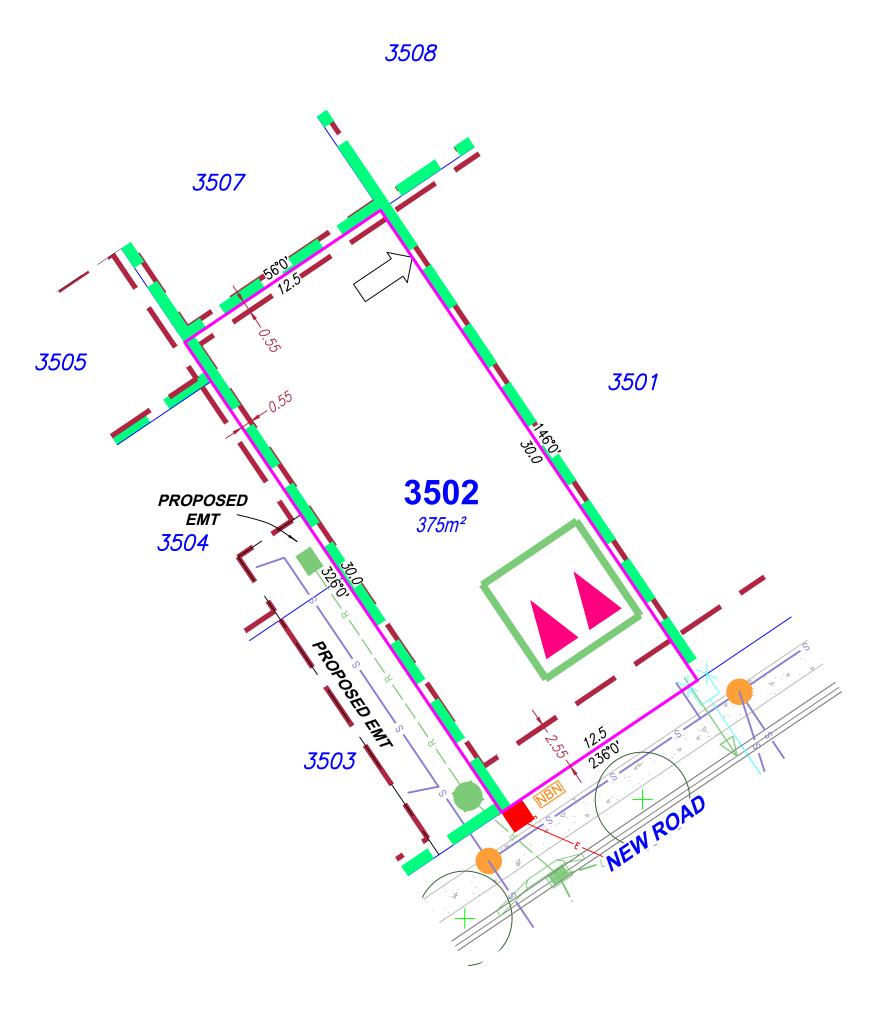
T+61 7 3437 2000 **F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3501 | ORIG | 1 of 1







For Proposed Lot 3502 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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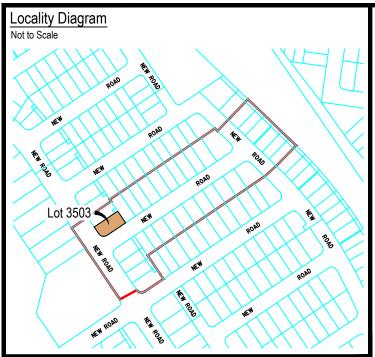
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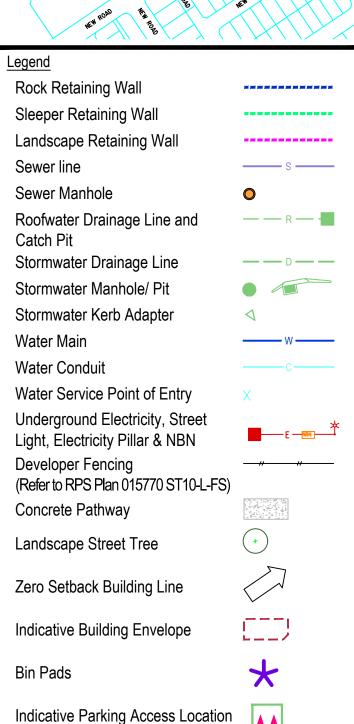
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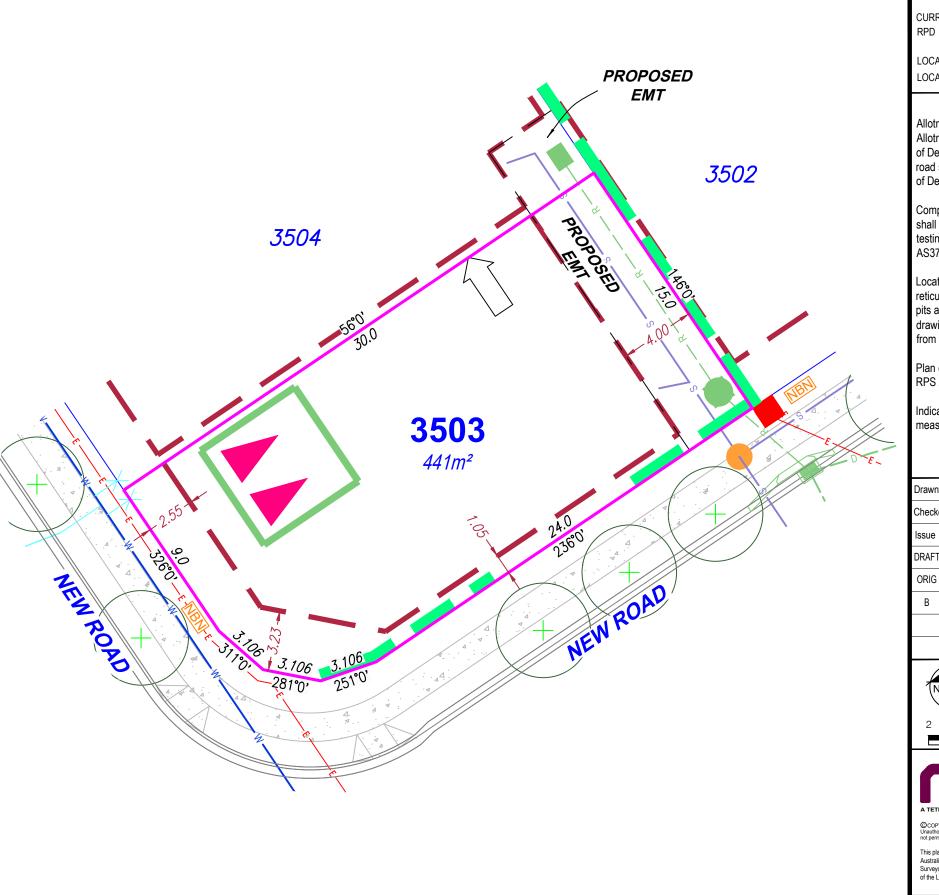
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PROJECT PLAN AMD. SHEET TLX370977 14/3502 ORIG 1 of 1







For Proposed Lot 3503 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

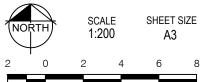
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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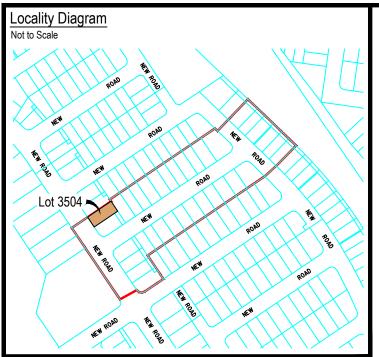
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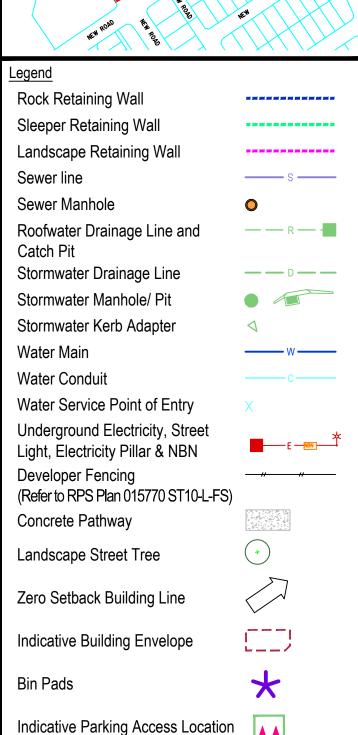
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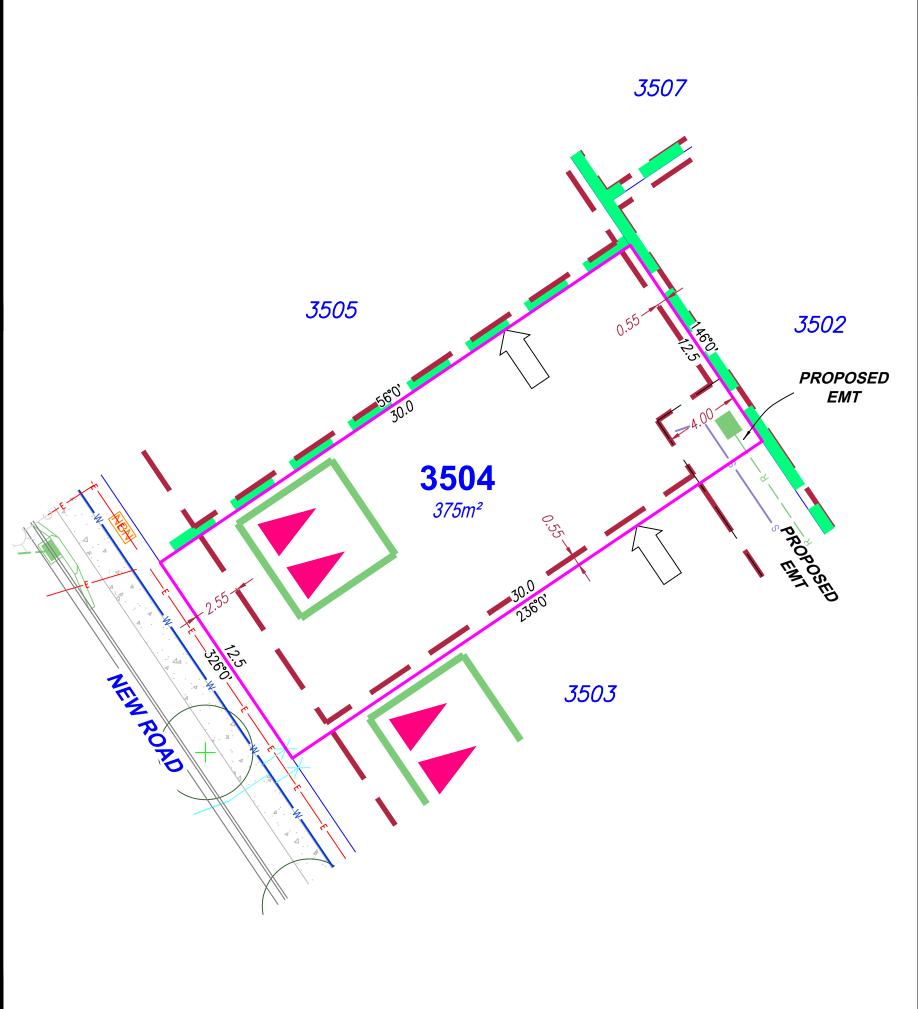
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DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3503 В







For Proposed Lot 3504 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

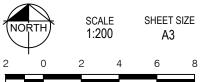
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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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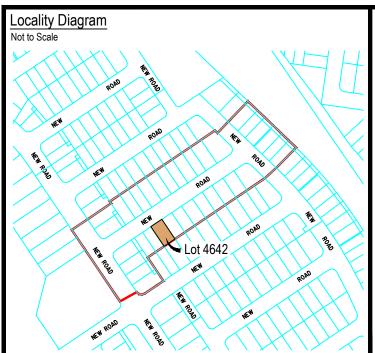


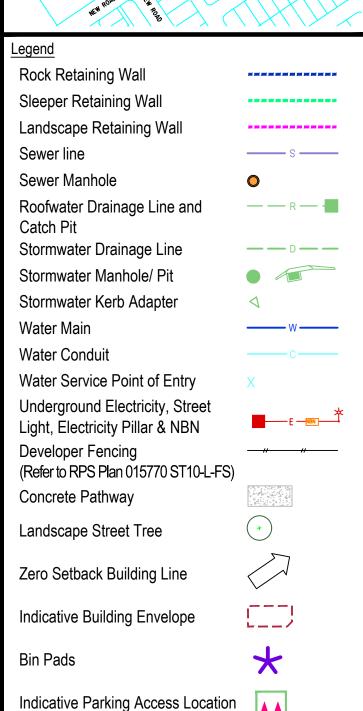
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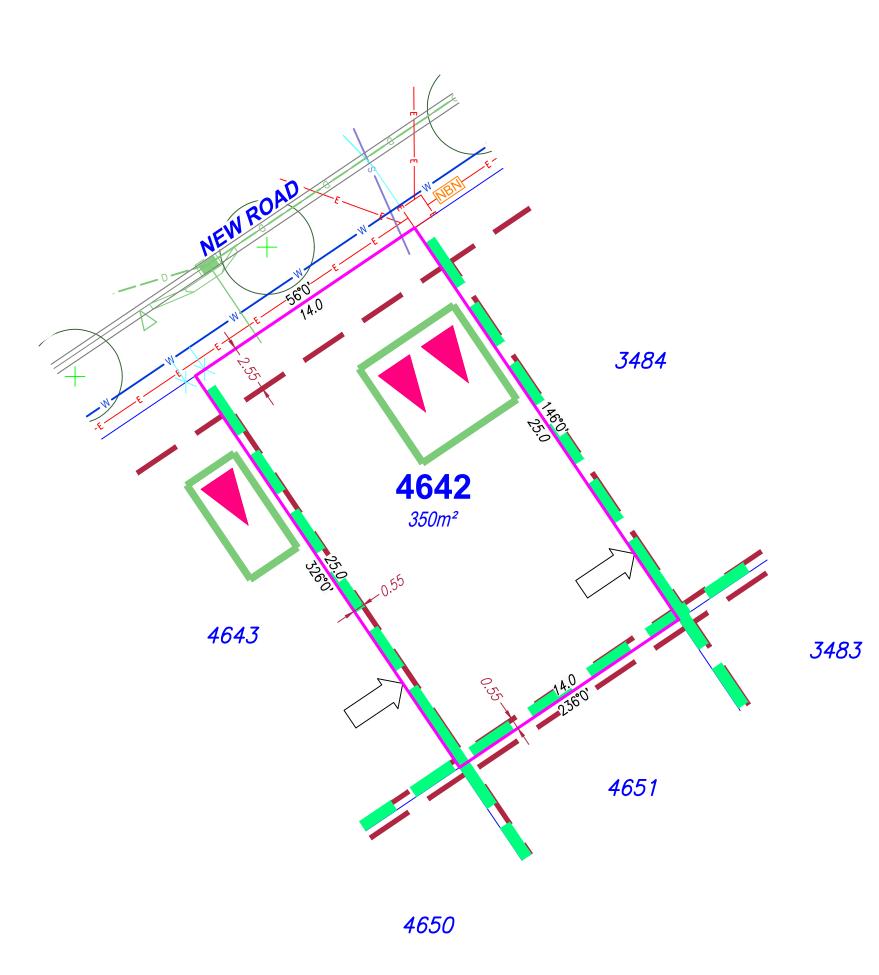
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PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3504	В	1 of 1







For Proposed Lot 4642 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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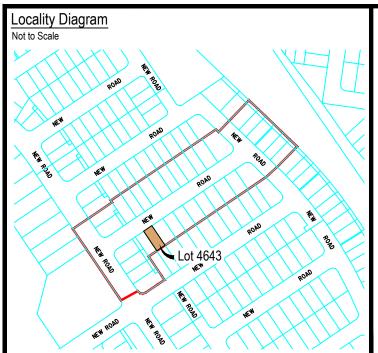


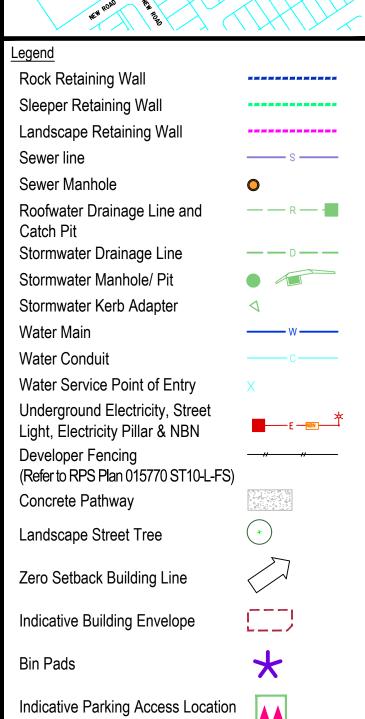
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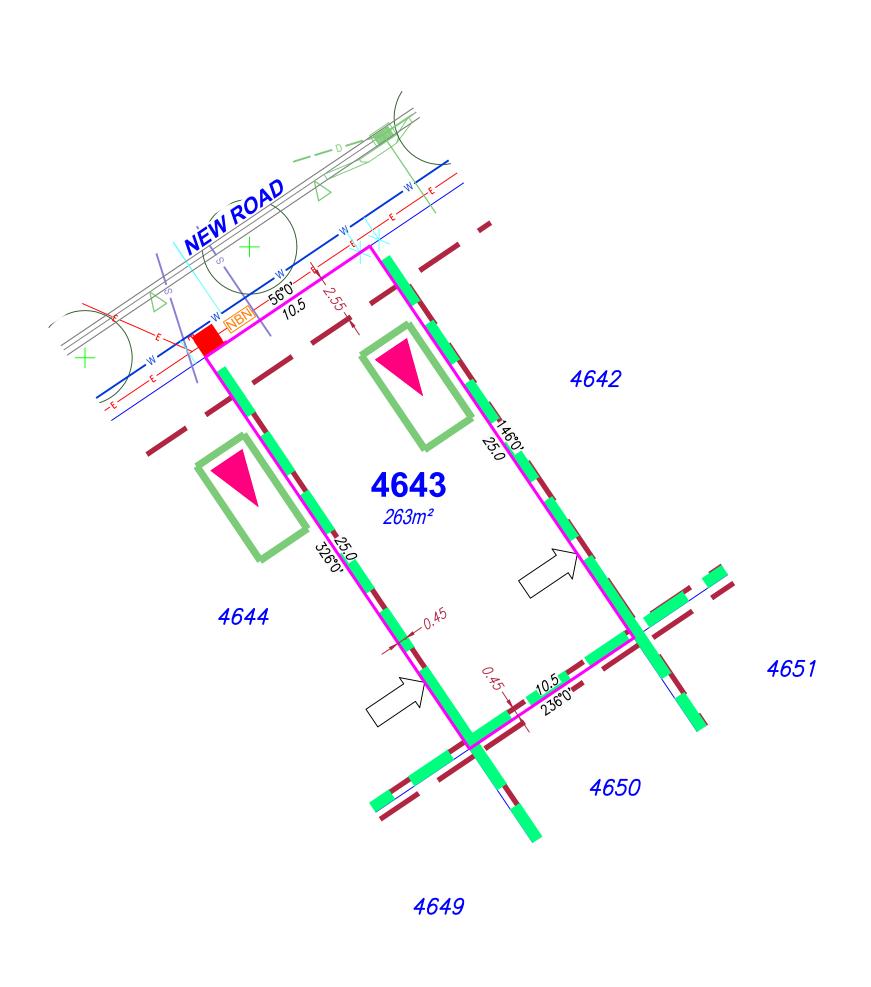
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DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/4642 | ORIG | 1 of 1







For Proposed Lot 4643 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Votes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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Suite A.02, Level 1

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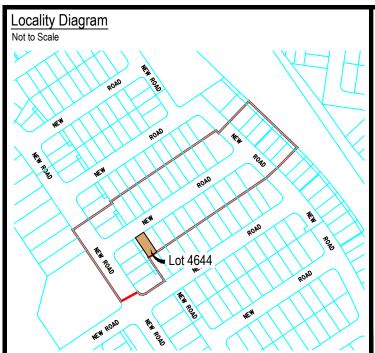
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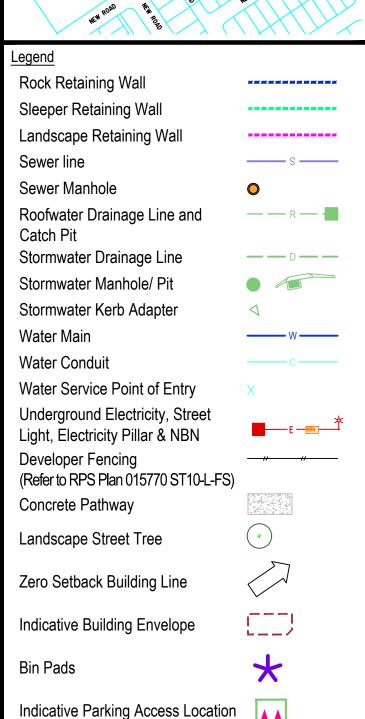
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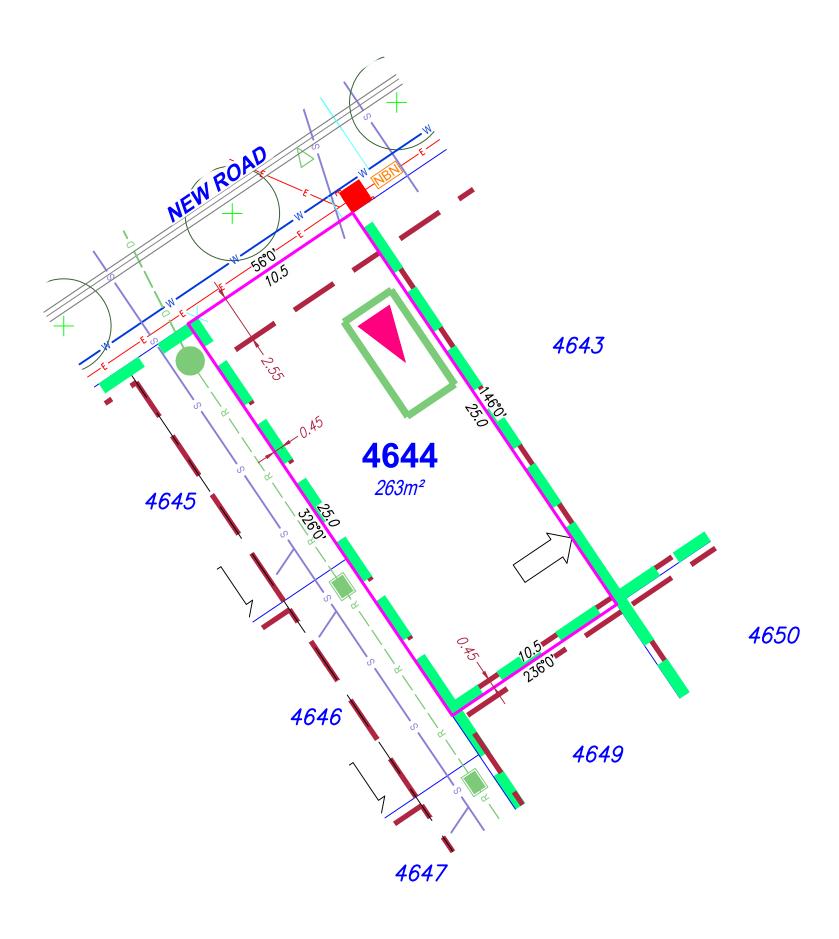
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PROJECT PLAN AMD. SHEET

TLX370977 14/4643 ORIG 1 of 1







For Proposed Lot 4644 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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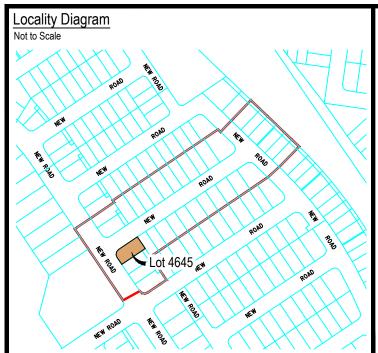
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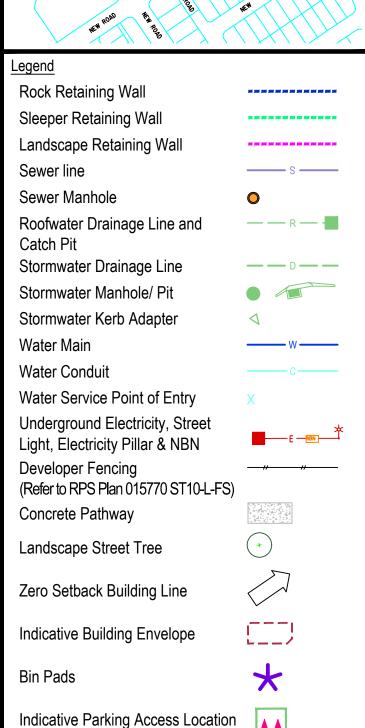
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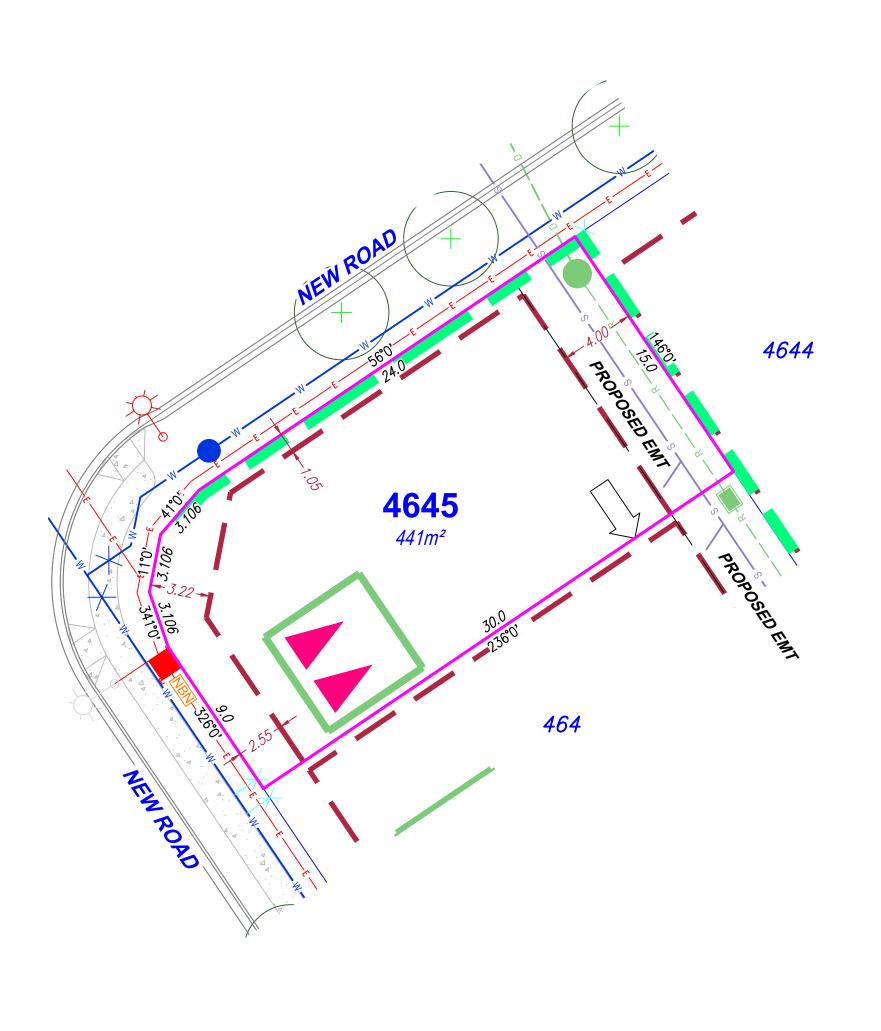
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DWG. TLX370977-014-Stg10F-Site

PROJECT PLAN AMD. SHEET TLX370977 14/4644 ORIG 1 of 1







For Proposed Lot 4645 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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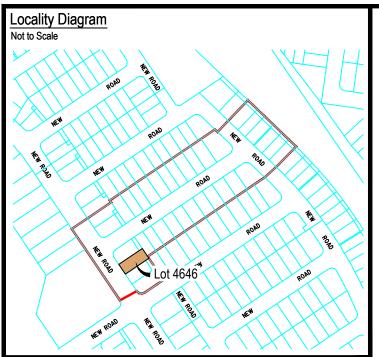
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000

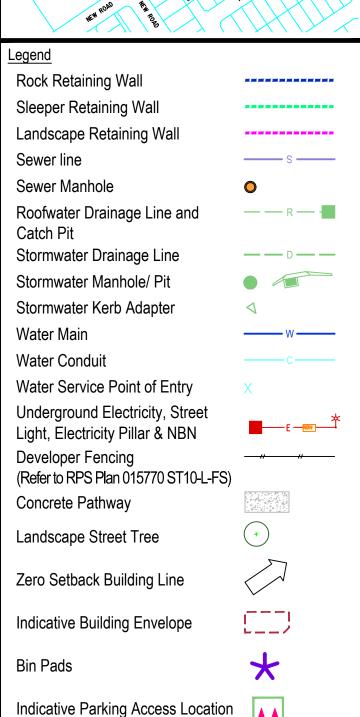
Suite A.02, Level 1

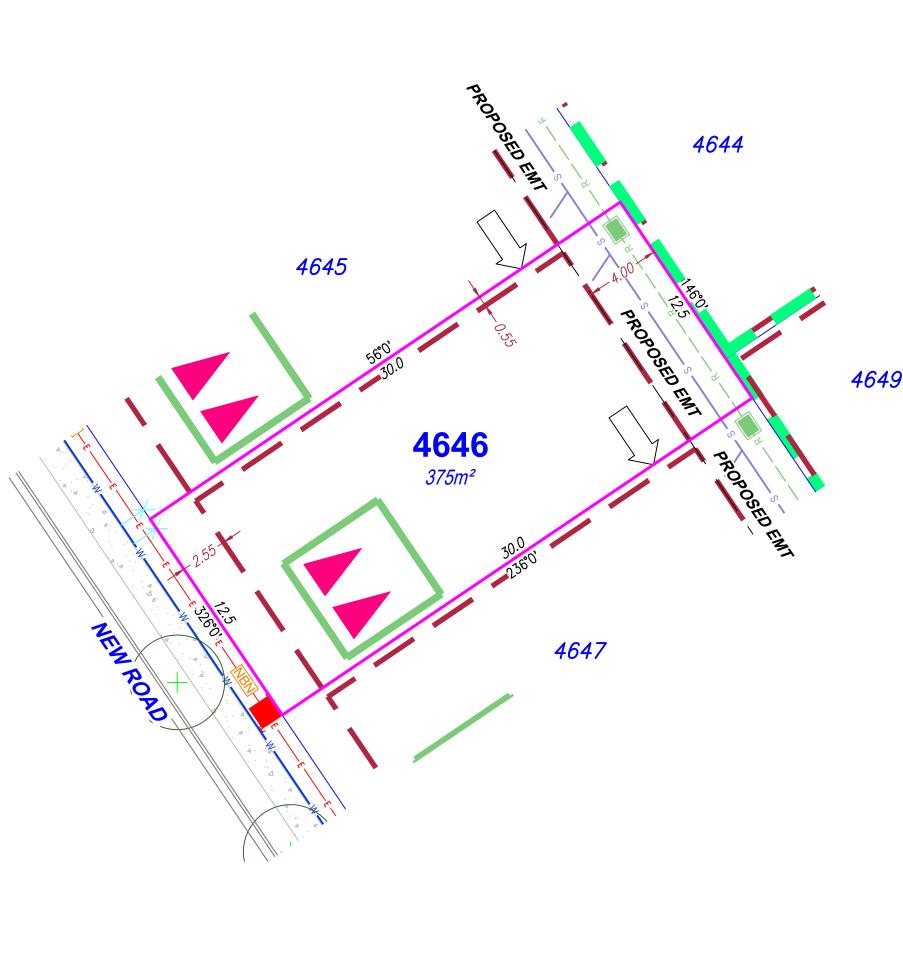
F+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/4645 | ORIG | 1 of 1







For Proposed Lot 4646 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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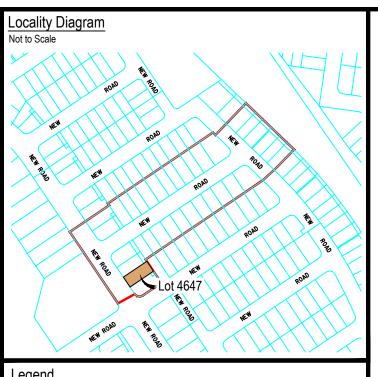
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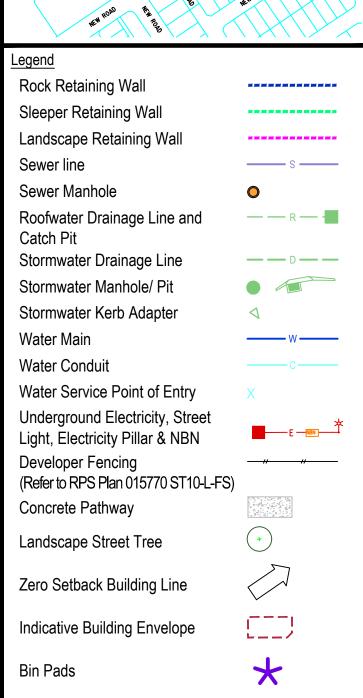
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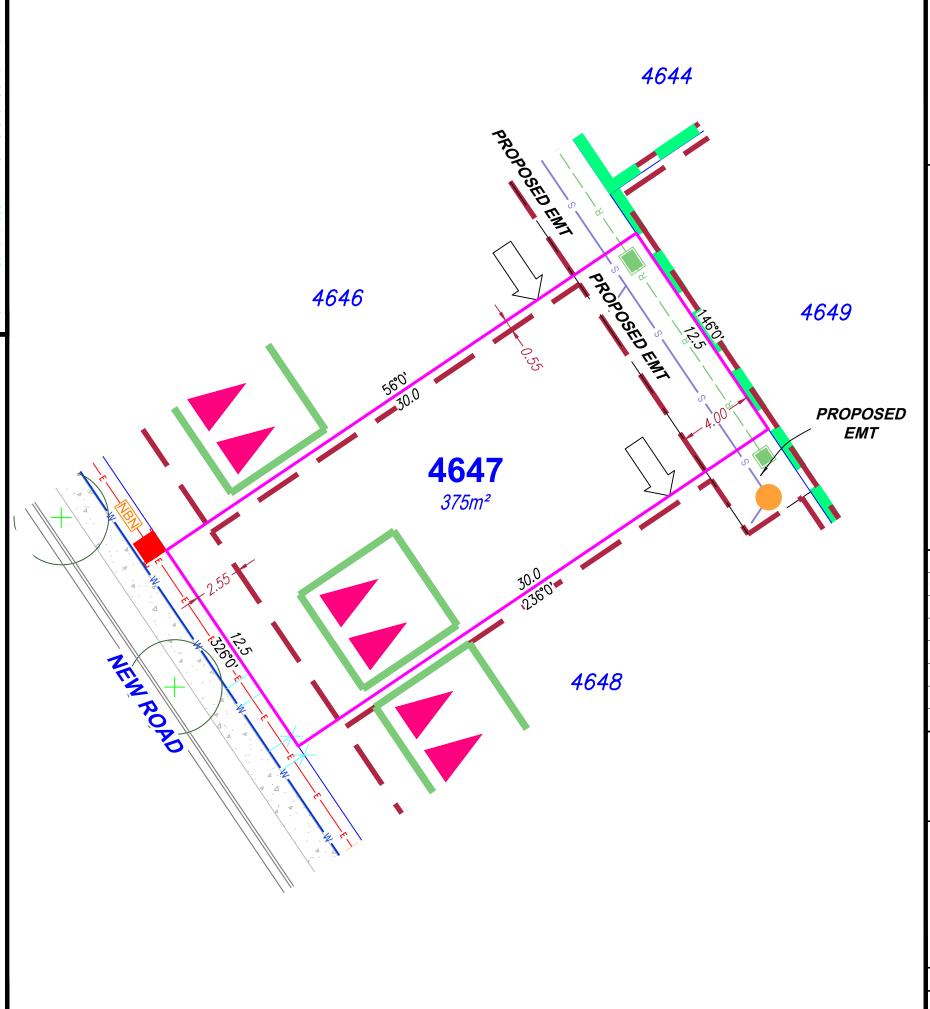
DWG. TLX370977-014-Stg10F-Site

PROJECT PLAN AMD. SHEET TLX370977 14/4646 ORIG 1 of 1





Indicative Parking Access Location



SITE PLAN

For Proposed Lot 4647 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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