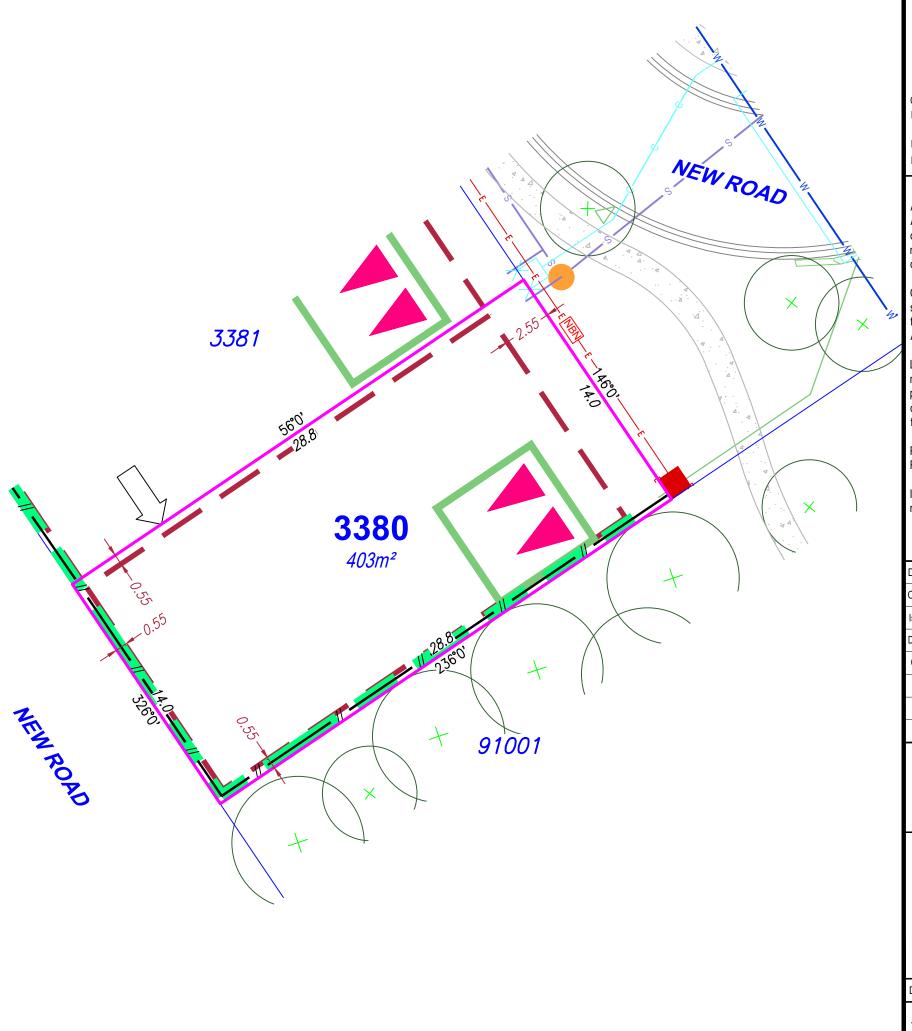


Indicative Parking Access Location



SITE PLAN

For Proposed Lot 3380 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diawii.	GDF	Date.	21/00	5/2025
Checke	hecked: DJL Date: 05/09		9/2025	
Issue	Descrip	otion		Date
DRAFT	Draft plans t	Draft plans for review		27/08/25
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fei	Developer Fences Added		28/11/25





ACN 117 883 173 ABN 97 117 883 173

©COPYRIGHT PROTECTS THIS F Unauthorised reproduction or amend not permitted. Please contact the au

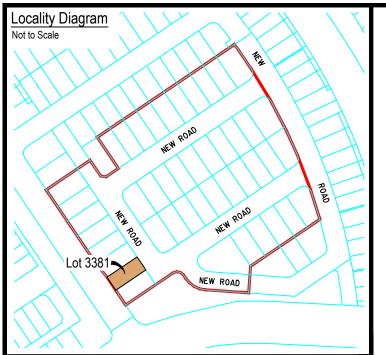
114 Brisbane Street
| 175 THIS PLAN | 114 Brisbane Street | 195 Wich Qld 4305 | 115 THIS PLAN | 115 THIS PL

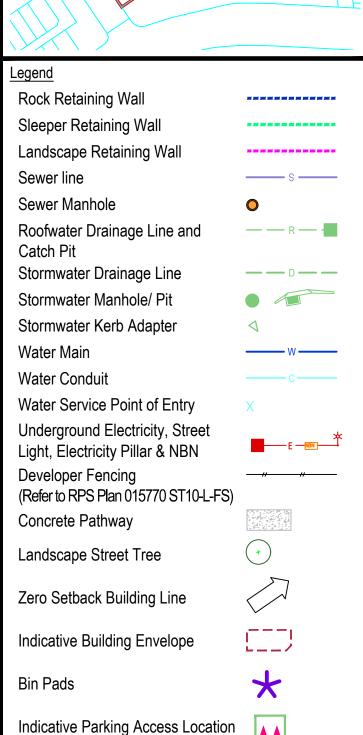
This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984. F+61 7 3437 2000 F+61 7 3434 2009 W rpsgroup.com

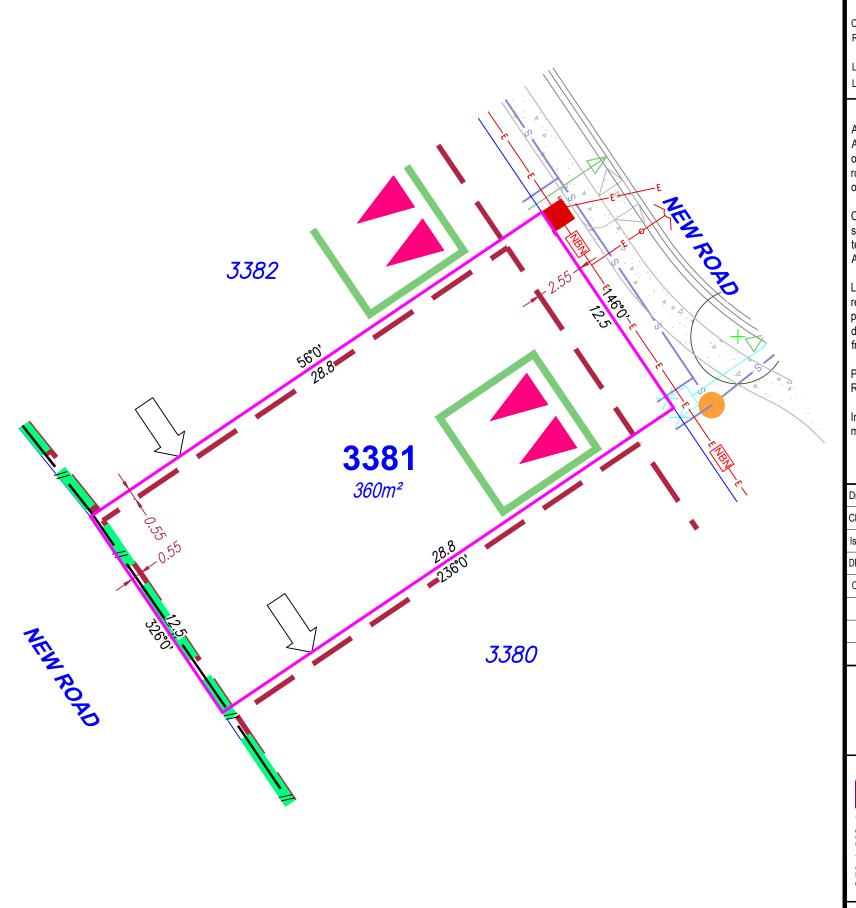
Suite A.02, Level 1

DWG. TLX370)977-009-9	Stg10D	-Site
DD0 1505	D: 44:		0

PROJECT PLAN AMD. SHEET TLX370977 9/3380 A 1 of 1







For Proposed Lot 3381 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diawii.	ODI	Date.	21700	012020
Checke	d: DJL	Date:	05/0	9/2025
Issue	Descrip	otion		Date
DRAFT	Draft plans t	Draft plans for review		27/08/25
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fei	Developer Fences Added		28/11/25

Date:

27/08/2025





ACN 117 883 173 ABN 97 117 883 173

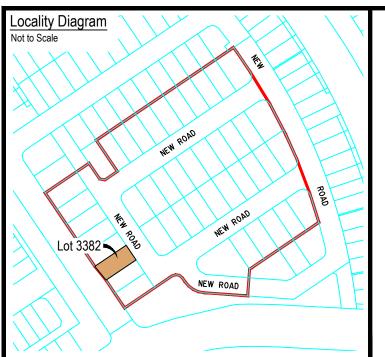
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

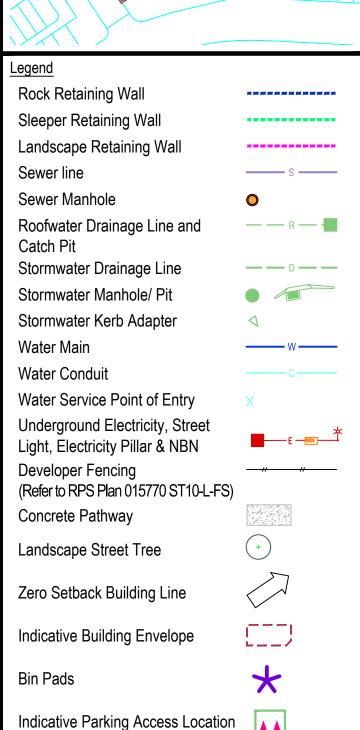
Suite A.02, Level 1

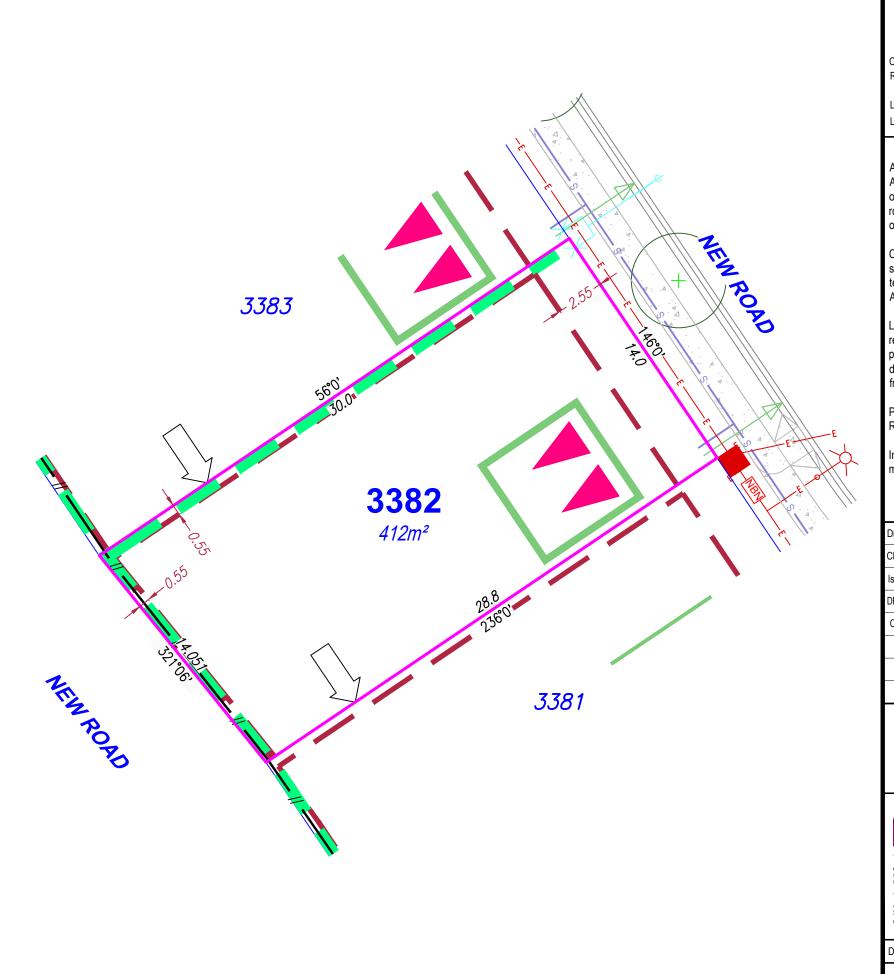
This plan has been prepared by RPS

DWG. TLX370977-009-Stg10D-Site

AMD. TLX370977 | 9/3381 Α







For Proposed Lot 3382 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

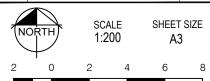
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diawii.	ODI	Date.	21700	0/2020
Checke	d: DJL	Date:	05/0	9/2025
Issue	Descrip	otion		Date
DRAFT	Draft plans t	Draft plans for review		27/08/25
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fei	Developer Fences Added		28/11/25

Date:

27/08/2025





ACN 117 883 173 ABN 97 117 883 173

114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000

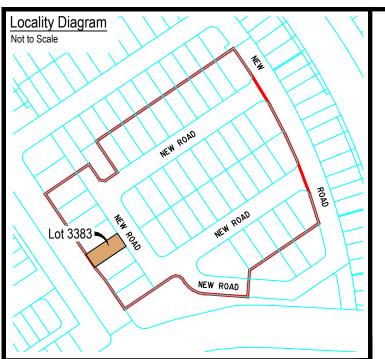
Suite A.02, Level 1

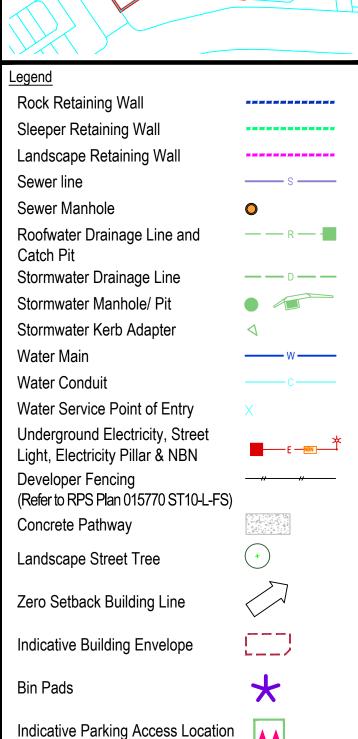
This plan has been prepared by RPS

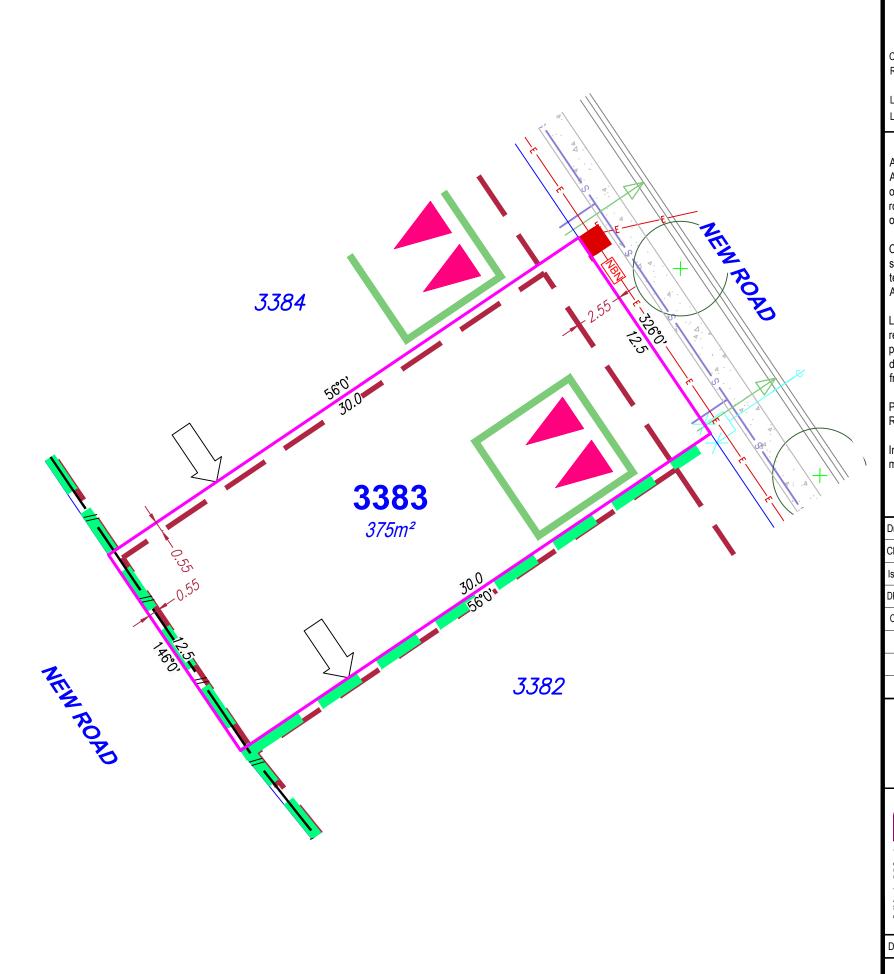
F+61 7 3434 2009

DWG. TLX370977-009-Stg10D-Site

TLX370977 9/3382 Α







For Proposed Lot 3383 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

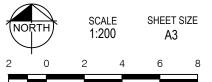
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn.	GBF	Date.	21/00	0/2025
Checke	ed: DJL	Date:	05/0	9/2025
Issue	Descrip	otion		Date
DRAFT	Draft plans f	for review		27/08/25
ORIG	Issue to	Issue to Client		
Α	Developer Fer	Developer Fences Added		28/11/25





ACN 117 883 173 ABN 97 117 883 173

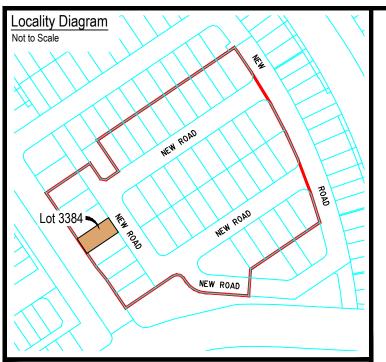
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000

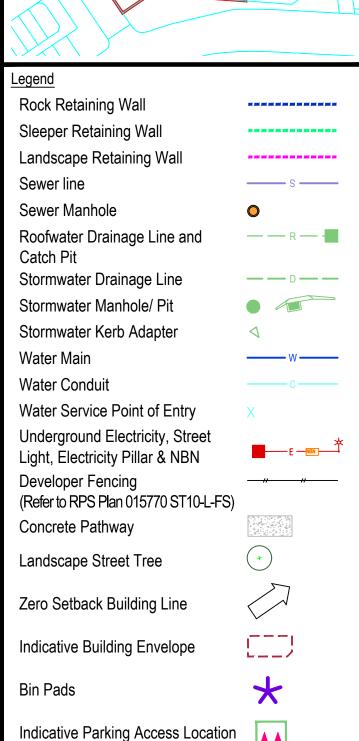
Suite A.02, Level 1

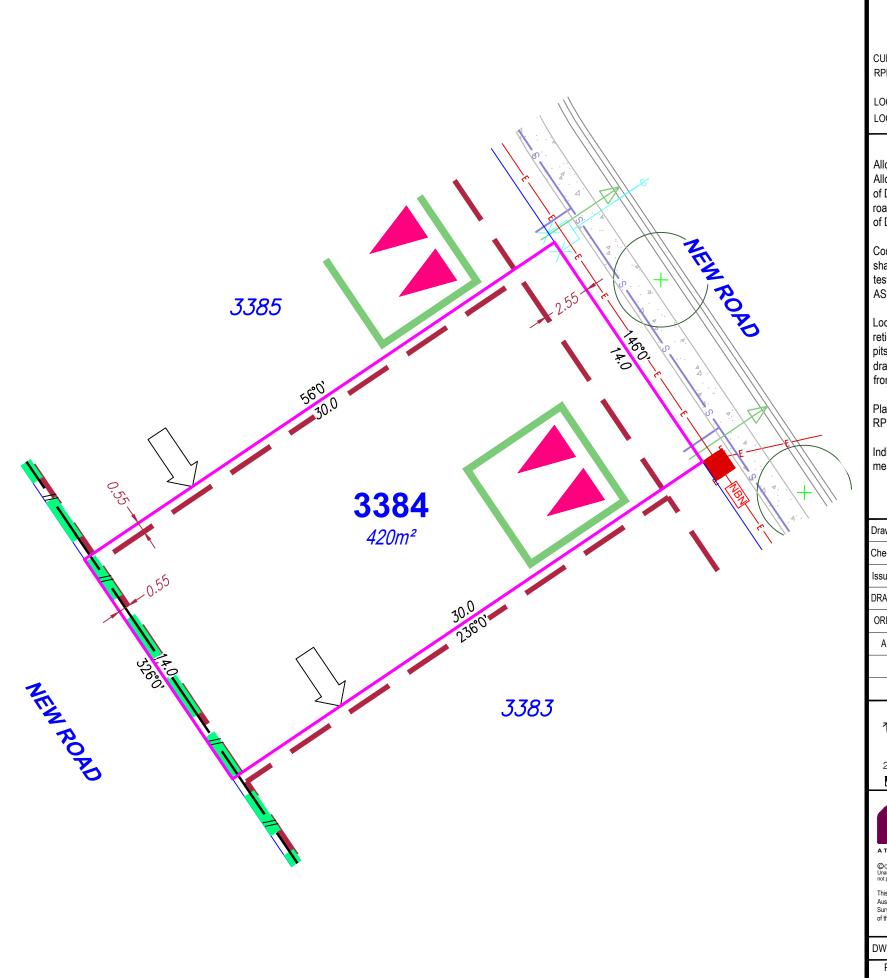
F+61 7 3434 2009

DWG. TLX370977-009-Stg10D-Site

TLX370977 9/3383 Α







For Proposed Lot 3384 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

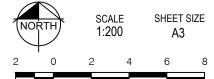
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

GBF	GBF Date: 27/08		3/2025
d: DJL	Date:	05/0	9/2025
Descrip	otion		Date
Draft plans t	Draft plans for review		27/08/25
Issue to	Issue to Client		05/09/25
Developer Fe	Developer Fences Added		28/11/25
	d: DJL Descrip Draft plans to	d: DJL Date: Description Draft plans for review Issue to Client	d: DJL Date: 05/09 Description Draft plans for review Issue to Client





ACN 117 883 173 ABN 97 117 883 173

©COPYRIGHT PROTECTS THIS Unauthorised reproduction or amend not permitted. Please contact the a

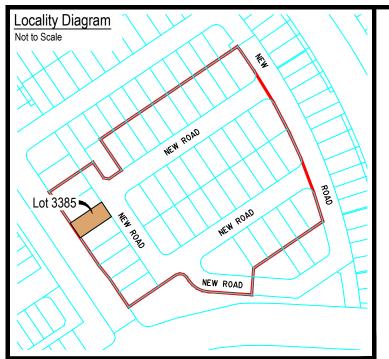
114 Brisbane Street lpswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

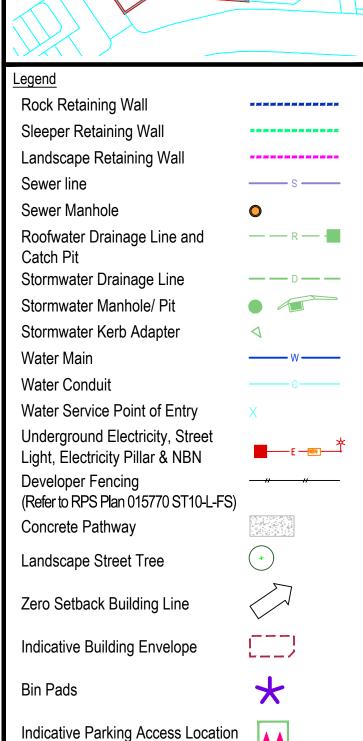
This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984. F+61 7 3437 2000 F+61 7 3434 2009 W rpsgroup.com

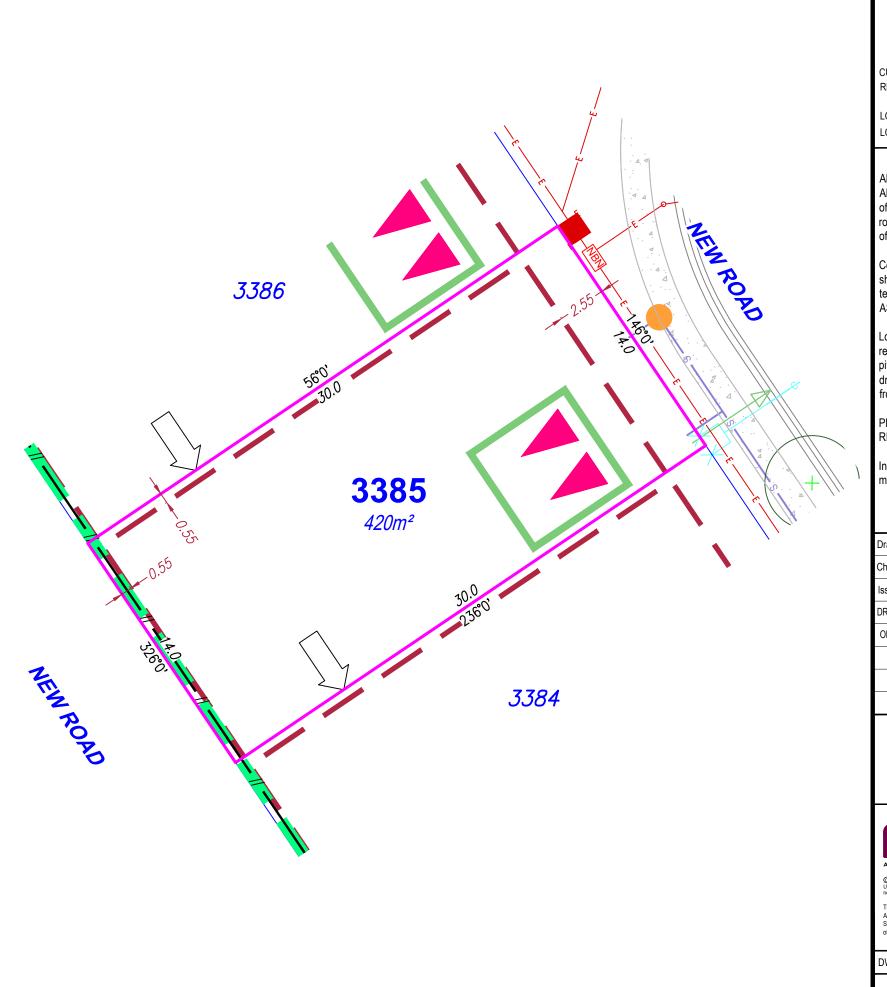
Suite A.02, Level 1

DWG. TLX370977-009-Stg10D-Site

PROJECT PLAN AMD. SHEE
TLX370977 9/3384 A 1 of







For Proposed Lot 3385 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

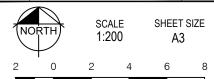
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diawii.	ODI	Date.	21700	0/2020
Checke	d: DJL	Date:	05/0	9/2025
Issue	Descrip	otion		Date
DRAFT	Draft plans t	Draft plans for review		27/08/25
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fei	Developer Fences Added		28/11/25

Date:

27/08/2025





ACN 117 883 173 ABN 97 117 883 173

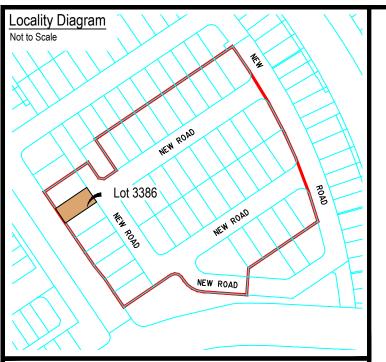
©COPYRIGHT PROTECTS THIS Unauthorised reproduction or ameno not permitted. Please contact the a 114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000

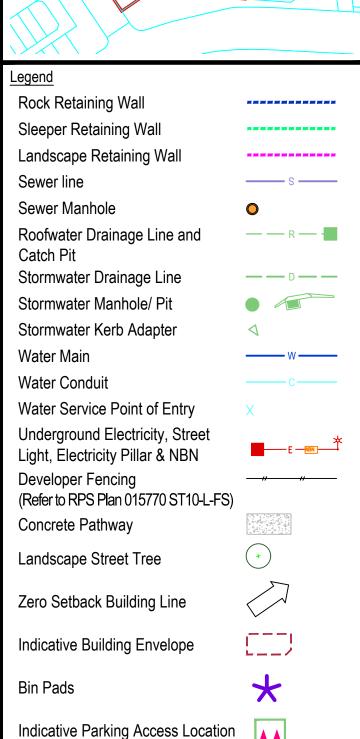
Suite A.02, Level 1

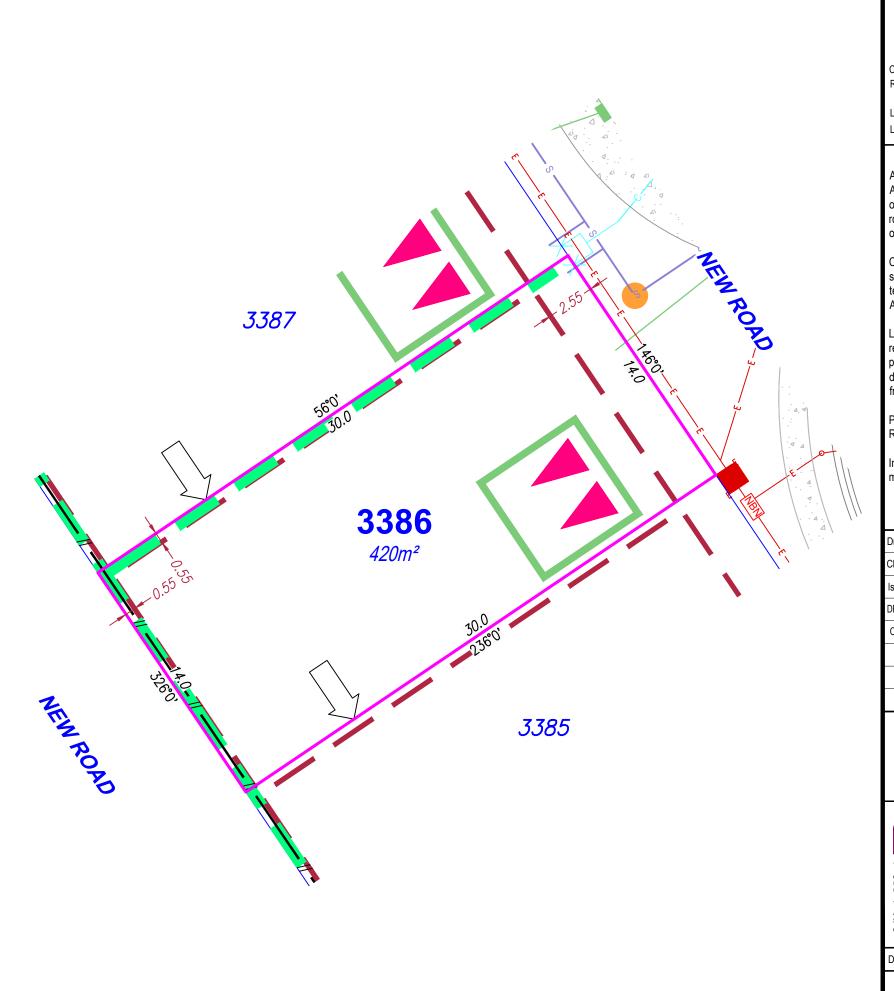
This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984 **T**+61 7 3437 2000 **F**+61 7 3434 2009 **W** rpsgroup.com

DWG. TLX370977-009-Stg10D-Site

PROJECT PLAN AMD. SHEET TLX370977 9/3385 - 1 of 1







For Proposed Lot 3386 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

GBF	GBF Date: 27/08		3/2025
d: DJL	Date:	05/0	9/2025
Descrip	otion		Date
Draft plans t	Draft plans for review		27/08/25
Issue to	Issue to Client		05/09/25
Developer Fe	Developer Fences Added		28/11/25
	d: DJL Descrip Draft plans to	d: DJL Date: Description Draft plans for review Issue to Client	d: DJL Date: 05/09 Description Draft plans for review Issue to Client





ACN 117 883 173 ABN 97 117 883 173

©COPYRIGHT PROTECTS THIS Unauthorised reproduction or ameno not permitted. Please contact the a

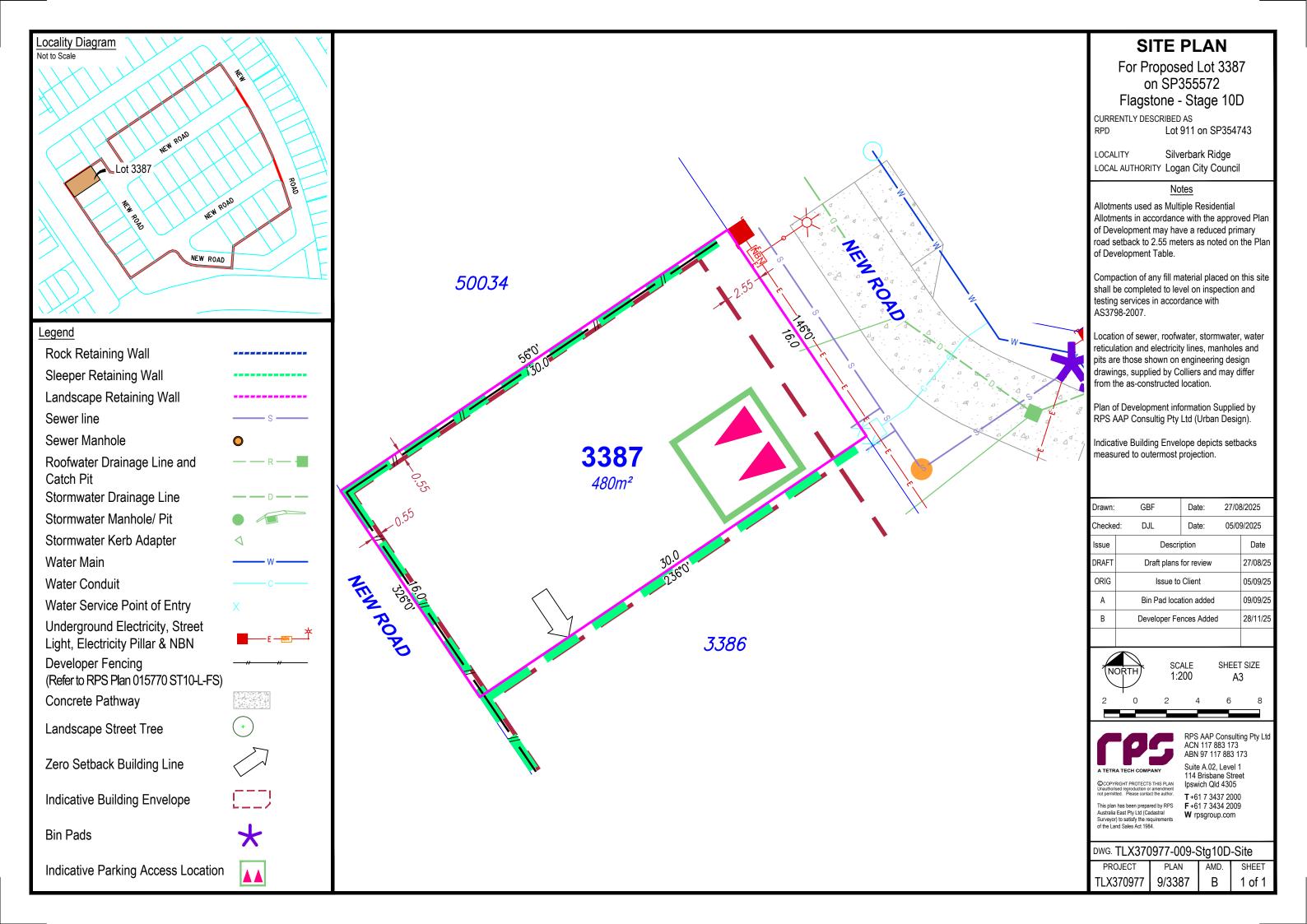
HT PROTECTS THIS PLAN reproduction or amendment Please contact the author.

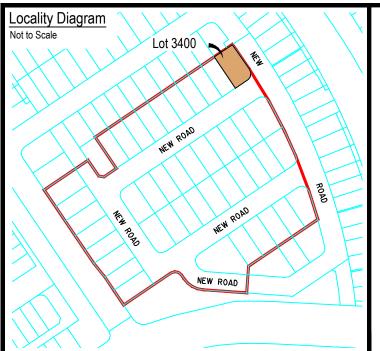
plan has been prepared by RPS alia East Pty Ltd (Cadastral eyor) to satisfy the requirements

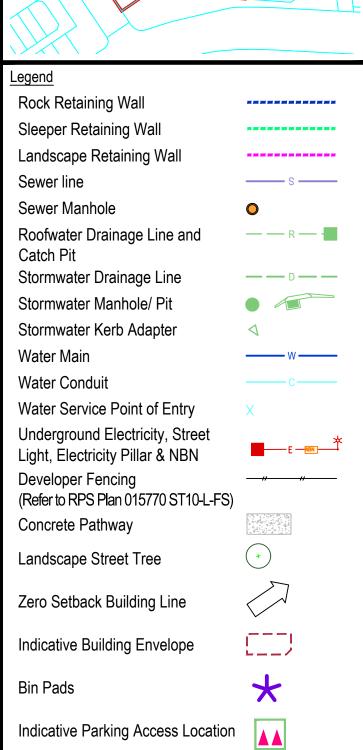
Suite A.02, Level 1 114 Brisbane Street Ipswich Qld 4305 T+61 7 3437 2000 F+61 7 3434 2009 W rpsgroup.com

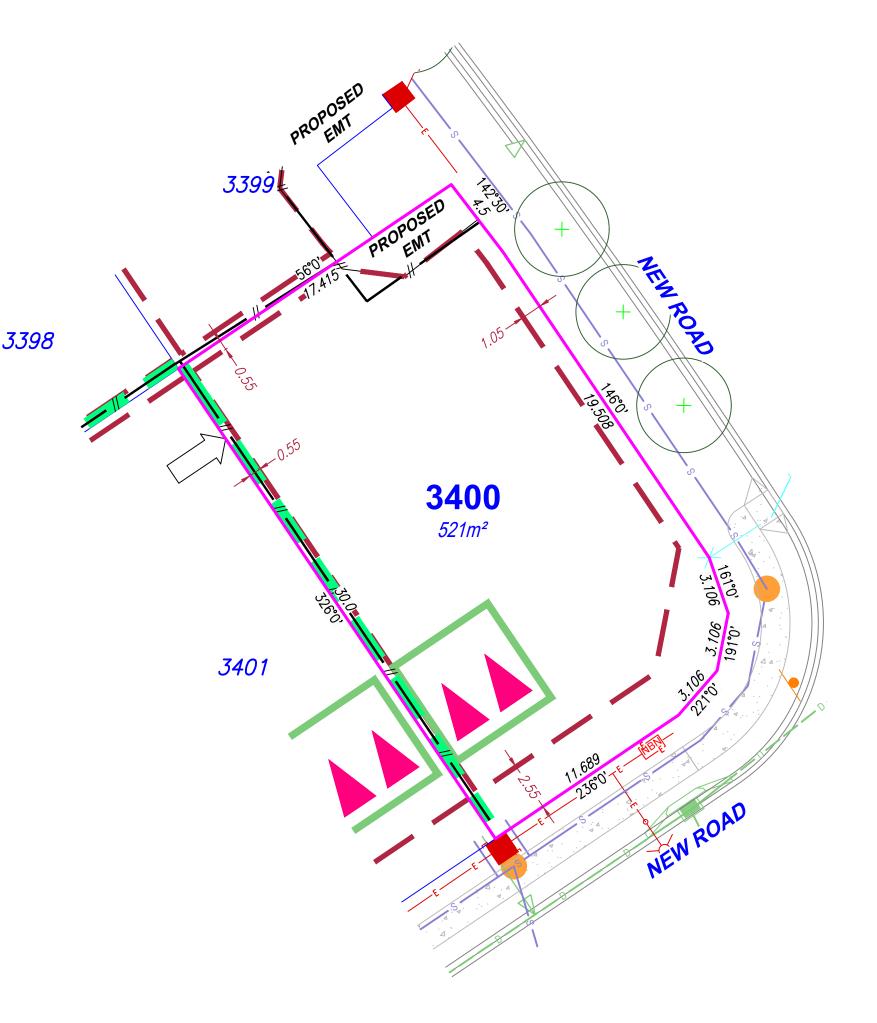
DWG. TLX370977-009-Stg10D-Site

PROJECT PLAN AMD. SHEET
TLX370977 9/3386 - 1 of 1









For Proposed Lot 3400 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

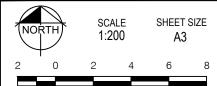
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn.	GBF	Date.	27/00	5/2025
Checke	d: DJL	Date:	05/0	9/2025
Issue	Descri	otion		Date
DRAFT	Draft plans	Draft plans for review		27/08/25
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fe	Developer Fences Added		28/11/25





ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

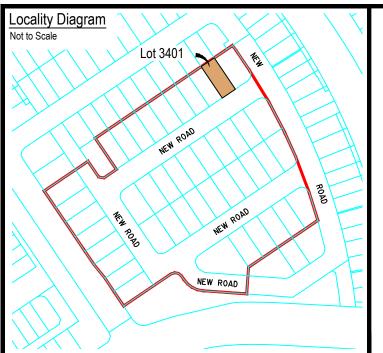
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000

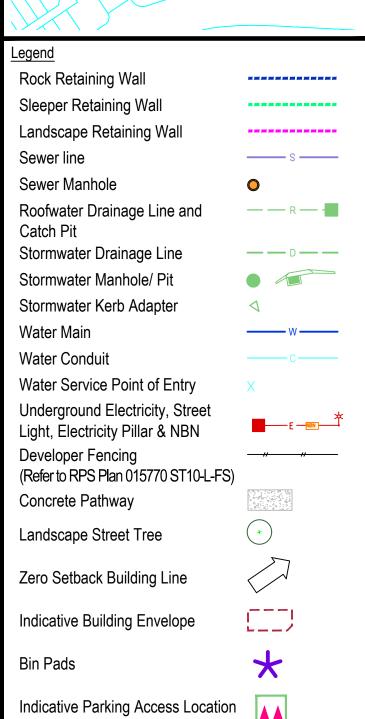
This plan has been prepared by RPS

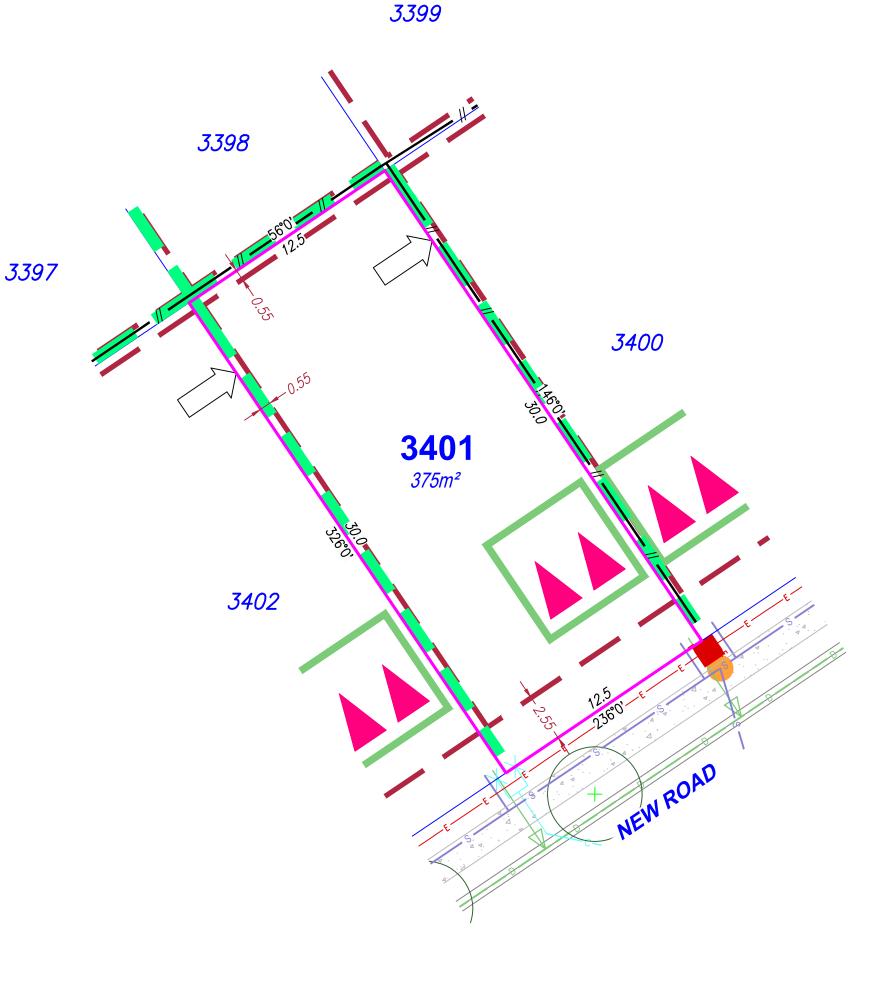
F+61 7 3434 2009 W rpsgroup.com

DWG. T	LX370)977-009-9	Stg10D	-Site
		D: 44:	1	0

AMD. SHEET PROJECT PLAN TLX370977 9/3400 Α 1 of 1







For Proposed Lot 3401 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

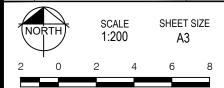
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diawii.	ODI	Date.	21700	0/2020
Checke	d: DJL	Date:	05/0	9/2025
Issue	Descri	ption		Date
DRAFT	Draft plans	Draft plans for review		27/08/25
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fe	Developer Fences Added		28/11/25

Date:

27/08/2025





ACN 117 883 173 ABN 97 117 883 173

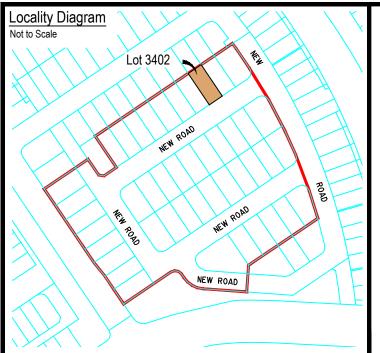
114 Brisbane Street Ipswich Qld 4305

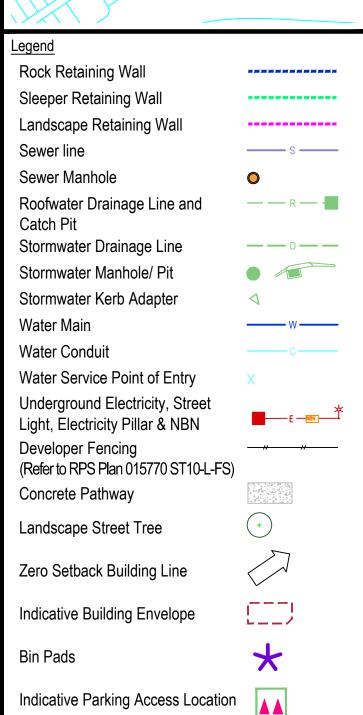
This plan has been prepared by RPS

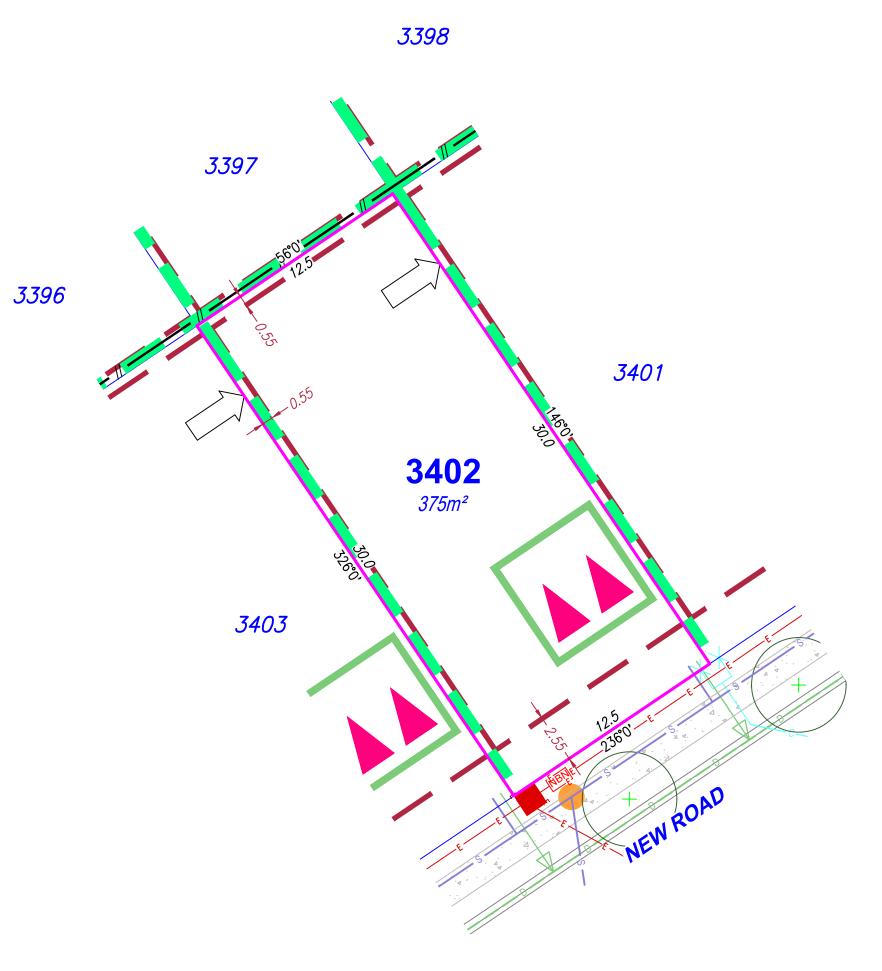
T+61 7 3437 2000 **F**+61 7 3434 2009

DWG. TLX370977-009-Stg10D-Site

TLX370977 | 9/3401 Α







For Proposed Lot 3402 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

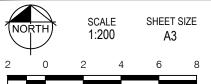
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Brain.	OB.	Dato.		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
Checke	ecked: DJL Date: 05/09		9/2025	
Issue	Descrip	otion		Date
DRAFT	Draft plans t	Draft plans for review		27/08/25
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fei	Developer Fences Added		28/11/25
•				

Date:

27/08/2025





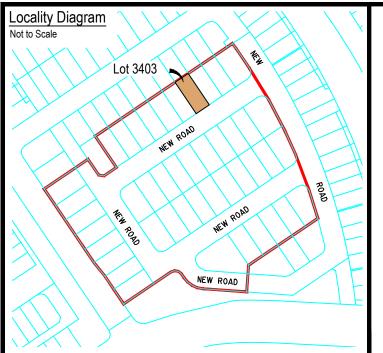
ACN 117 883 173 ABN 97 117 883 173

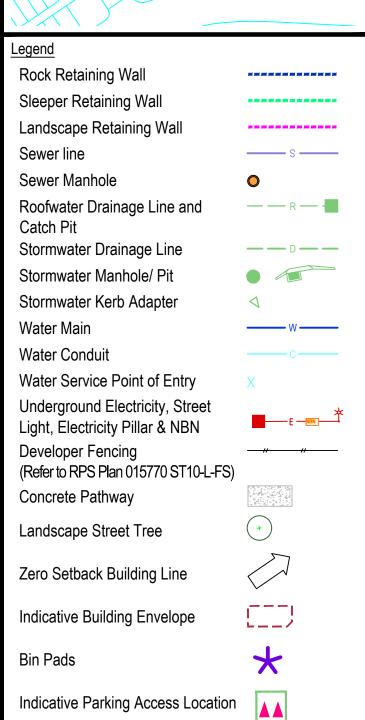
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

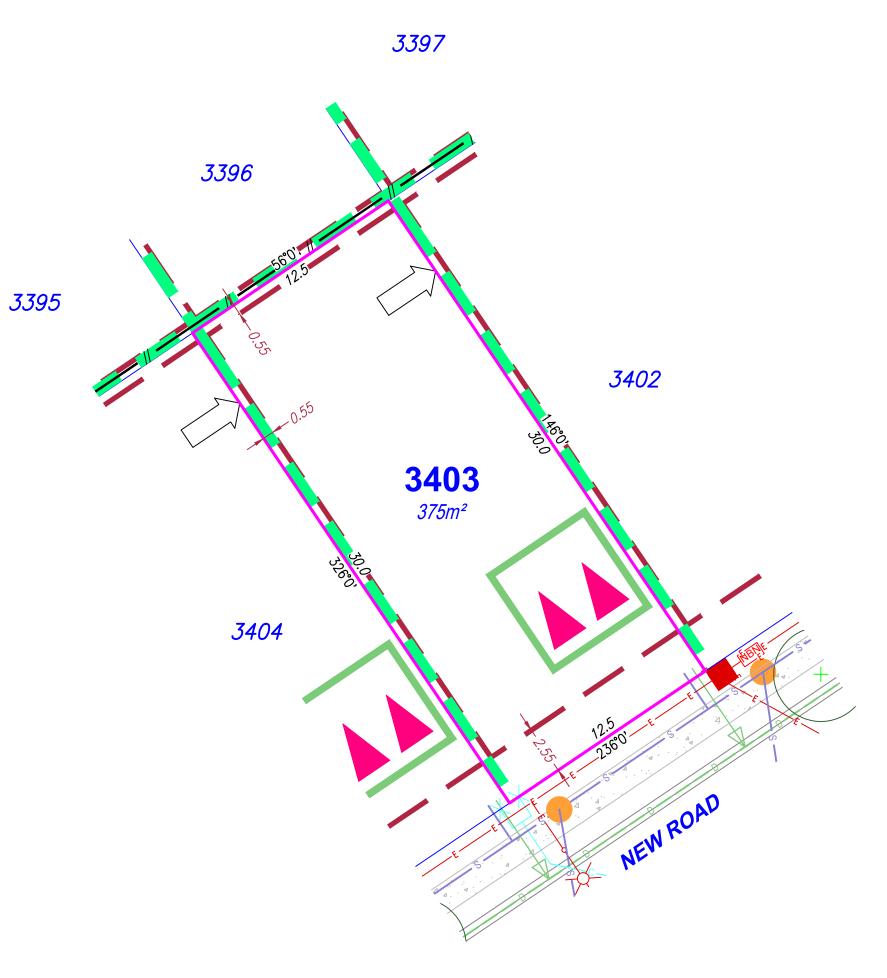
W rpsgroup.com

[DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3402	Α	1 of '







For Proposed Lot 3403 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

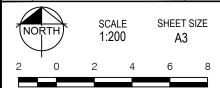
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08	3/2025
Checke	d: DJL	Date:	05/0	9/2025
Issue	Descri	Description		Date
DRAFT	Draft plans	Draft plans for review		27/08/25
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fe	Developer Fences Added		28/11/25





ACN 117 883 173
ABN 97 117 883 173
Suite A.02, Level 1

©COPYRIGHT PROTECTS THIS P Unauthorised reproduction or amenda not permitted. Please contact the au 114 Brisbane Street Ipswich Qld 4305 T+61 7 3437 2000 F+61 7 3434 2009

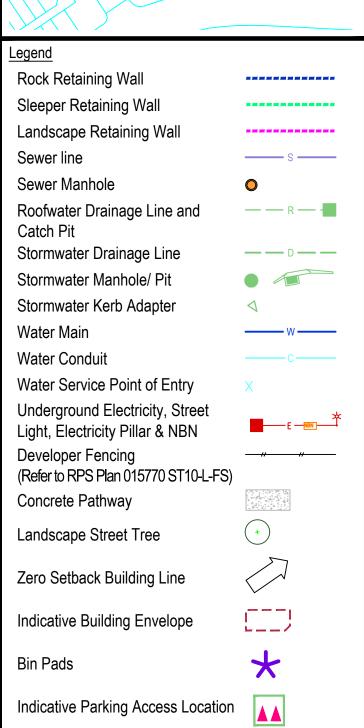
This plan has been prepared by Australia East Pty Ltd (Cadastr Surveyor) to satisfy the require of the Land Sales Act 1984.

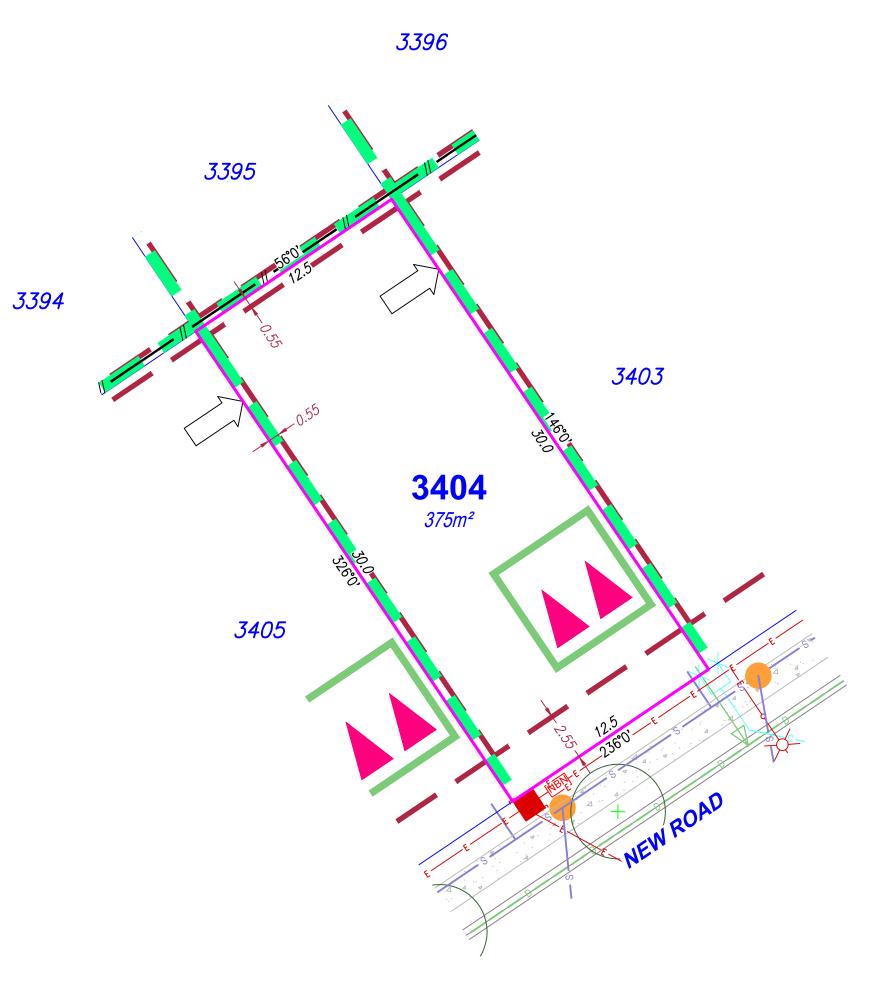
F +61 7 3434 2009 **W** rpsgroup.com

DWG. TLX370977-009-Stg10D-Site

PROJECT PLAN AMD. SHEE
TLX370977 9/3403 A 1 of







For Proposed Lot 3404 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diawii.	ODI	Duto.	21700	3/2020
Checke	d: DJL	Date:	05/0	9/2025
Issue	Descri	Description		Date
DRAFT	Draft plans	Draft plans for review		
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fe	Developer Fences Added		28/11/25

Date:

27/08/2025





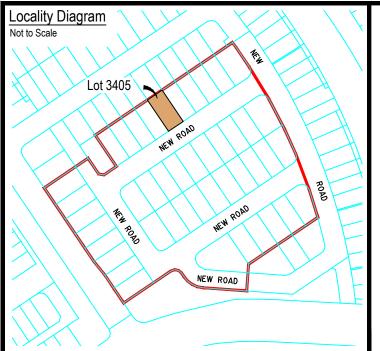
ACN 117 883 173 ABN 97 117 883 173 114 Brisbane Street Ipswich Qld 4305

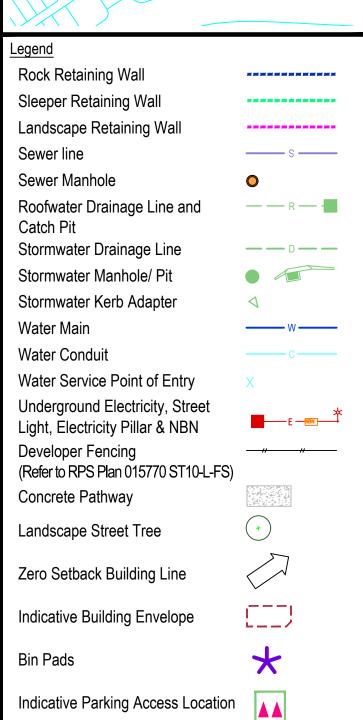
T+61 7 3437 2000

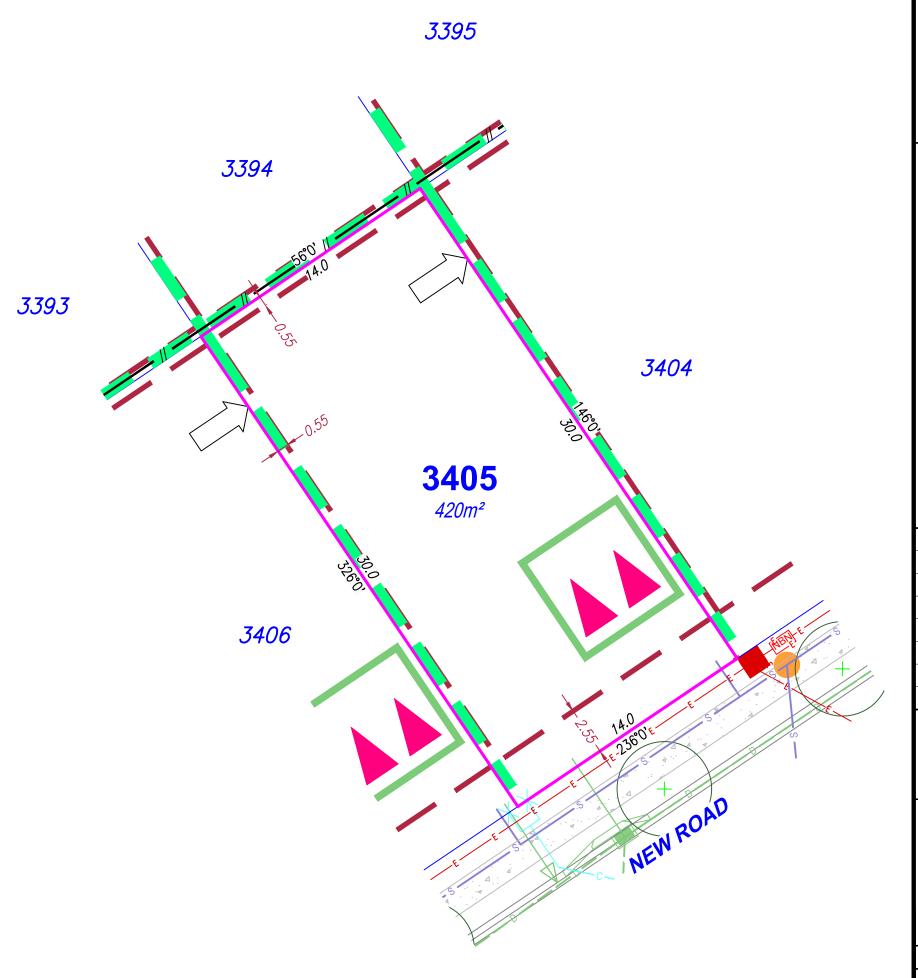
F+61 7 3434 2009

DWG. TLX370977-009-Stg10D-Site

TLX370977 9/3404 Α







For Proposed Lot 3405 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

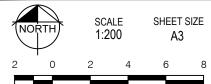
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	GBF Date: 27/		3/2025	
Checke	d: DJL	Date:	05/0	9/2025	
Issue	Description		Date		
DRAFT	Draft plans	Draft plans for review		27/08/25	
ORIG	Issue to	Issue to Client		05/09/25	
Α	Developer Fe	Developer Fences Added		28/11/25	





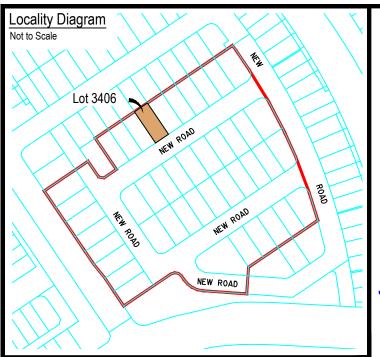
ACN 117 883 173
ABN 97 117 883 173
Suite A.02, Level 1

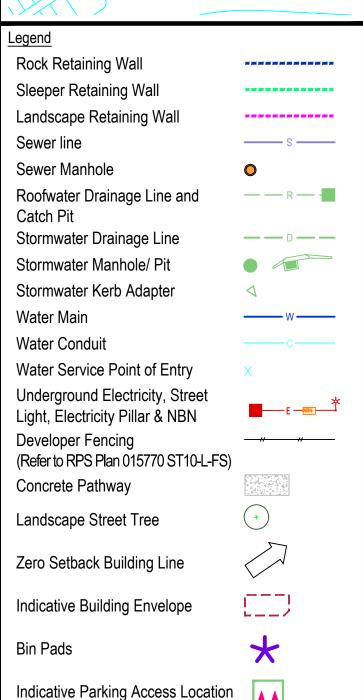
©COPYRIGHT PROTECTS THIS F Unauthorised reproduction or amend not permitted. Please contact the au 114 Brisbane Street Ipswich Qld 4305 T+61 7 3437 2000 F+61 7 3434 2009

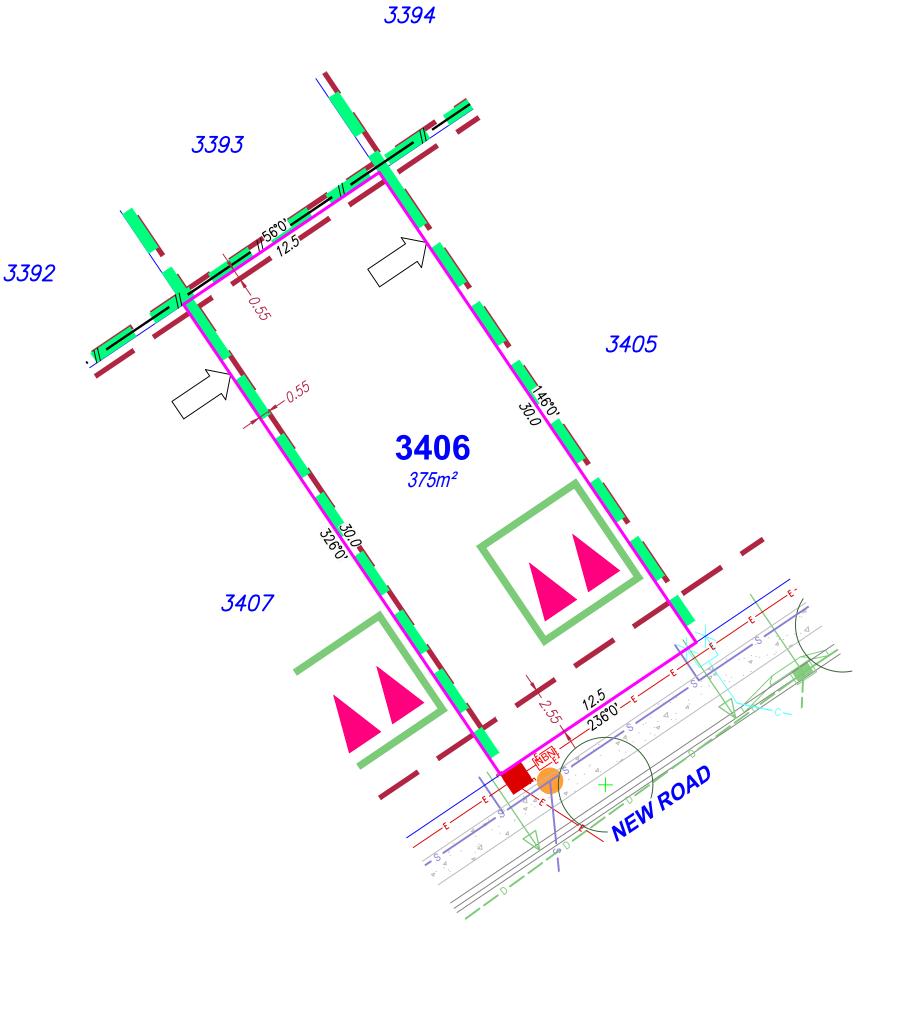
This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984 **T**+61 7 3437 2000 **F**+61 7 3434 2009 **W** rpsgroup.com

DWG. T	LX370)977-009-9	Stg10D	-Site
		D: 44:	1	0

PROJECT PLAN AMD. SHEET
TLX370977 9/3405 A 1 of 1







For Proposed Lot 3406 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

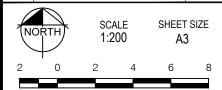
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

J	02.	2410.		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
Checke	d: DJL	DJL Date: 05/09		9/2025
Issue	Descri	Description		
DRAFT	Draft plans	Draft plans for review		
ORIG	Issue to	Issue to Client		
Α	Developer Fe	Developer Fences Added		28/11/25

Date:

27/08/2025





ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

©COPYRIGHT PROTECTS THIS I Unauthorised reproduction or amend not permitted. Please contact the ai 114 Brisbane Street Ipswich Qld 4305

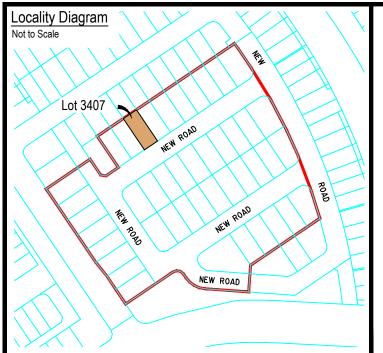
T+61 7 3437 2000
F+61 7 3434 2009

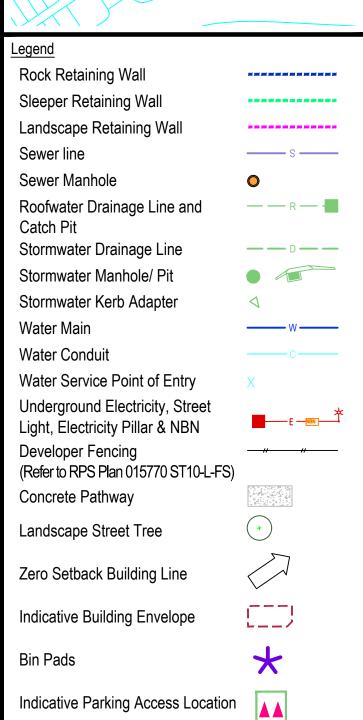
This plan has been prepared by R Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirement of the Land Sales Act 1984.

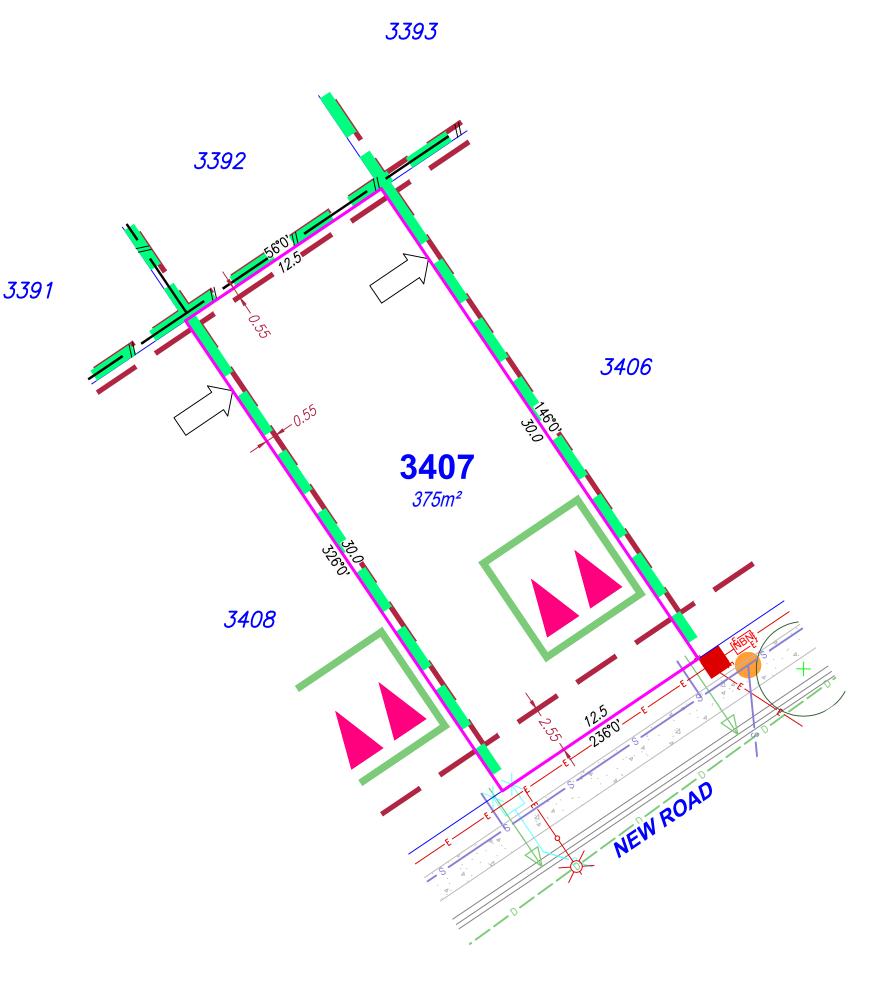
W rpsgroup.com

DWG. TLX370977-009-Stg10D-Site

PROJECT PLAN AMD. SHEE
TLX370977 9/3406 A 1 of







For Proposed Lot 3407 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

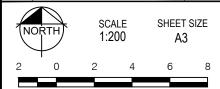
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diawii.	ODI	Date.	21700	012020
Checke	d: DJL	DJL Date: 05/09		9/2025
Issue	Descri	Description		Date
DRAFT	Draft plans	Draft plans for review		
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fe	Developer Fences Added		28/11/25

Date:

27/08/2025





ACN 117 883 173 ABN 97 117 883 173

114 Brisbane Street Ipswich Qld 4305

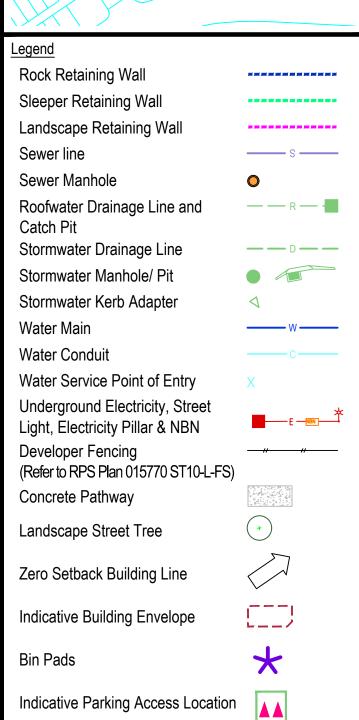
T+61 7 3437 2000 **F**+61 7 3434 2009

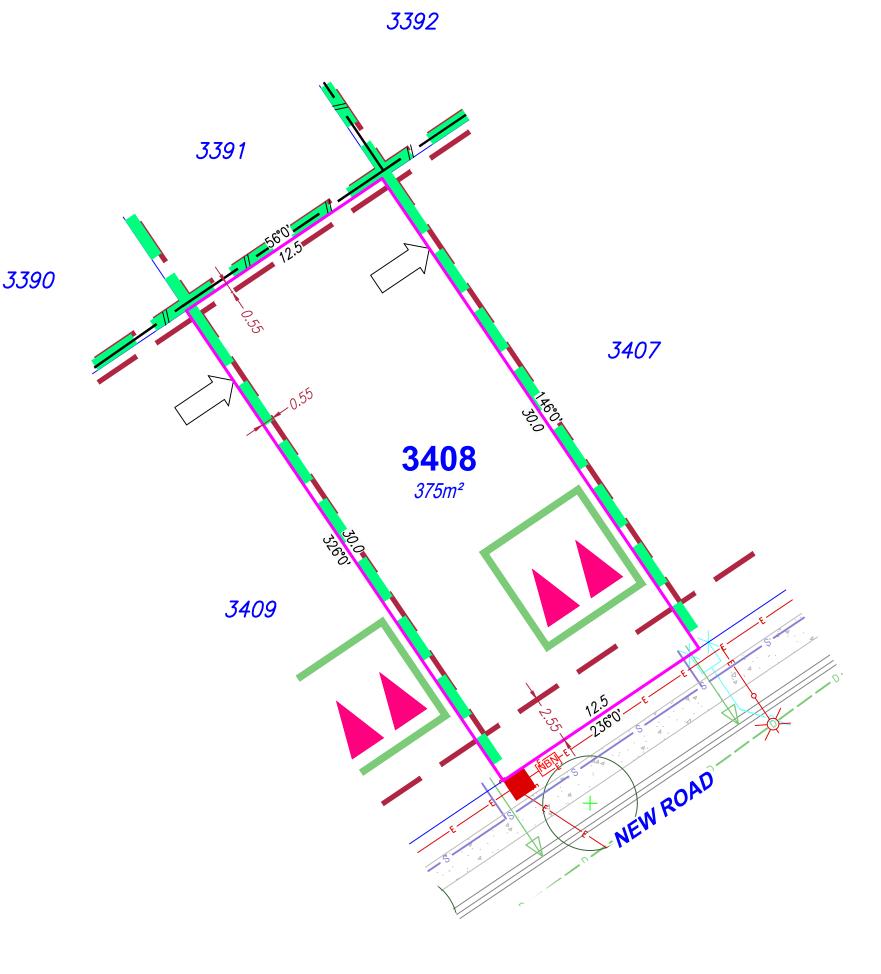
This plan has been prepared by RPS

DWG. TLX370977-009-Stg10D-Site

AMD. TLX370977 9/3407 Α







For Proposed Lot 3408 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

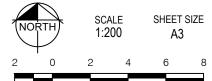
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

2	02.	2410.	,,	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
Checke	d: DJL	Date:	05/09	9/2025
Issue	Description			Date
DRAFT	Draft plans	Draft plans for review		
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fe	Developer Fences Added		28/11/25
	_			

Date:

27/08/2025





ACN 117 883 173
ABN 97 117 883 173

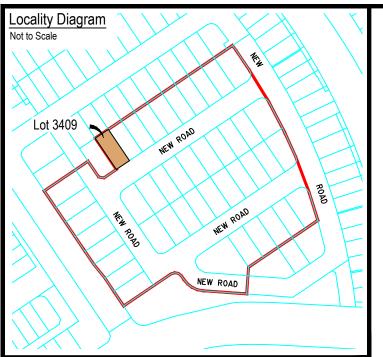
COPYRIGHT PROTECTS THIS PLAN nauthorised reproduction or amendment of permitted. Please contact the author.

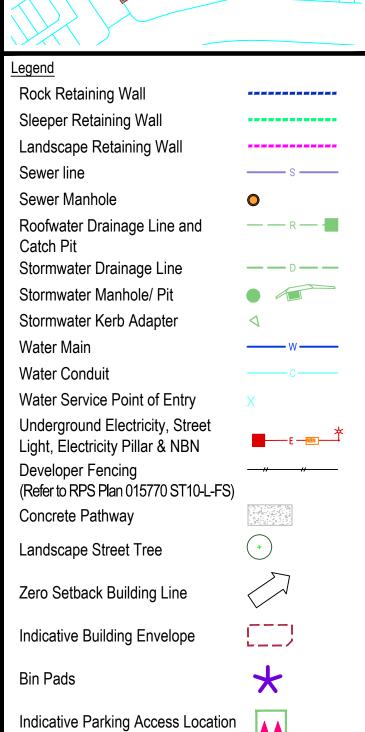
114 Brisbane Street Ipswich Qld 4305
T+61 7 3437 2000
F+61 7 3434 2009

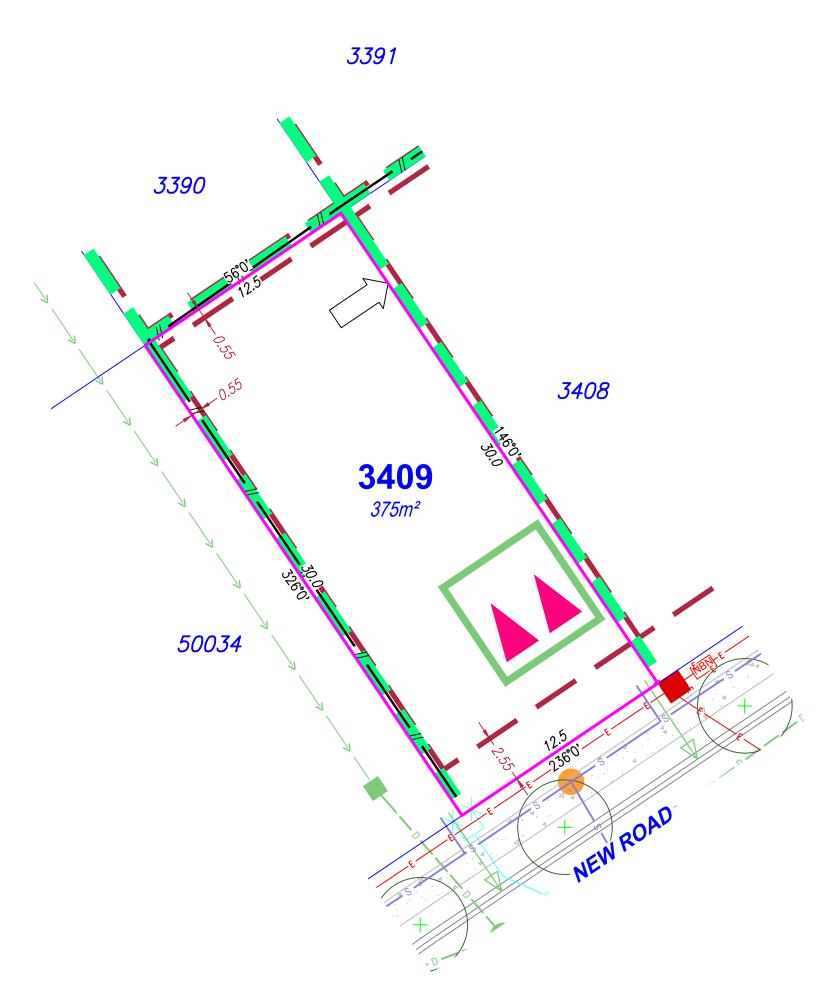
This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984. **F** +61 7 3434 2009 **W** rpsgroup.com

DWG. TLX370977-009-Stg10D-Site

PROJECT PLAN AMD. SHEE
TLX370977 9/3408 A 1 of







For Proposed Lot 3409 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

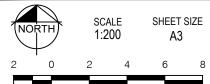
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diam.	OD.	Bato.	2.700	J/ E 0 E 0
Checke	ed: DJL	Date:	05/0	9/2025
Issue	ssue Description			Date
DRAFT	Draft plans for review			27/08/25
ORIG	Issue to Client			05/09/25
Α	Developer Fences Added			28/11/25

Date:

27/08/2025





ACN 117 883 173 ABN 97 117 883 173

114 Brisbane Street Ipswich Qld 4305

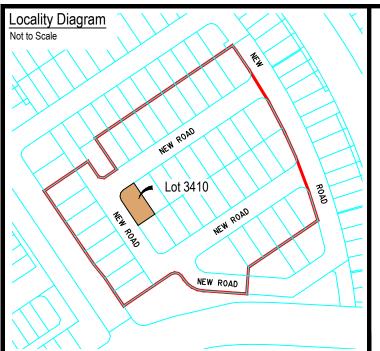
This plan has been prepared by RPS

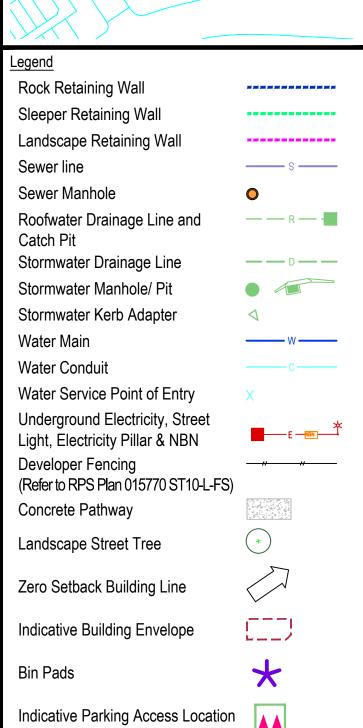
T+61 7 3437 2000 **F**+61 7 3434 2009 W rpsgroup.com

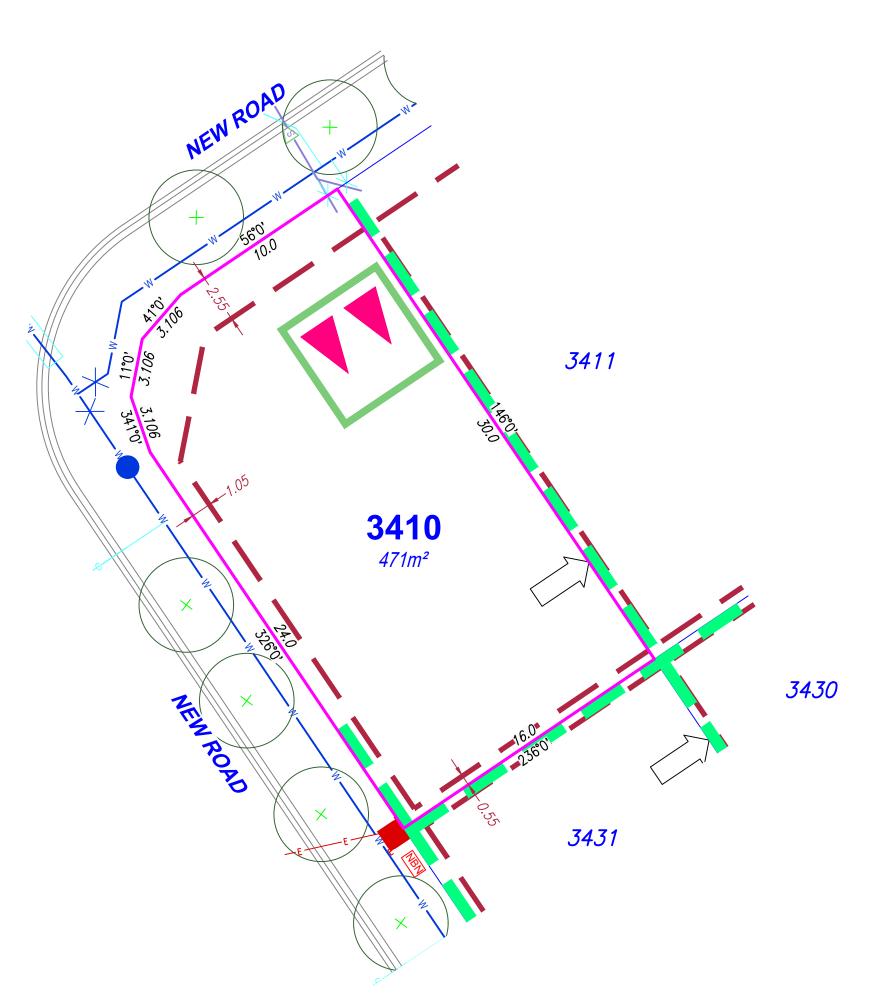
Suite A.02, Level 1

DWG. TLX370977-009-Stg10D-Site

AMD. PROJECT PLAN SHEET TLX370977 9/3409 Α 1 of 1







For Proposed Lot 3410 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diawii.	ODI		Date.	21100	3/2023
Checke	ed: DJL		Date:	05/0	9/2025
Issue	Description		Date		
DRAFT	Dra	ft plans f	or review		27/08/25
ORIG	Issue to Client			05/09/25	
NORTH		SC <i>A</i> 1:2	ALE 00	SHEET A	
2	0	2	4	6	8
_					

Date:

27/08/2025



ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

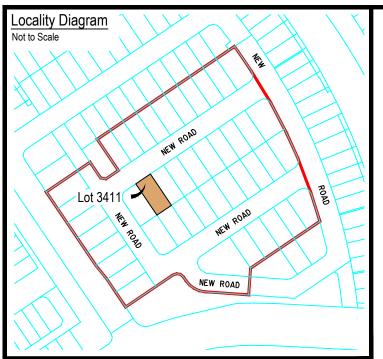
114 Brisbane Street Ipswich Qld 4305

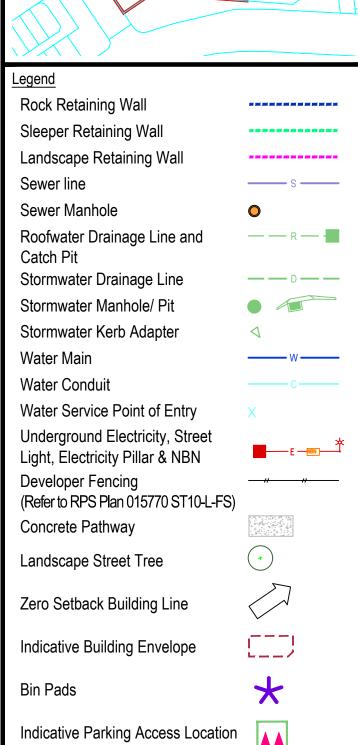
T+61 7 3437 2000 F+61 7 3434 2009

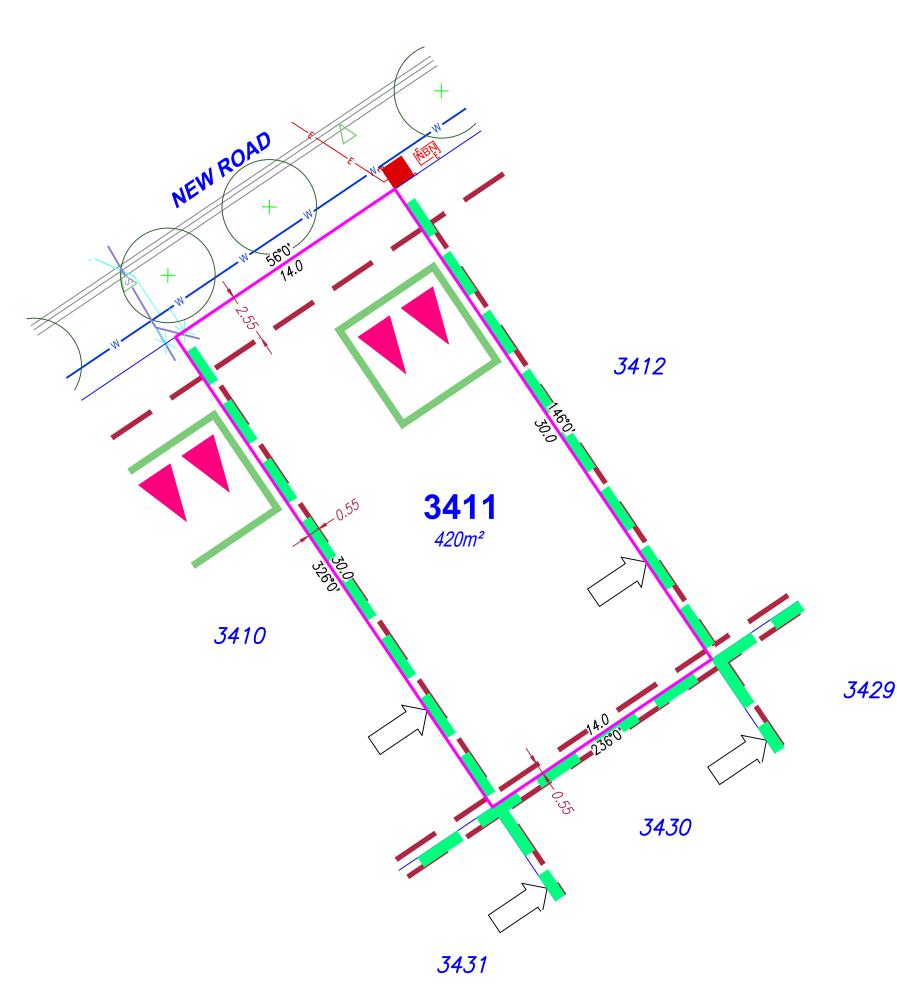
This plan has been prepared by RPS

DWG. TLX370977-009-Stg10D-Site

AMD. TLX370977 9/3410 1 of 1







For Proposed Lot 3411 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

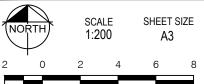
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	n: GBF Date: 27/08/2		3/2025	
Checke	cked: DJL Date: 05/09		9/2025	
Issue	Descri	otion		Date
DRAFT	Draft plans	Draft plans for review		27/08/25
ORIG	Issue to Client		05/09/25	
SCALE SH			SHEET	SIZE





ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

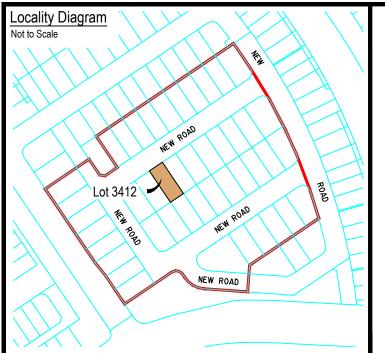
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

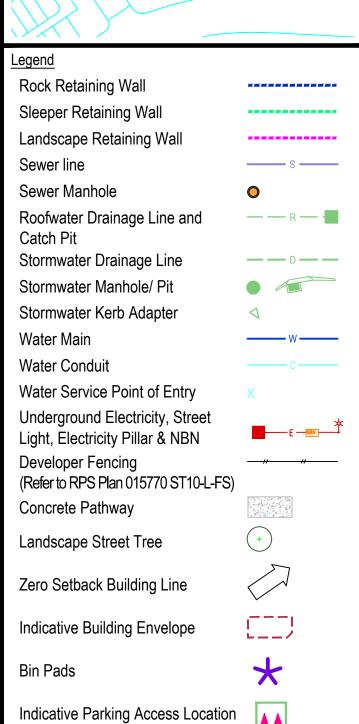
This plan has been prepared by RPS

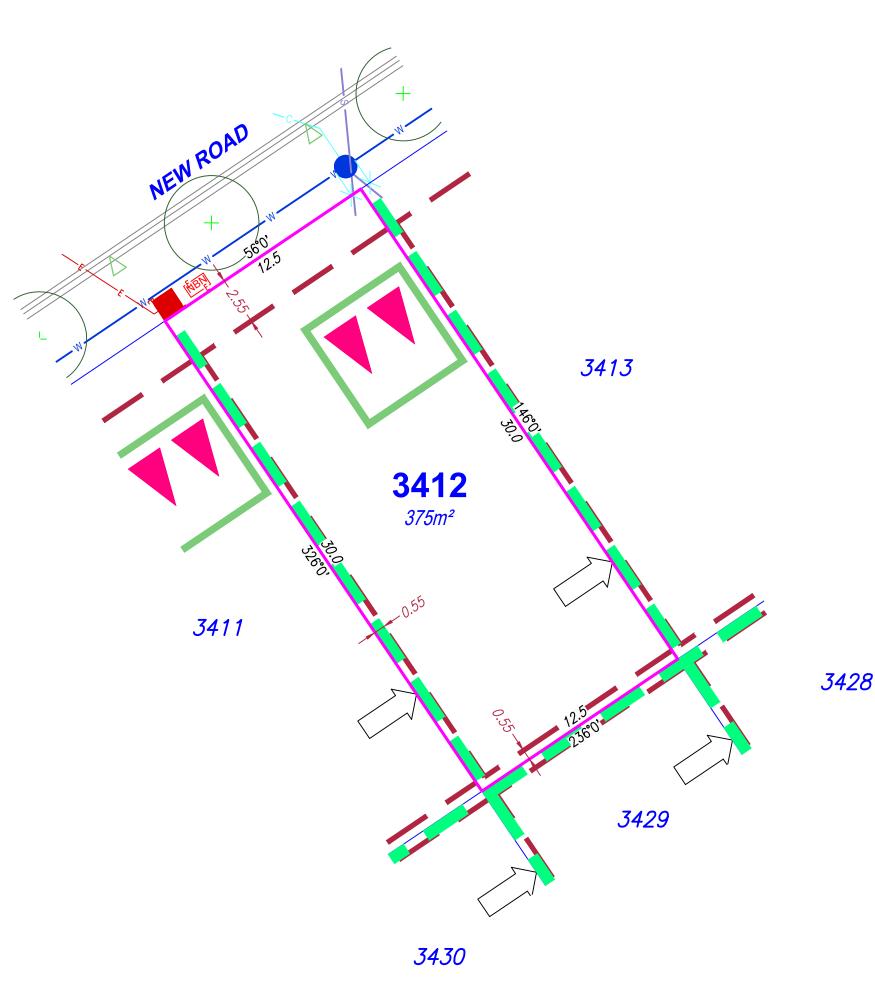
W rpsgroup.com

DWG. TLX370)977-009-8	Stg10D	-Site
556 1565	6: 44:		0

AMD. SHEET PROJECT PLAN TLX370977 9/3411 1 of 1







For Proposed Lot 3412 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diawii.	ODI		Duto.	21700	3/2020
Checked: DJL			Date:	05/0	9/2025
Issue		Descri	otion		Date
DRAFT	Dra	ft plans	for review	,	27/08/25
ORIG		Issue to Client		05/09/25	
NORTH		SC/ 1:2	ALE 200	SHEET A	
2	. 0	2	4	6	8

Date:

27/08/2025



ACN 117 883 173 ABN 97 117 883 173

114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

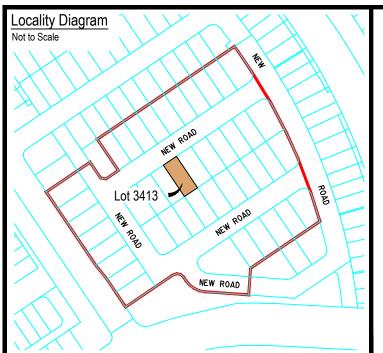
Suite A.02, Level 1

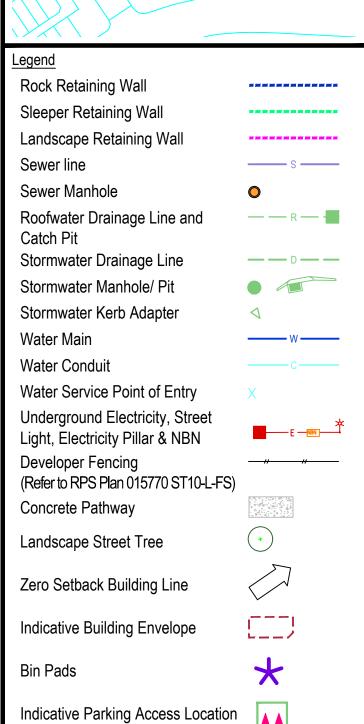
This plan has been prepared by RPS

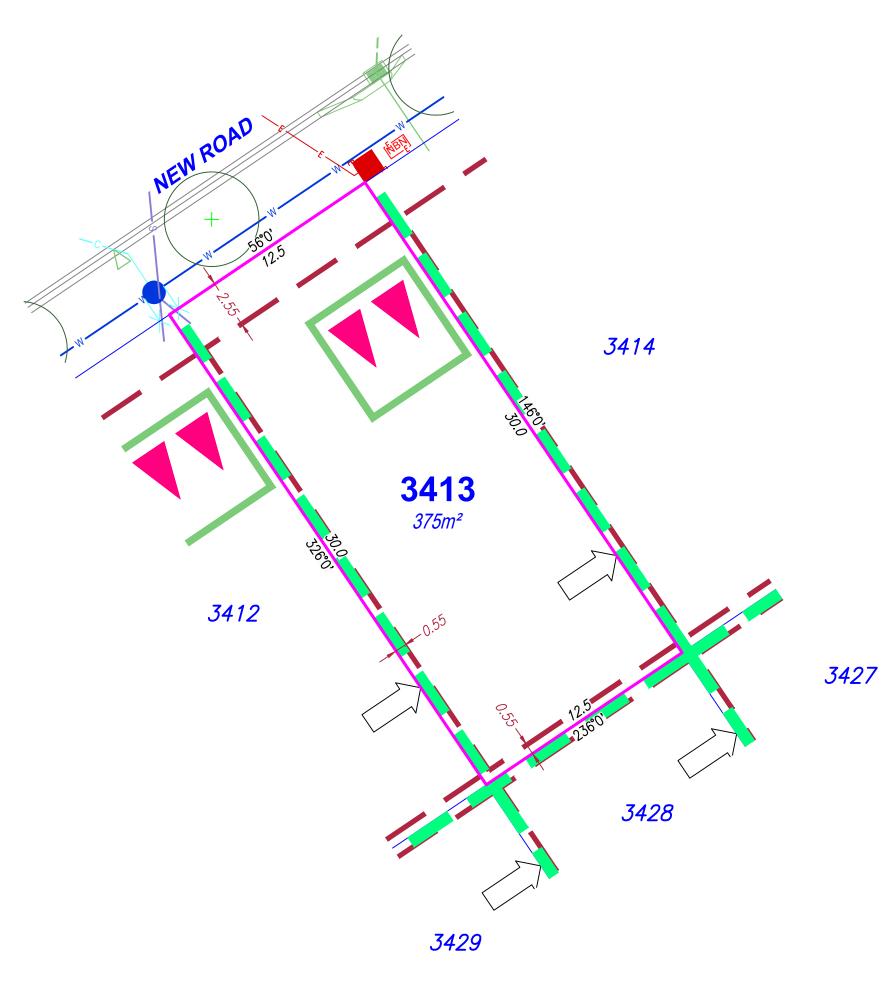
W rpsgroup.com

DWG. TLX370)977-009-8	Stg10D	-Site
556 1565	6: 44:		01.15

AMD. SHEET PROJECT PLAN TLX370977 9/3412 1 of 1







For Proposed Lot 3413 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

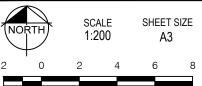
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08/2025	
Checke	ed: DJL	Date:	05/0	9/2025
Issue	Descrip	otion		Date
DRAFT	Draft plans f	Draft plans for review		27/08/25
ORIG	Issue to	Issue to Client		05/09/25
SCALE SHEET SIZE				



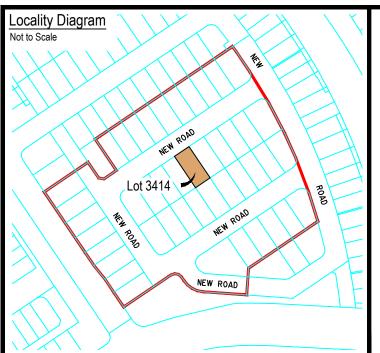


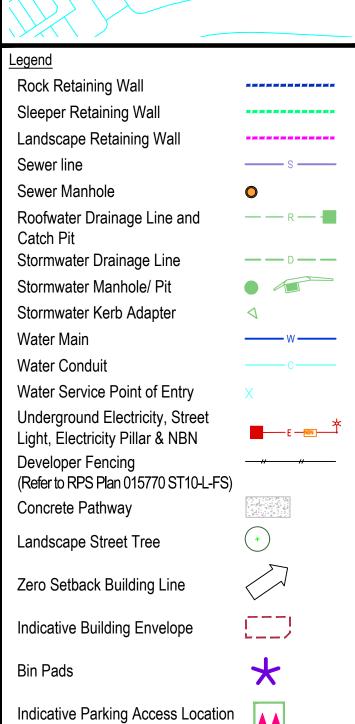
ACN 117 883 173 ABN 97 117 883 173

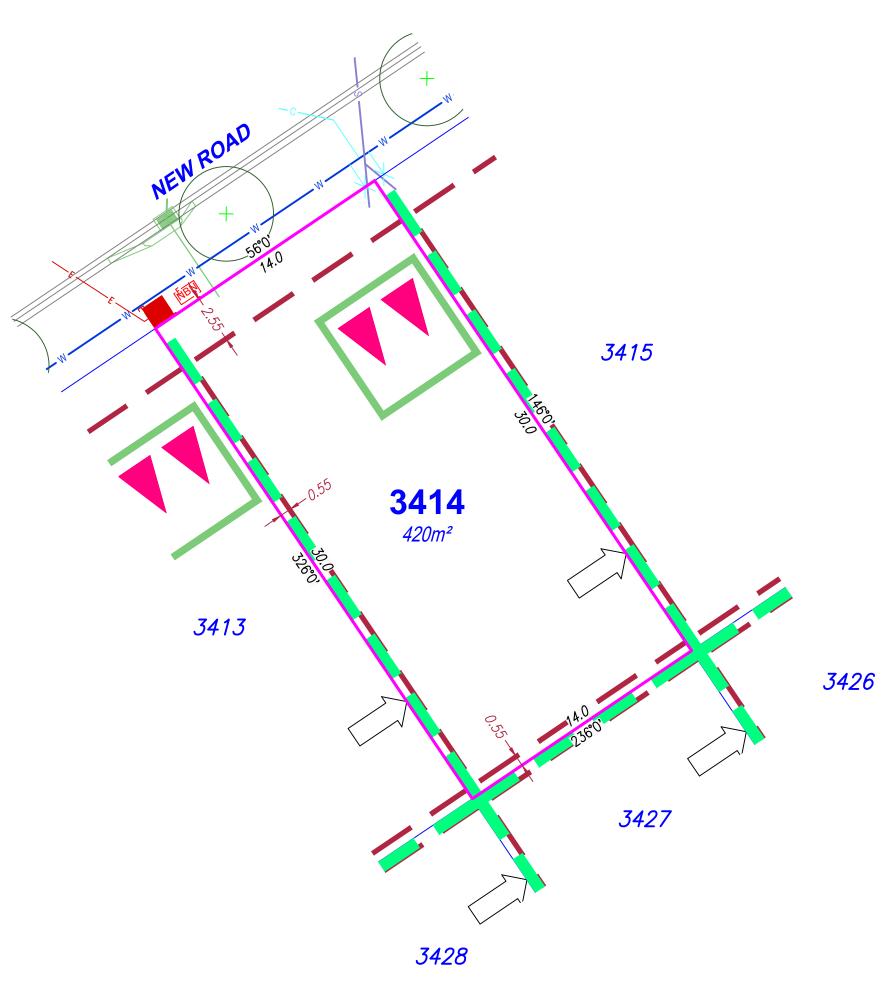
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

DWG. TLX370977-009-Stg10D-Site

AMD. TLX370977 9/3413







For Proposed Lot 3414 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08	3/2025
Checke	d: DJL	Date:	05/0	9/2025
Issue	Descri	ption		Date
DRAFT	Draft plans	for review	,	27/08/25
ORIG	Issue to	Issue to Client		05/09/25
(NORTH)		SHEET A		



ACN 117 883 173 ABN 97 117 883 173

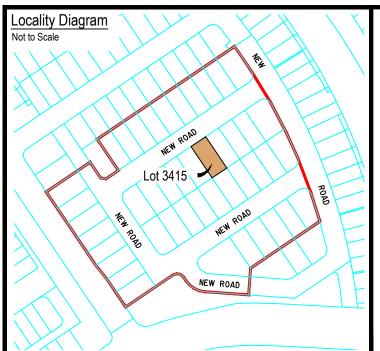
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 F+61 7 3434 2009

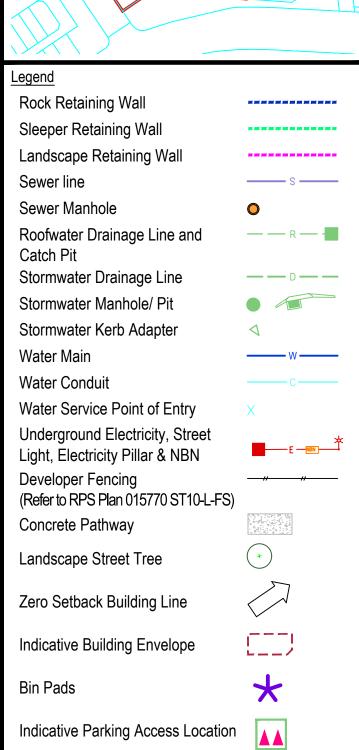
Suite A.02, Level 1

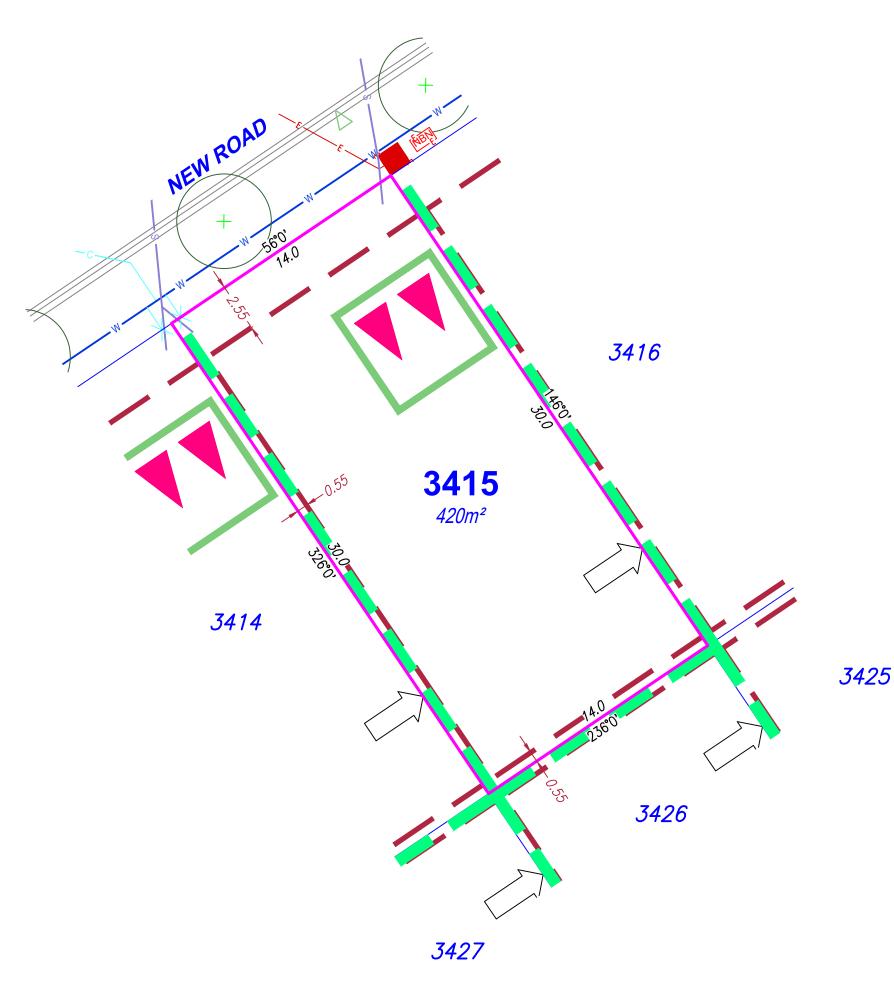
This plan has been prepared by RPS

DWG. TLX370977-009-Stg10D-Site

AMD. TLX370977 9/3414







For Proposed Lot 3415 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Votes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

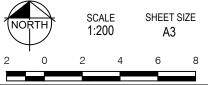
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Date:

27/08/2025

Diawii.	ODI	Date.	21/00	0/2025
Checke	Checked: DJL Date: 05/0		9/2025	
Issue	Descrip	otion		Date
DRAFT	Draft plans t	Draft plans for review		27/08/25
ORIG	Issue to	Issue to Client		05/09/25
NORTH SCALE SHEET SIZE				





114 Brisb
RIGHT PROTECTS THIS PLAN
Issed reproduction or amendment

©COPYRIGHT PROTECTS THIS F Unauthorised reproduction or amend not permitted. Please contact the au

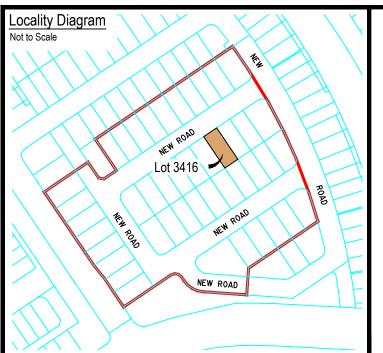
This plan has been prepared by F Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirement of the Land Sales Act 1984. Suite A.02, Level 1 114 Brisbane Street Ipswich Qld 4305 T+61 7 3437 2000 F+61 7 3434 2009

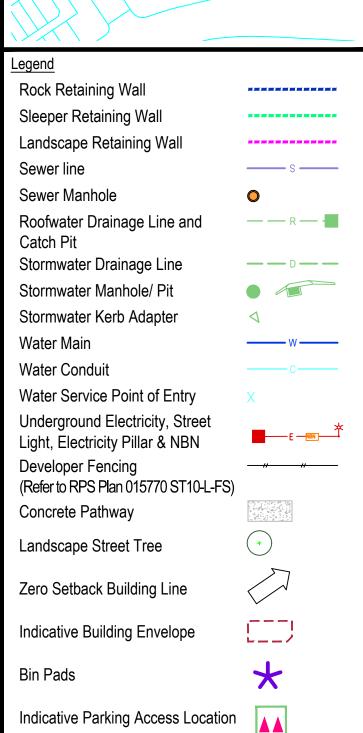
ACN 117 883 173 ABN 97 117 883 173

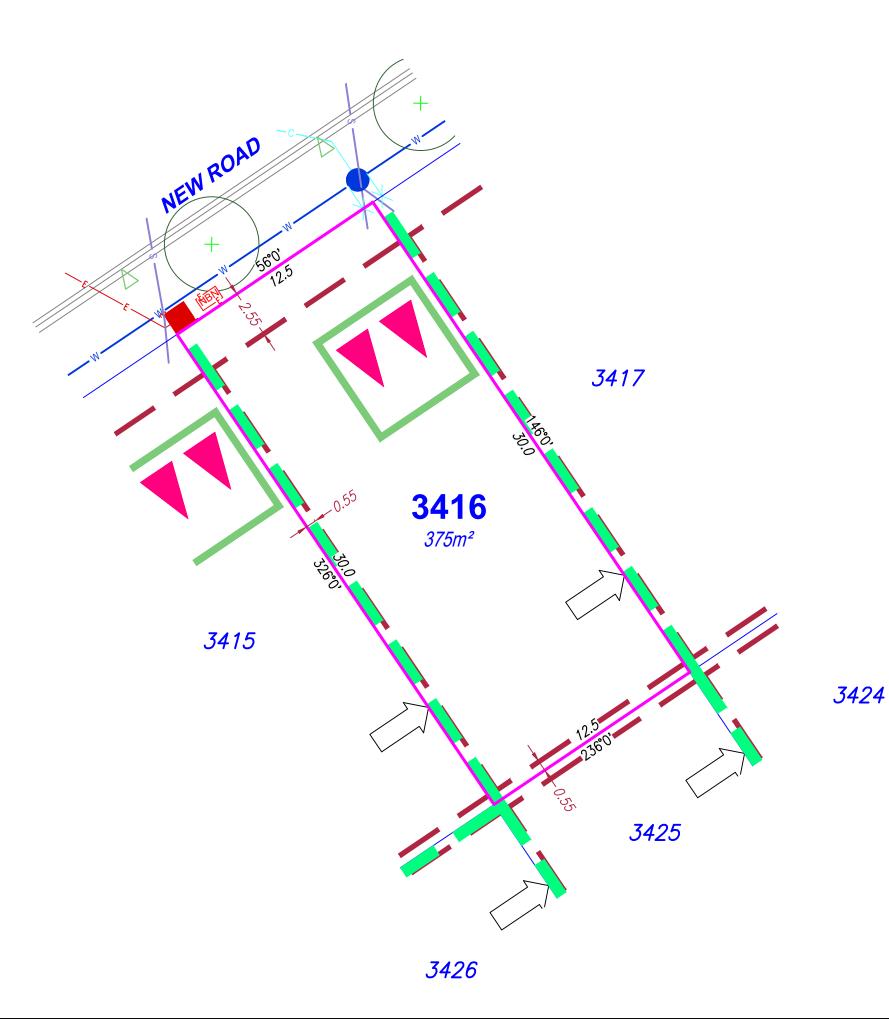
e requirements 1984.

DWG. TLX370977-009-Stg10D-Site
PROJECT PLAN AMD. SHEE

TLX370977 9/3415 - 1 of







For Proposed Lot 3416 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

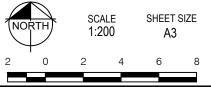
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08/2025	
Checke	ed: DJL	Date:	05/0	9/2025
Issue	Descrip	otion		Date
DRAFT	Draft plans for review		27/08/25	
ORIG	Issue to Client		05/09/25	
NORTH SCALE SHEET SI 1:200 A3				



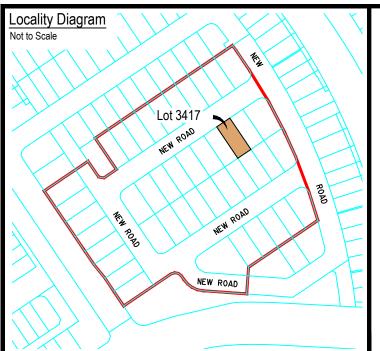


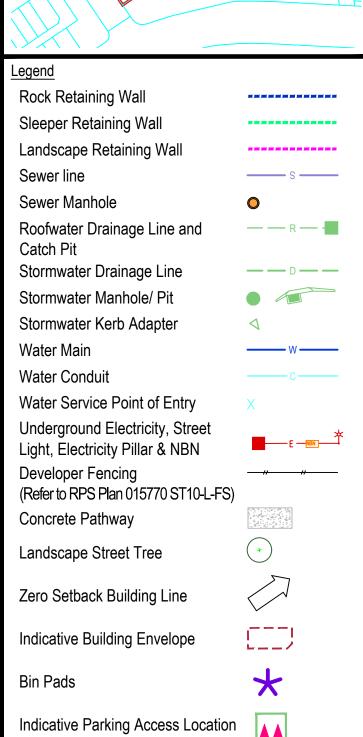
ACN 117 883 173 ABN 97 117 883 173 114 Brisbane Street Ipswich Qld 4305

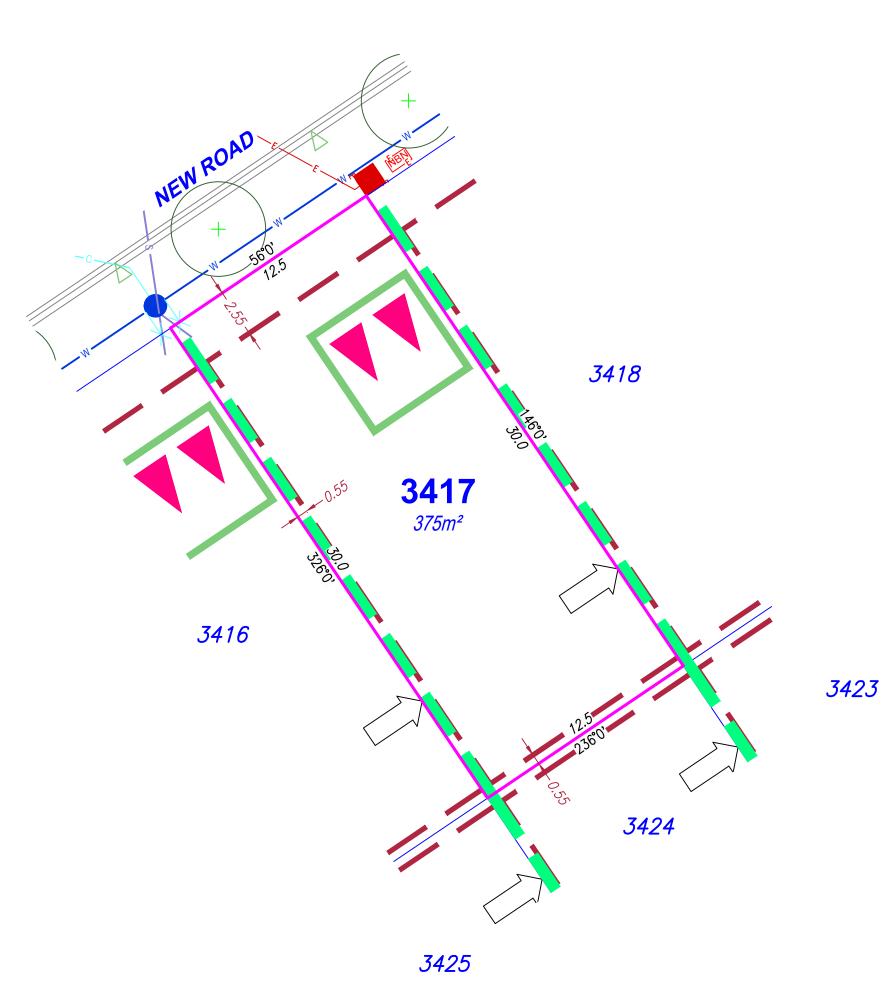
T+61 7 3437 2000 **F**+61 7 3434 2009

DWG. TLX370977-009-Stg10D-Site

TLX370977 9/3416







For Proposed Lot 3417 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Votes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Date:

27/08/2025

Diawii.	ODI	Date.	21700	3/2020
Checke	d: DJL	Date:	05/0	9/2025
Issue	Descri	ption		Date
DRAFT	Draft plans	for review		27/08/25
ORIG	Issue to	Issue to Client		05/09/25
NO		ALE 200	SHEET A	



ACN 117 883 173 ABN 97 117 883 173

COPYRIGHT PROTECTS THIS PLA Unauthorised reproduction or amendme

114 Brisbane Street
| 175 THIS PLAN | 114 Brisbane Street | 195 Wich Qld 4305 | 115 THIS PLAN | 115 THIS PL

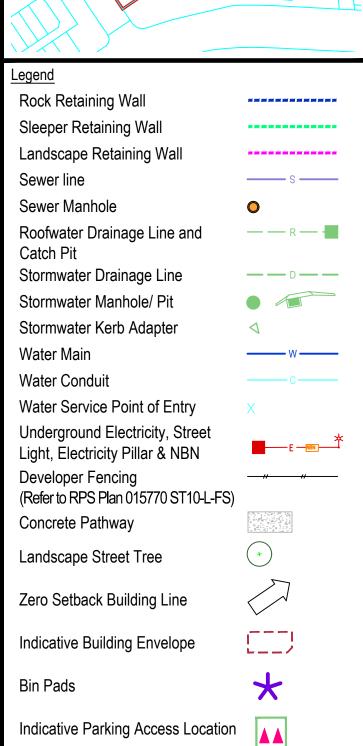
This plan has been prepared by F Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirement of the Land Sales Act 1984. F+61 7 3434 2009 W rpsgroup.com

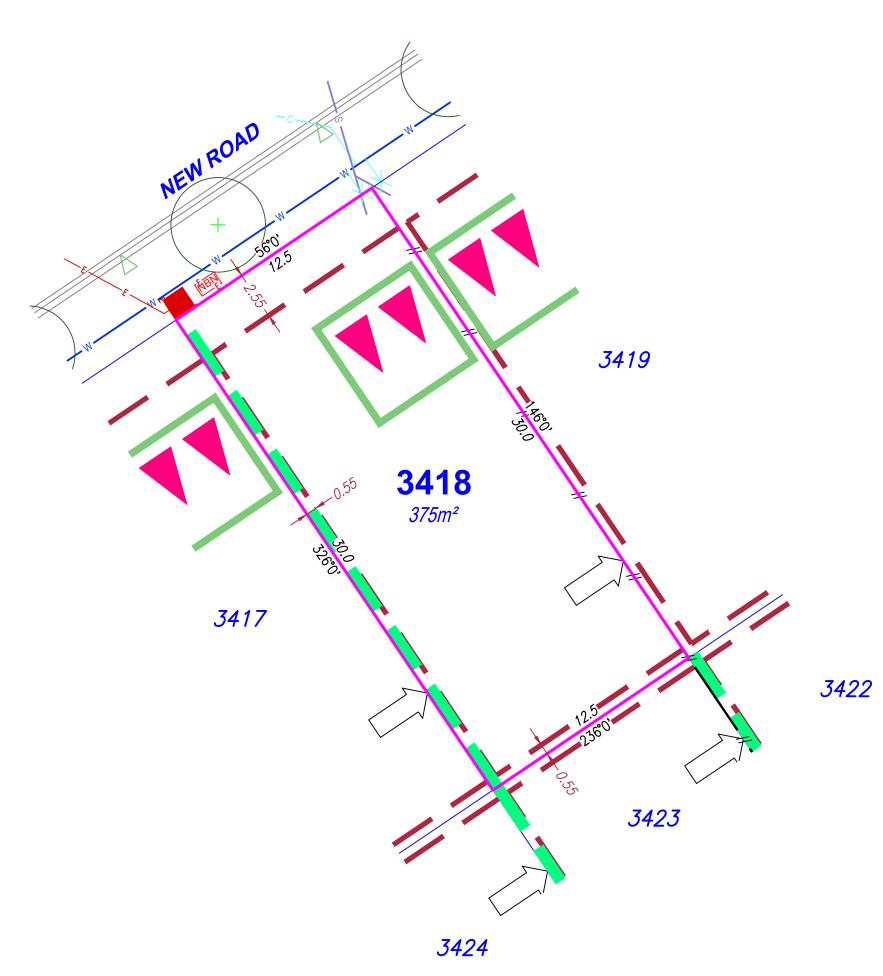
Suite A.02, Level 1

DWG. TLX370977-009-Stg10D-Site

PROJECT PLAN AMD. SHEE TLX370977 9/3417 - 1 of







For Proposed Lot 3418 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

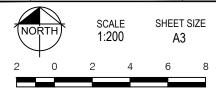
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diawii.	ODI	Date.	21100	3/2023
Checke	d: DJL	DJL Date: 05/09		9/2025
Issue	Descri	otion		Date
DRAFT	Draft plans	Draft plans for review		
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fe	Developer Fences Added		28/11/25

Date:

27/08/2025





ACN 117 883 173 ABN 97 117 883 173

114 Brisbane Street Ipswich Qld 4305

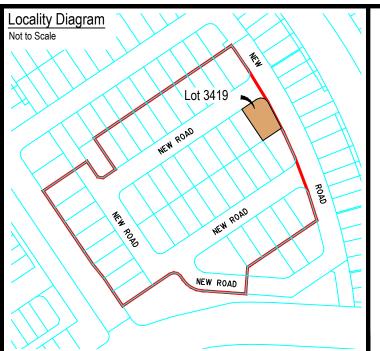
This plan has been prepared by RPS

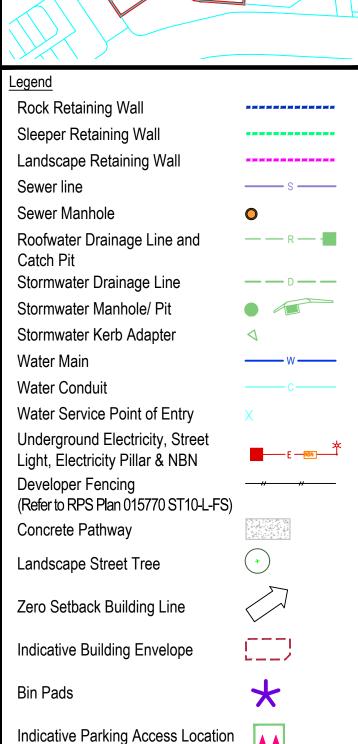
T+61 7 3437 2000 **F**+61 7 3434 2009

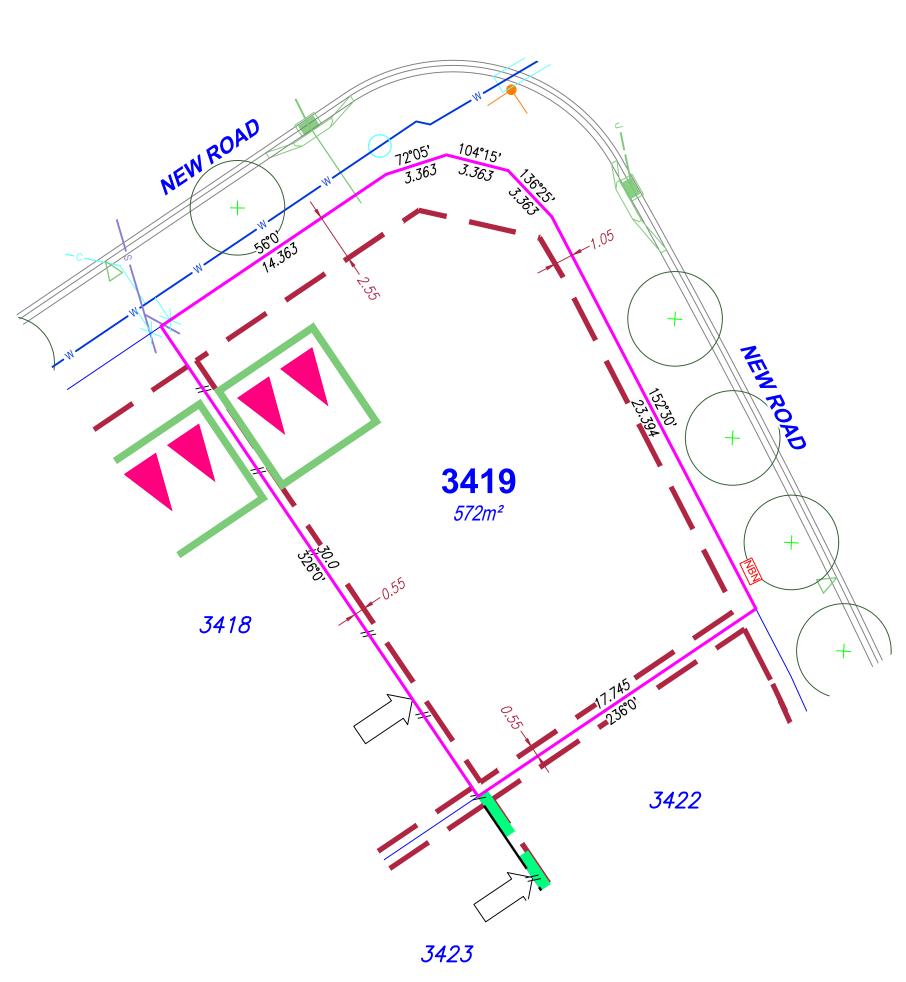
Suite A.02, Level 1

DWG. TLX370977-009-Stg10D-Site

PROJECT PLAN AMD. SHEET TLX370977 9/3418 Α 1 of 1







For Proposed Lot 3419 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 & USL RPD

Flagstone / Silverbark Ridge LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

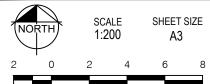
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn.	GBF	Date.	21/00	0/2025
Checke	d: DJL	Date:	e: 05/09/20	
Issue	Descri	otion		Date
DRAFT	Draft plans	Draft plans for review		
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fe	Developer Fences Added		28/11/25





Suite A.02, Level 1 114 Brisbane Street Ipswich Qld 4305

T+61 7 3437 2000

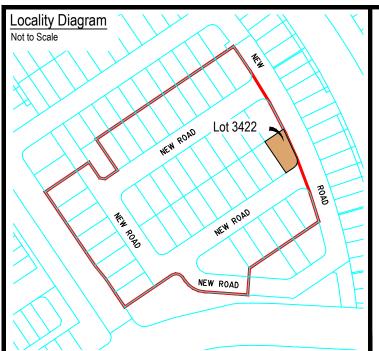
This plan has been prepared by RPS

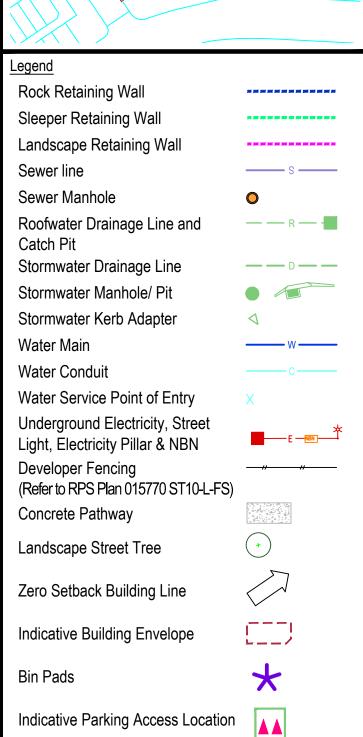
F+61 7 3434 2009 W rpsgroup.com

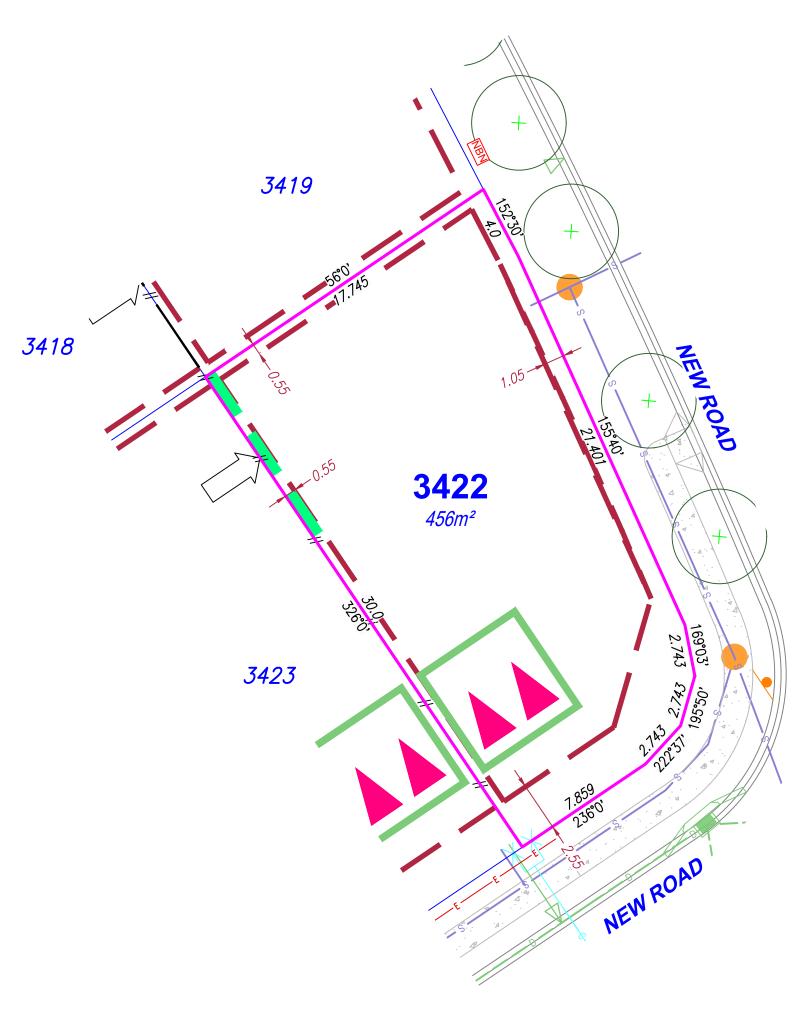
ACN 117 883 173 ABN 97 117 883 173

DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEE
TLX370977	9/3419	Α	1 of







For Proposed Lot 3422 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 & USL RPD

Flagstone / Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diawii.	GDI			0/2023
Checke	d: DJL			9/2025
Issue	Descri	Description Draft plans for review Issue to Client		
DRAFT	Draft plans			
ORIG	Issue to			
Α	Developer Fe	Developer Fences Added		28/11/25





ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

This plan has been prepared by RPS

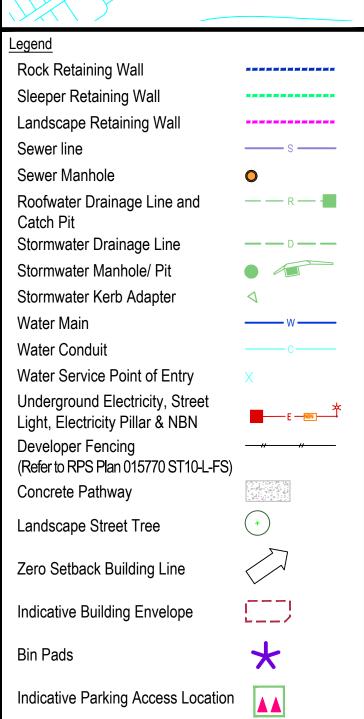
T+61 7 3437 2000 F+61 7 3434 2009

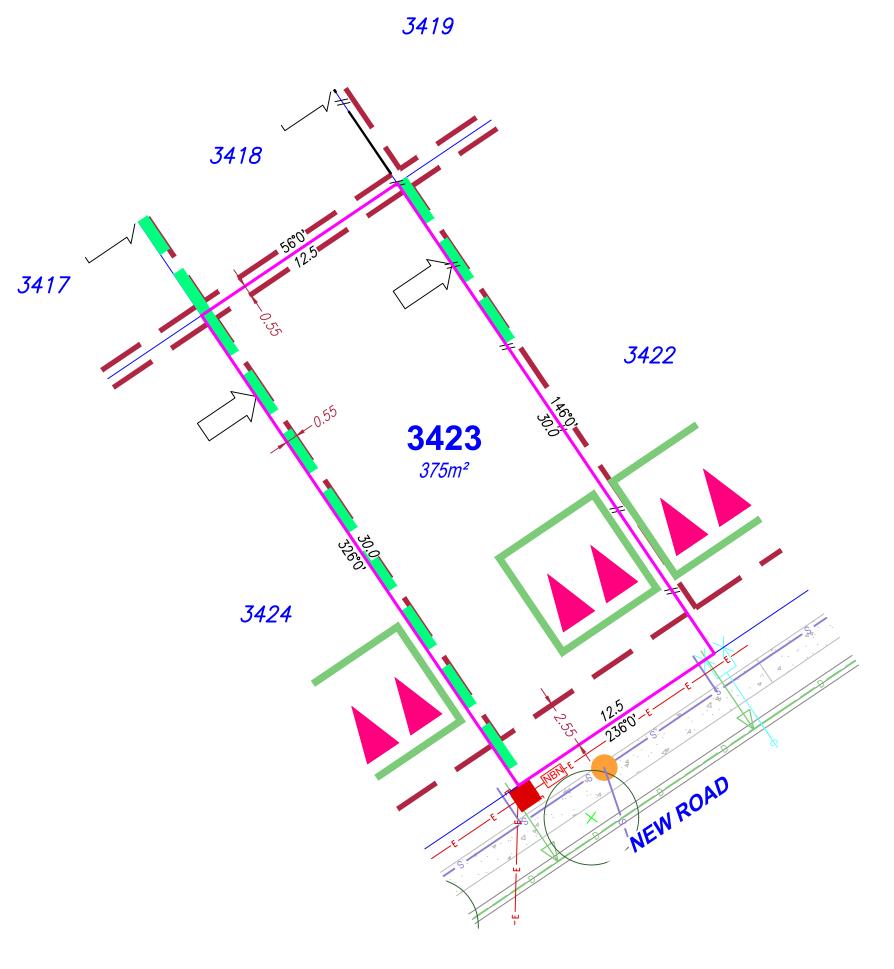
114 Brisbane Street Ipswich Qld 4305

DWG. TLX370977-009-Stg10D-Site

TLX370977 9/3422 Α







For Proposed Lot 3423 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

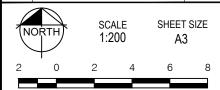
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diawii.	ODI	OBI Date: 21700		0/2020
Checke	d: DJL	DJL Date: 05/09 Description Draft plans for review Issue to Client		
Issue	Descri			
DRAFT	Draft plans			
ORIG	Issue to			
Α	Developer Fe	Developer Fences Added		28/11/25

Date:

27/08/2025





ACN 117 883 173
ABN 97 117 883 173

©COPYRIGHT PROTECTS THIS F Unauthorised reproduction or amend not permitted. Please contact the au

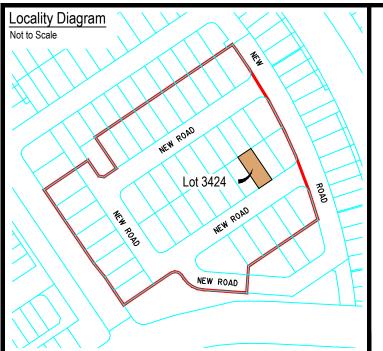
production or amendment
Please contact the author.

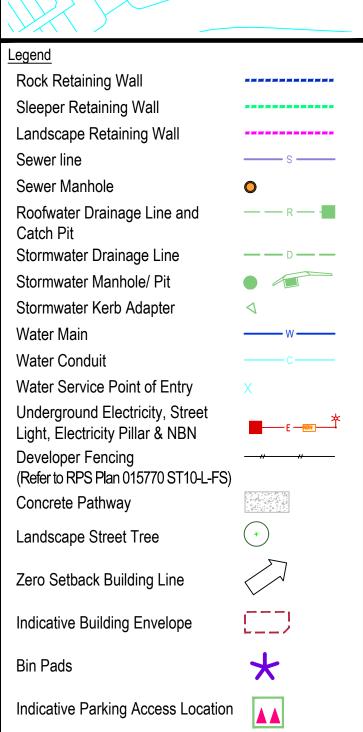
T+61 7 3

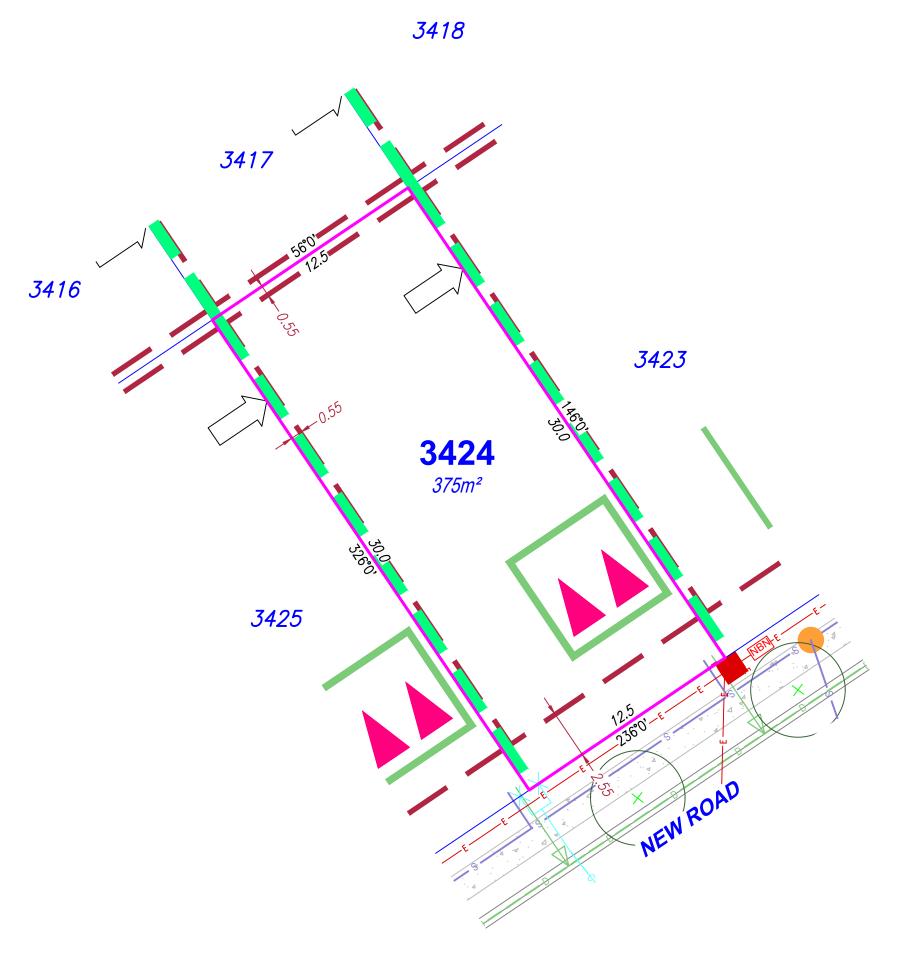
This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984. 114 Brisbane Street Ipswich Qld 4305 T+61 7 3437 2000 F+61 7 3434 2009 W rpsgroup.com

DWG. TLX370977-009-Stg10D-Site

PROJECT PLAN AMD. SHEE TLX370977 9/3423 A 1 of







For Proposed Lot 3424 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Votes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08	7/08/2025	
Checke	d: DJL	Date:	05/0		
Issue	Descri	ption		Date	
DRAFT			27/08/25		
ORIG			05/09/25		
No		ALE 200	SHEET A		



ACN 117 883 173 ABN 97 117 883 173

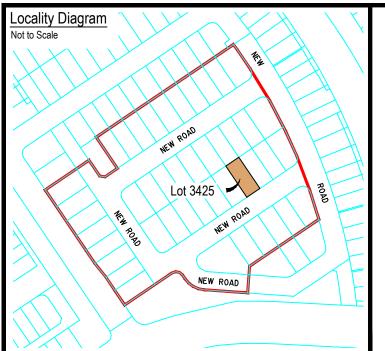
©COPYRIGHT PROTECTS THIS Unauthorised reproduction or amend

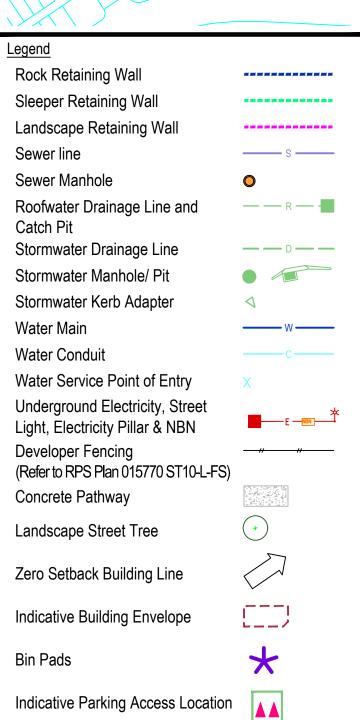
RIGHT PROTECTS THIS PLAN ised reproduction or amendment itted. Please contact the author.

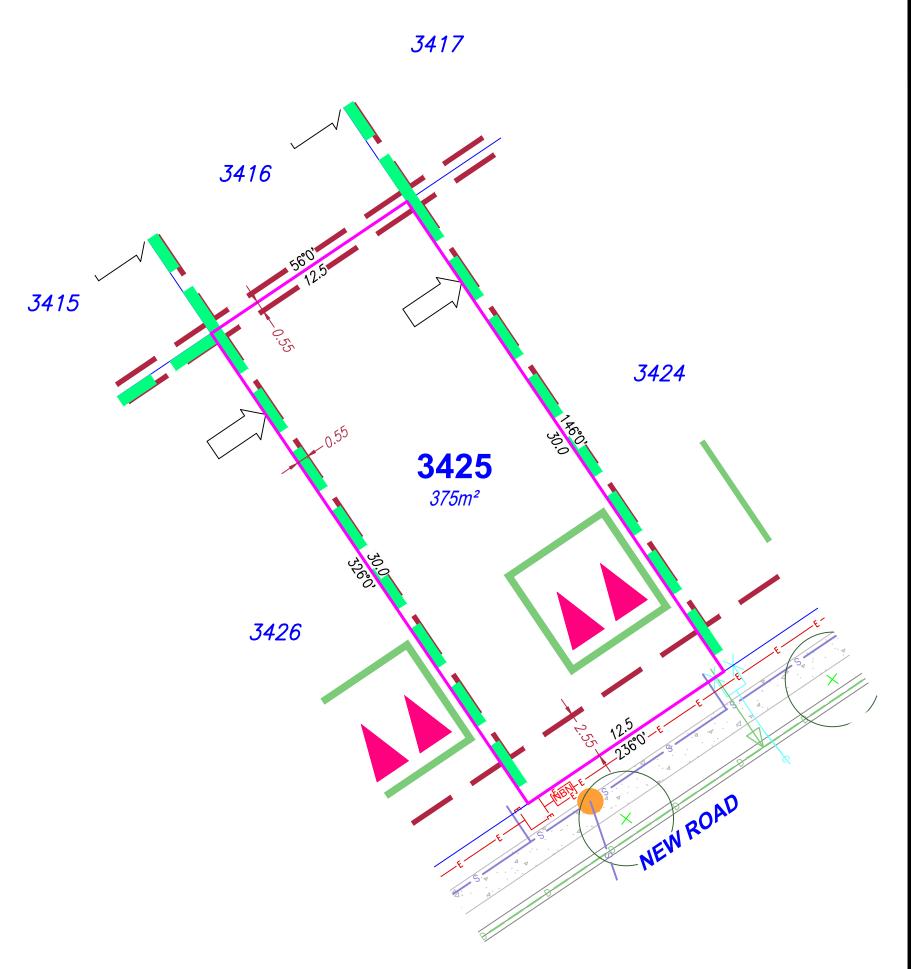
This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984 114 Brisbane Street Ipswich Qld 4305 T+61 7 3437 2000 F+61 7 3434 2009 W rpsgroup.com

[DWG. TLX370977-009-Stg10D-Site

PROJECT PLAN AMD. SHEET TLX370977 9/3424 - 1 of 1







For Proposed Lot 3425 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08	3/2025
Checked:	DJL	Date:	05/0	9/2025
Issue	Descr	iption		Date
DRAFT	Draft plans	for review	,	27/08/25
ORIG	Issue to	Client		05/09/25
NO	DTU I'	ALE 200	SHEET A	
2	0 2	4	6	8



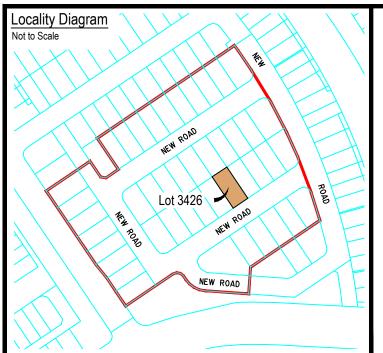
ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

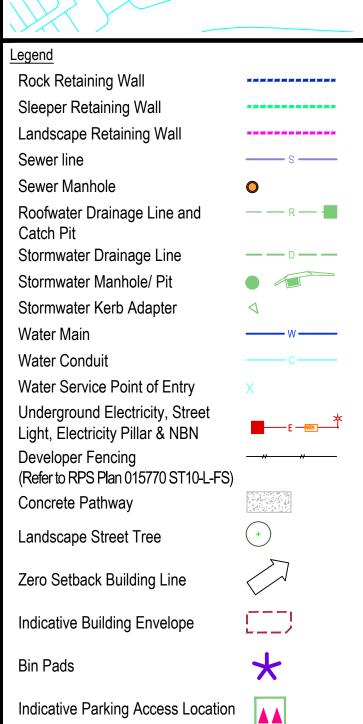
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000

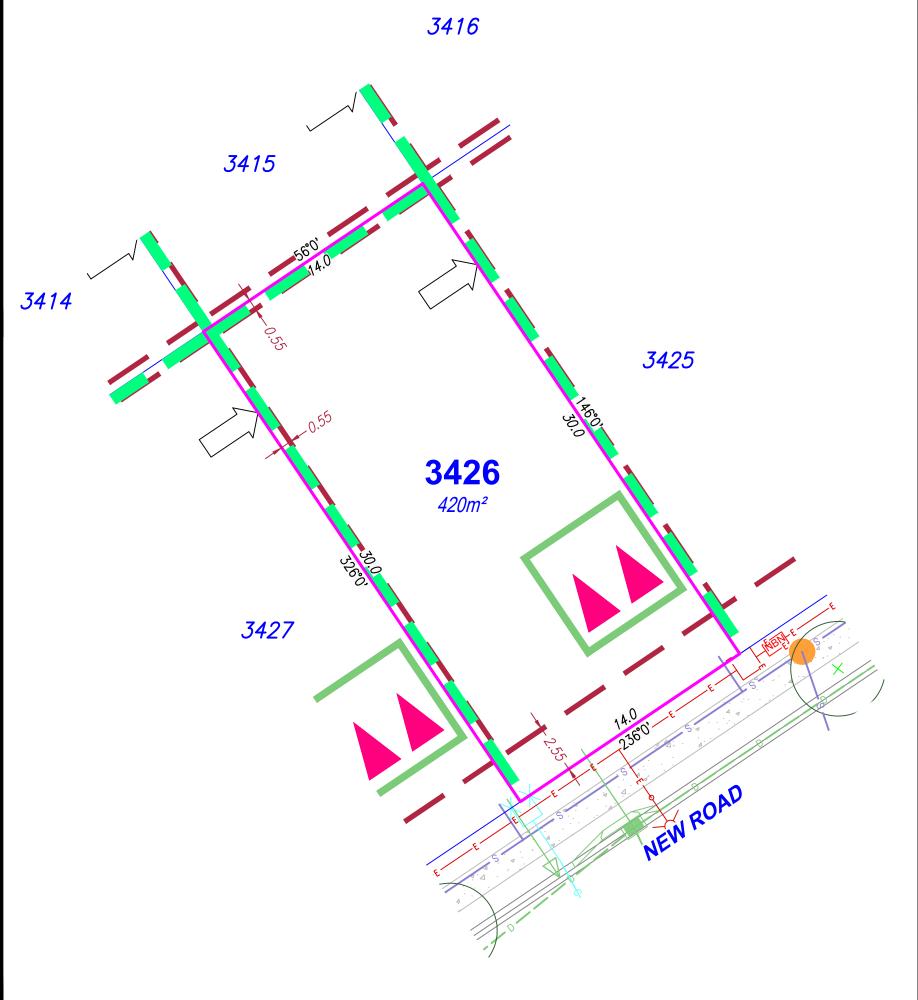
F+61 7 3434 2009 W rpsgroup.com

DWG. TLX370)977-009-9	Stg10D	-Site
DDO IEOT	DI 441	- 110	21.5

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3425	-	1 of '







For Proposed Lot 3426 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08	3/2025
Checke	d: DJL	Date:	05/09	9/2025
Issue	Descri	ption		Date
DRAFT	Draft plans	for review		27/08/25
ORIG	IG Issue to Client		05/09/25	
NO	7DTU :	ALE 200	SHEET A3	

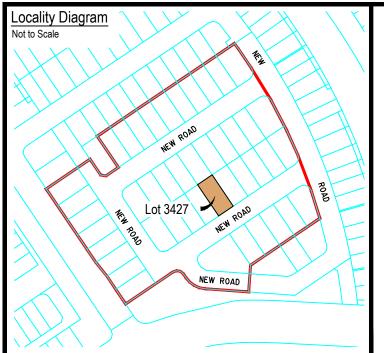


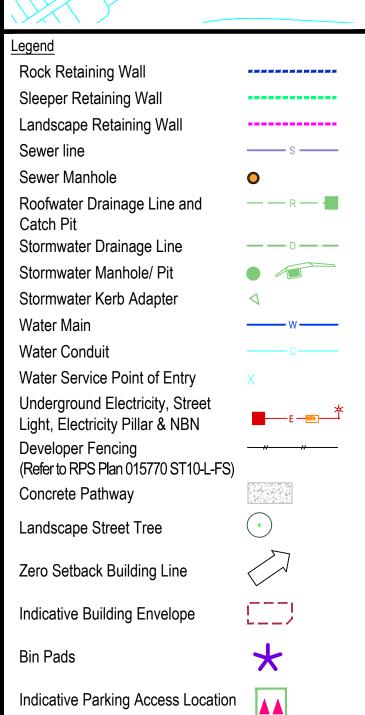
ACN 117 883 173 ABN 97 117 883 173

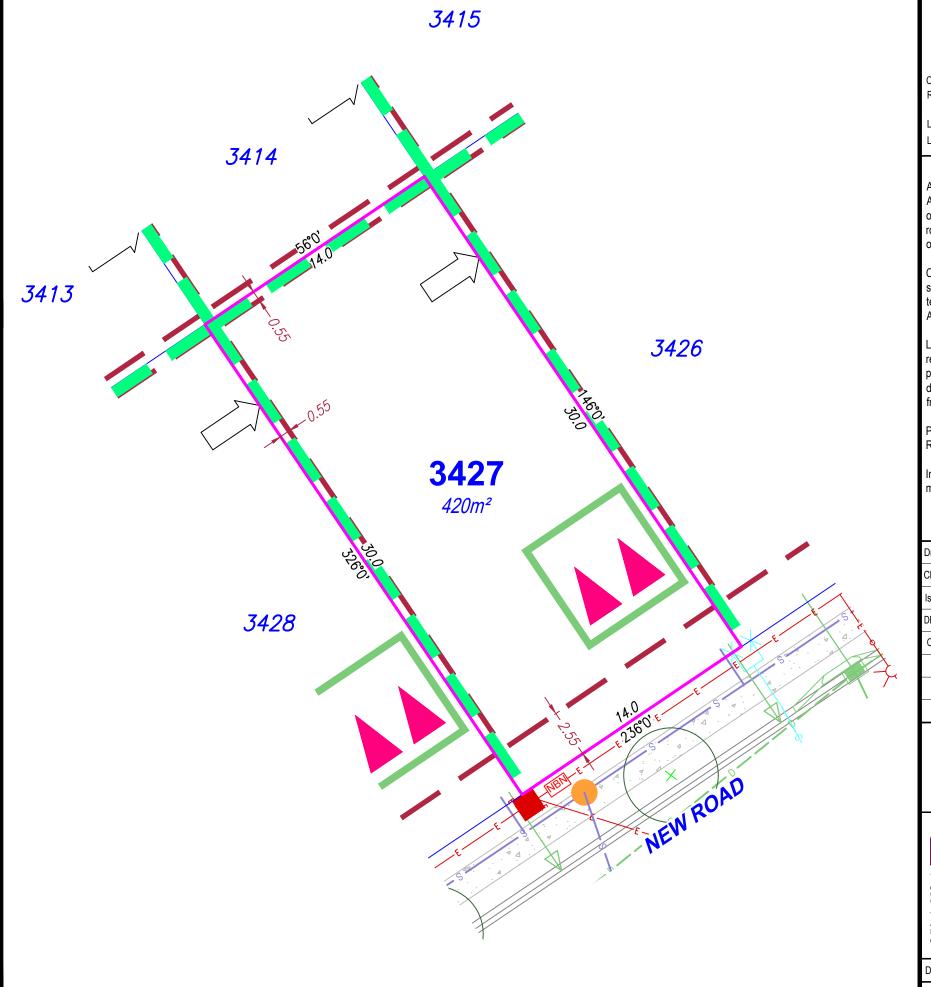
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009 W rpsgroup.com

DWG. TLX370977-009-Stg10D-Site

AMD. PROJECT PLAN SHEET TLX370977 9/3426 1 of 1







For Proposed Lot 3427 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08	3/2025
Checke	d: DJL	Date:	05/0	9/2025
Issue	Desc	ription		Date
DRAFT	Draft plan	s for review		27/08/25
ORIG	Issue t	o Client		05/09/25
No	ODTUI:	CALE :200	SHEET A	-
2	. 0 2	1	6	Ω



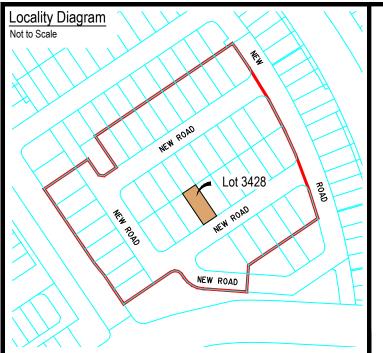
ACN 117 883 173 ABN 97 117 883 173

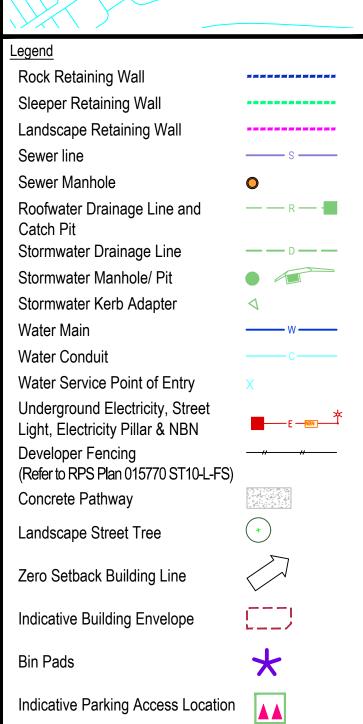
114 Brisbane Street Ipswich Qld 4305

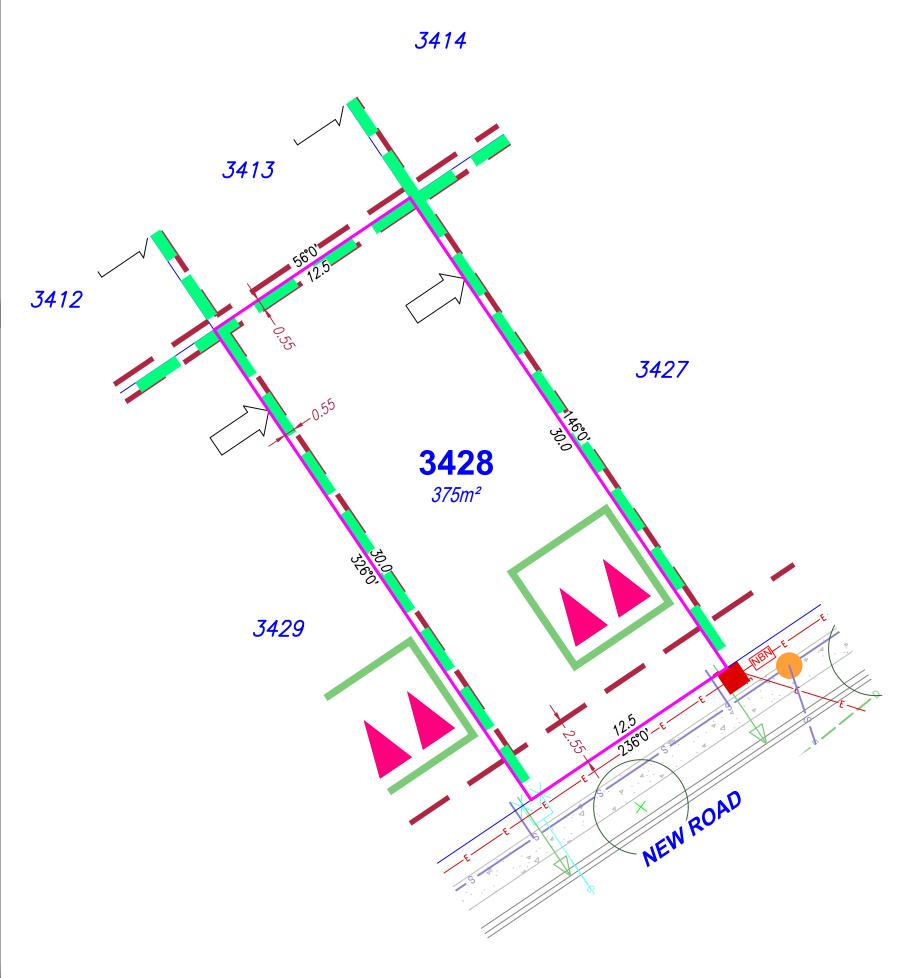
F+61 7 3434 2009

DWG. TLX370977-009-Stg10D-Site

AMD. TLX370977 | 9/3427







For Proposed Lot 3428 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn.	GBF	Date.	21/00	5/2025
Checke	d: DJL	Date:	05/0	9/2025
Issue	Descri	otion		Date
DRAFT	Draft plans	for review		27/08/25
ORIG	Issue to	Client		05/09/25
No	SCA 1:2	ALE 000	SHEET A	
_	1		_	



ACN 117 883 173 ABN 97 117 883 173

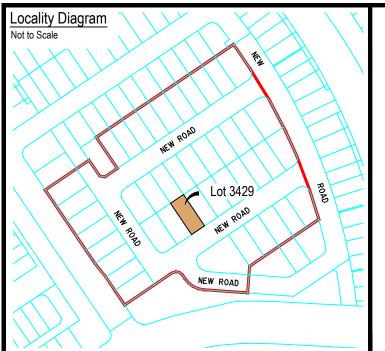
This plan has been prepared by RPS

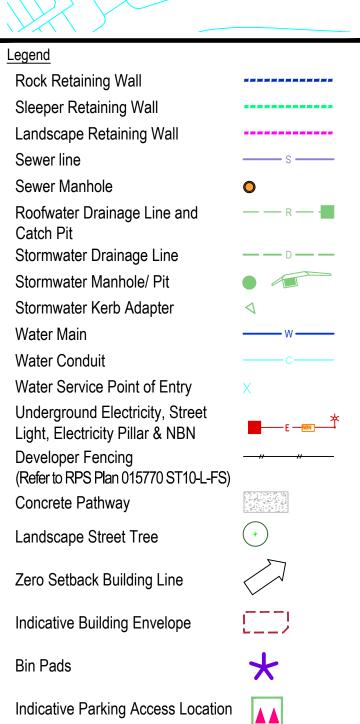
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009 W rpsgroup.com

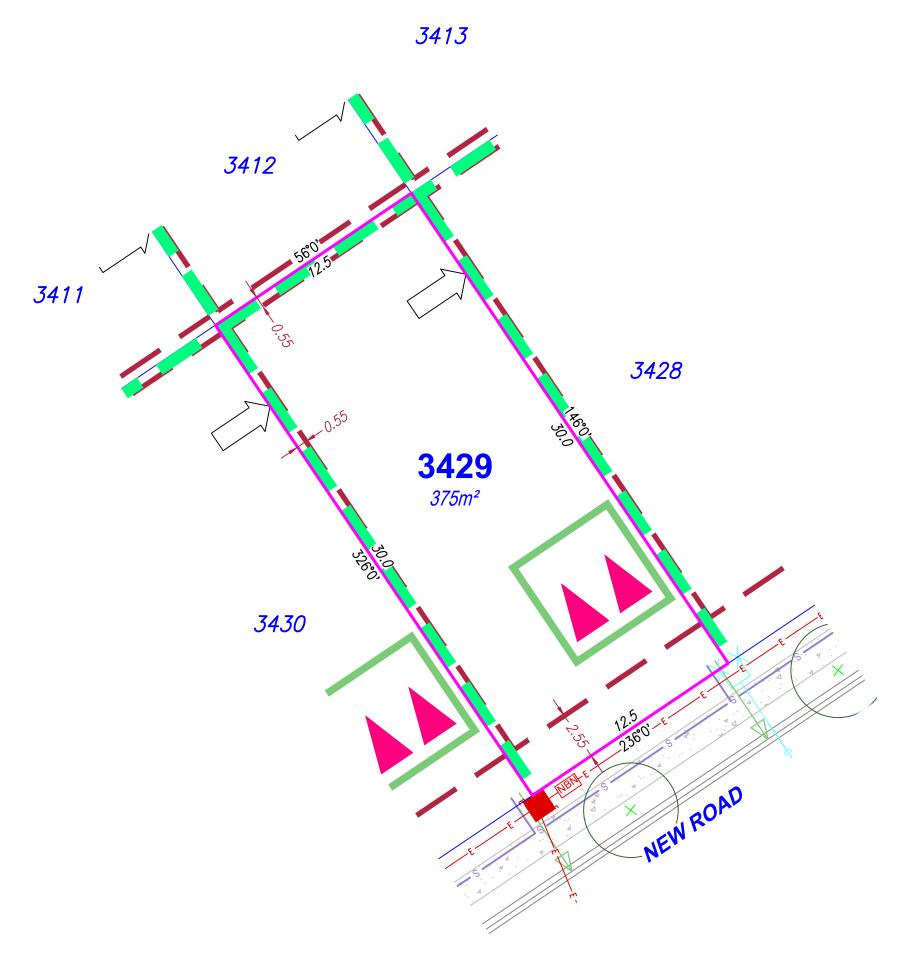
Suite A.02, Level 1

		DWG. TLX370977-009-Stg10D-Site
--	--	--------------------------------

AMD. PROJECT PLAN SHEET TLX370977 9/3428 1 of 1







For Proposed Lot 3429 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diawii.	ODI	Date.	21700	3/2020
Checke	d: DJL	Date:	05/0	9/2025
Issue	Descr	iption		Date
DRAFT	Draft plans	for review		27/08/25
ORIG	Issue to	Issue to Client		05/09/25
INODTU		CALE 200	SHEET A	

Date:

27/08/2025



ACN 117 883 173 ABN 97 117 883 173

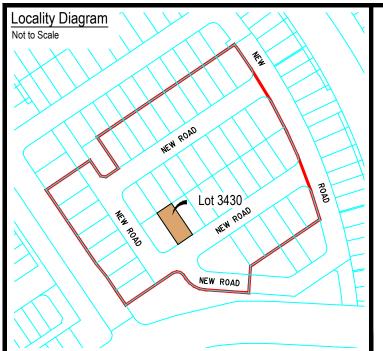
This plan has been prepared by RPS

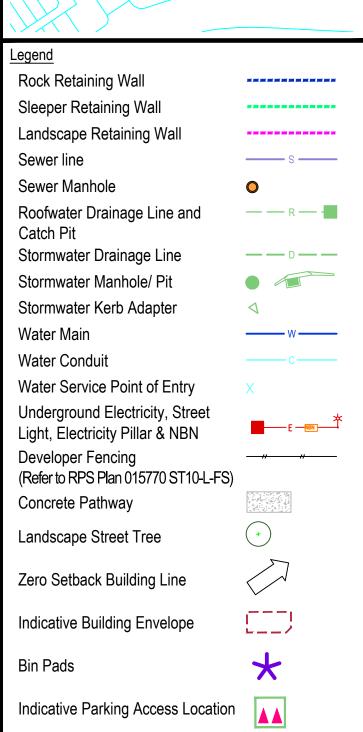
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009 W rpsgroup.com

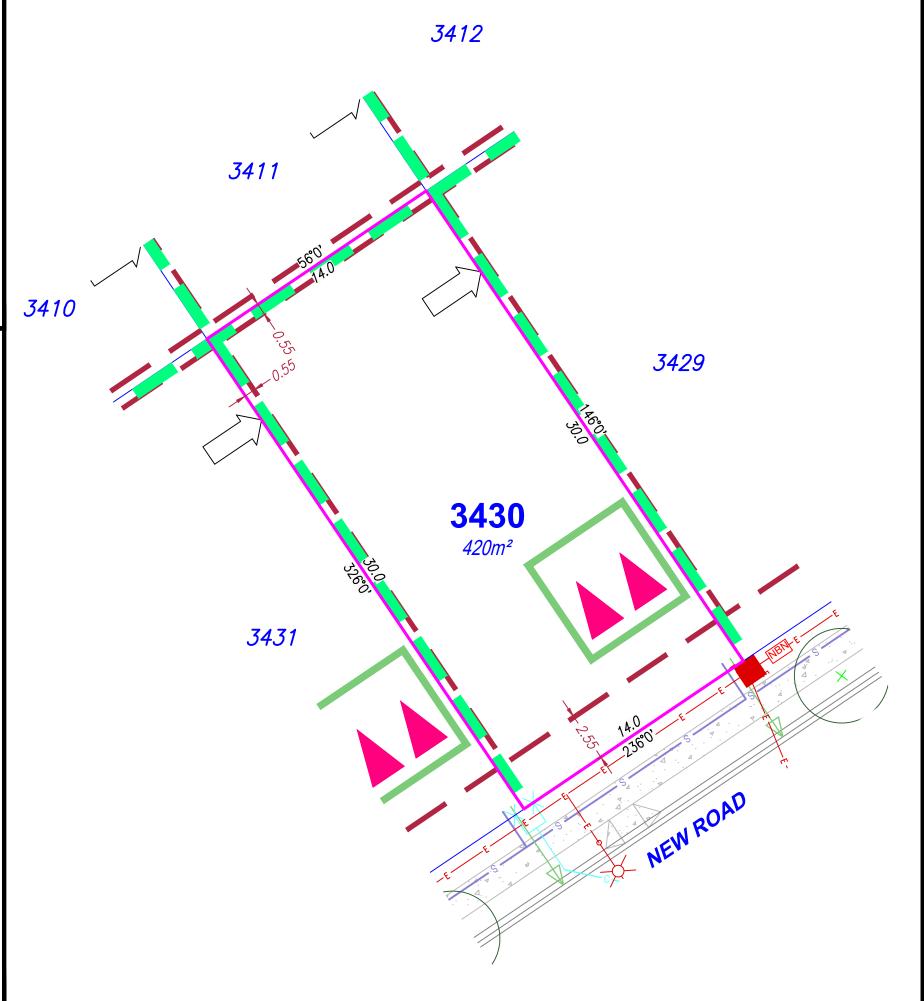
Suite A.02, Level 1

|--|

AMD. SHEET PROJECT PLAN TLX370977 9/3429 1 of 1







For Proposed Lot 3430 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Date:

27/08/2025

Diawii.	ODI		Date.	21100	3/2023
Checke	ed: DJL		Date:	05/0	9/2025
Issue		Descrip	otion		Date
DRAFT	Dra	ft plans f	or review		27/08/25
ORIG		Issue to Client			
NORTH		SC <i>A</i> 1:2	ALE 00	SHEET A	
2	0	2	4	6	8
_					



ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1 114 Brisbane Street Ipswich Qld 4305

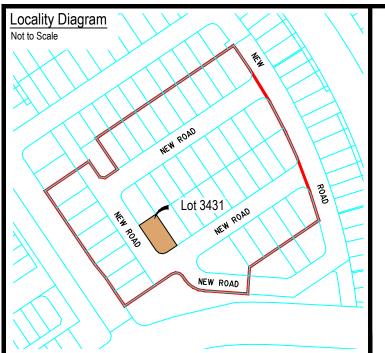
T+61 7 3437 2000

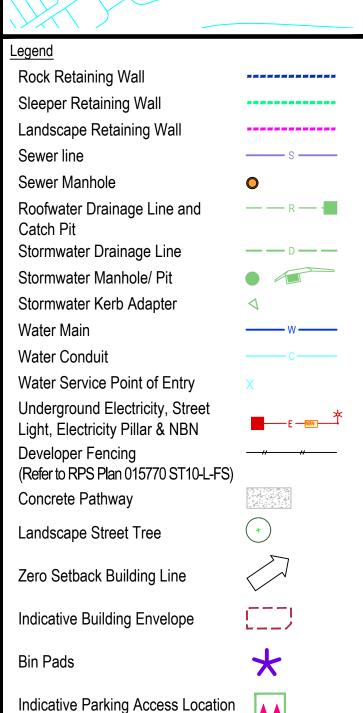
This plan has been prepared by RPS

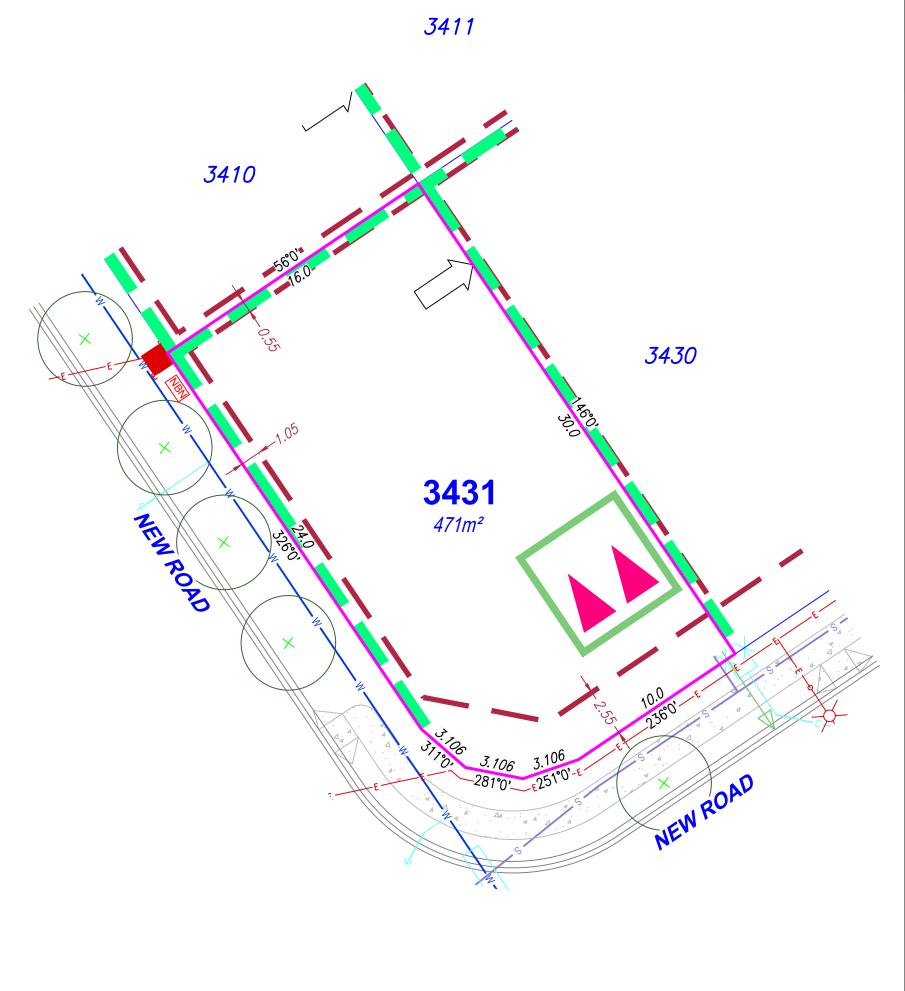
F+61 7 3434 2009 W rpsgroup.com

DWG. TLX370	0977-009-9	Stg10D	-Site
DDO IECT	DLAN	VMD	CLIEE

TLX370977 9/3430 1 of 1







For Proposed Lot 3431 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF		Date:	27/08	3/2025
Checke	d: DJL		Date:	05/0	9/2025
Issue		Descrip	tion		Date
DRAFT	Draft	t plans fo	or review		27/08/25
ORIG	ls	ssue to (Client		05/09/25
NORTH		SCA 1:20		SHEE1	-
2	. 0	2	4	6	8



ACN 117 883 173 ABN 97 117 883 173

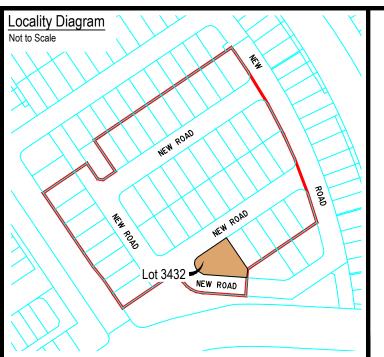
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

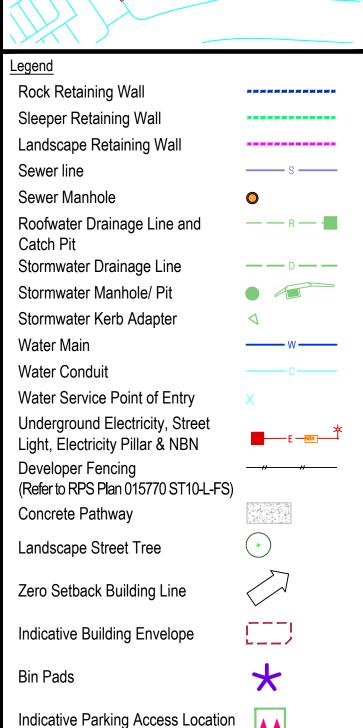
Suite A.02, Level 1

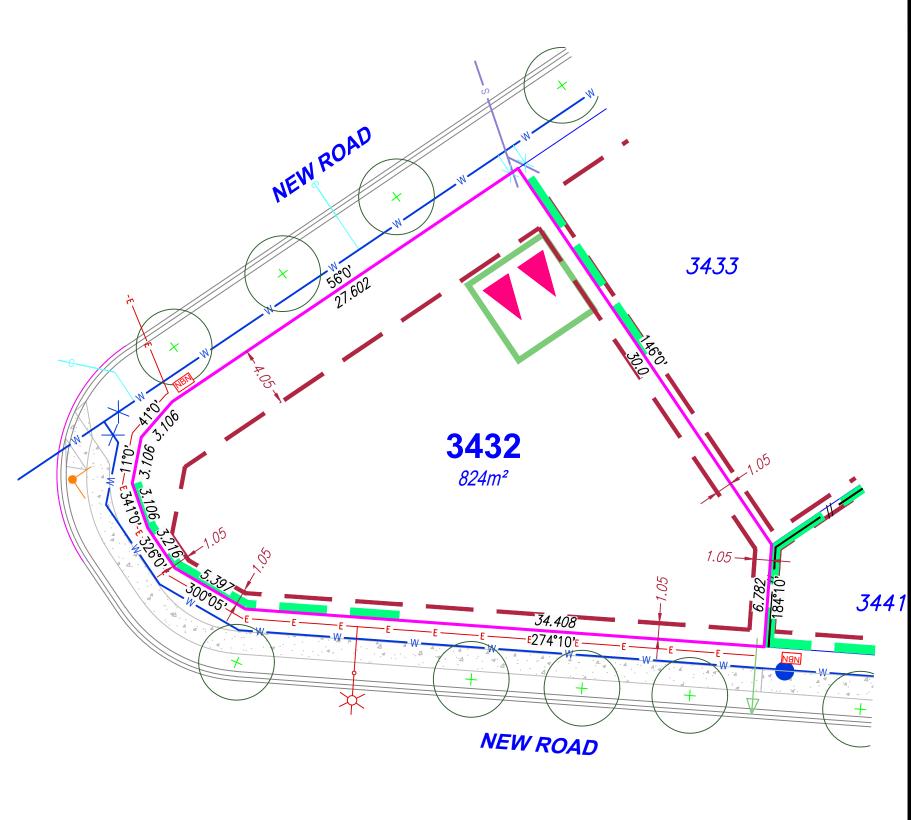
This plan has been prepared by RPS

DWG. TLX370977-009-Stg10D-Site

AMD. TLX370977 | 9/3431 1 of 1







For Proposed Lot 3432 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

ı	Drawn:	GBF	Date:	27/08	3/2025	
	Checke	ed: DJL	Date:	05/0	9/2025	
	Issue	Date				
	DRAFT	Draft plans	Draft plans for review			
	ORIG	Issue to	Issue to Client			
1	Α	Developer Fe	Developer Fences Added			





ACN 117 883 173 ABN 97 117 883 173

114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000

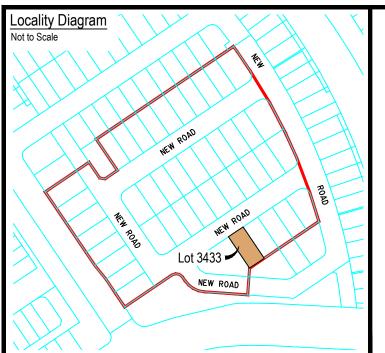
Suite A.02, Level 1

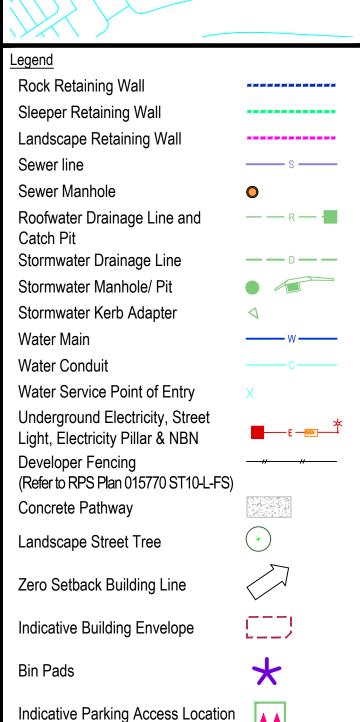
This plan has been prepared by RPS

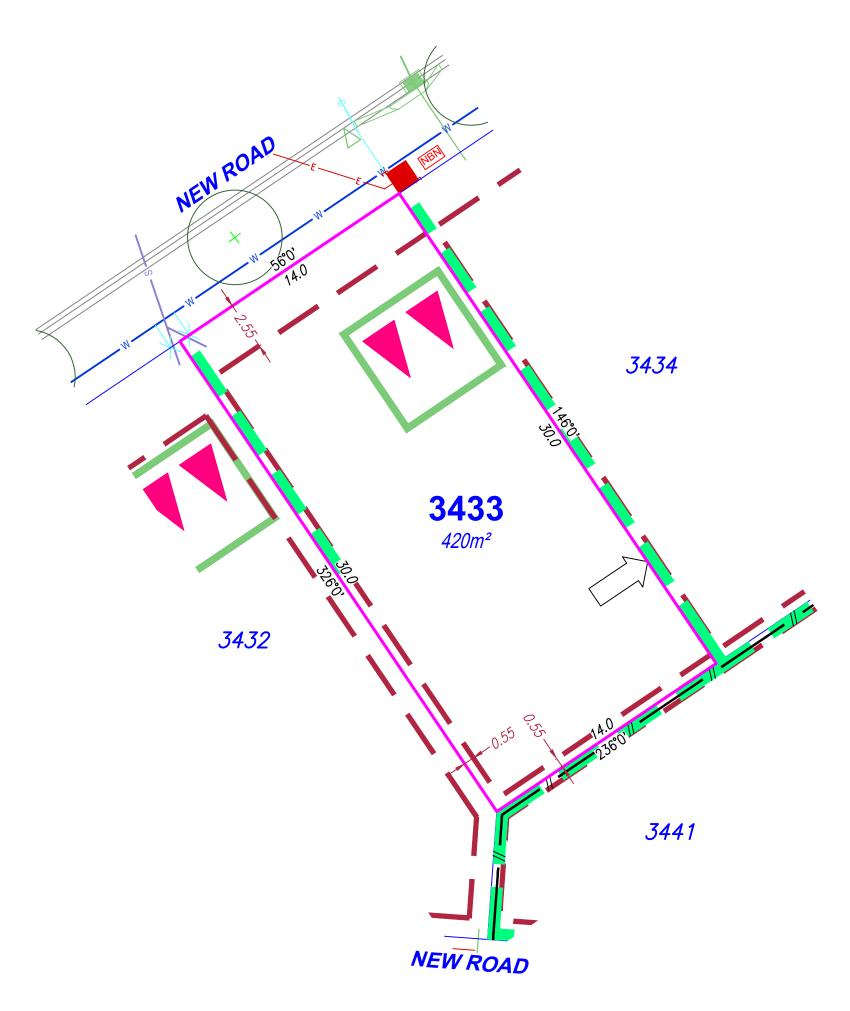
F+61 7 3434 2009

DWG. TLX370977-009-Stg10D-Site

AMD. TLX370977 9/3432 Α







For Proposed Lot 3433 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

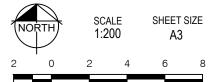
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

GBF	GBF Date: 2		27/08/2025	
d: DJL	Date:	05/09	9/2025	
Descri	Description			
Draft plans	Draft plans for review			
Issue to	Issue to Client			
Developer Fe	Developer Fences Added		28/11/25	
	d: DJL Descri Draft plans Issue to	d: DJL Date: Description Draft plans for review Issue to Client	d: DJL Date: 05/09 Description Draft plans for review Issue to Client	





ACN 117 883 173 ABN 97 117 883 173

114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

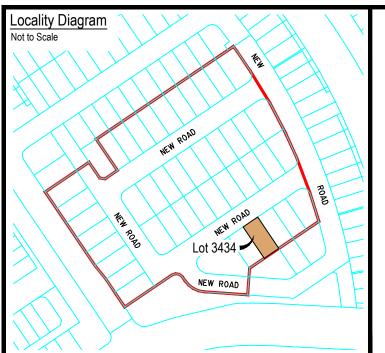
This plan has been prepared by RPS

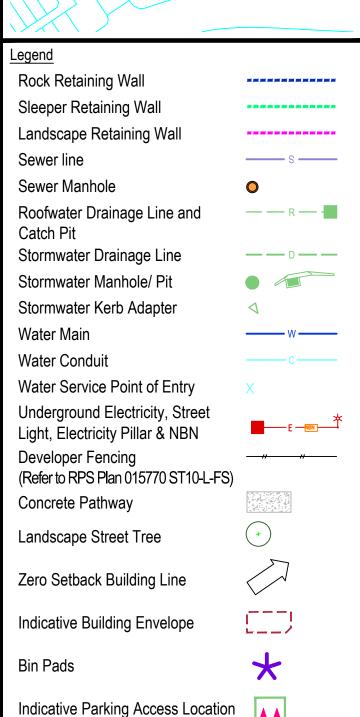
W rpsgroup.com

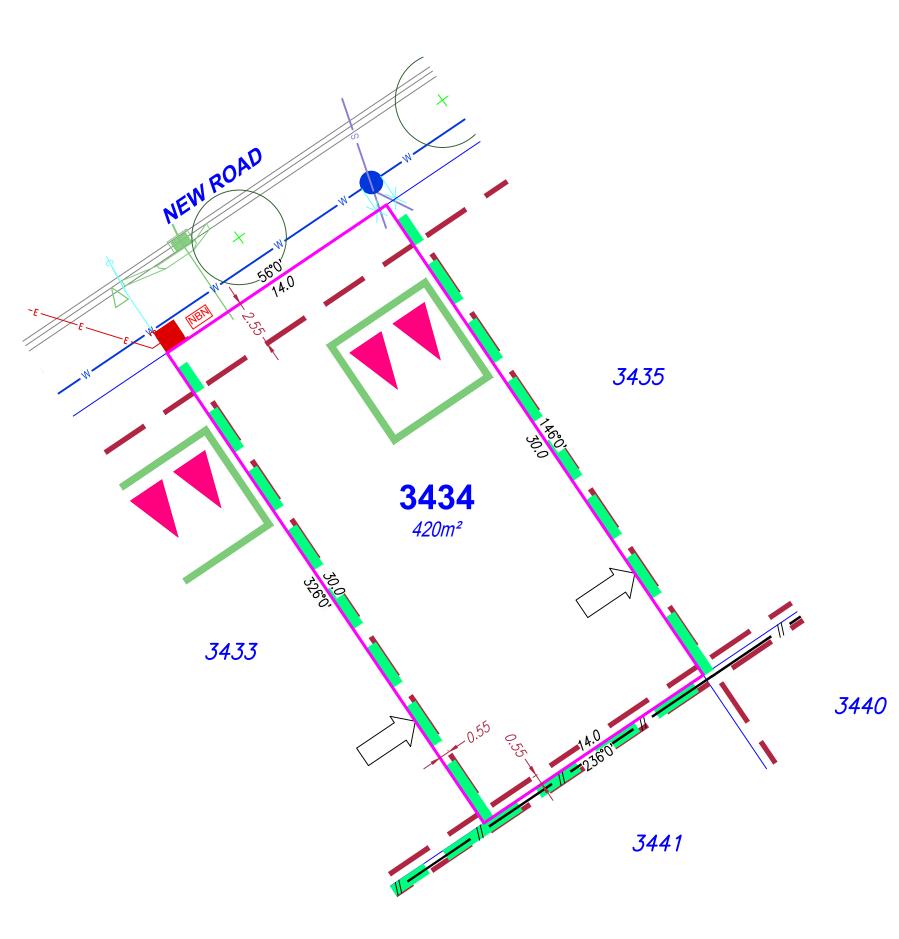
Suite A.02, Level 1

		DWG. TLX370977-009-Stg10D-Site
--	--	--------------------------------

AMD. SHEET PROJECT PLAN TLX370977 9/3433 Α 1 of 1







For Proposed Lot 3434 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Votes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Checke	Checked: DJL Date: 05/09				
Issue	Descrip	Description			
DRAFT	Draft plans t	Draft plans for review			
ORIG	Issue to	Issue to Client			
Α	Developer Fe	Developer Fences Added			
	_				

Date:

27/08/2025





ACN 117 883 173 ABN 97 117 883 173

©COPYRIGHT PROTECTS THIS Unauthorised reproduction or amend not permitted. Please contact the a

114 Brisbane Street Ipswich Qld 4305

T+61 7 3437 2000

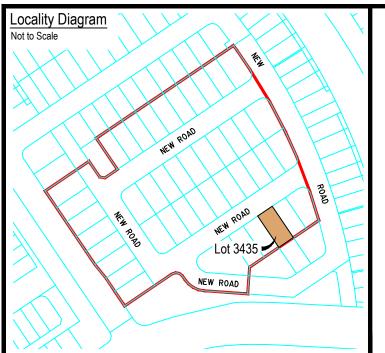
F+61 7 3434 2009

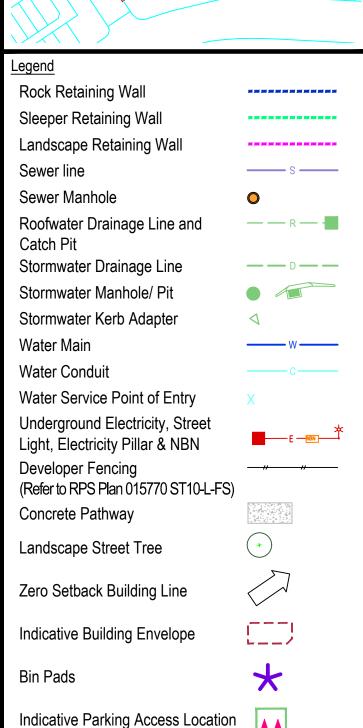
Suite A.02, Level 1

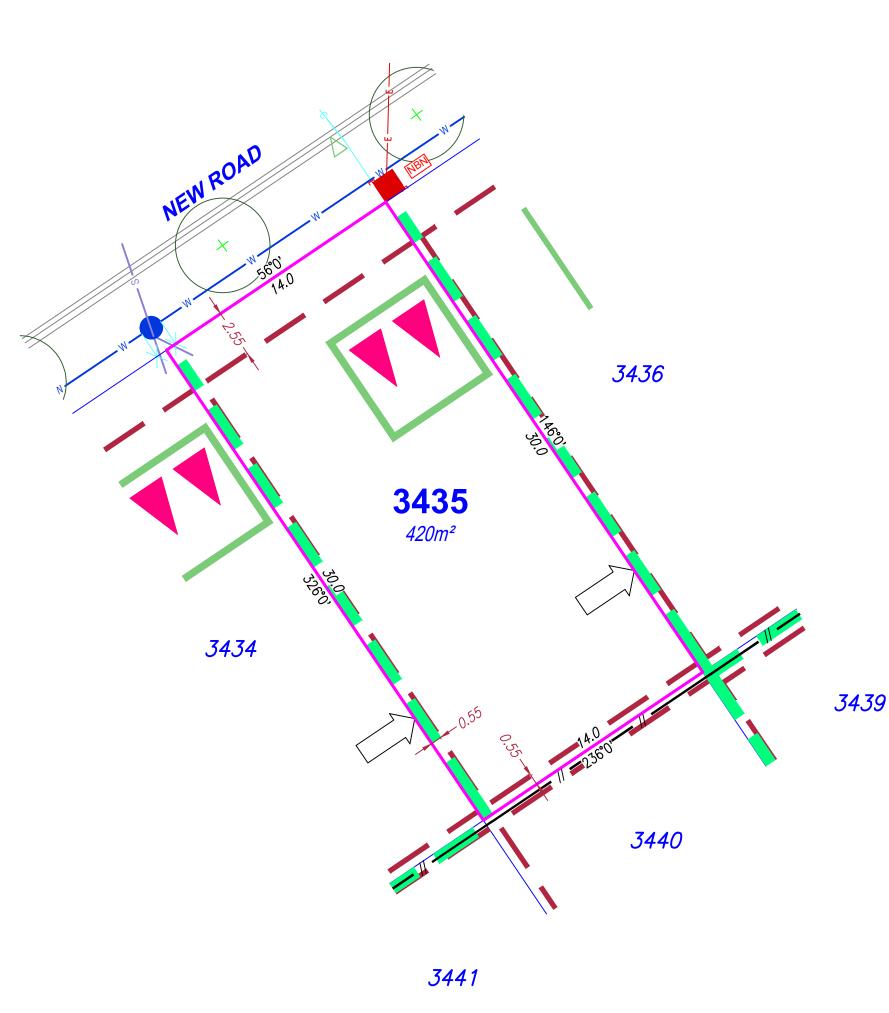
This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984. **T**+61 7 3437 2000 **F**+61 7 3434 2009 **W** rpsgroup.com

DWG. TLX370977-009-Stg10D-Site

PROJECT PLAN AMD. SHEE TLX370977 9/3434 A 1 of







For Proposed Lot 3435 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

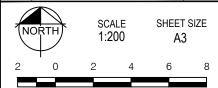
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	Drawn: GBF		27/08	3/2025
Checke	d: DJL	Date:	05/0	9/2025
Issue	Descri	ption		Date
DRAFT	Draft plans	Draft plans for review		
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fe	Developer Fences Added		





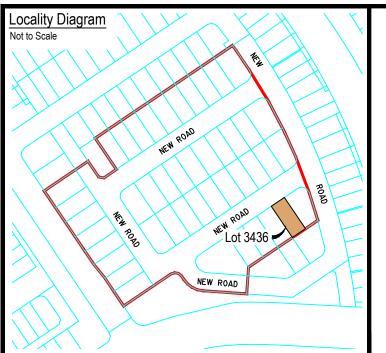
ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1 114 Brisbane Street Ipswich Qld 4305

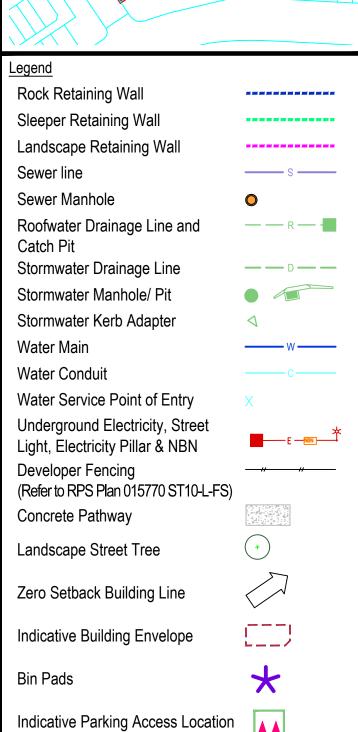
This plan has been prepared by RPS

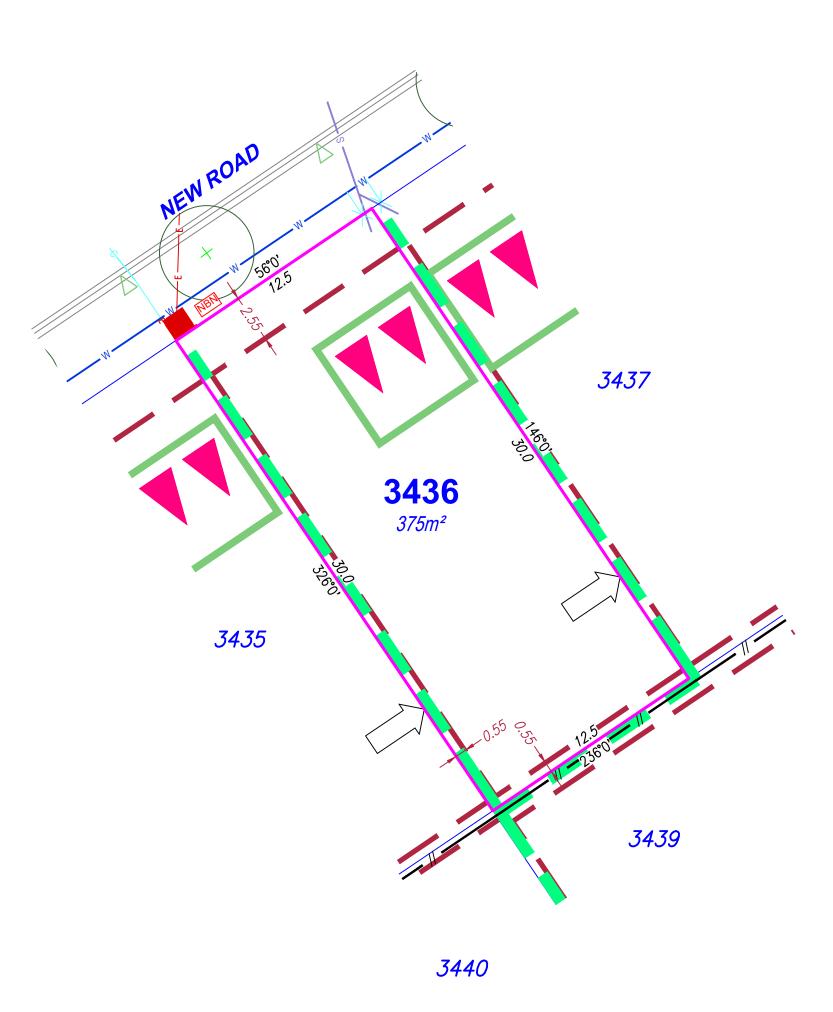
T+61 7 3437 2000 **F**+61 7 3434 2009 W rpsgroup.com

DWG. TLX370)977-009-8	Stg10D	-Site
556 1565	6: 44:		01.15

AMD. SHEET **PROJECT** PLAN TLX370977 9/3435 Α 1 of 1







For Proposed Lot 3436 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

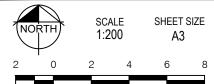
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/0	5/2025
Checke	hecked: DJL Date: 05/0		9/2025	
Issue	Descri	otion		Date
DRAFT	Draft plans	Draft plans for review Issue to Client		27/08/25
ORIG	Issue to			05/09/25
Α	Developer Fe	Developer Fences Added		28/11/25





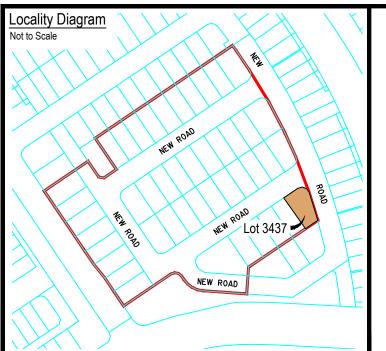
ACN 117 883 173 ABN 97 117 883 173

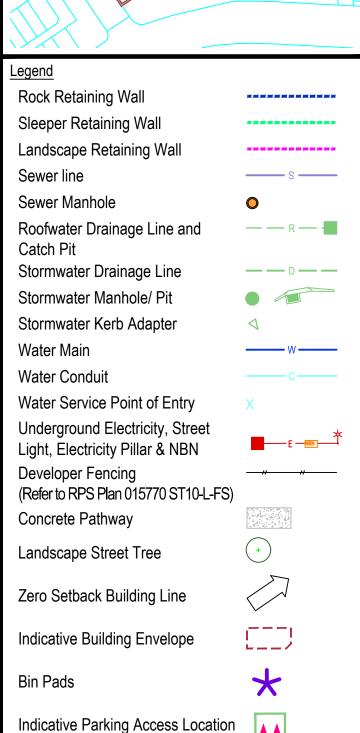
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 F+61 7 3434 2009

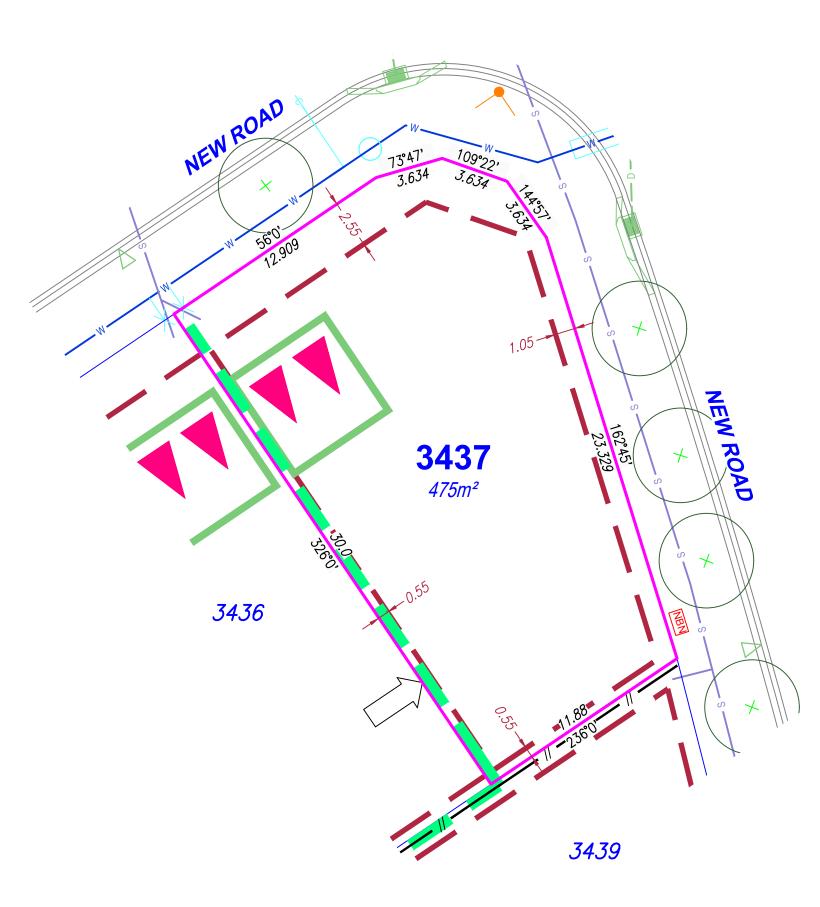
This plan has been prepared by RPS

DWG. TLX370977-009-Stg10D-Site

TLX370977 9/3436 Α







For Proposed Lot 3437 on SP355572 Flagstone - Stage 10D

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743 & USL

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

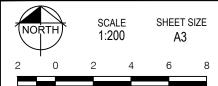
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Diawii.	GDI	Date.	21/00	0/2023
Checke	d: DJL	DJL Date: 05/09		9/2025
Issue	Descri	otion		Date
DRAFT	Draft plans for review		27/08/25	
ORIG	Issue to	Issue to Client		05/09/25
Α	Developer Fe	nces Added		28/11/25





ACN 117 883 173 ABN 97 117 883 173

©COPYRIGHT PROTECTS THIS Unauthorised reproduction or ameno not permitted. Please contact the a

114 Brisbane Street Ipswich Qld 4305

T+61 7 3437 2000

RPS F+61 7 3434 2009

This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984. **T**+61 7 3437 2000 **F**+61 7 3434 2009 **W** rpsgroup.com

Suite A.02, Level 1

DWG. 1LX3/03/1-003-3tg 10D-3tte		DWG. TLX370977-009-Stg10D-Site
---------------------------------	--	--------------------------------

PROJECT PLAN AMD. SHEET TLX370977 9/3437 A 1 of 1