

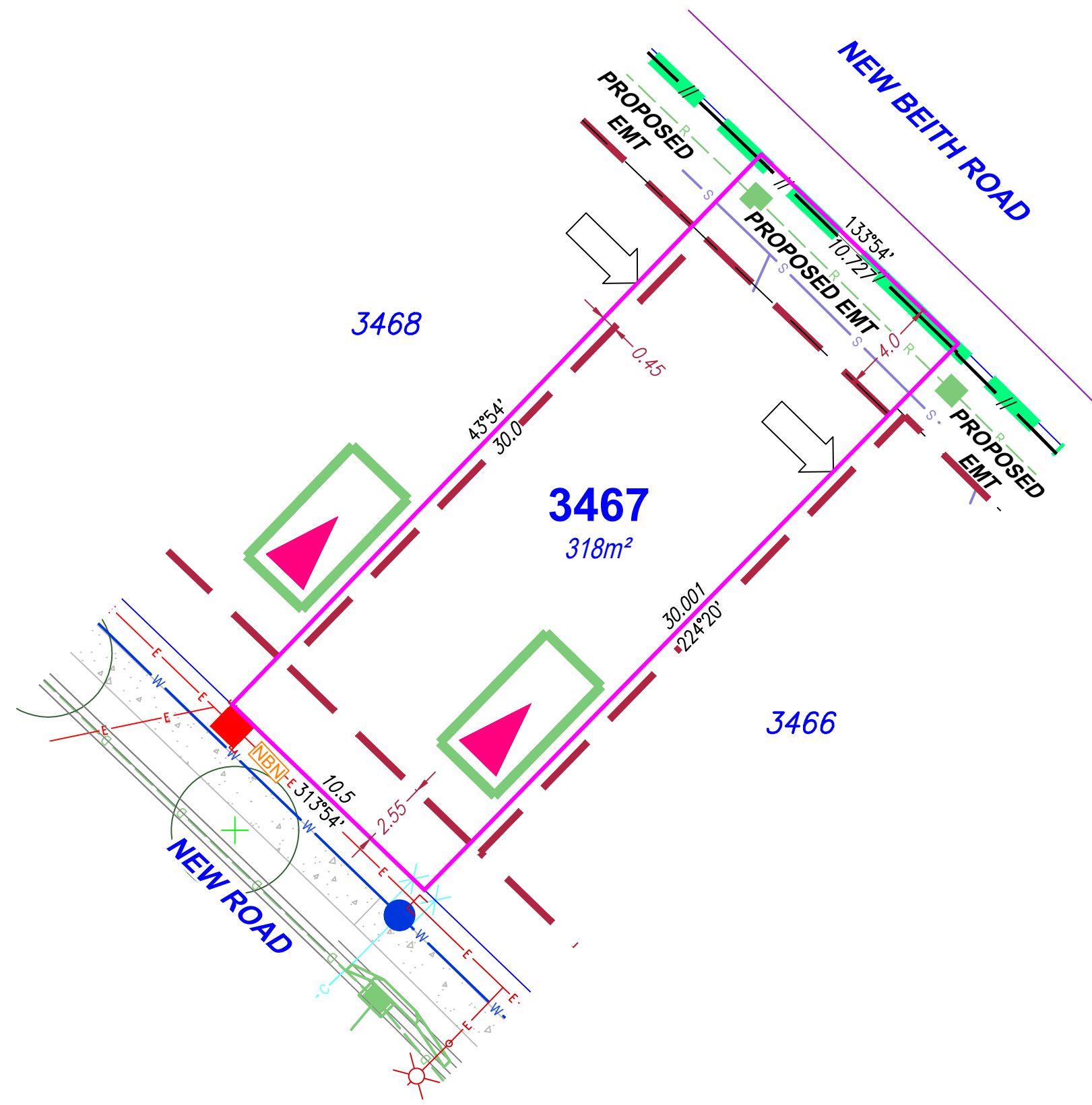
Locality Diagram

Not to Scale



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — ■
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— —
Concrete Pathway	▨
Landscape Street Tree	○
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN

For Proposed Lot 3467
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743
& USL
LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
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Compaction of any fill material placed on this site
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AS3798-2007.

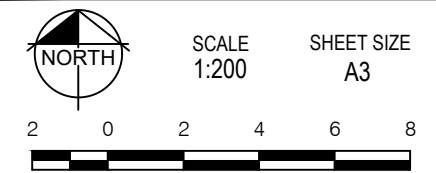
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Plan of Development information Supplied by
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Indicative Building Envelope depicts setbacks
measured to outermost projection.

Drawn:	GBF	Date:	09/10/2025
Checked:	DL	Date:	10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25
A	Developer Fences Added	28/11/25

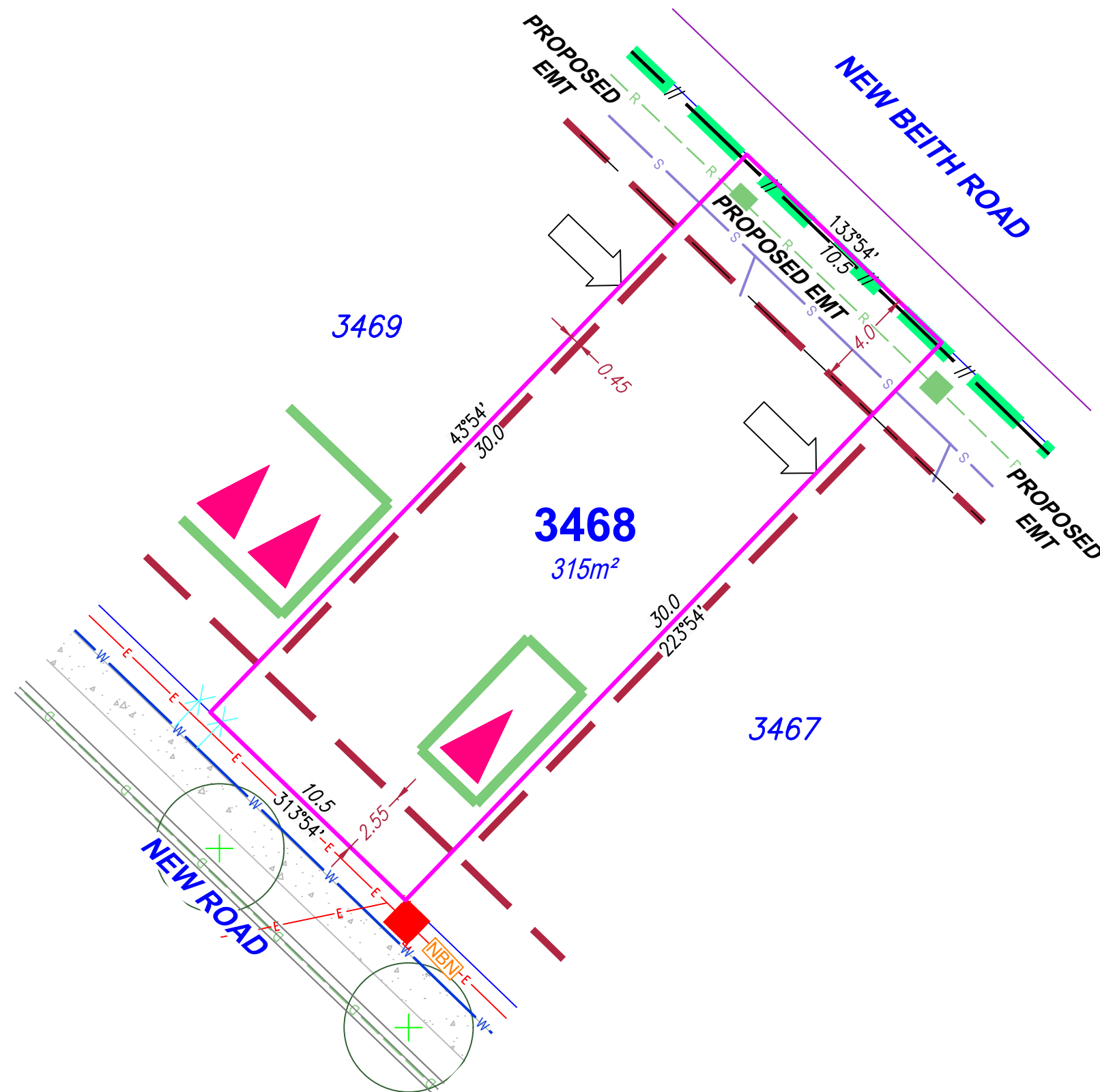
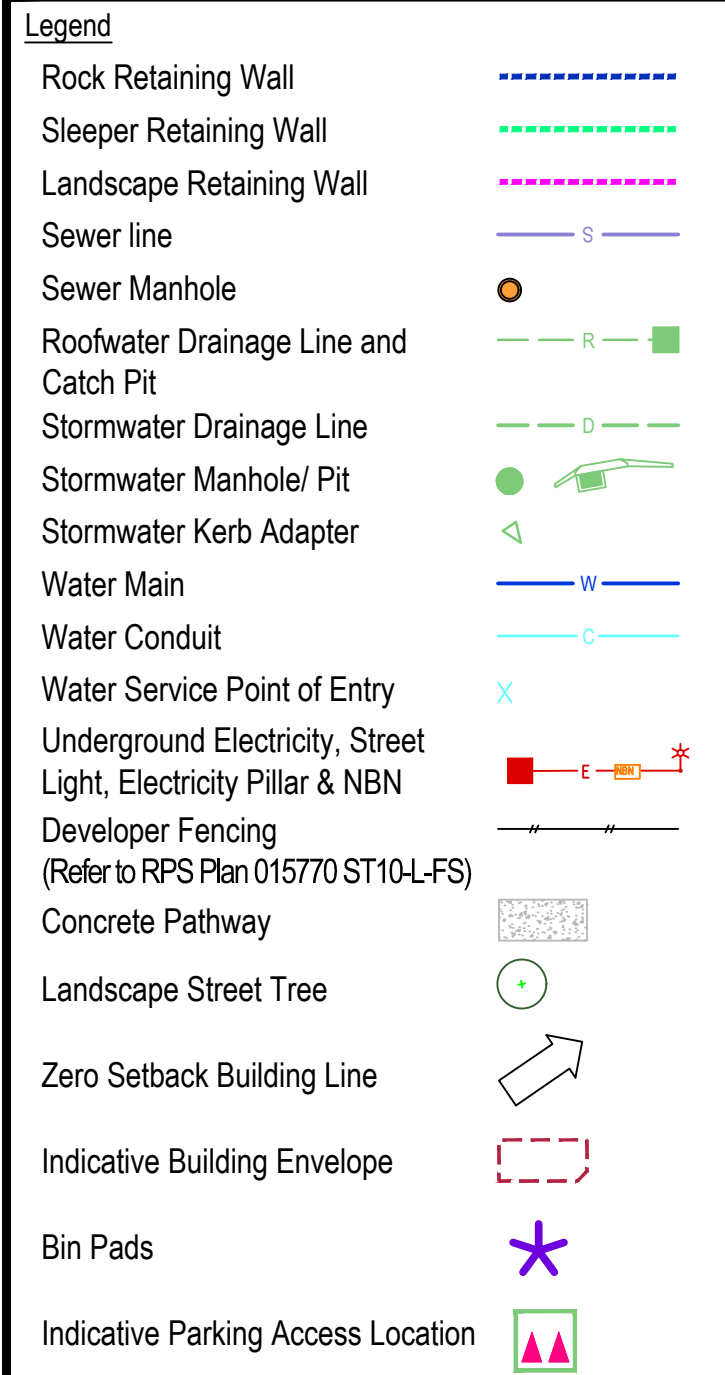
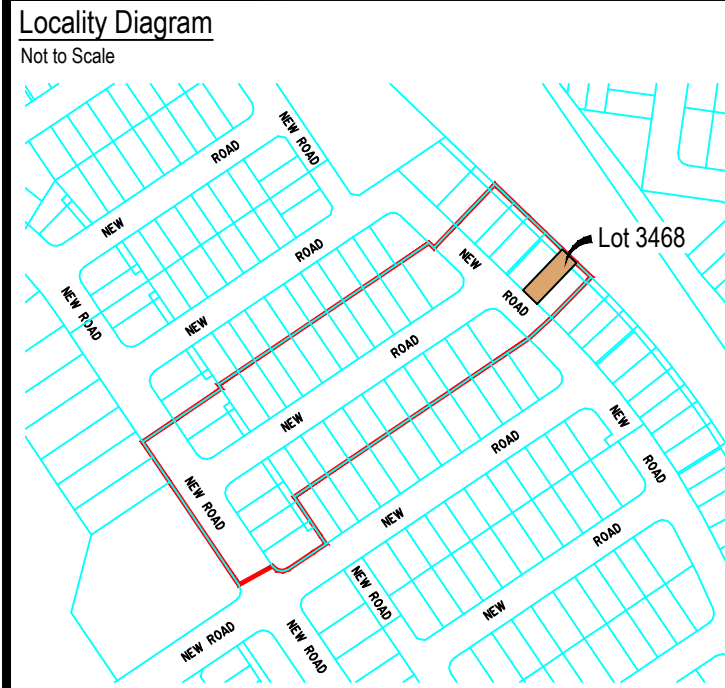




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DWG. TLX370977-014-Stg10F-Site			
PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3467	ORIG	1 of 1



SITE PLAN

For Proposed Lot 3468
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743
& USL
LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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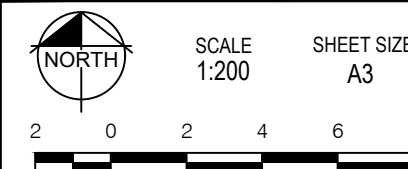
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DRAFT	Draft plans for review	09/10/25	
ORIG	Issue to Client	10/10/25	
A	Developer Fences Added	28/11/25	



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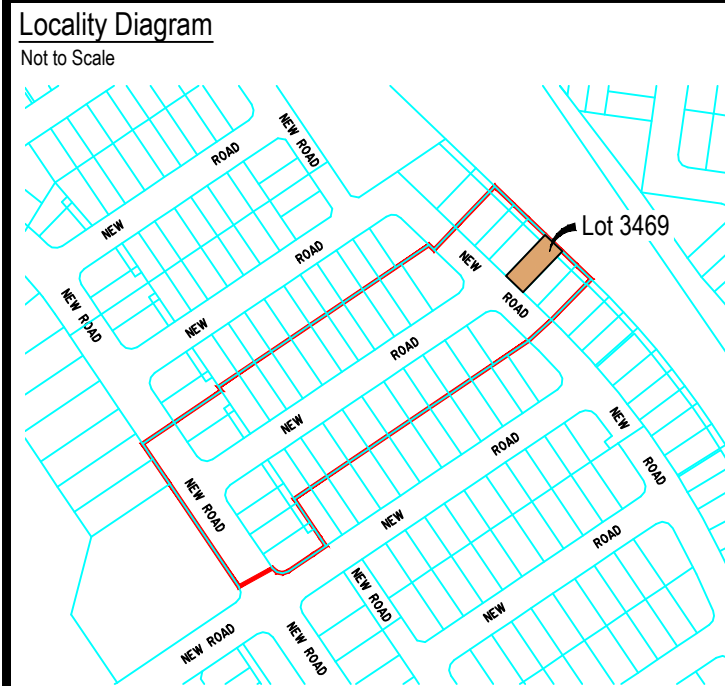
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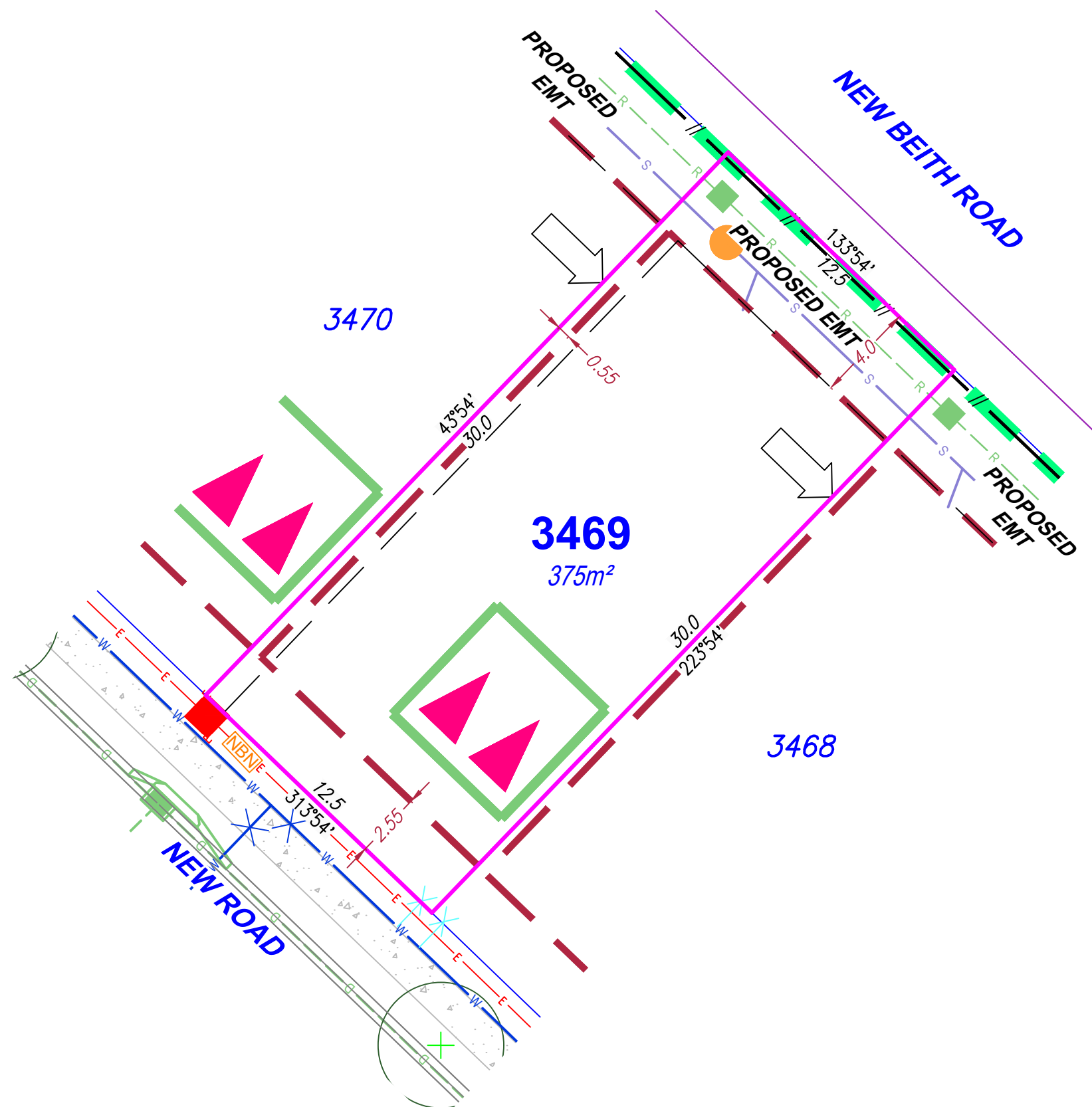
DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3468	ORIG	1 of 1



Legend

Rock Retaining Wall	
Sleeper Retaining Wall	
Landscape Retaining Wall	
Sewer line	
Sewer Manhole	
Roofwater Drainage Line and Catch Pit	
Stormwater Drainage Line	
Stormwater Manhole/ Pit	
Stormwater Kerb Adapter	
Water Main	
Water Conduit	
Water Service Point of Entry	
Underground Electricity, Street Light, Electricity Pillar & NBN	
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	
Concrete Pathway	
Landscape Street Tree	
Zero Setback Building Line	
Indicative Building Envelope	
Bin Pads	
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3469
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743
& USL
LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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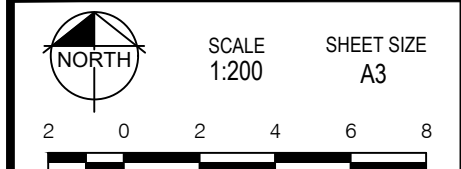
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Checked:	DL	Date:	10/10/2025
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ORIG	Issue to Client	10/10/25	
A	Developer Fences Added	28/11/25	



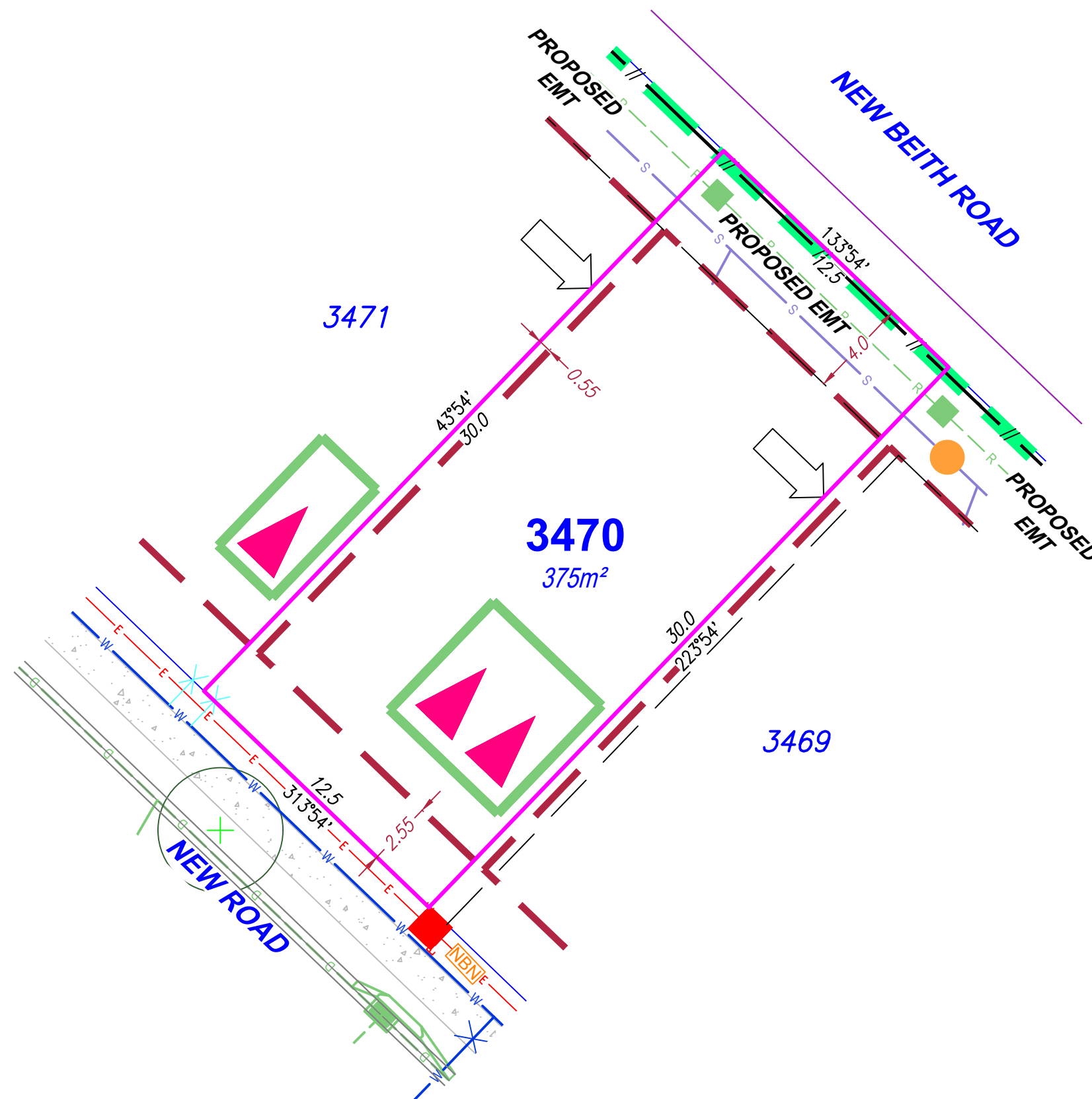
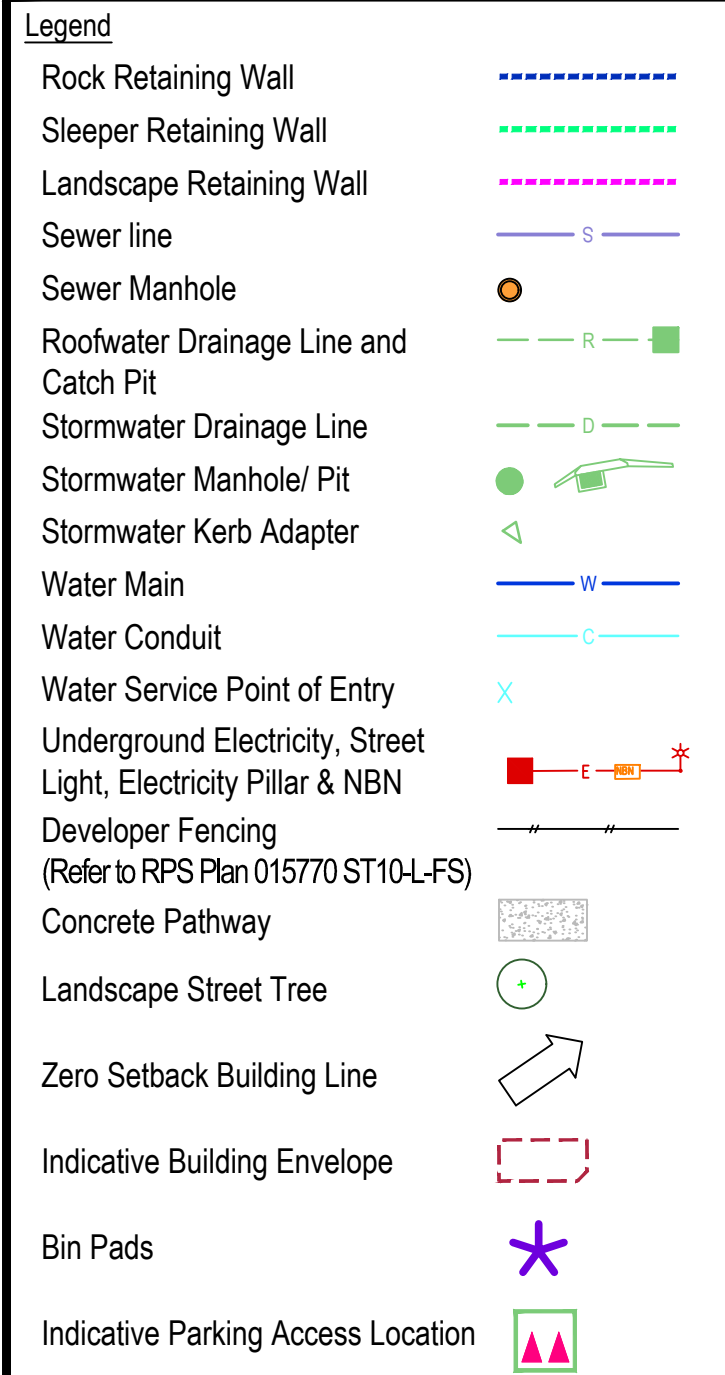
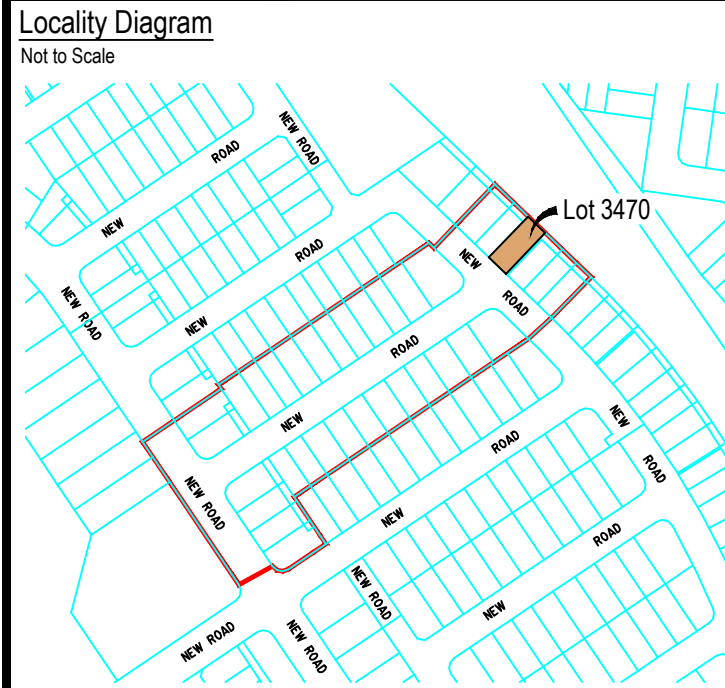
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DWG. TLX370977-014-Stg10F-Site			
PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3469	ORIG	1 of 1



SITE PLAN

For Proposed Lot 3470
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743
& USL
LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Issue	Description	Date	
DRAFT	Draft plans for review	09/10/25	
ORIG	Issue to Client	10/10/25	
A	Developer Fences Added	28/11/25	



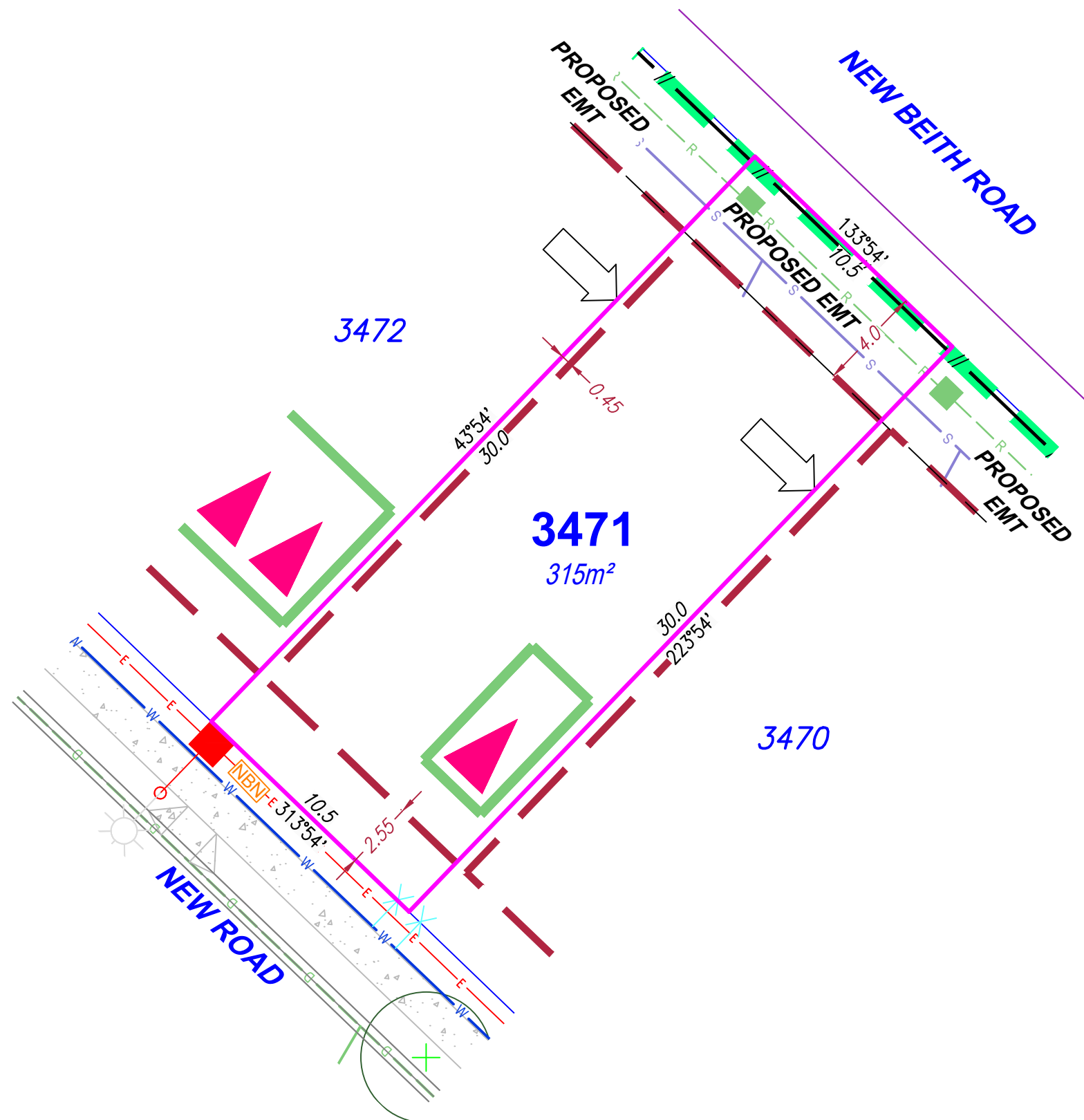
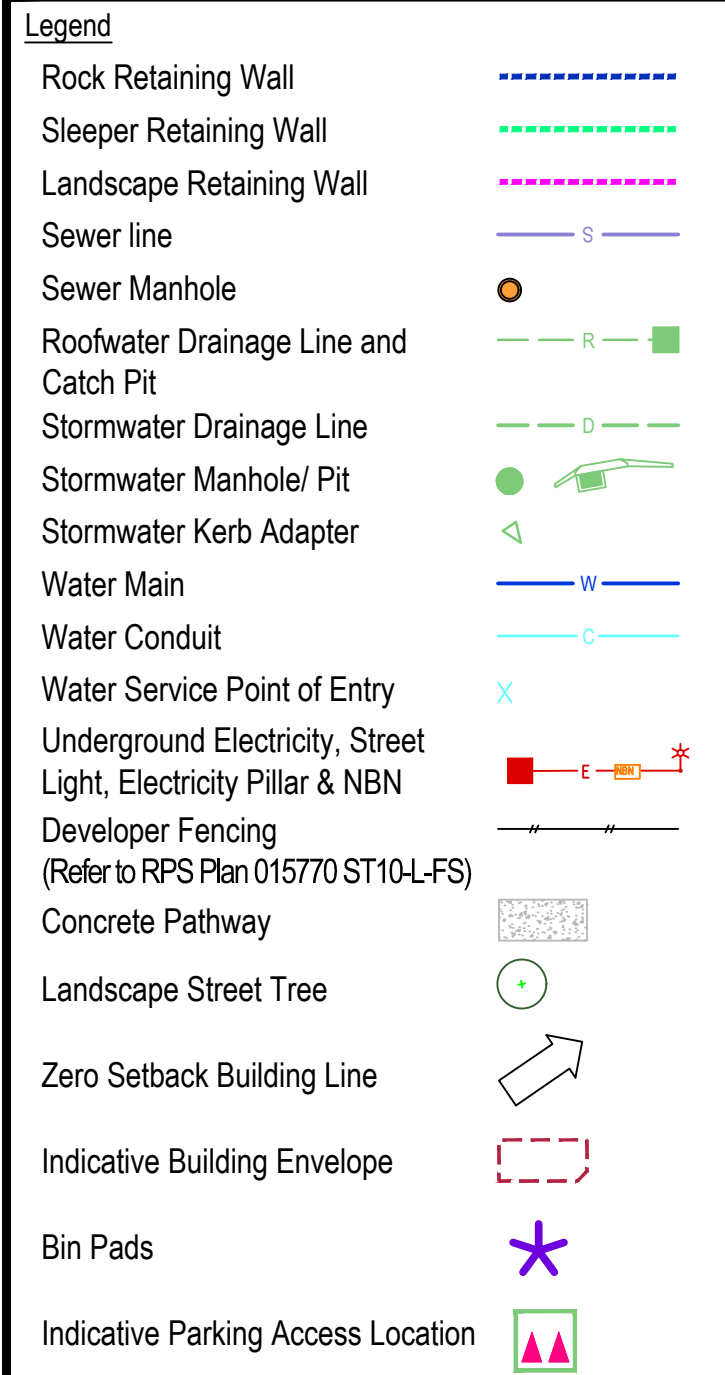
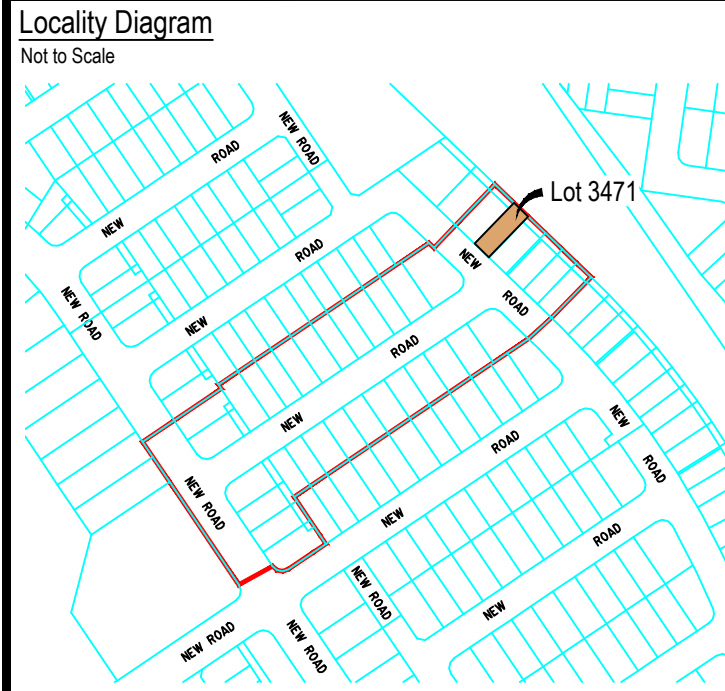
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DWG. TLX370977-014-Stg10F-Site			
PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3470	ORIG	1 of 1



SITE PLAN

For Proposed Lot 3471
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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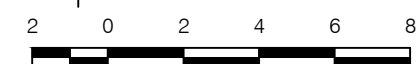
Drawn: GBF Date: 09/10/2025

Checked: DL Date: 10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25
A	Developer Fences Added	28/11/25



SCALE 1:200
SHEET SIZE A3



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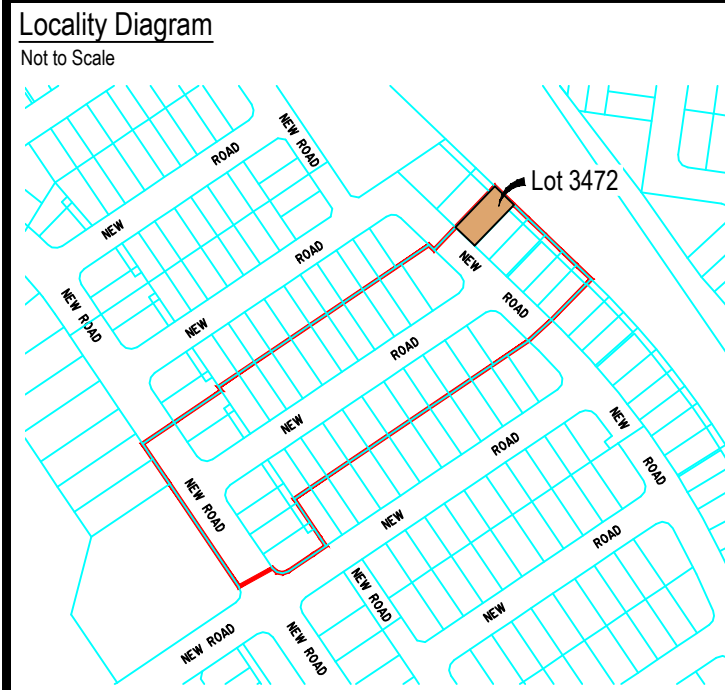
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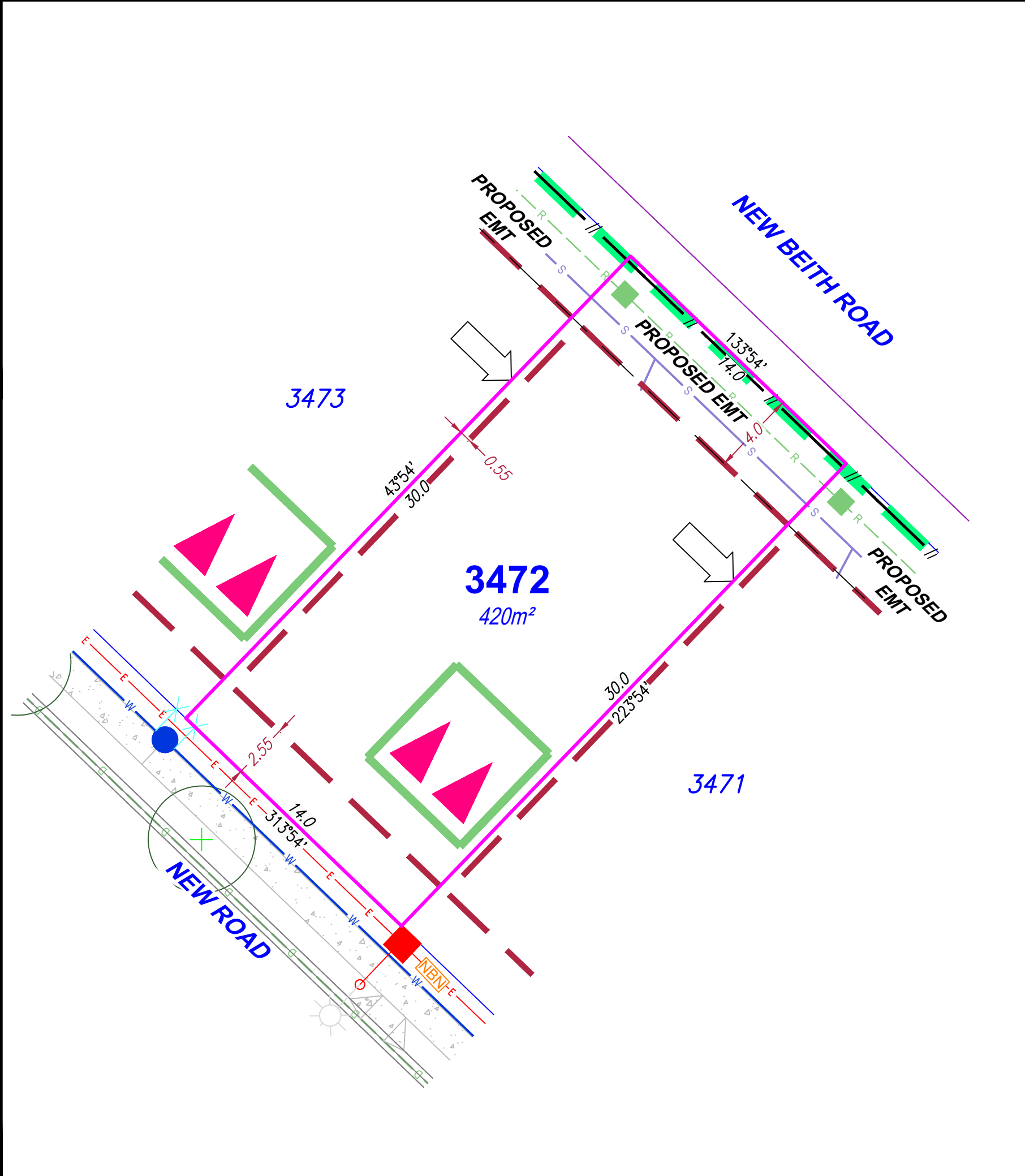
DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3471	ORIG	1 of 1



Legend

Rock Retaining Wall	
Sleeper Retaining Wall	
Landscape Retaining Wall	
Sewer line	
Sewer Manhole	
Roofwater Drainage Line and Catch Pit	
Stormwater Drainage Line	
Stormwater Manhole/ Pit	
Stormwater Kerb Adapter	
Water Main	
Water Conduit	
Water Service Point of Entry	
Underground Electricity, Street Light, Electricity Pillar & NBN	
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	
Concrete Pathway	
Landscape Street Tree	
Zero Setback Building Line	
Indicative Building Envelope	
Bin Pads	
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3472
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	09/10/2025
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Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25
A	Developer Fences Added	28/11/25

SCALE
1:200

SHEET SIZE
A3

2 0 2 4 6 8

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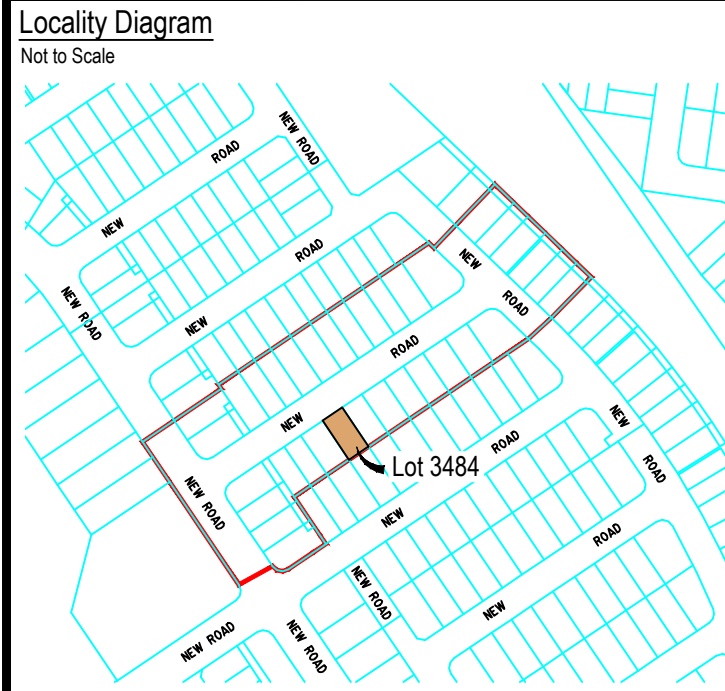
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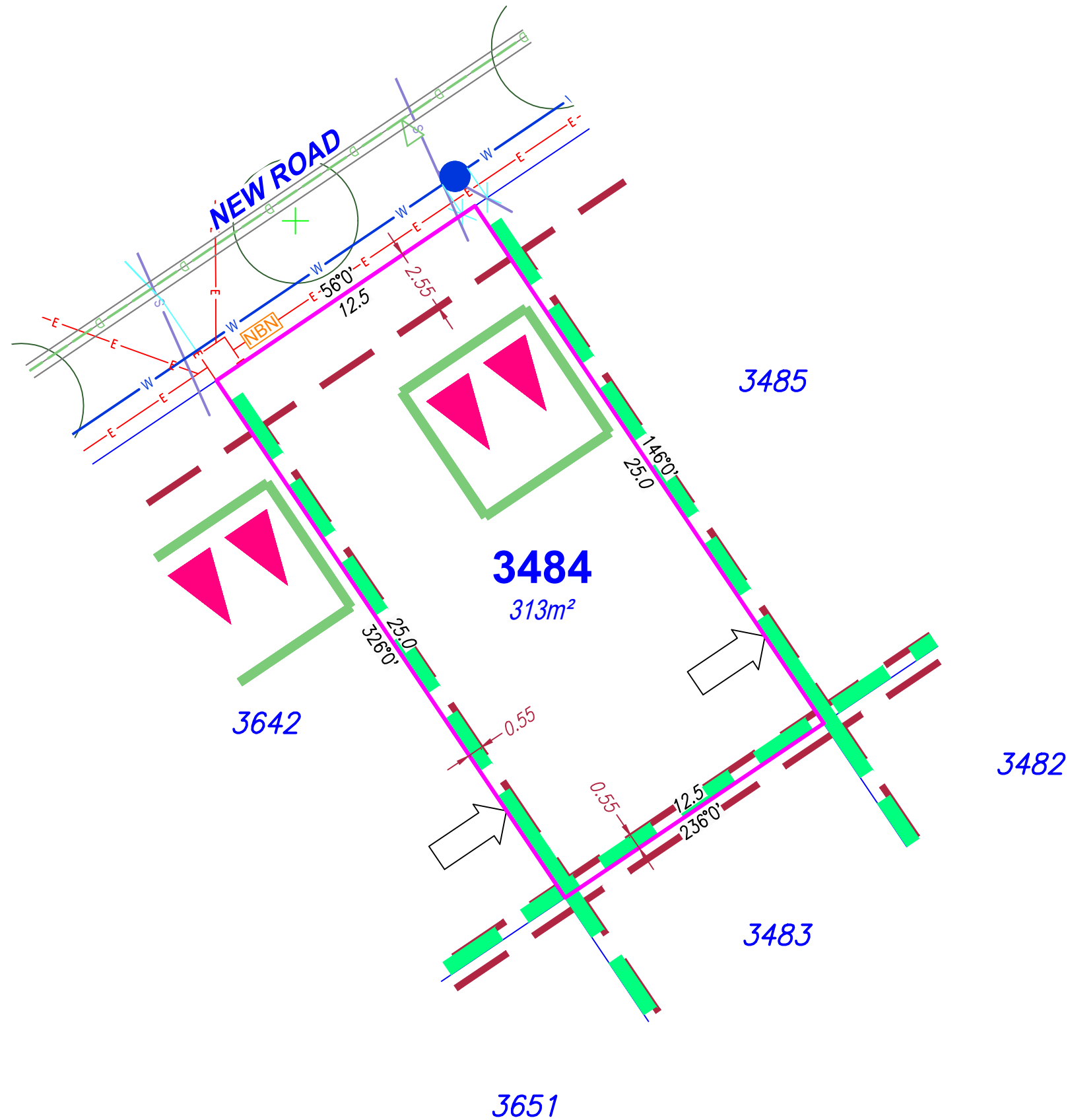
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DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3472	ORIG	1 of 1



Legend	
Rock Retaining Wall	
Sleeper Retaining Wall	
Landscape Retaining Wall	
Sewer line	
Sewer Manhole	
Roofwater Drainage Line and Catch Pit	
Stormwater Drainage Line	
Stormwater Manhole/ Pit	
Stormwater Kerb Adapter	
Water Main	
Water Conduit	
Water Service Point of Entry	
Underground Electricity, Street Light, Electricity Pillar & NBN	
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	
Concrete Pathway	
Landscape Street Tree	
Zero Setback Building Line	
Indicative Building Envelope	
Bin Pads	
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3484
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
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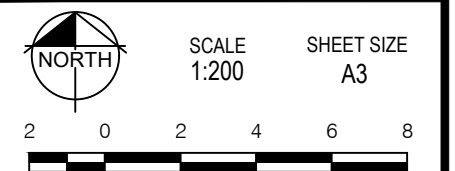
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Indicative Building Envelope depicts setbacks
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Drawn: GBF Date: 09/10/2025

Checked: DL Date: 10/10/2025

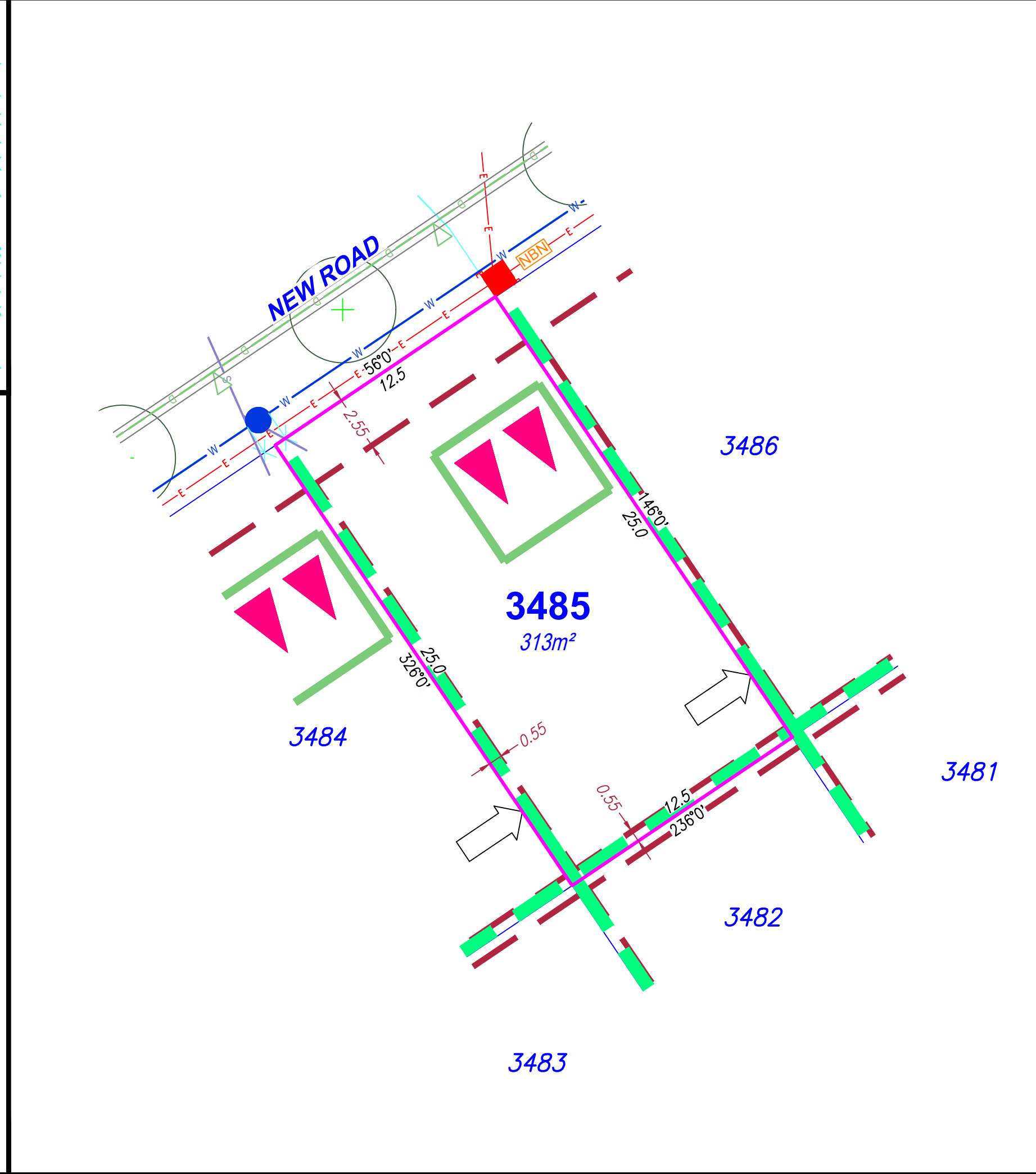
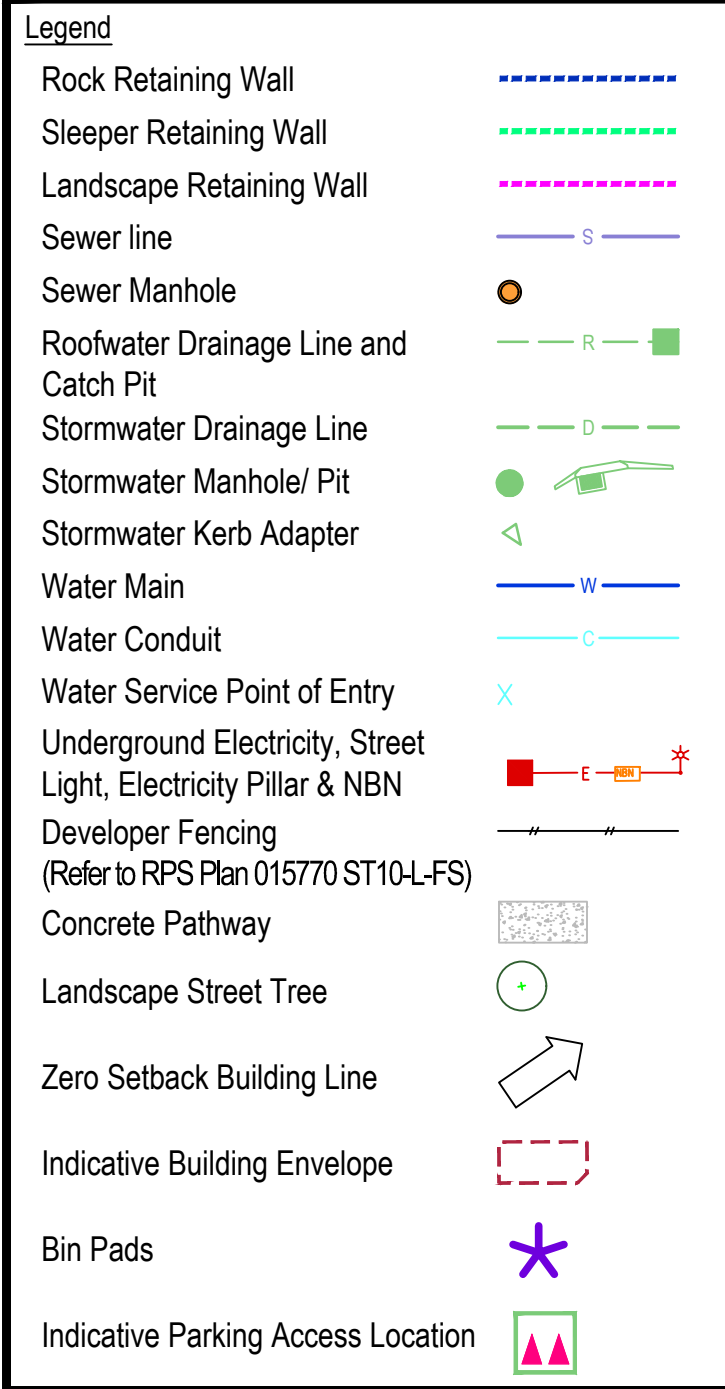
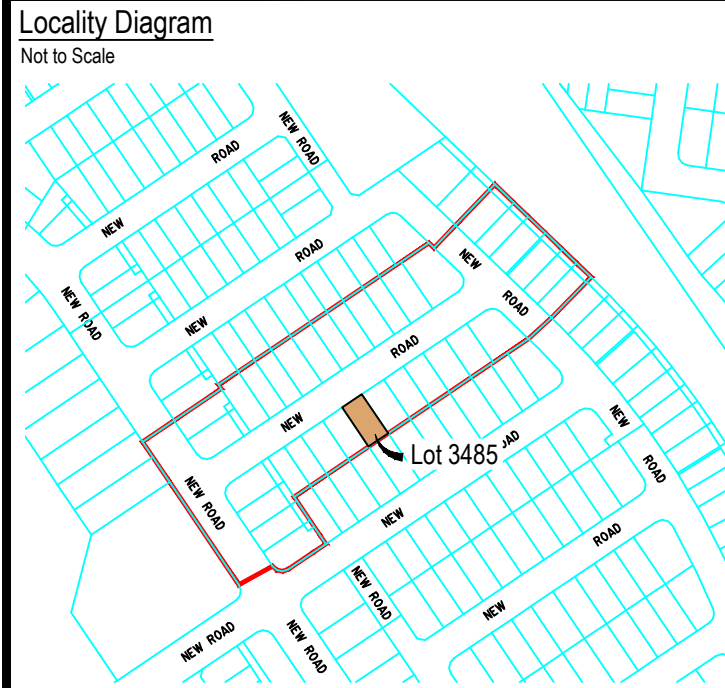
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DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3484	ORIG	1 of 1



SITE PLAN

For Proposed Lot 3485
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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SCALE
1:200

SHEET SIZE
A3

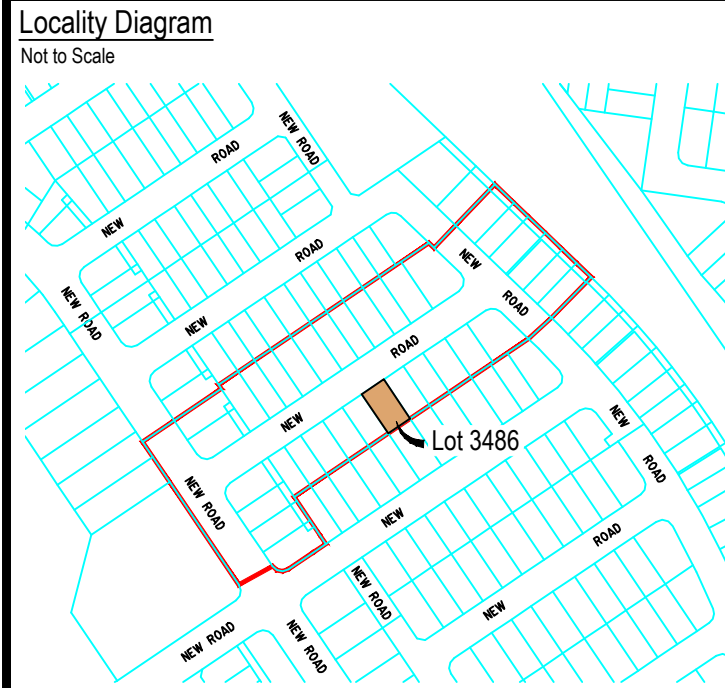
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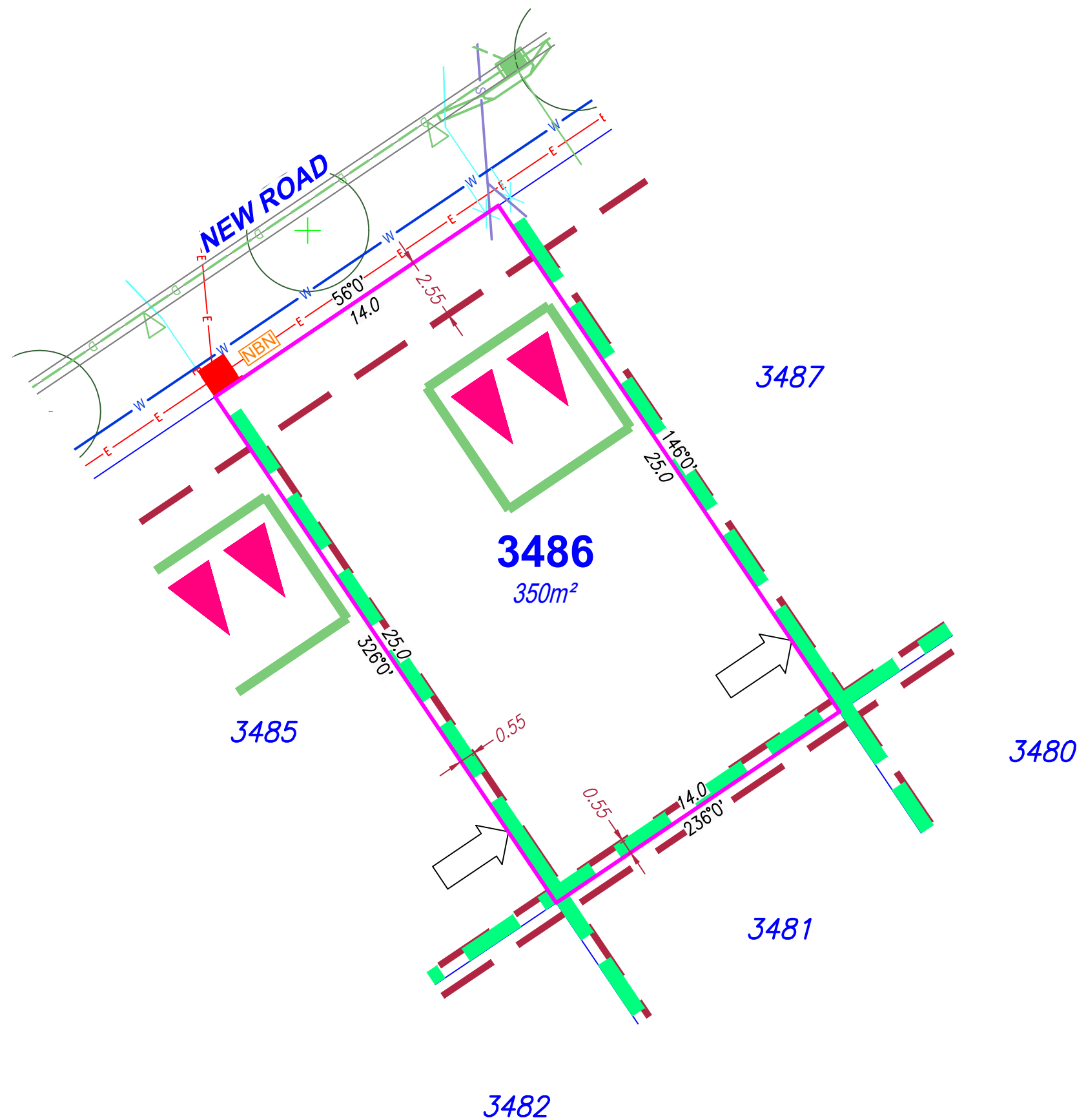
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DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3485	ORIG	1 of 1



Legend	
Rock Retaining Wall	
Sleeper Retaining Wall	
Landscape Retaining Wall	
Sewer line	
Sewer Manhole	
Roofwater Drainage Line and Catch Pit	
Stormwater Drainage Line	
Stormwater Manhole/ Pit	
Stormwater Kerb Adapter	
Water Main	
Water Conduit	
Water Service Point of Entry	
Underground Electricity, Street Light, Electricity Pillar & NBN	
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	
Concrete Pathway	
Landscape Street Tree	
Zero Setback Building Line	
Indicative Building Envelope	
Bin Pads	
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3486
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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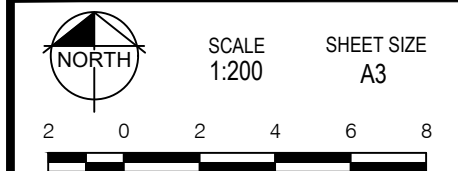
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ORIG	Issue to Client	10/10/25	





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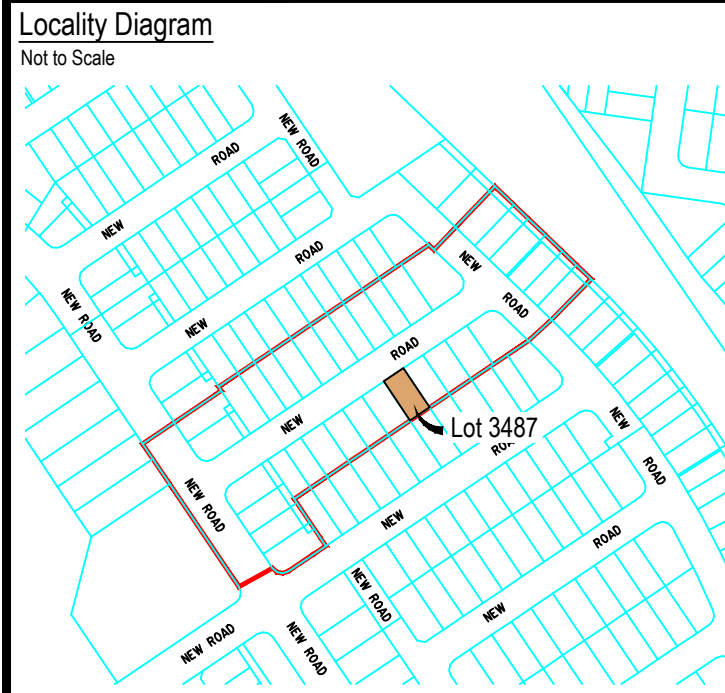
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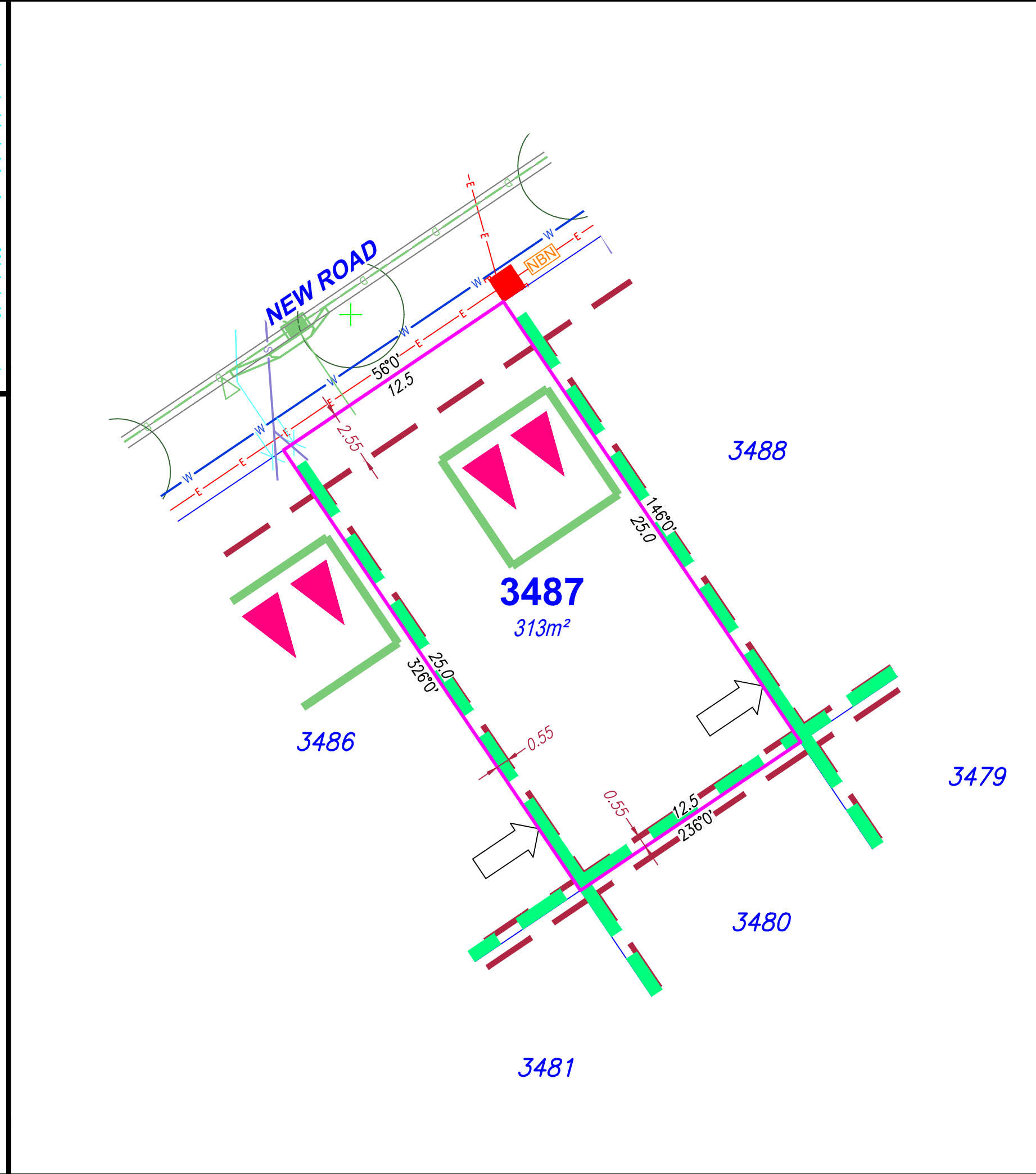
DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3486	ORIG	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	[Symbol] — E — [Symbol]
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	[Arrow]
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3487
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	09/10/2025
Checked:	DL	Date:	10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25

SCALE
1:200

SHEET SIZE
A3

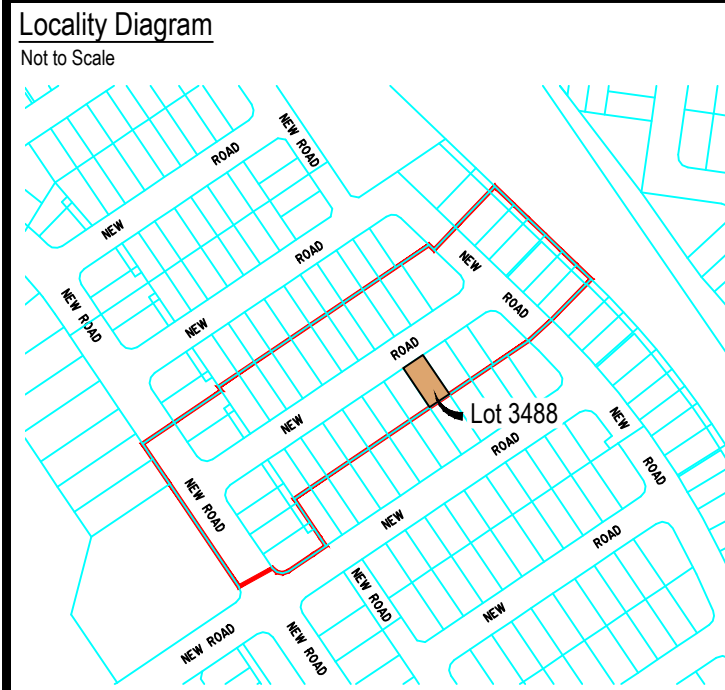
RPS AAP Consulting Pty Ltd
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ABN 97 117 883 173
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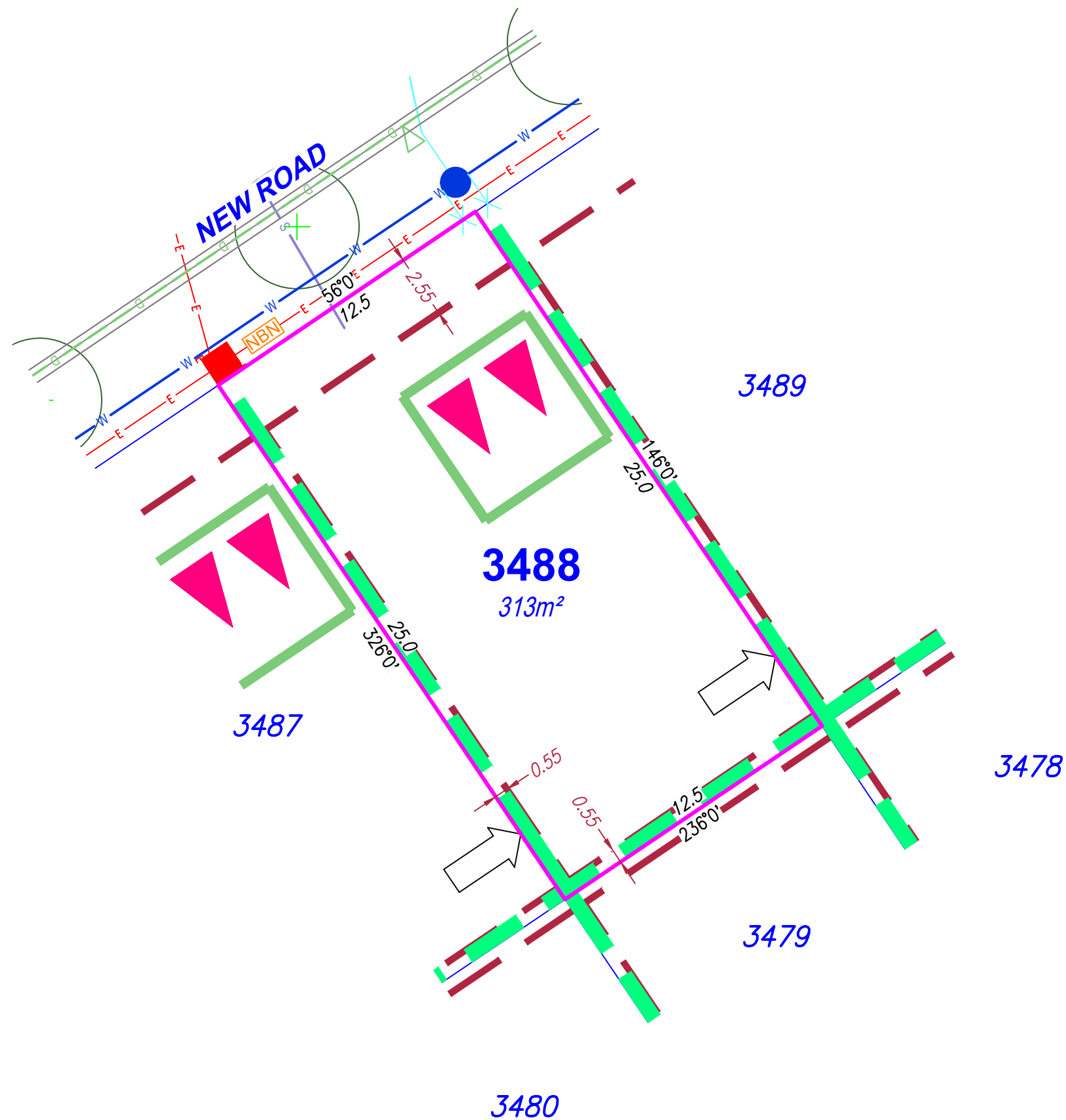
DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3487	ORIG	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	[Arrow]
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3488
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
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Plan of Development information Supplied by
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Indicative Building Envelope depicts setbacks
measured to outermost projection.

Drawn: GBF Date: 09/10/2025

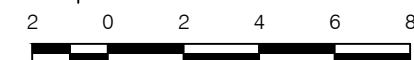
Checked: DL Date: 10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25



SCALE
1:200

SHEET SIZE
A3



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Ipswich Qld 4305

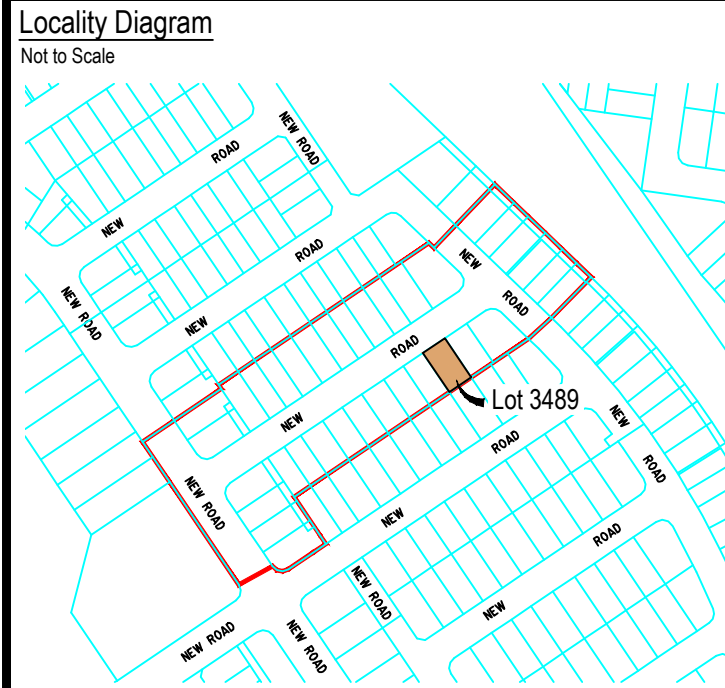
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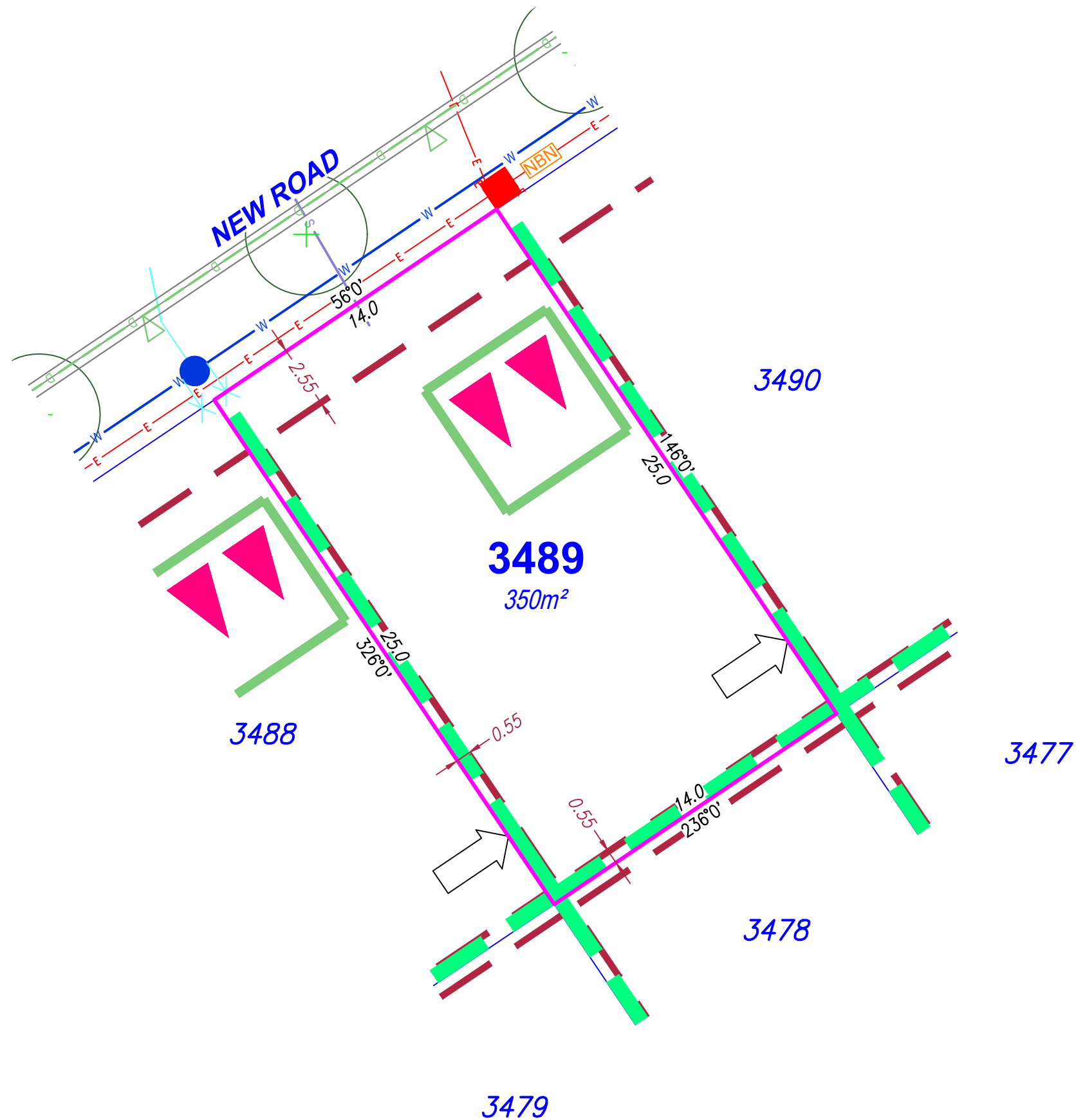
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DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3488	ORIG	1 of 1



Legend	
Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	----- S -----
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	----- R -----
Stormwater Drainage Line	----- D -----
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	----- W -----
Water Conduit	----- C -----
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	----- E -----
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	=====
Concrete Pathway	-----
Landscape Street Tree	○
Zero Setback Building Line	→
Indicative Building Envelope	-----
Bin Pads	★
Indicative Parking Access Location	-----



SITE PLAN

For Proposed Lot 3489
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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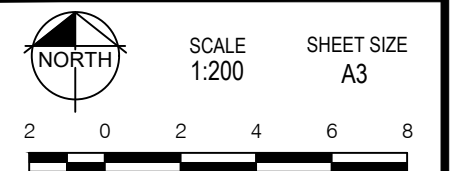
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Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn: GBF Date: 09/10/2025

Checked: DL Date: 10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25



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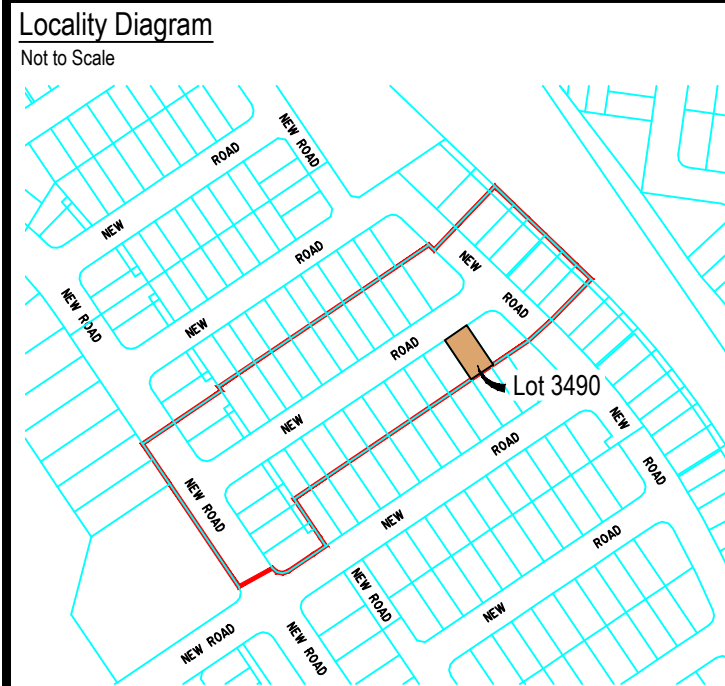
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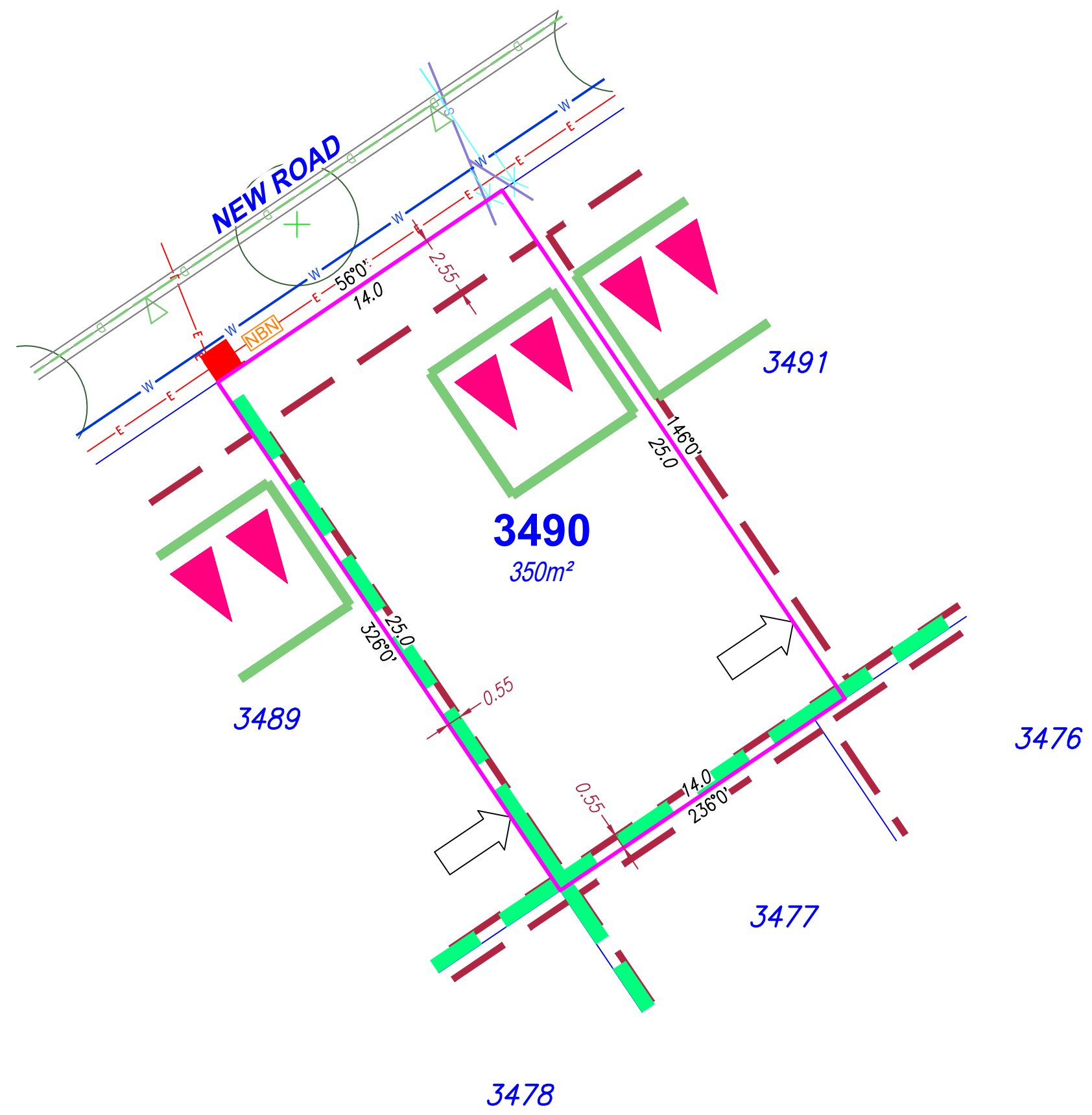
DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3489	ORIG	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	[Arrow]
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3490
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	09/10/2025
Checked:	DL	Date:	10/10/2025
Issue	Description	Date	
DRAFT	Draft plans for review	09/10/25	
ORIG	Issue to Client	10/10/25	

SCALE
1:200

SHEET SIZE
A3

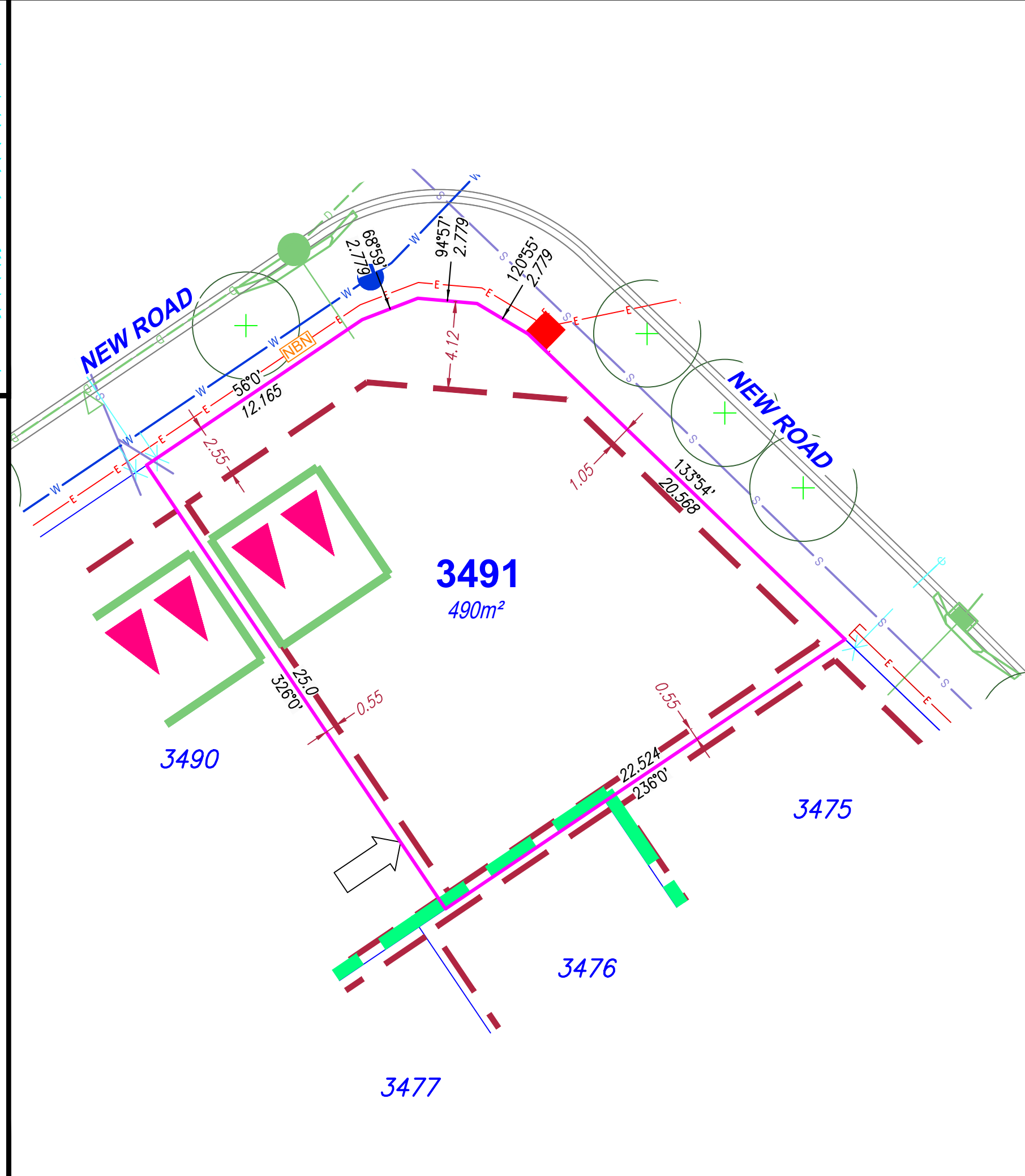
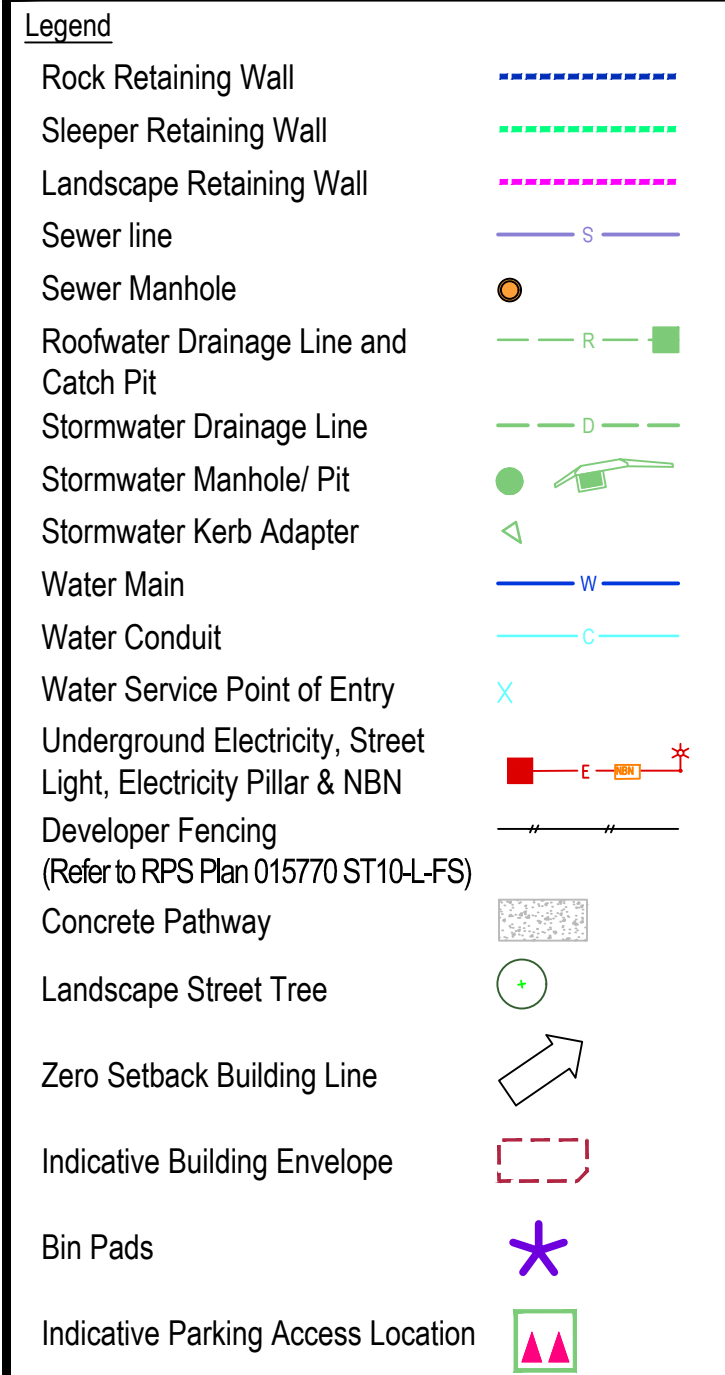
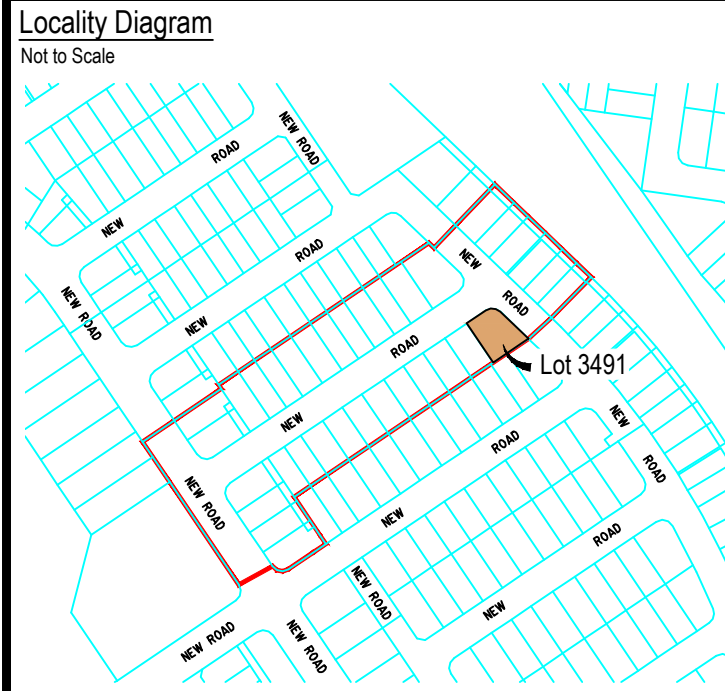
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DWG. TLX370977-014-Stg10F-Site			
PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3490	ORIG	1 of 1



SITE PLAN

For Proposed Lot 3491
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

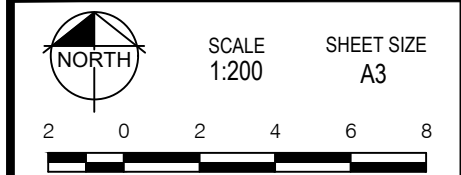
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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

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Drawn:	GBF	Date:	09/10/2025
Checked:	DL	Date:	10/10/2025
Issue	Description	Date	
DRAFT	Draft plans for review	09/10/25	
ORIG	Issue to Client	10/10/25	





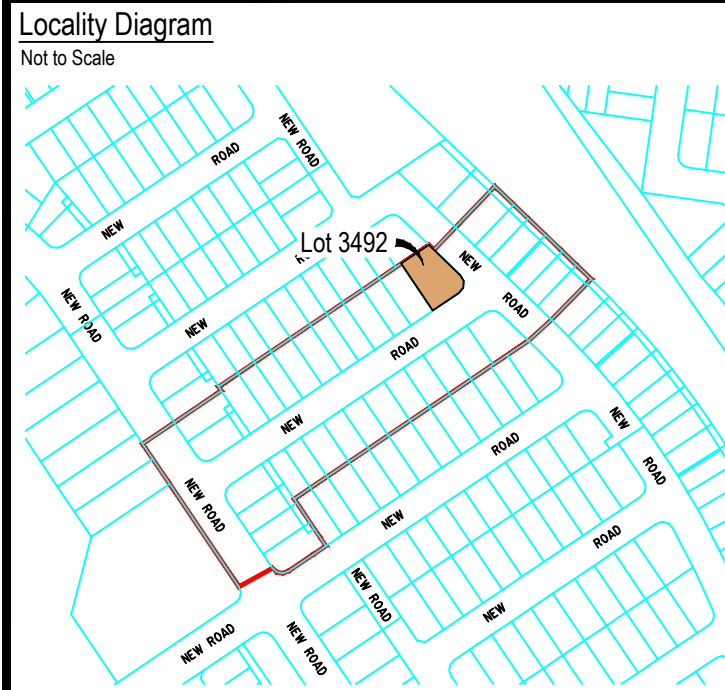
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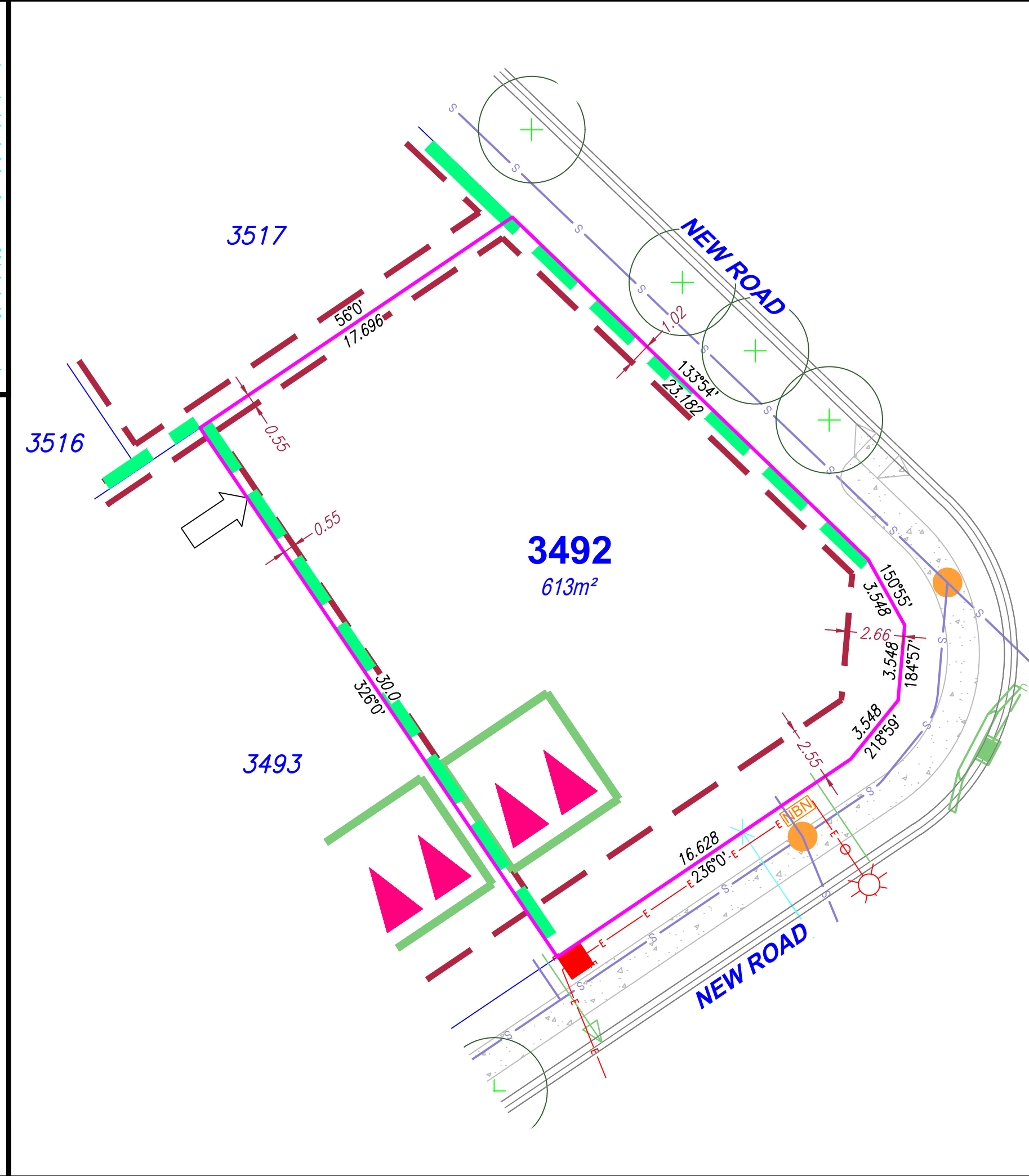
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DWG. TLX370977-014-Stg10F-Site			
PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3491	ORIG	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E —
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	—
Concrete Pathway	▨
Landscape Street Tree	⊕
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN

For Proposed Lot 3492
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Drawn:	GBF	Date:	09/10/2025
Checked:	DL	Date:	10/10/2025
Issue	Description	Date	
DRAFT	Draft plans for review	09/10/25	
ORIG	Issue to Client	10/10/25	

SCALE
1:200

SHEET SIZE
A3

2 0 2 4 6 8

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DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3492	ORIG	1 of 1

Locality Diagram

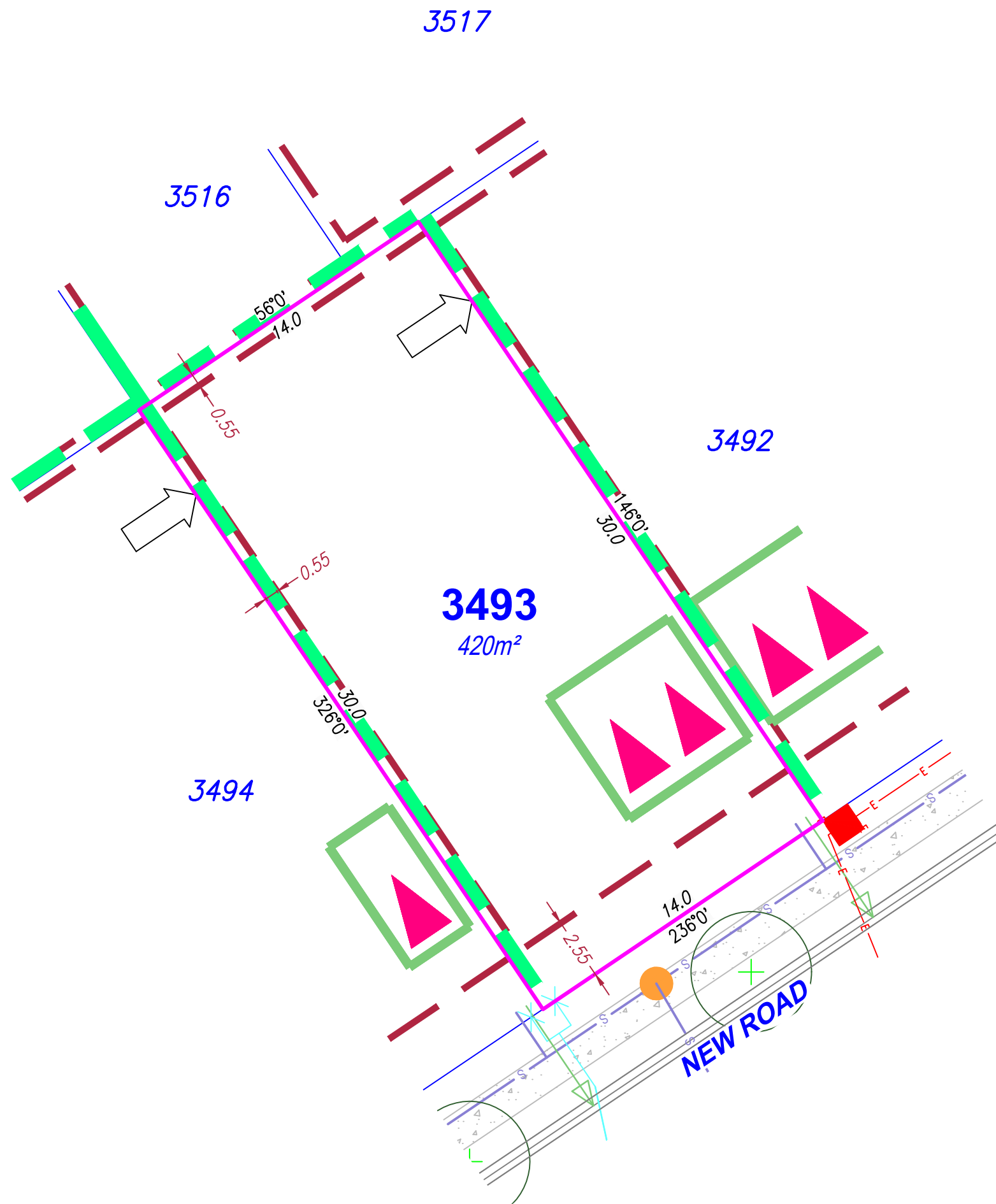
Not to Scale



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E —
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— // —
Concrete Pathway	▒
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - - -
Bin Pads	✱
Indicative Parking Access Location	▢ ▲

3515



SITE PLAN

For Proposed Lot 3493
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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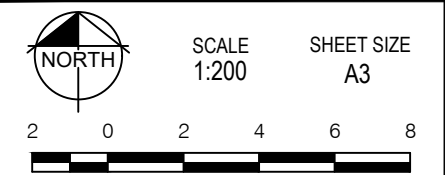
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Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn: GBF Date: 09/10/2025

Checked: DL Date: 10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25





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DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3493	ORIG	1 of 1

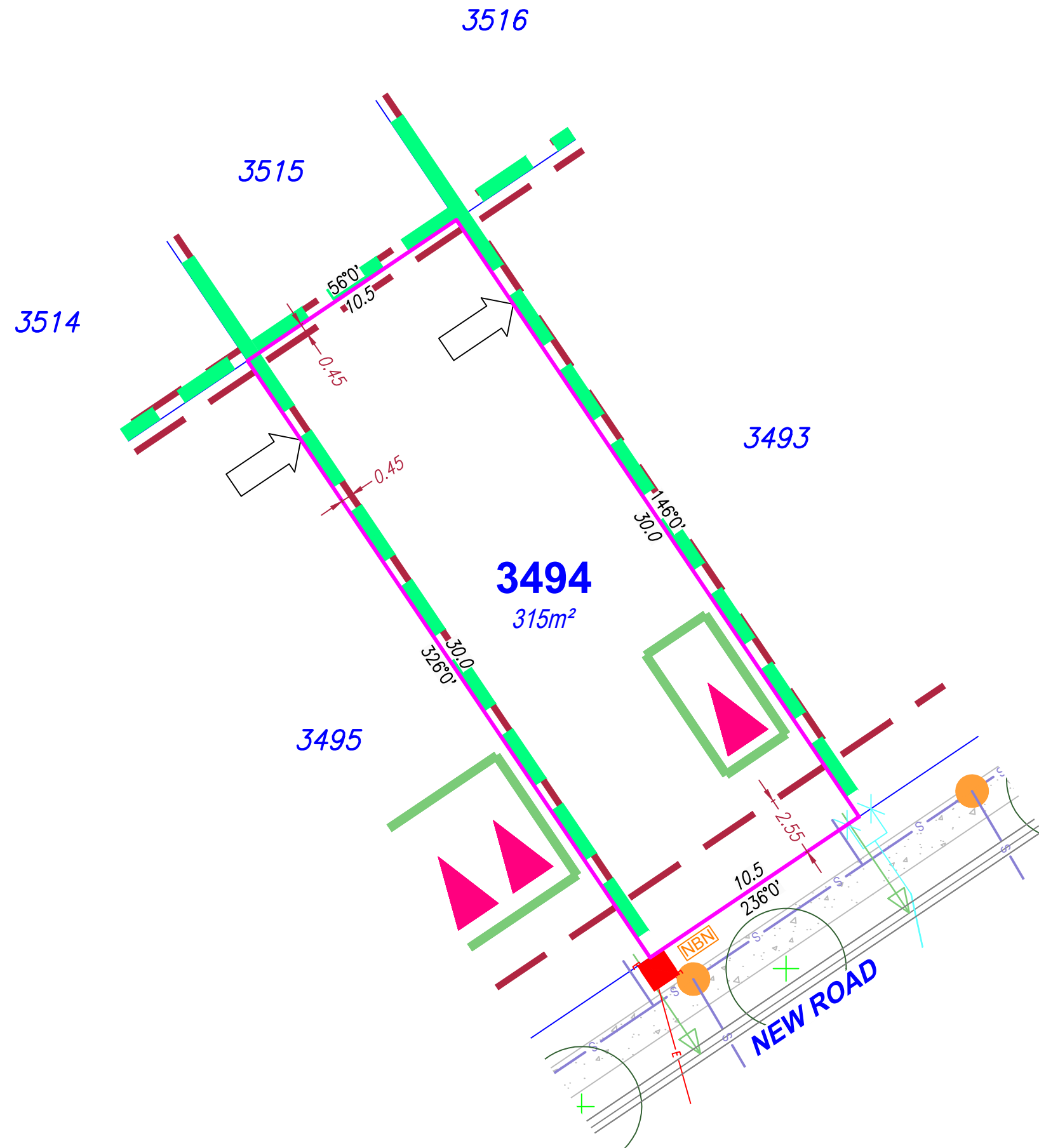
Locality Diagram

Not to Scale



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3494
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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drawings, supplied by Colliers and may differ
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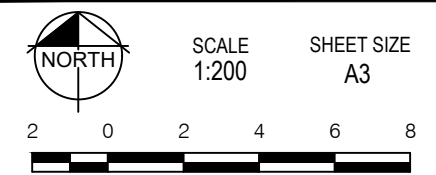
Plan of Development information Supplied by
RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks
measured to outermost projection.

Drawn: GBF Date: 09/10/2025

Checked: DL Date: 10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25





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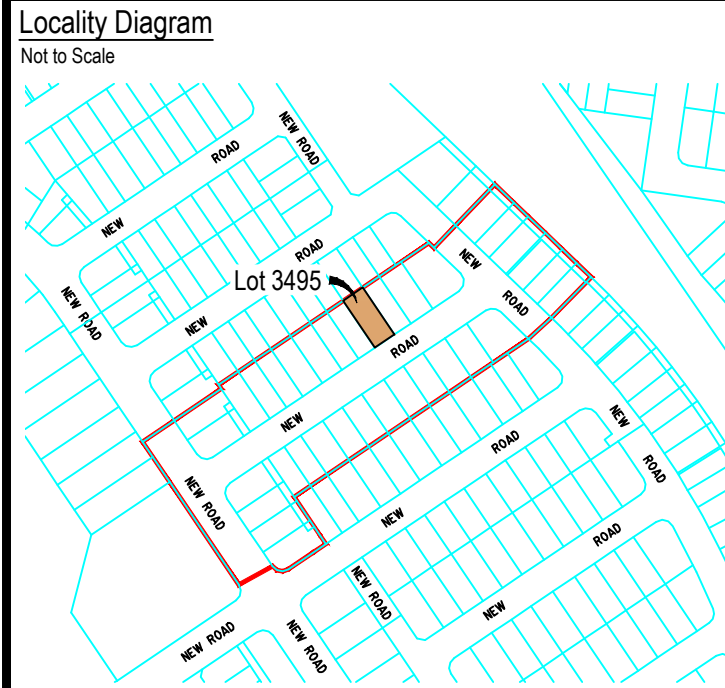
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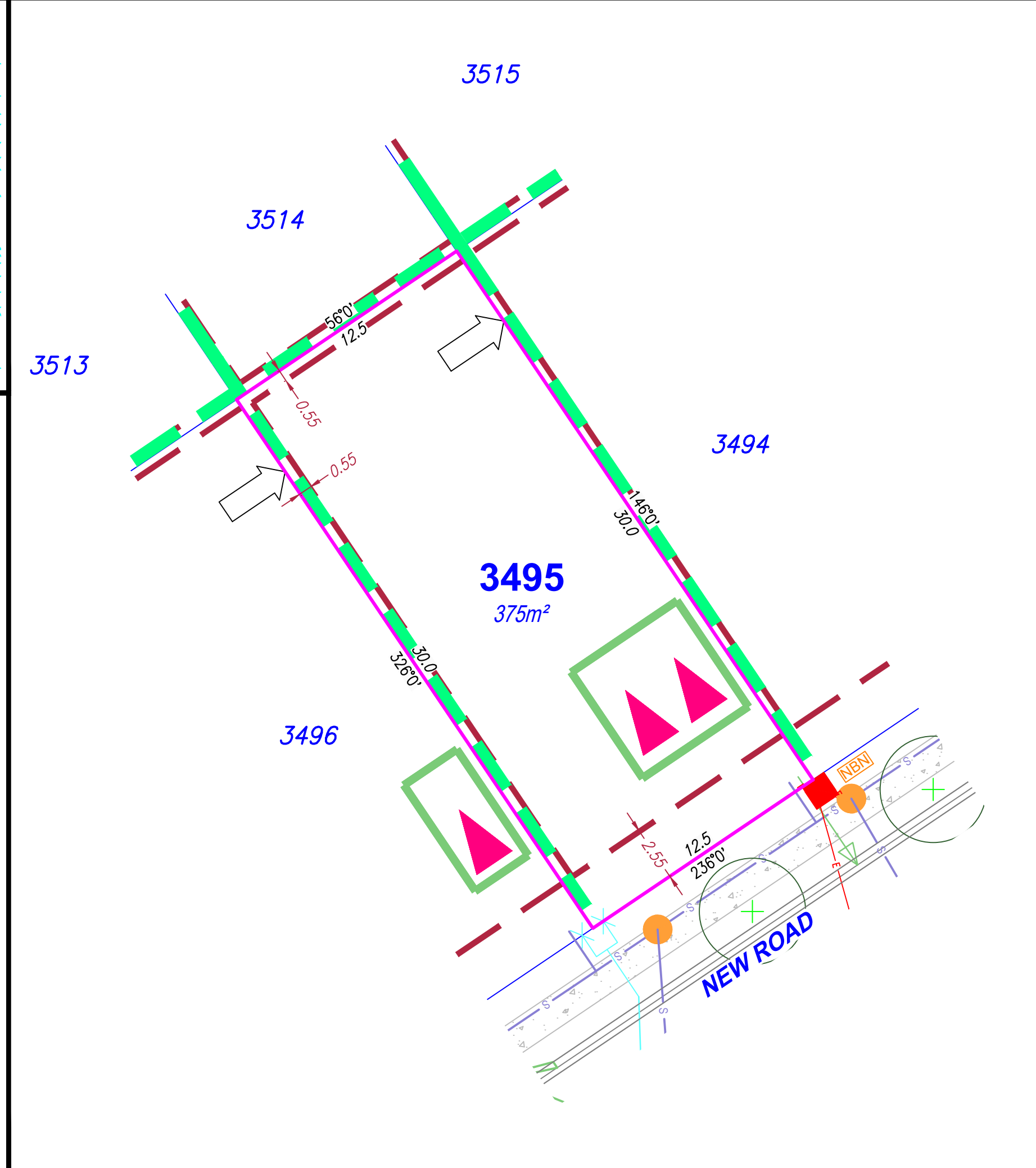
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DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3494	ORIG	1 of 1



Legend	
Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — NBN — *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	■
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	■



SITE PLAN

For Proposed Lot 3495
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	09/10/2025
Checked:	DL	Date:	10/10/2025
Issue	Description	Date	
DRAFT	Draft plans for review	09/10/25	
ORIG	Issue to Client	10/10/25	

NORTH

SCALE
1:200

SHEET SIZE
A3

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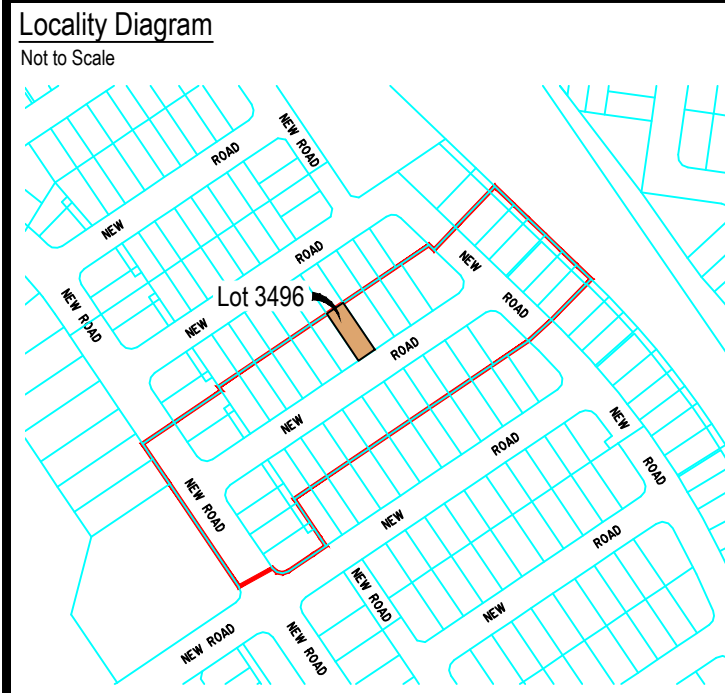
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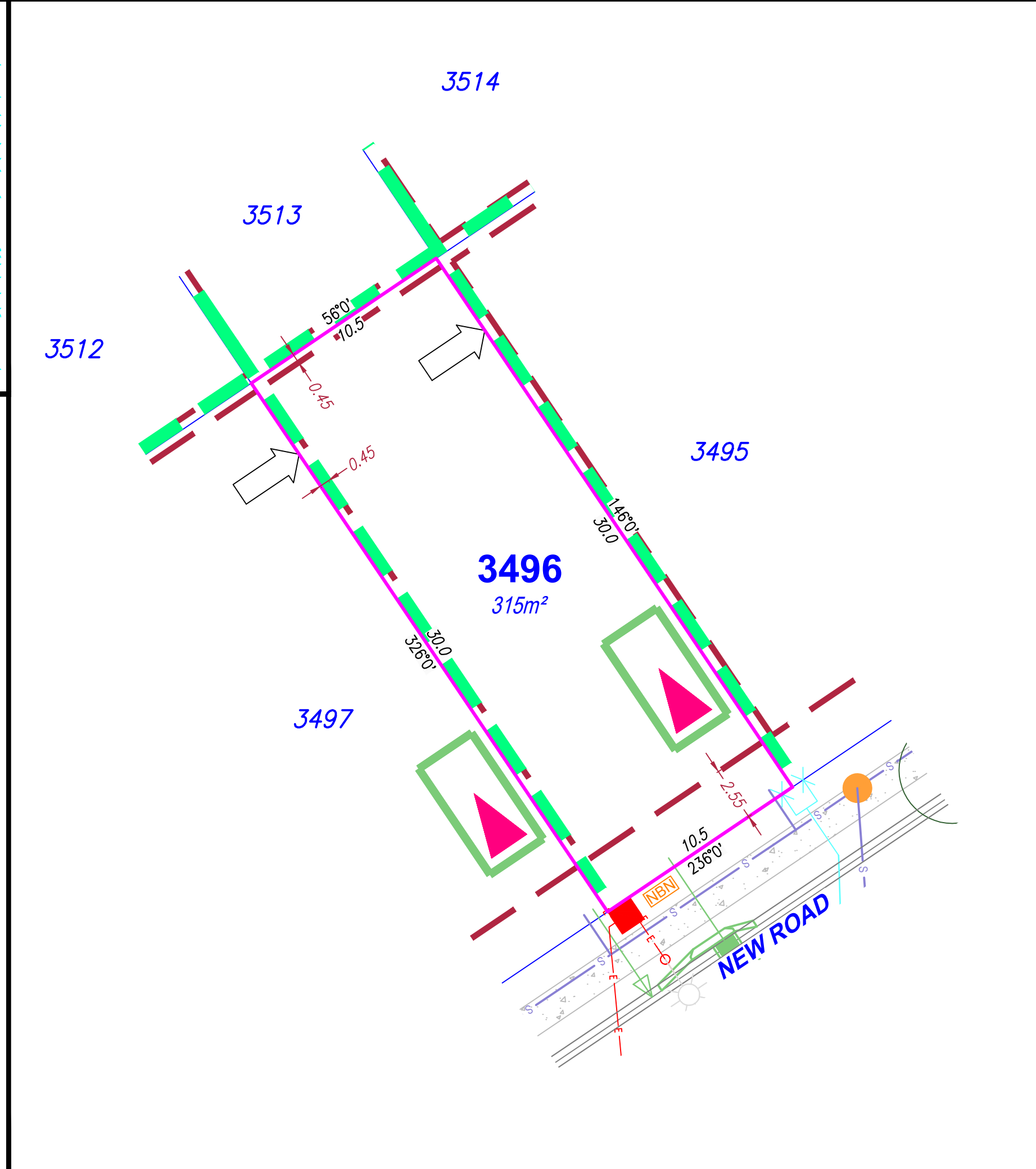
DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3495	ORIG	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	[Symbol] — E — [Symbol]
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	[Arrow]
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3496
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	09/10/2025
Checked:	DL	Date:	10/10/2025
Issue	Description	Date	
DRAFT	Draft plans for review	09/10/25	
ORIG	Issue to Client	10/10/25	

SCALE
1:200

SHEET SIZE
A3

2 0 2 4 6 8

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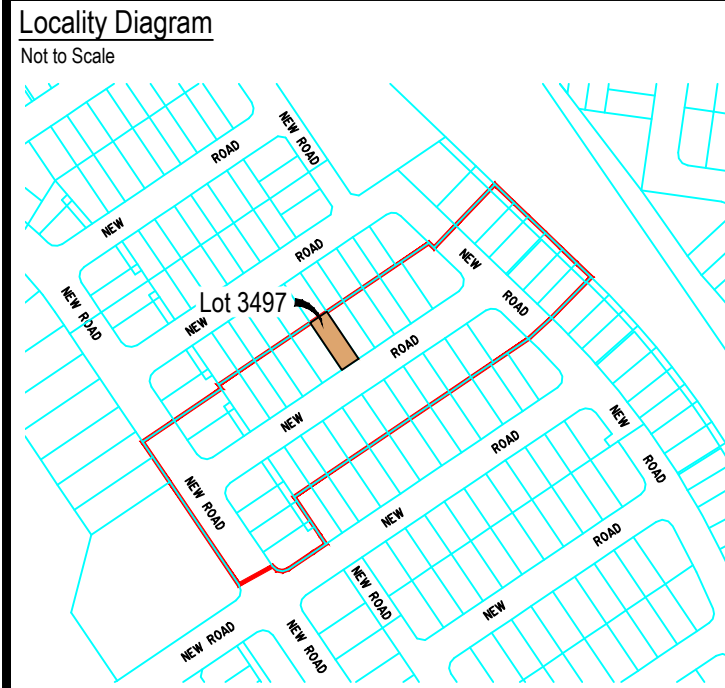
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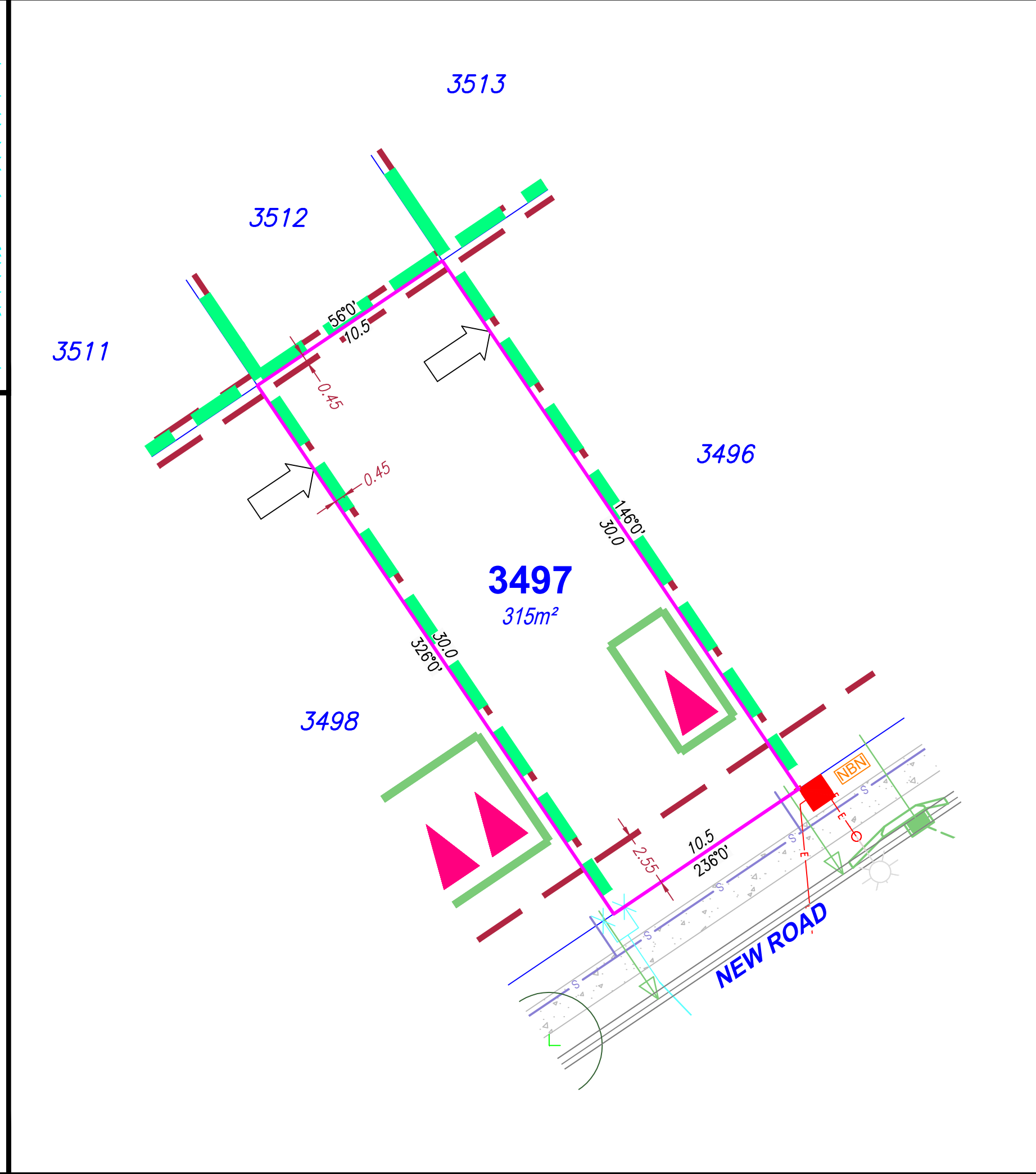
DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3496	ORIG	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3497
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	09/10/2025
Checked:	DL	Date:	10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25

NORTH

SCALE
1:200

SHEET SIZE
A3

2 0 2 4 6 8

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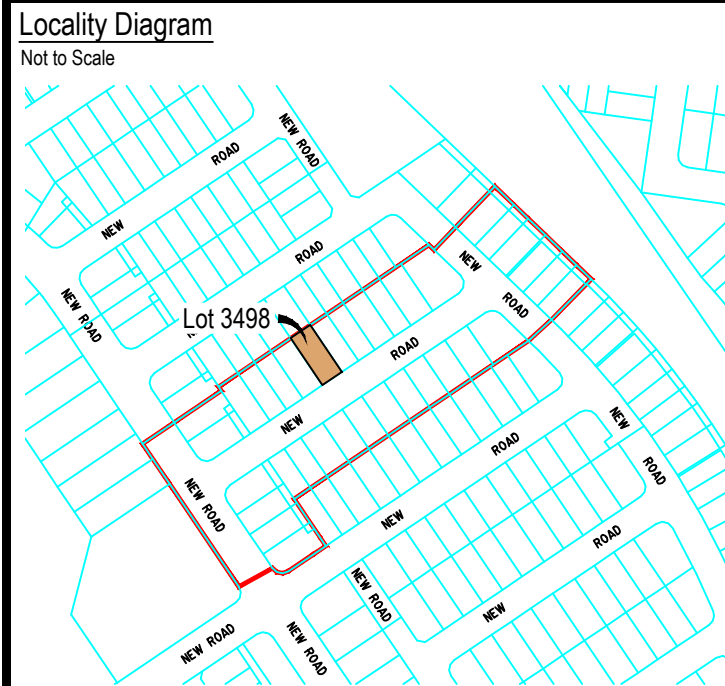
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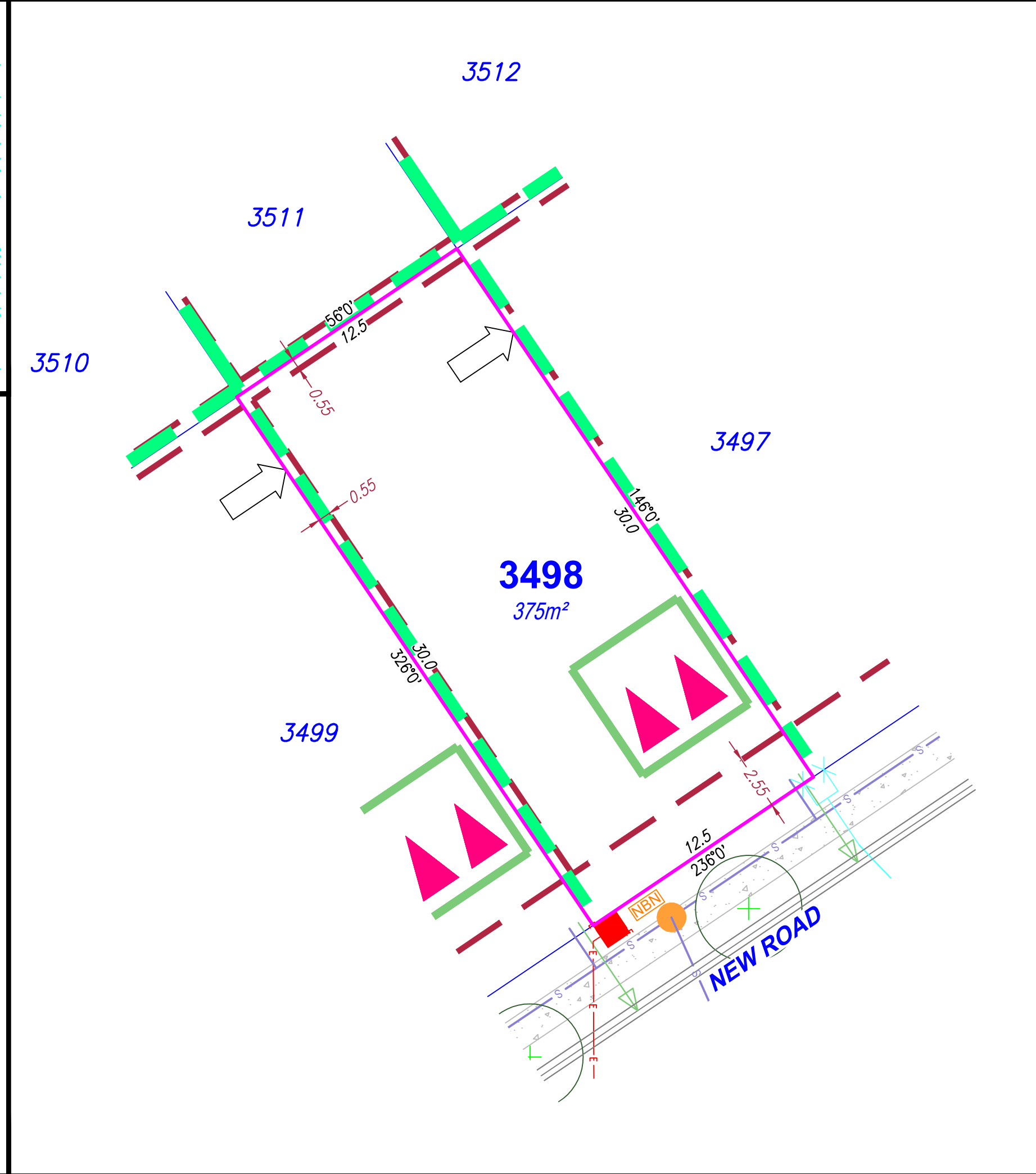
DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3497	ORIG	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E —
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— // —
Concrete Pathway	
Landscape Street Tree	○ +
Zero Setback Building Line	
Indicative Building Envelope	-----
Bin Pads	✱
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3498
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

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Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	09/10/2025
Checked:	DL	Date:	10/10/2025
Issue	Description	Date	
DRAFT	Draft plans for review	09/10/25	
ORIG	Issue to Client	10/10/25	

SCALE
1:200

SHEET SIZE
A3

2 0 2 4 6 8

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PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3498	ORIG	1 of 1

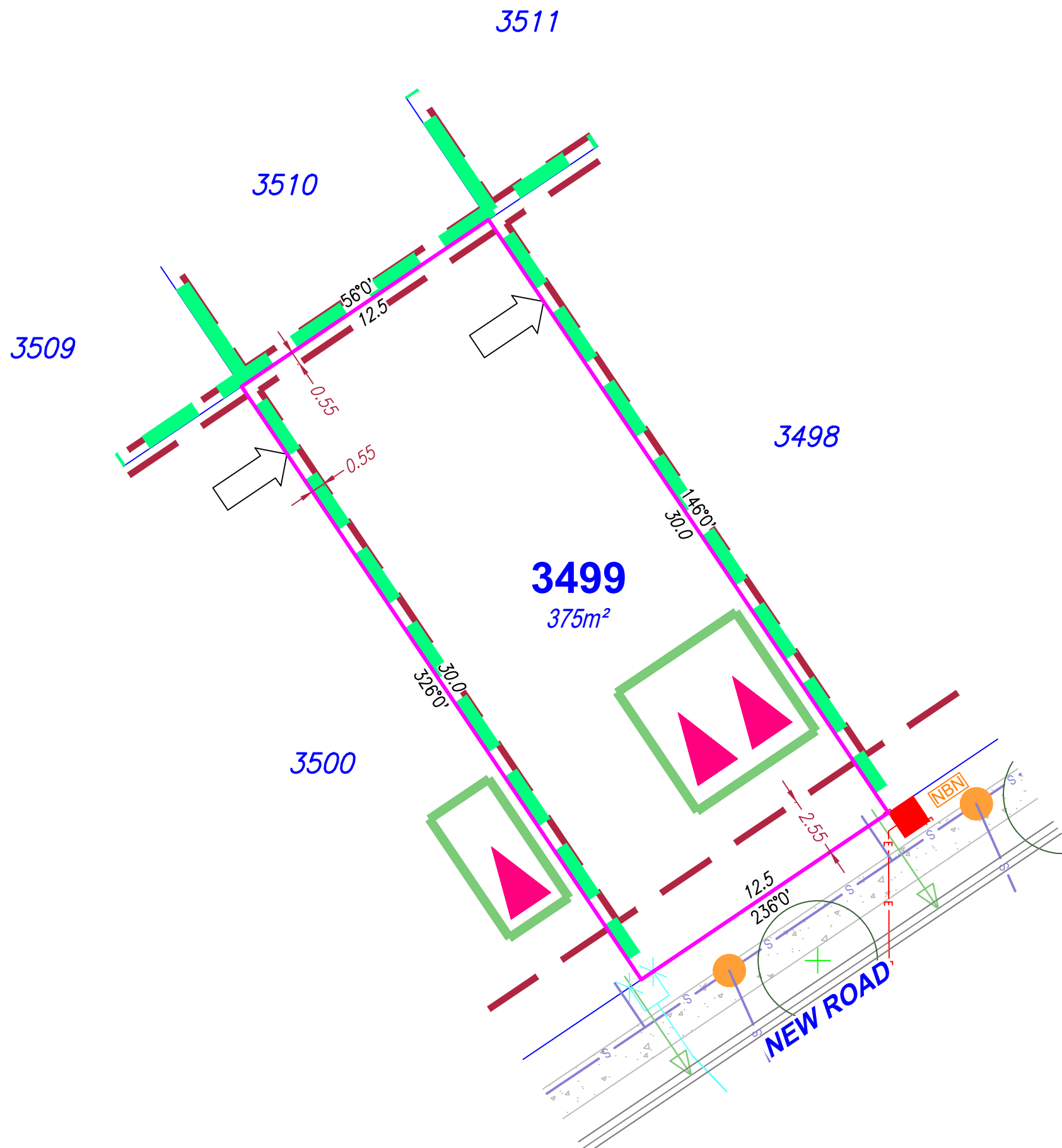
Locality Diagram

Not to Scale



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3499
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Indicative Building Envelope depicts setbacks measured to outermost projection.

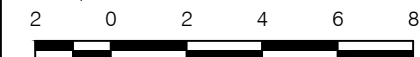
Drawn: GBF Date: 09/10/2025

Checked: DL Date: 10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25



SCALE 1:200
SHEET SIZE A3

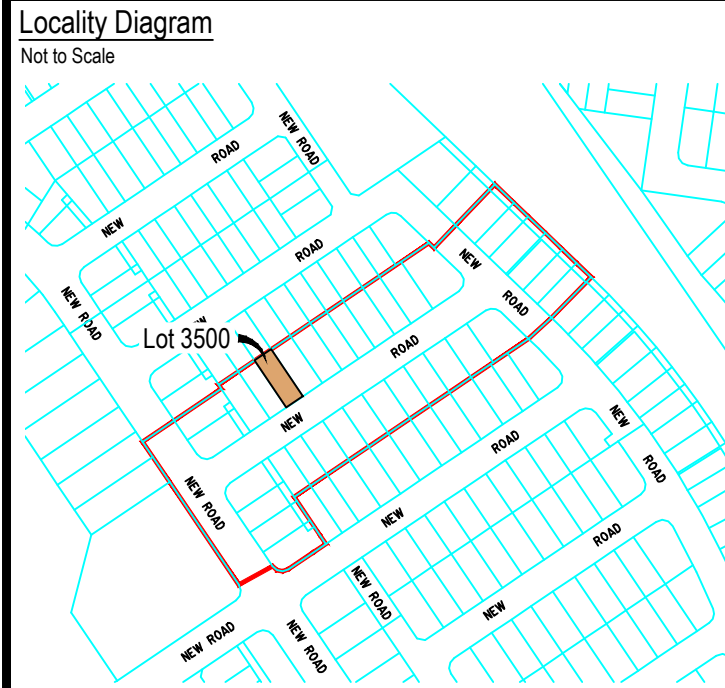


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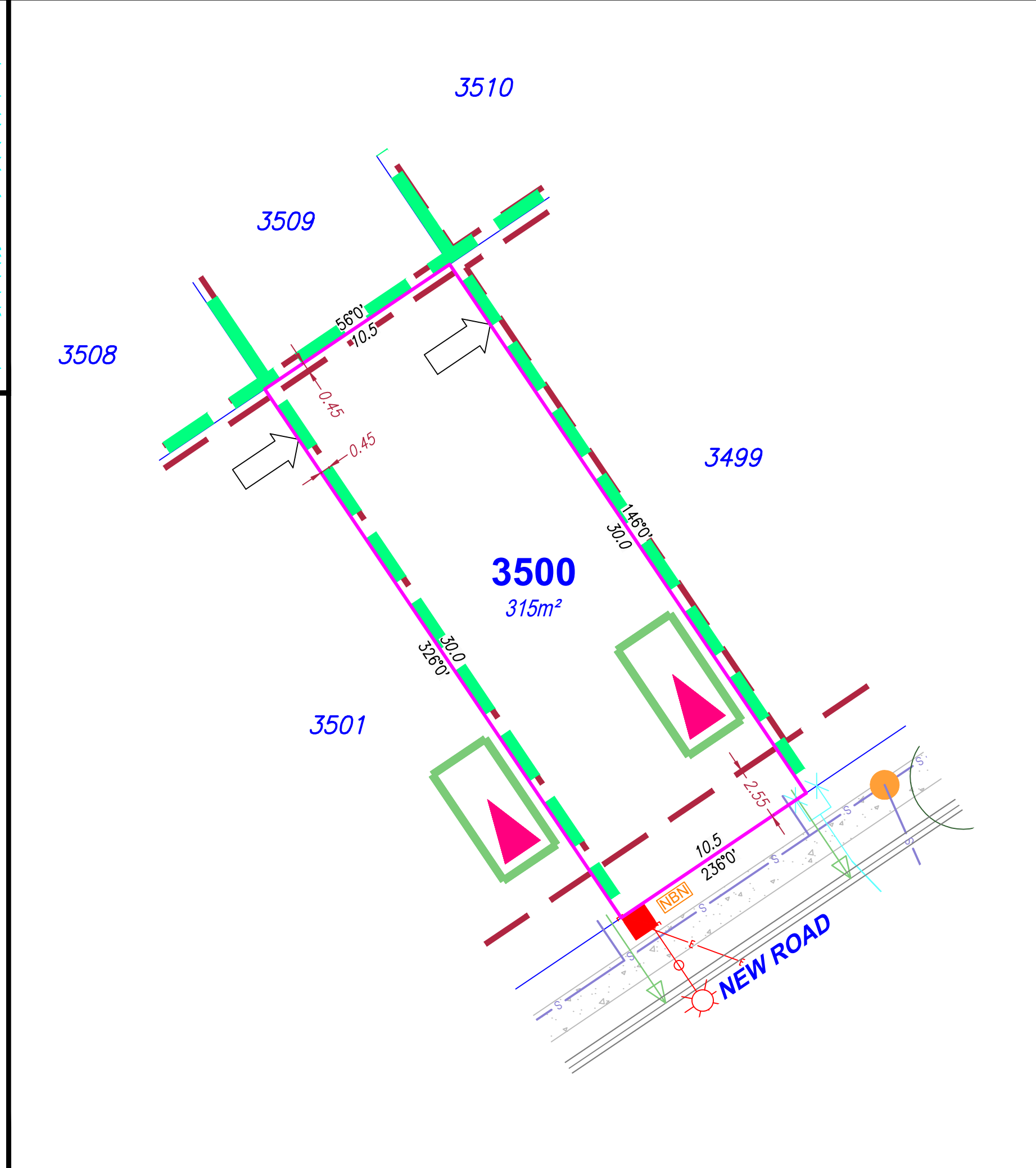
DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3499	ORIG	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	[Symbol] — E — [Symbol]
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3500
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Indicative Building Envelope depicts setbacks measured to outermost projection.

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Issue	Description	Date	
DRAFT	Draft plans for review	09/10/25	
ORIG	Issue to Client	10/10/25	

SCALE
1:200

SHEET SIZE
A3

2 0 2 4 6 8

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PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3500	ORIG	1 of 1

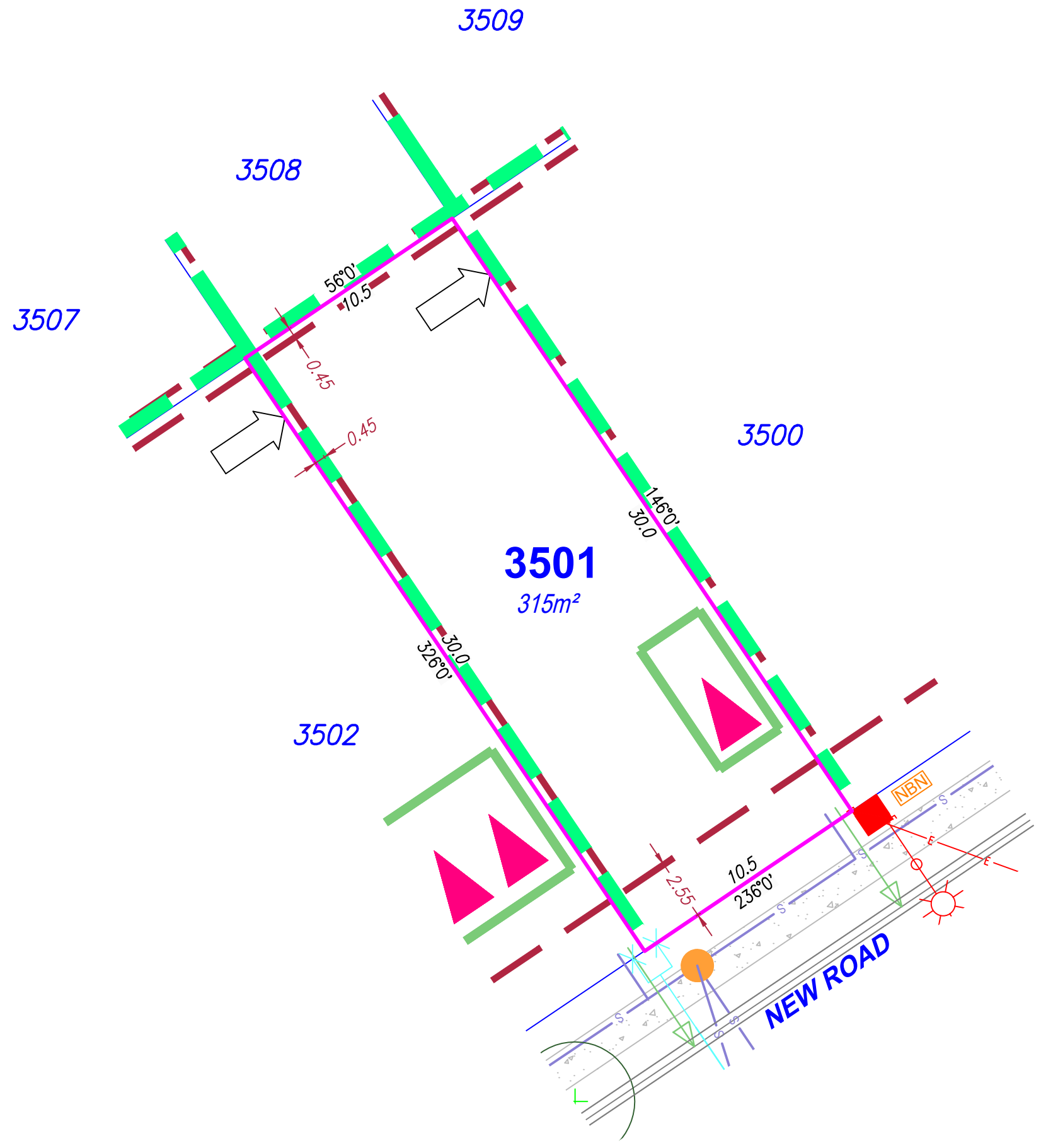
Locality Diagram

Not to Scale



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	[Symbol] — E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3501
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	09/10/2025
Checked:	DL	Date:	10/10/2025
Issue	Description	Date	
DRAFT	Draft plans for review	09/10/25	
ORIG	Issue to Client	10/10/25	

SCALE
1:200

SHEET SIZE
A3

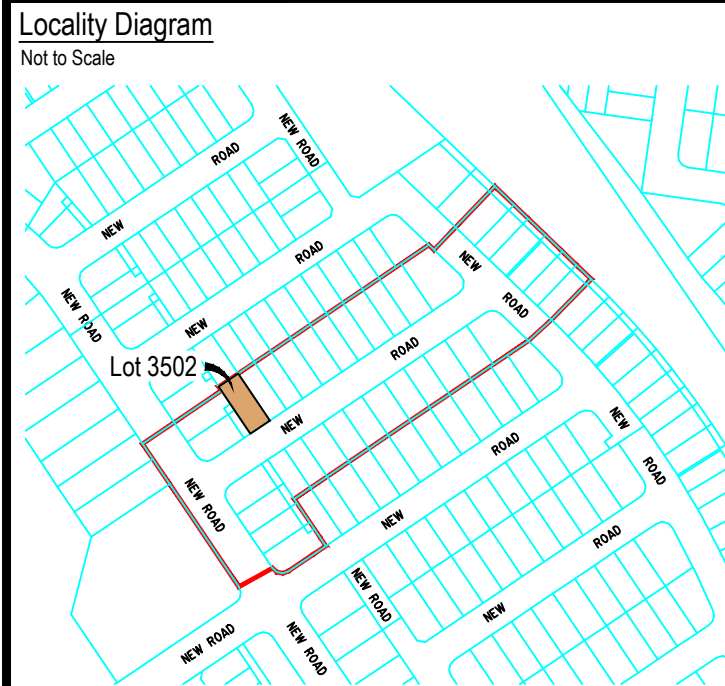
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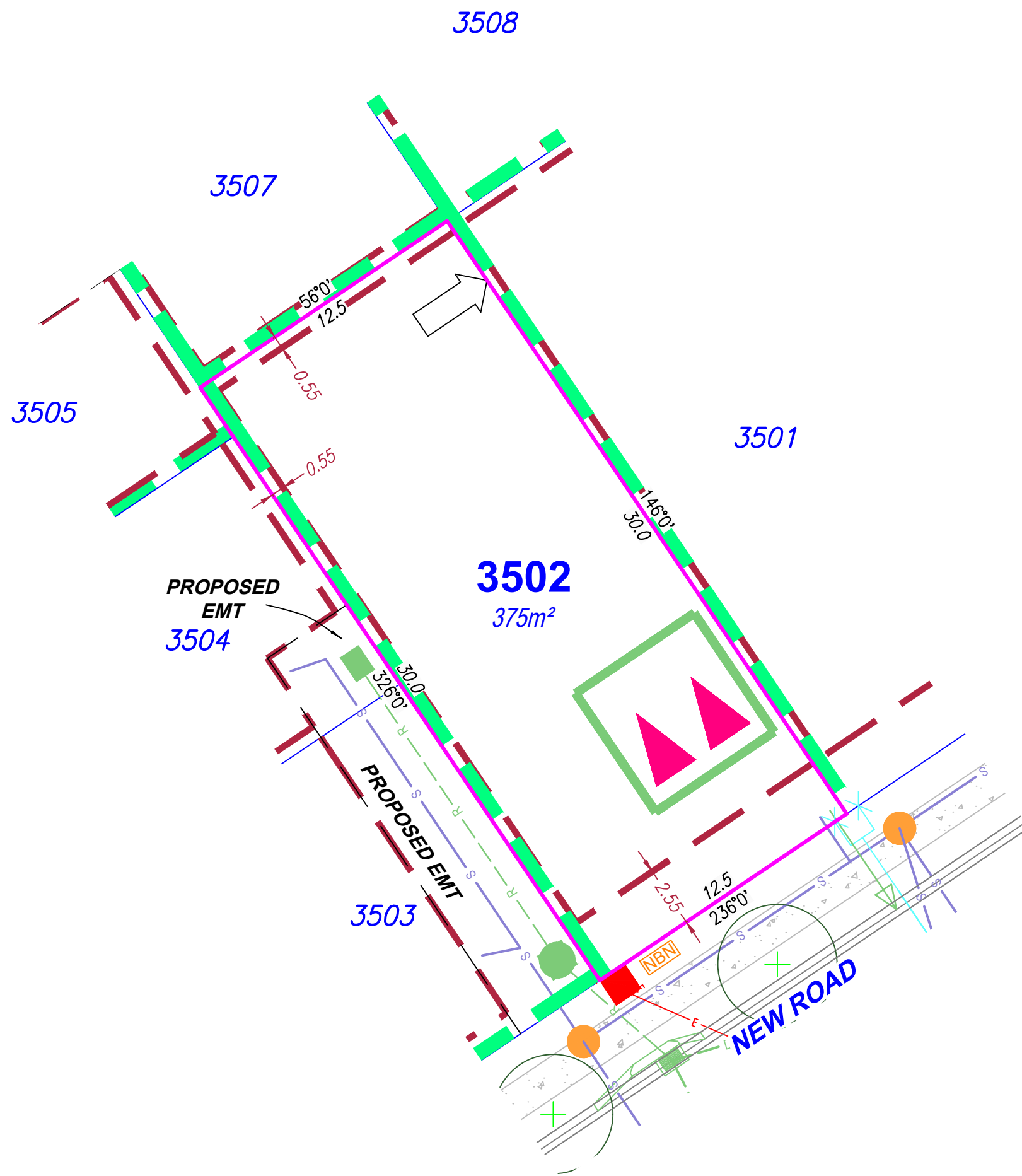
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DWG. TLX370977-014-Stg10F-Site			
PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3501	ORIG	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — [NBN] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	[Dashed Box]
Bin Pads	✱
Indicative Parking Access Location	[Green Box with Triangles]



SITE PLAN

For Proposed Lot 3502
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	09/10/2025
Checked:	DL	Date:	10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25

NORTH

SCALE
1:200

SHEET SIZE
A3

2 0 2 4 6 8

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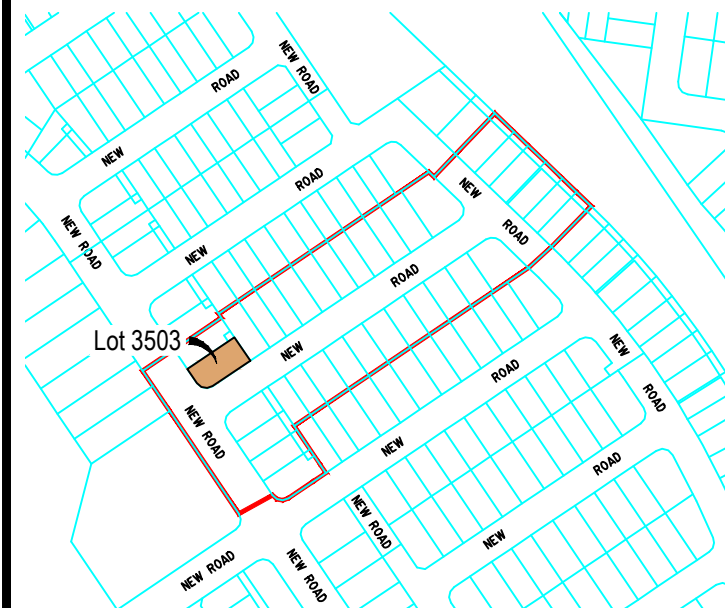
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DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3502	ORIG	1 of 1

Locality Diagram

Not to Scale



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — ■
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— — —
Concrete Pathway	▨
Landscape Street Tree	⊕
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN

For Proposed Lot 3503
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

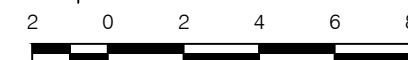
Drawn: GBF Date: 09/10/2025

Checked: DL Date: 10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25
B	Driveway & BTB wall locations	23/10/25



SCALE 1:200
SHEET SIZE A3



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DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3503	B	1 of 1

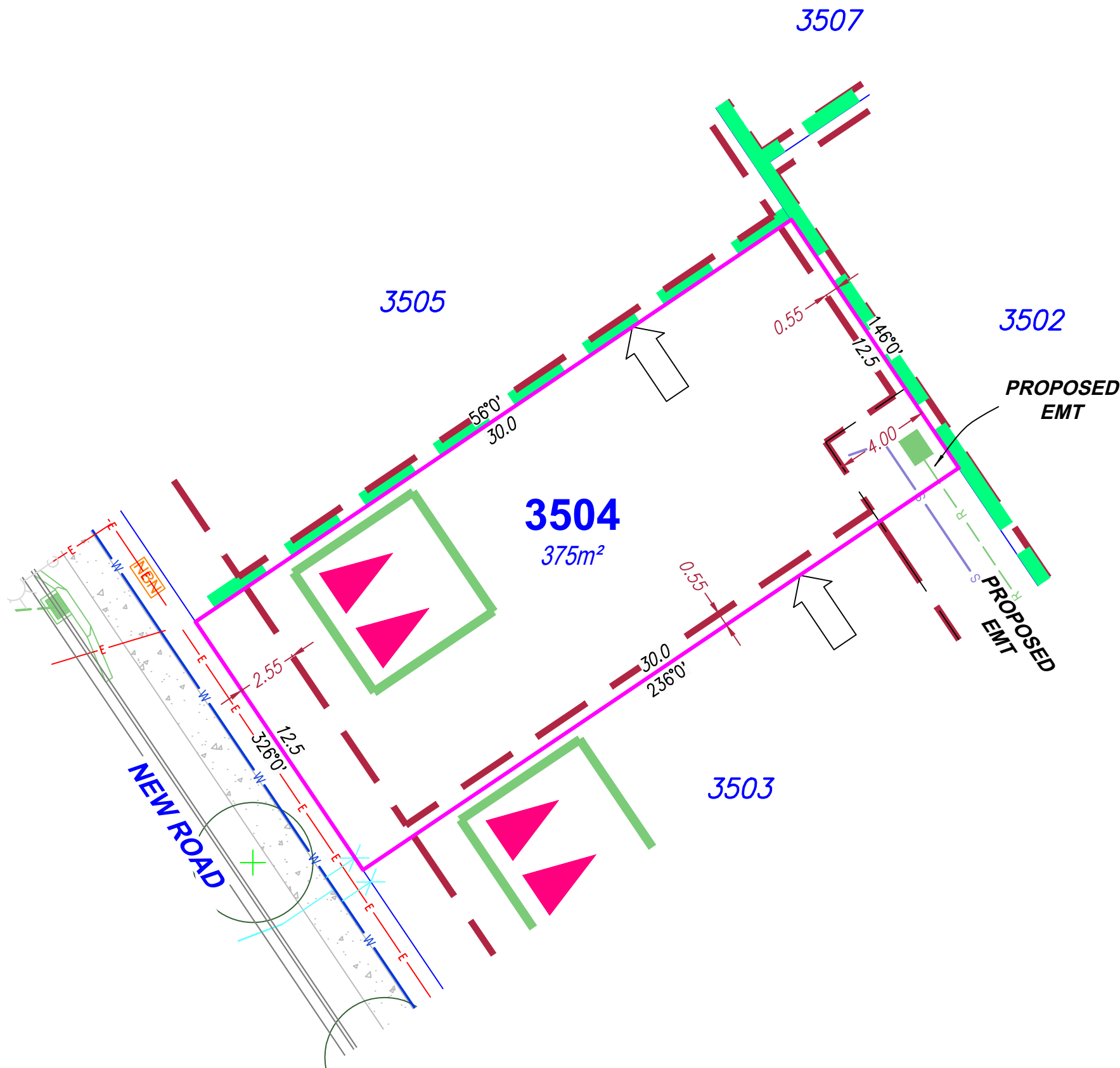
Locality Diagram

Not to Scale



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — [Symbol]
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— / —
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	[Dashed Box]
Bin Pads	★
Indicative Parking Access Location	[Triangle]



SITE PLAN

For Proposed Lot 3504
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

Compaction of any fill material placed on this site
shall be completed to level on inspection and
testing services in accordance with
AS3798-2007.

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reticulation and electricity lines, manholes and
pits are those shown on engineering design
drawings, supplied by Colliers and may differ
from the as-constructed location.

Plan of Development information Supplied by
RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks
measured to outermost projection.

Drawn: GBF Date: 09/10/2025

Checked: DL Date: 10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25
B	Driveway & BTB wall locations	23/10/25



SCALE 1:200
SHEET SIZE A3

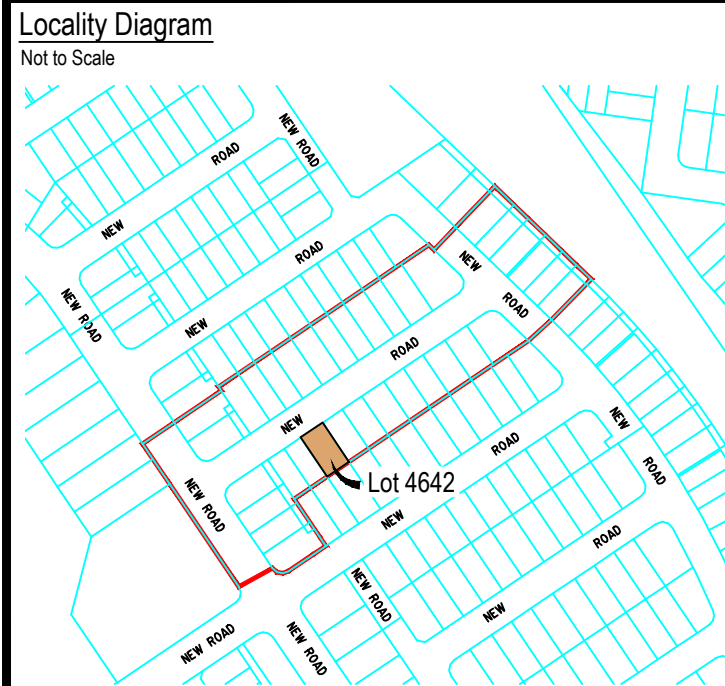


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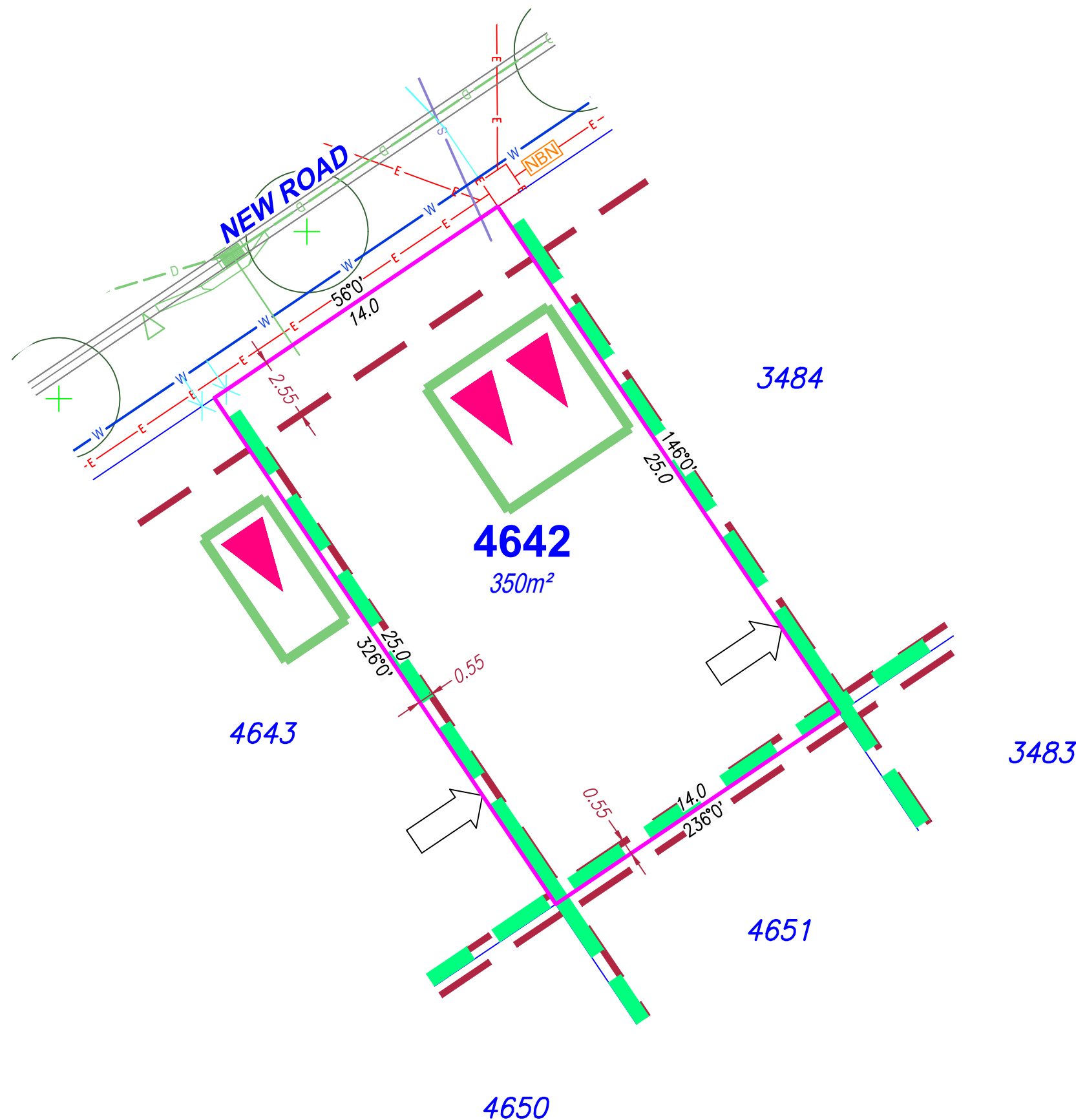
DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/3504	B	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	[Symbol] — E — [Symbol]
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	[Arrow]
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 4642
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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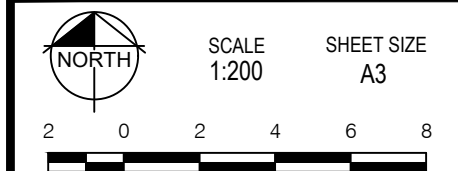
Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn: GBF Date: 09/10/2025

Checked: DL Date: 10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25



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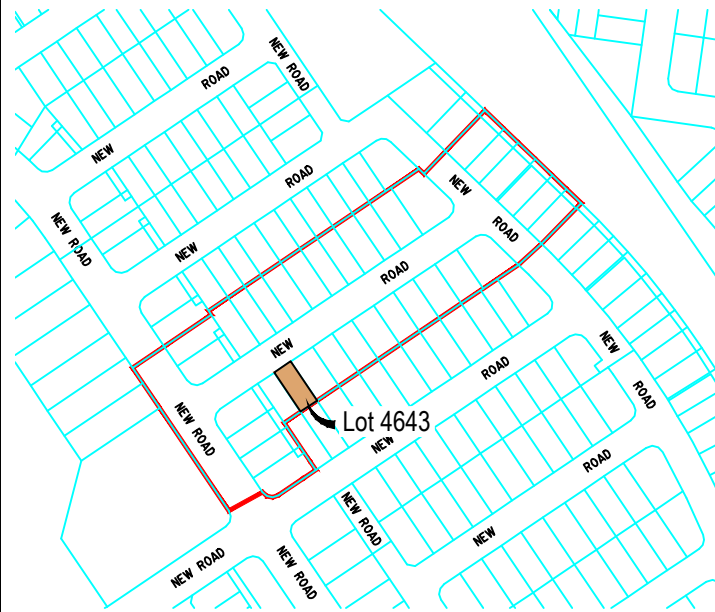
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DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/4642	ORIG	1 of 1

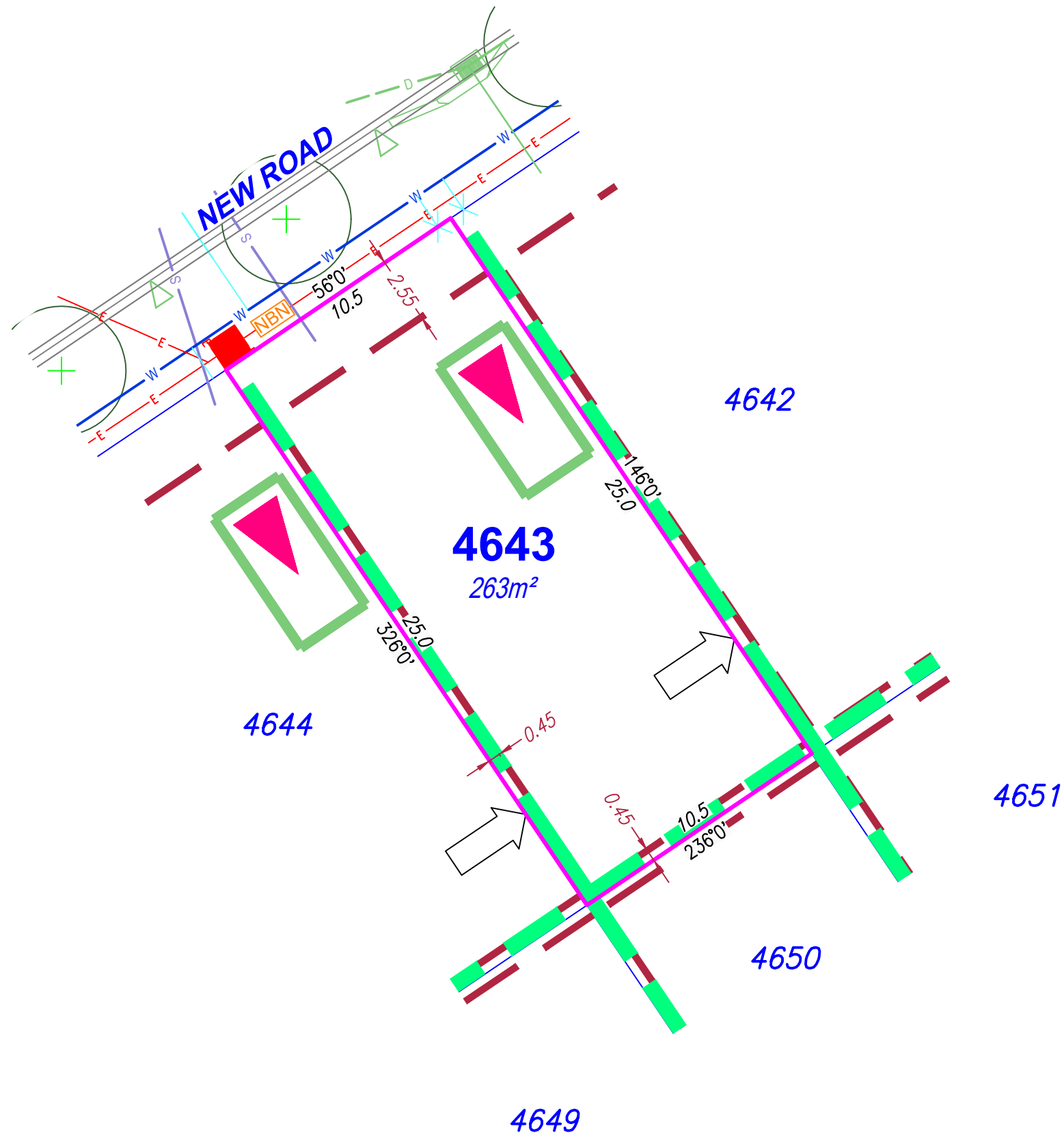
Locality Diagram

Not to Scale



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	[Symbol] — E — [Symbol]
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	[Arrow]
Indicative Building Envelope	- - -
Bin Pads	★
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 4643
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

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Plan of Development information Supplied by
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Indicative Building Envelope depicts setbacks
measured to outermost projection.

Drawn: GBF Date: 09/10/2025

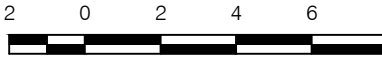
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Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25



SCALE
1:200

SHEET SIZE
A3





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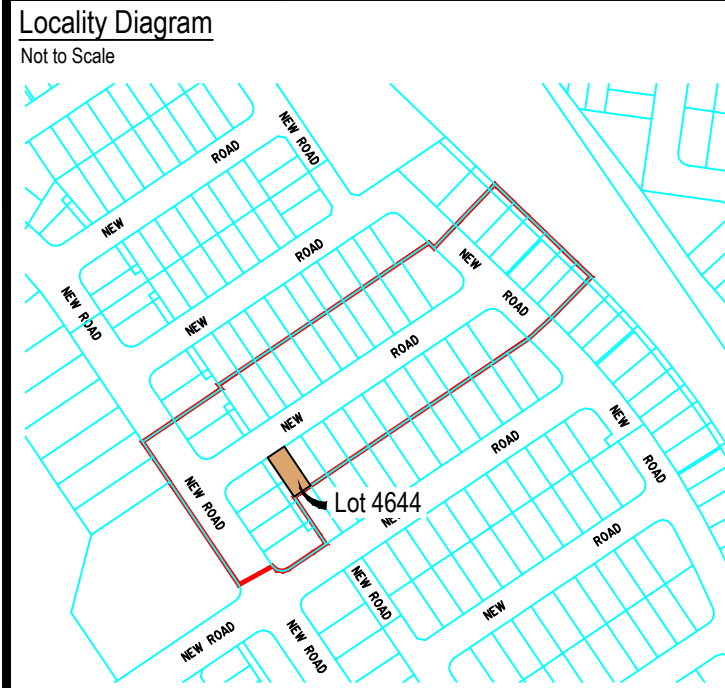
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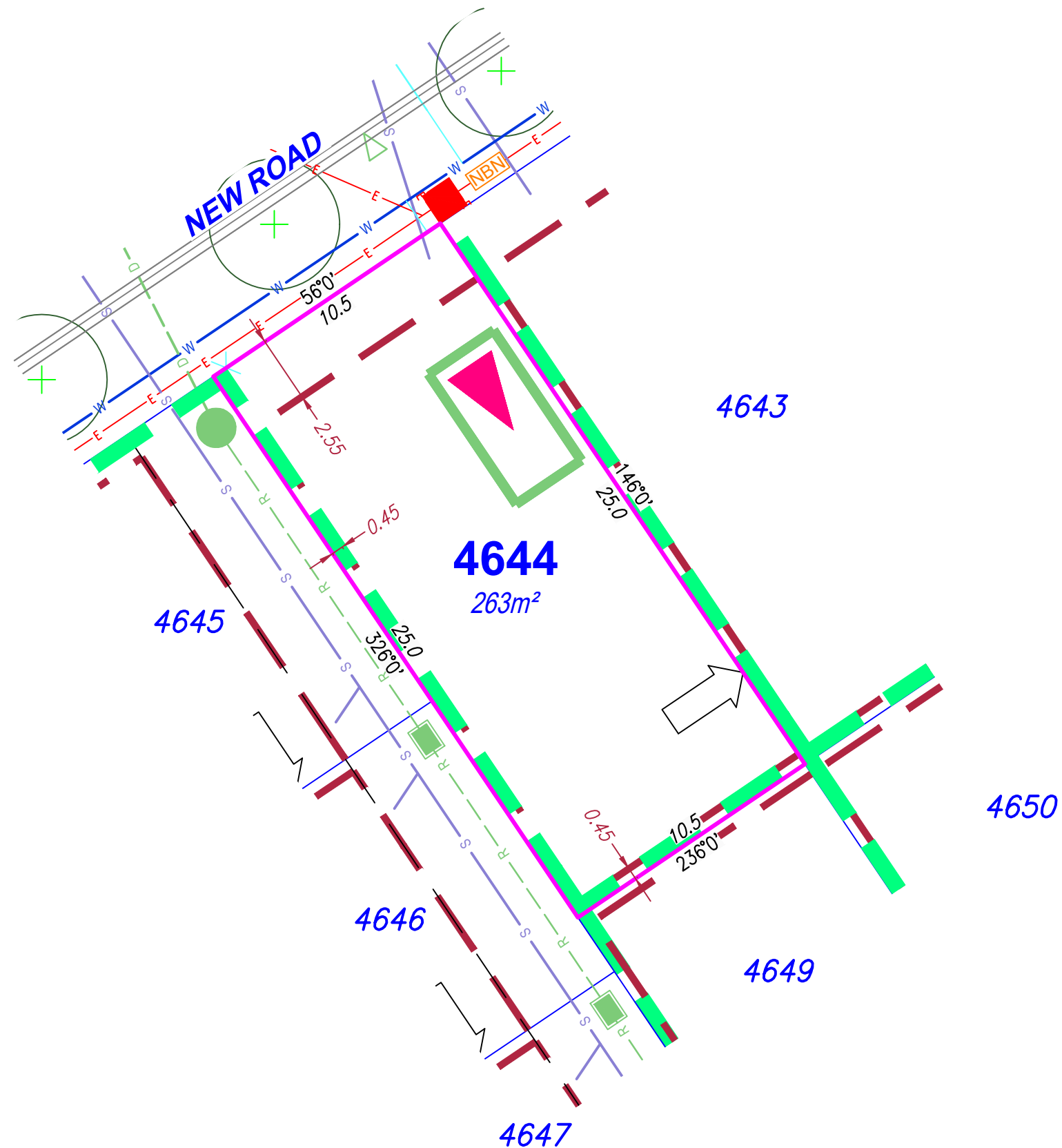
DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/4643	ORIG	1 of 1



Legend

Rock Retaining Wall	
Sleeper Retaining Wall	
Landscape Retaining Wall	
Sewer line	
Sewer Manhole	
Roofwater Drainage Line and Catch Pit	
Stormwater Drainage Line	
Stormwater Manhole/ Pit	
Stormwater Kerb Adapter	
Water Main	
Water Conduit	
Water Service Point of Entry	
Underground Electricity, Street Light, Electricity Pillar & NBN	
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	
Concrete Pathway	
Landscape Street Tree	
Zero Setback Building Line	
Indicative Building Envelope	
Bin Pads	
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 4644
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn: GBF Date: 09/10/2025

Checked: DL Date: 10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25



SCALE 1:200
SHEET SIZE A3



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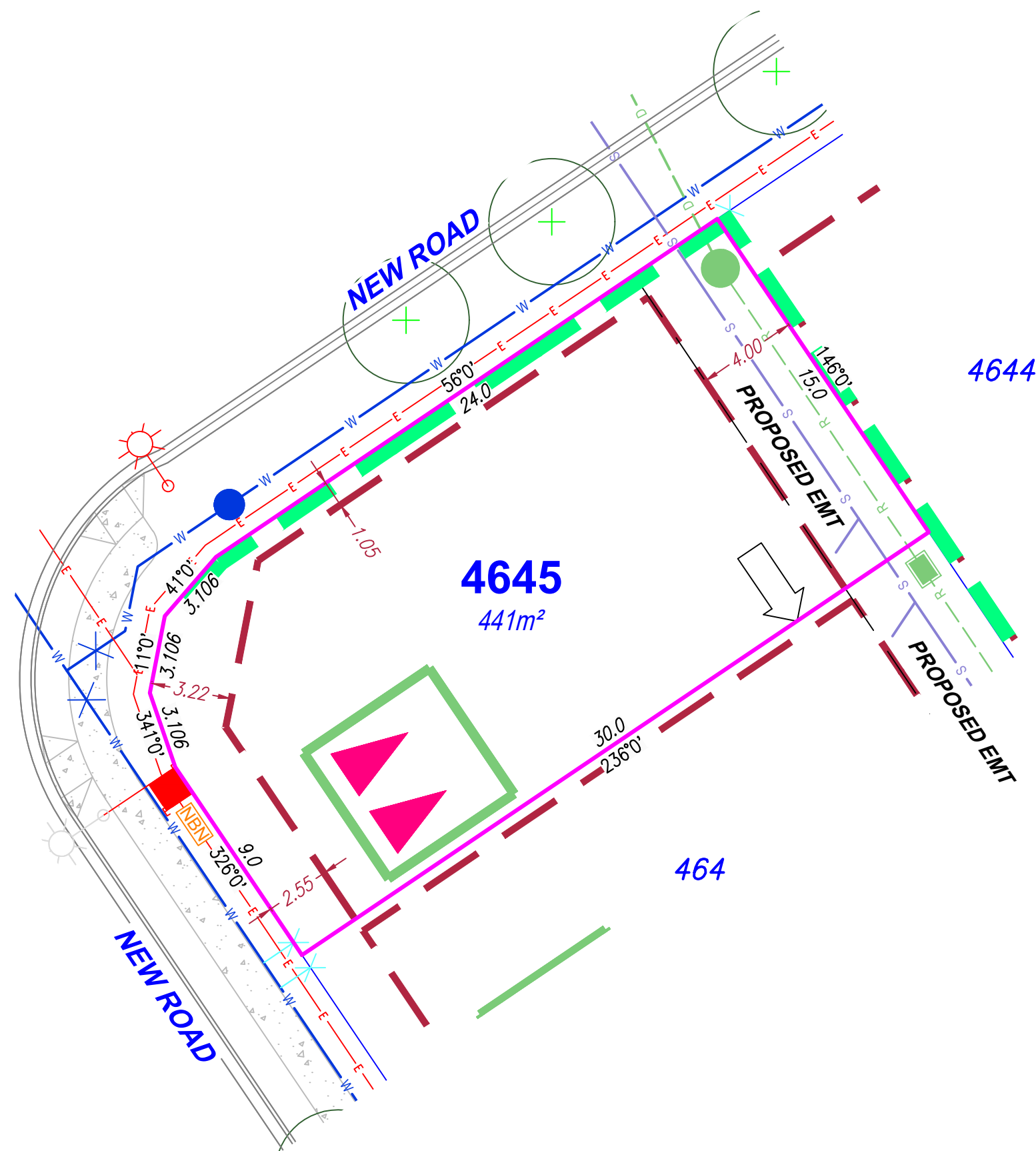
DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/4644	ORIG	1 of 1

Not to Scale



- | | |
|---|---|
| Rock Retaining Wall |  |
| Sleeper Retaining Wall |  |
| Landscape Retaining Wall |  |
| Sewer line |  |
| Sewer Manhole |  |
| Roofwater Drainage Line and Catch Pit |  |
| Stormwater Drainage Line |  |
| Stormwater Manhole/ Pit |  |
| Stormwater Kerb Adapter |  |
| Water Main |  |
| Water Conduit |  |
| Water Service Point of Entry |  |
| Underground Electricity, Street Light, Electricity Pillar & NBN |  |
| Developer Fencing
(Refer to RPS Plan 015770 ST10-L-FS) |  |
| Concrete Pathway |  |
| Landscape Street Tree |  |
| Zero Setback Building Line |  |
| Indicative Building Envelope |  |
| Bin Pads |  |
| Indicative Parking Access Location |  |



For Proposed Lot 4645
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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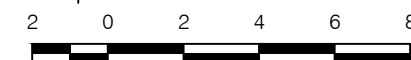
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RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	09/10/2025
Checked:	DL	Date:	10/10/2025
Issue	Description	Date	
DRAFT	Draft plans for review	09/10/25	
ORIG	Issue to Client	10/10/25	



SCALE 1:200 SHEET SIZE A3



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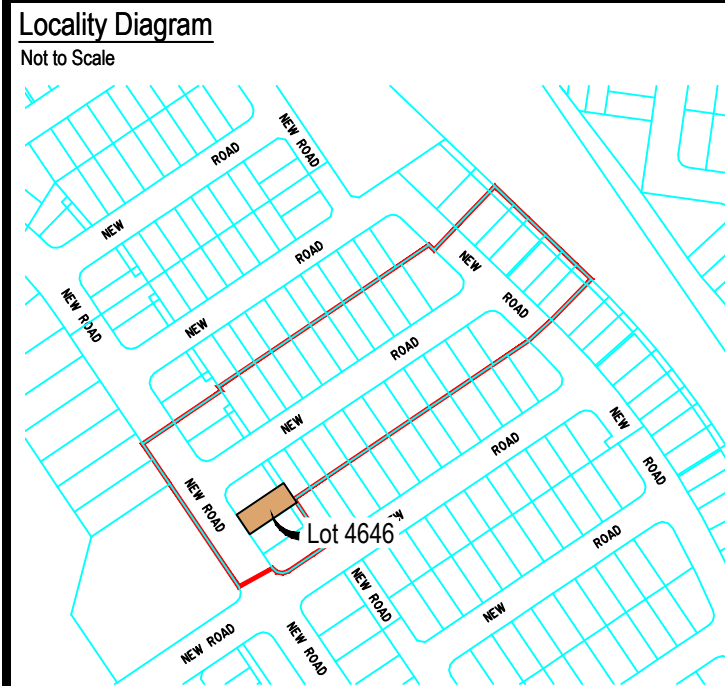
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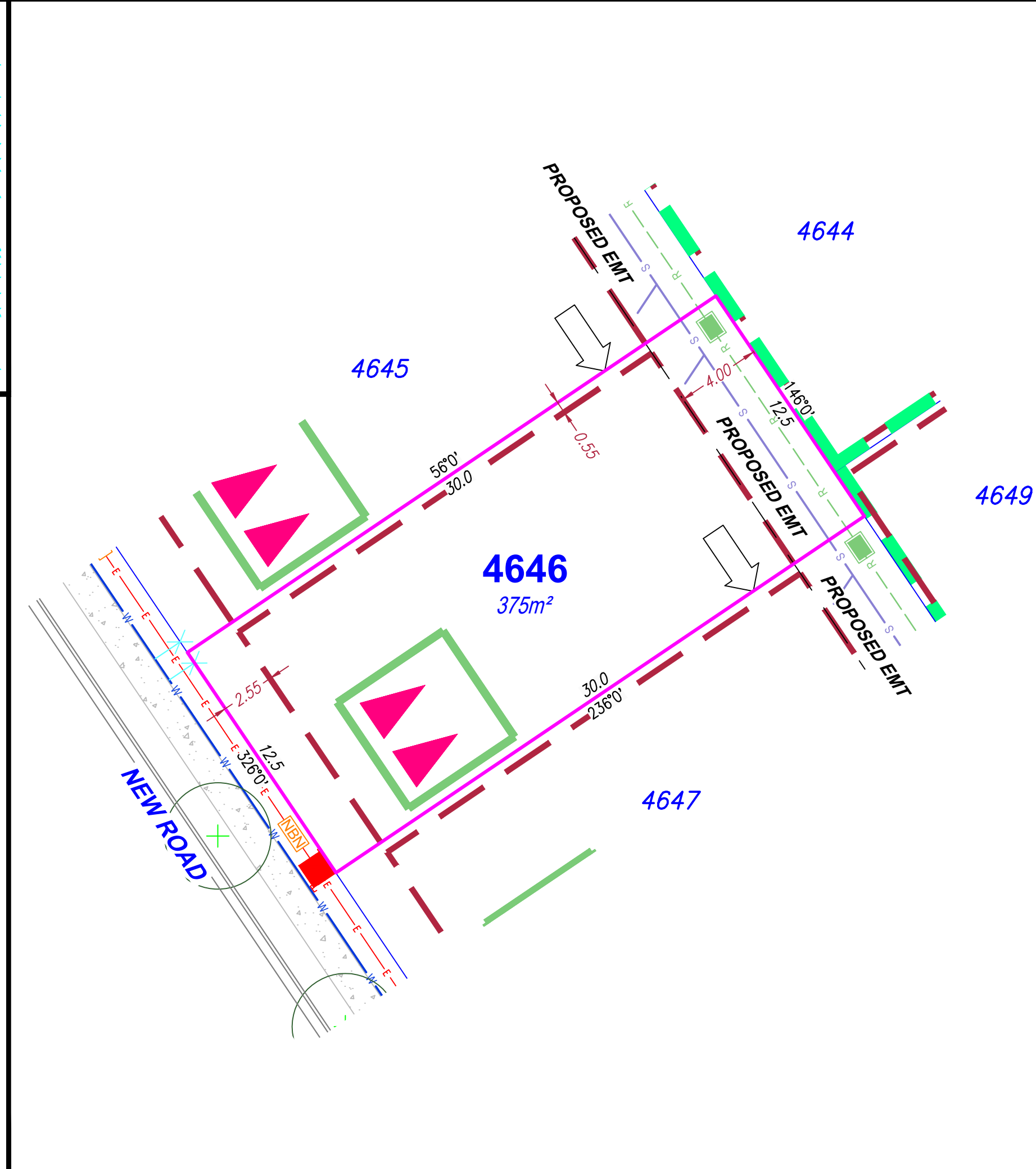
DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/4645	ORIG	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — [NBN] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	[Dashed Box]
Bin Pads	✱
Indicative Parking Access Location	[Triangle]



SITE PLAN

For Proposed Lot 4646
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

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Drawn:	GBF	Date:	09/10/2025
Checked:	DL	Date:	10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25

SCALE
1:200

SHEET SIZE
A3

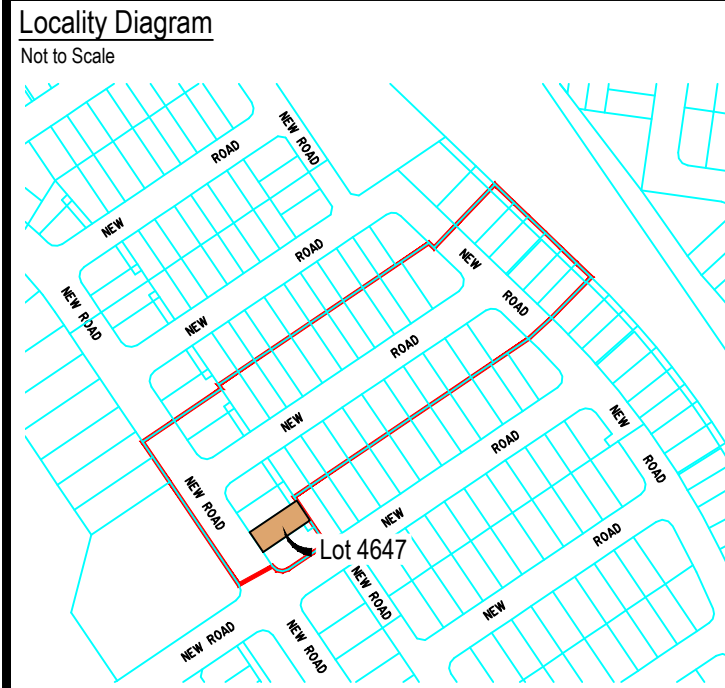
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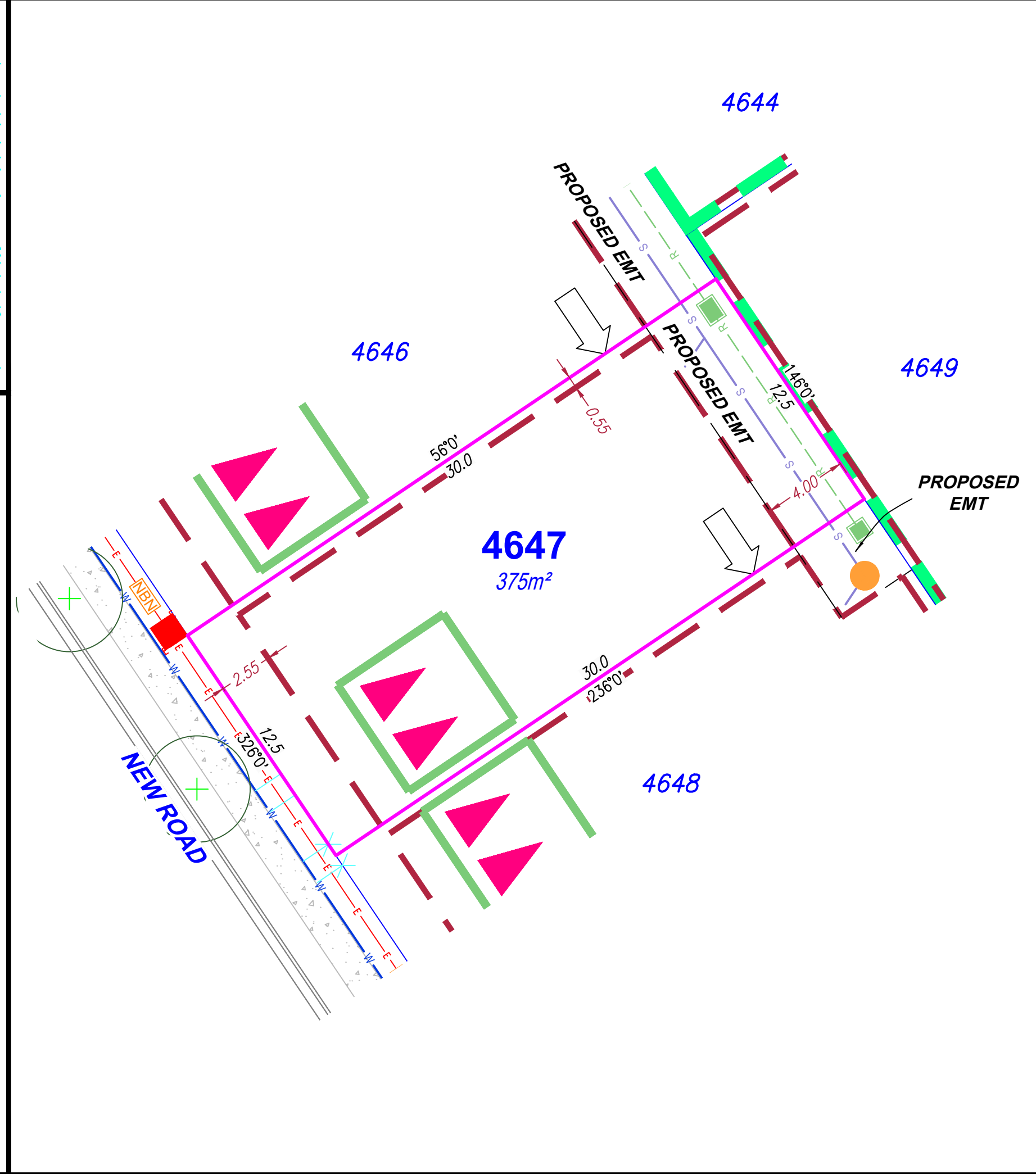
DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/4646	ORIG	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — ■
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— — —
Concrete Pathway	▨
Landscape Street Tree	⊕
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN
For Proposed Lot 4647
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	09/10/2025
Checked:	DL	Date:	10/10/2025

Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25

SCALE
1:200

SHEET SIZE
A3

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DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/4647	ORIG	1 of 1

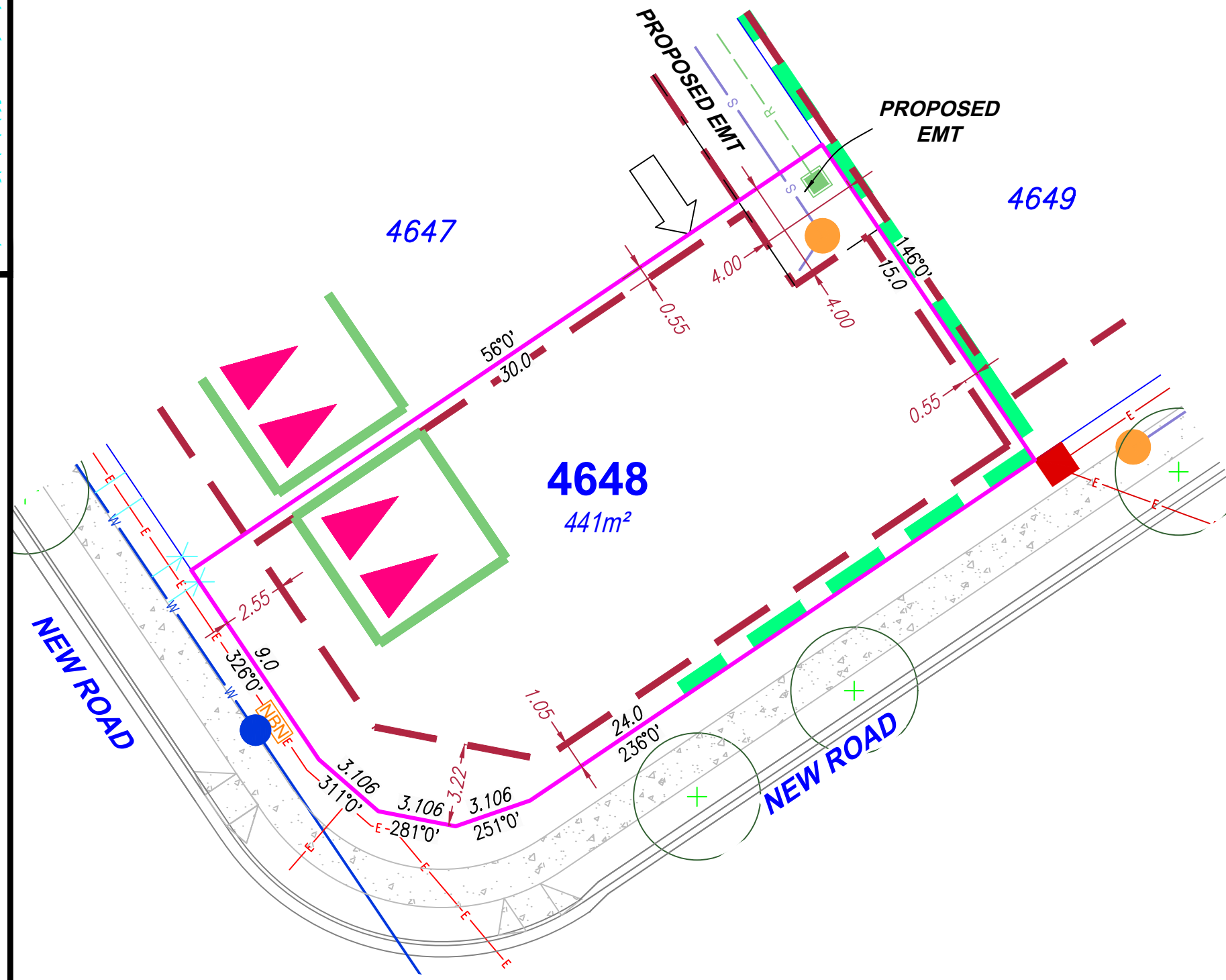
Locality Diagram

Not to Scale



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	[Dashed Box]
Bin Pads	★
Indicative Parking Access Location	[Triangle]



SITE PLAN

For Proposed Lot 4648
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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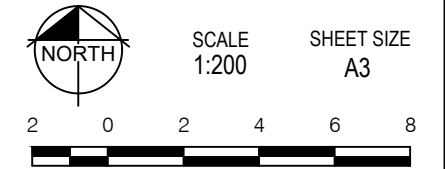
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

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Drawn: GBF Date: 10/10/2025

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Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	





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DWG. TLX370977-014-Stg10F-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	14/4648	-	1 of 1