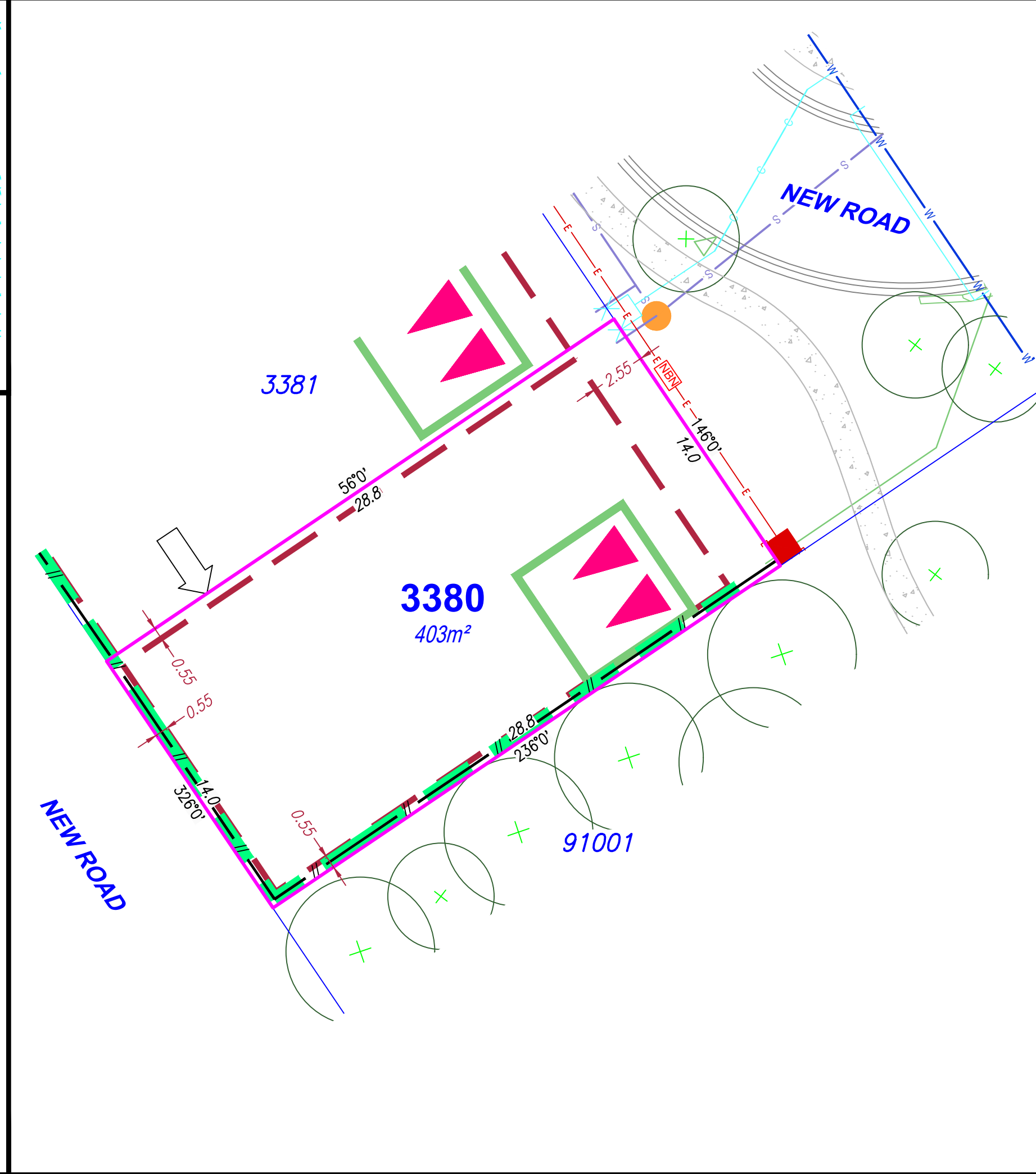


Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — [E] — [NBN] — *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	▨
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - - -
Bin Pads	✱
Indicative Parking Access Location	▢ ▲ ▲



SITE PLAN

For Proposed Lot 3380
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25
A	Developer Fences Added	28/11/25

SCALE
1:200

SHEET SIZE
A3

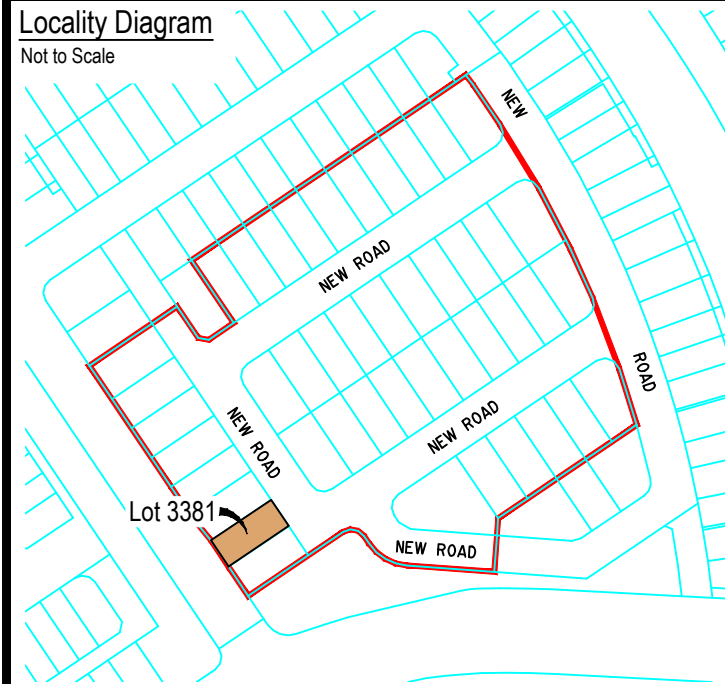
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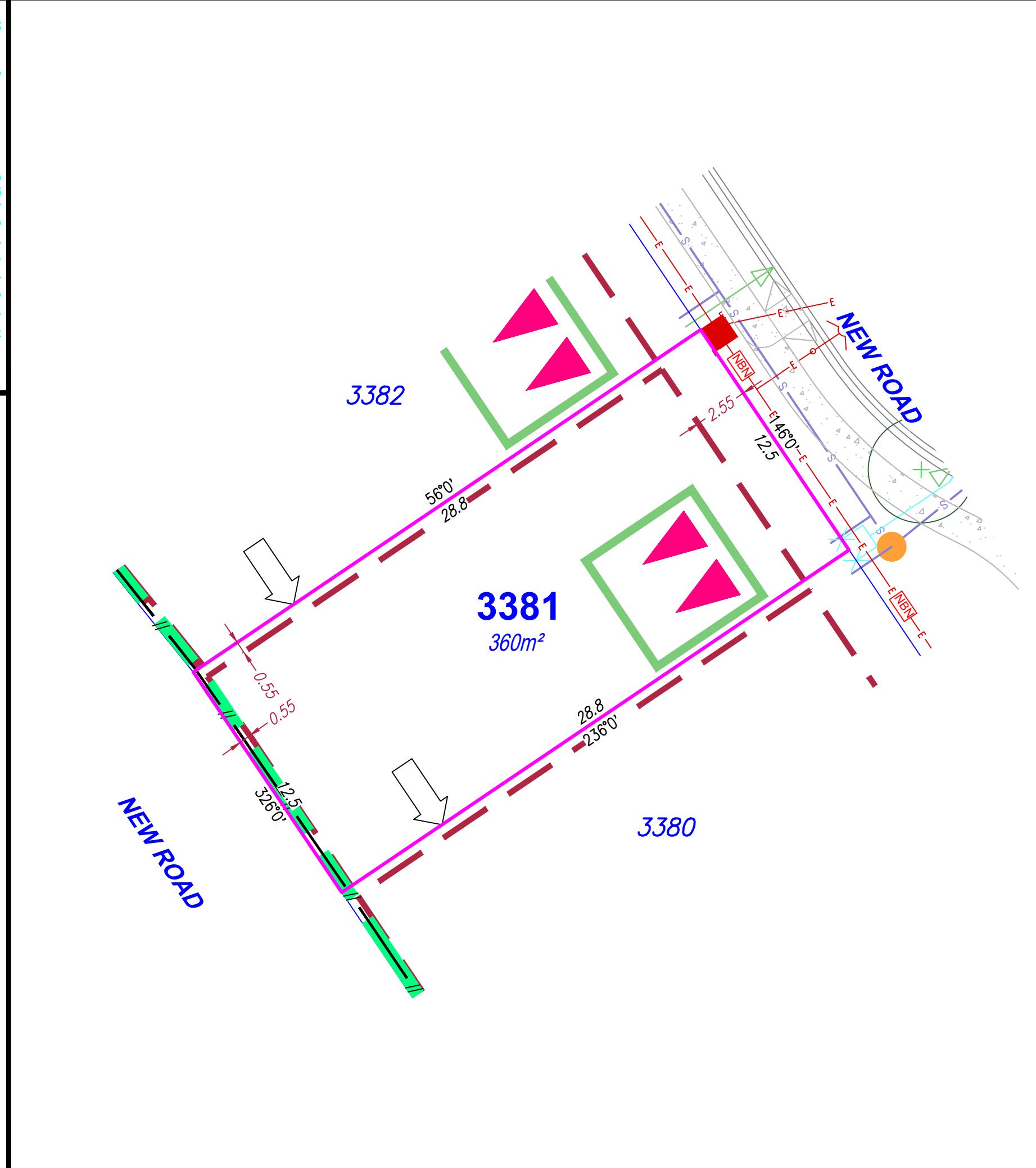
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3380	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — [NBN] — *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	▨
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▢ ▲



SITE PLAN

For Proposed Lot 3381
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Checked:	DJL	Date:	05/09/2025
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ORIG	Issue to Client	05/09/25	
A	Developer Fences Added	28/11/25	

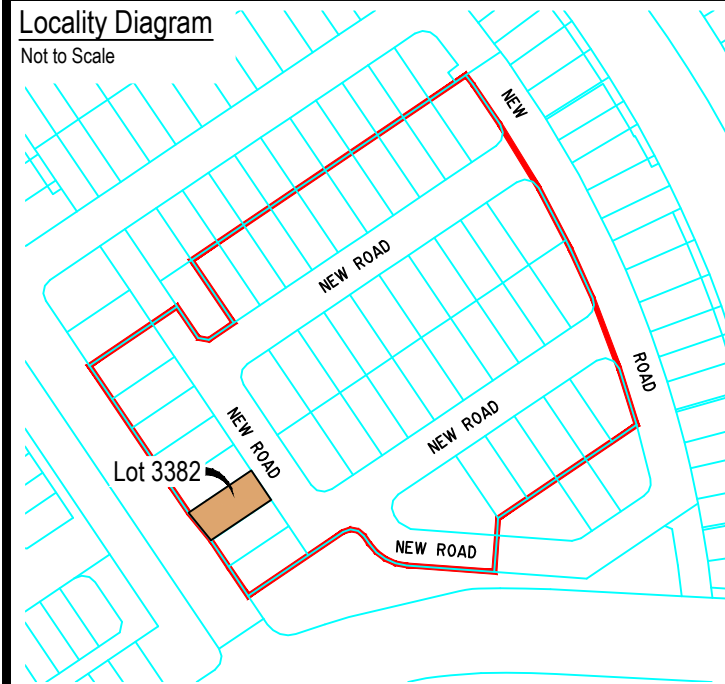
SCALE
1:200

SHEET SIZE
A3

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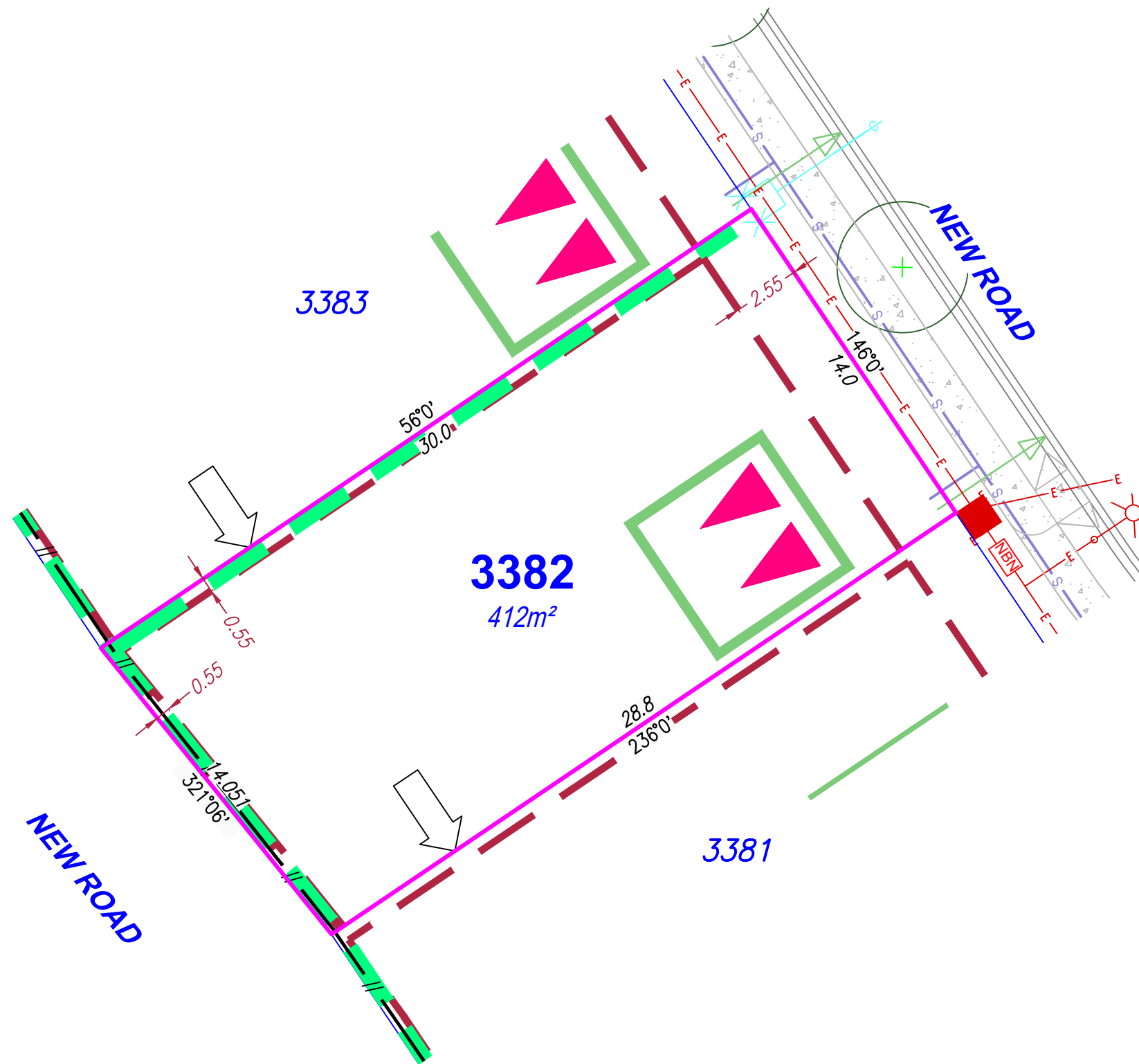
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3381	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — NBN — *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	▨
Landscape Street Tree	○ +
Zero Setback Building Line	➡
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▢ ▲



SITE PLAN

For Proposed Lot 3382
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Checked:	DJL	Date:	05/09/2025

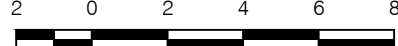
Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25
A	Developer Fences Added	28/11/25



NORTH

SCALE
1:200

SHEET SIZE
A3





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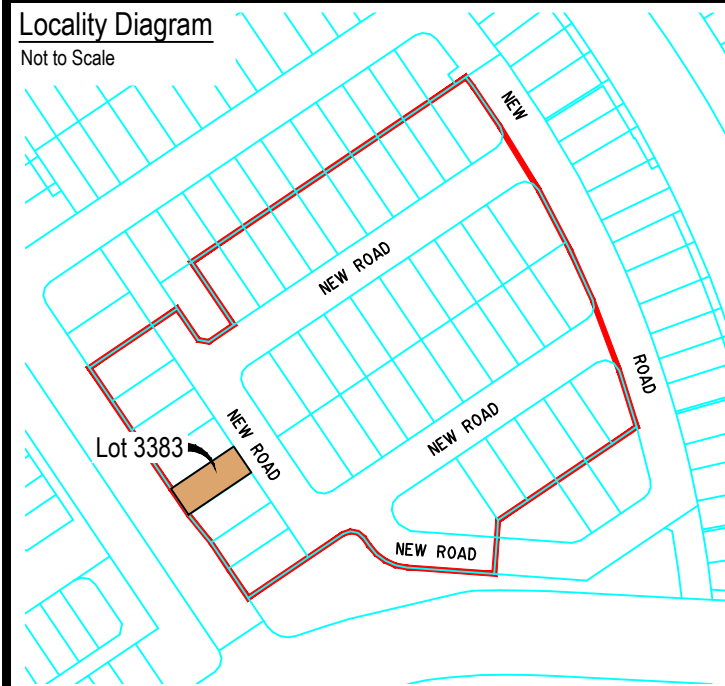
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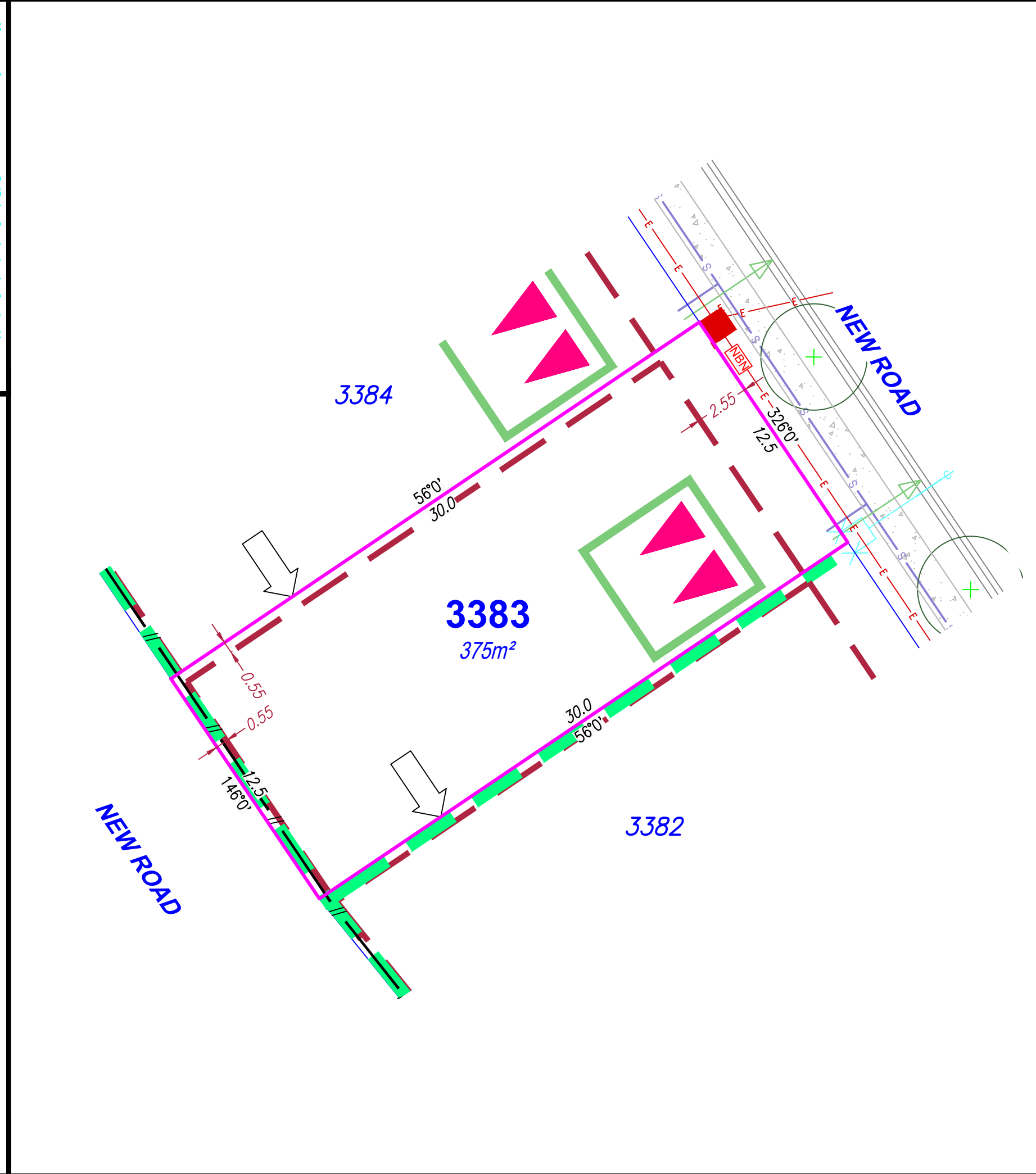
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3382	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	➡
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3383
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025
Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	
A	Developer Fences Added	28/11/25	

SCALE
1:200

SHEET SIZE
A3

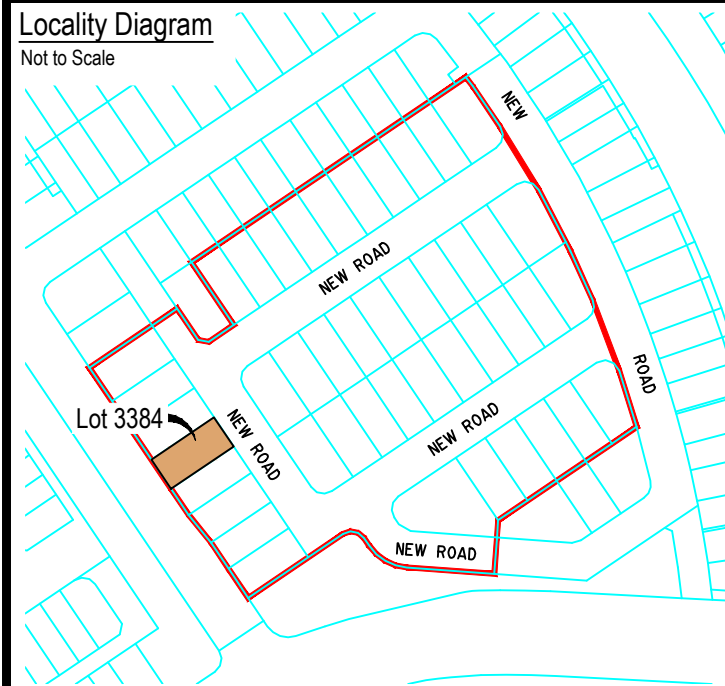
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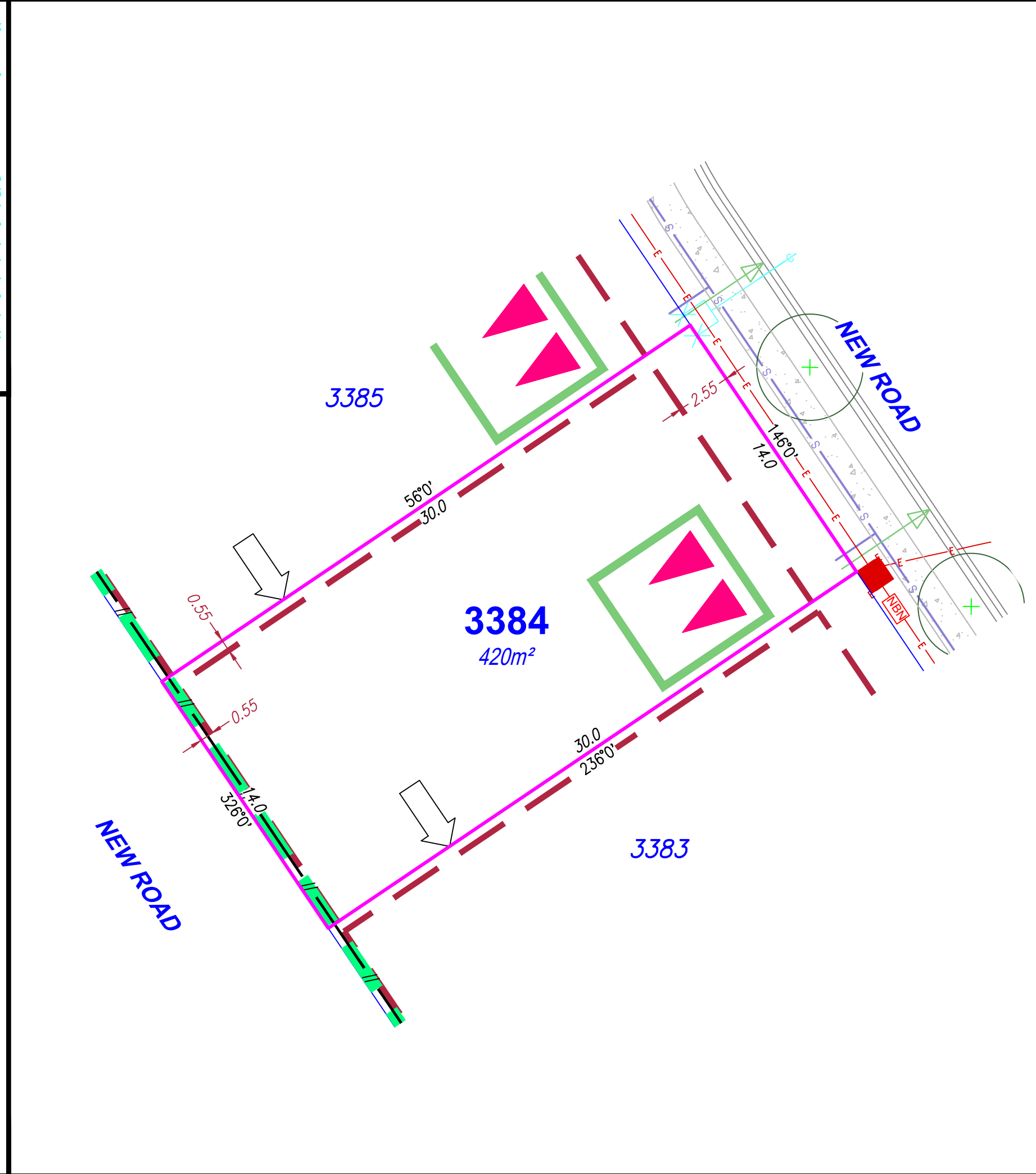
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DWG. TLX370977-009-Stg10D-Site			
PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3383	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — NBN — *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	▨
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	◻ ▲



SITE PLAN

For Proposed Lot 3384
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Checked:	DJL	Date:	05/09/2025
Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	
A	Developer Fences Added	28/11/25	

SCALE
1:200

SHEET SIZE
A3

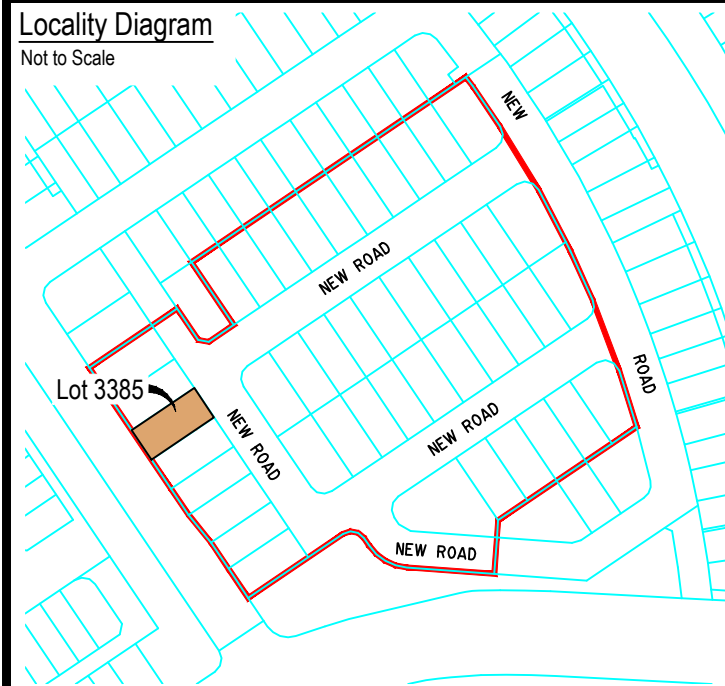
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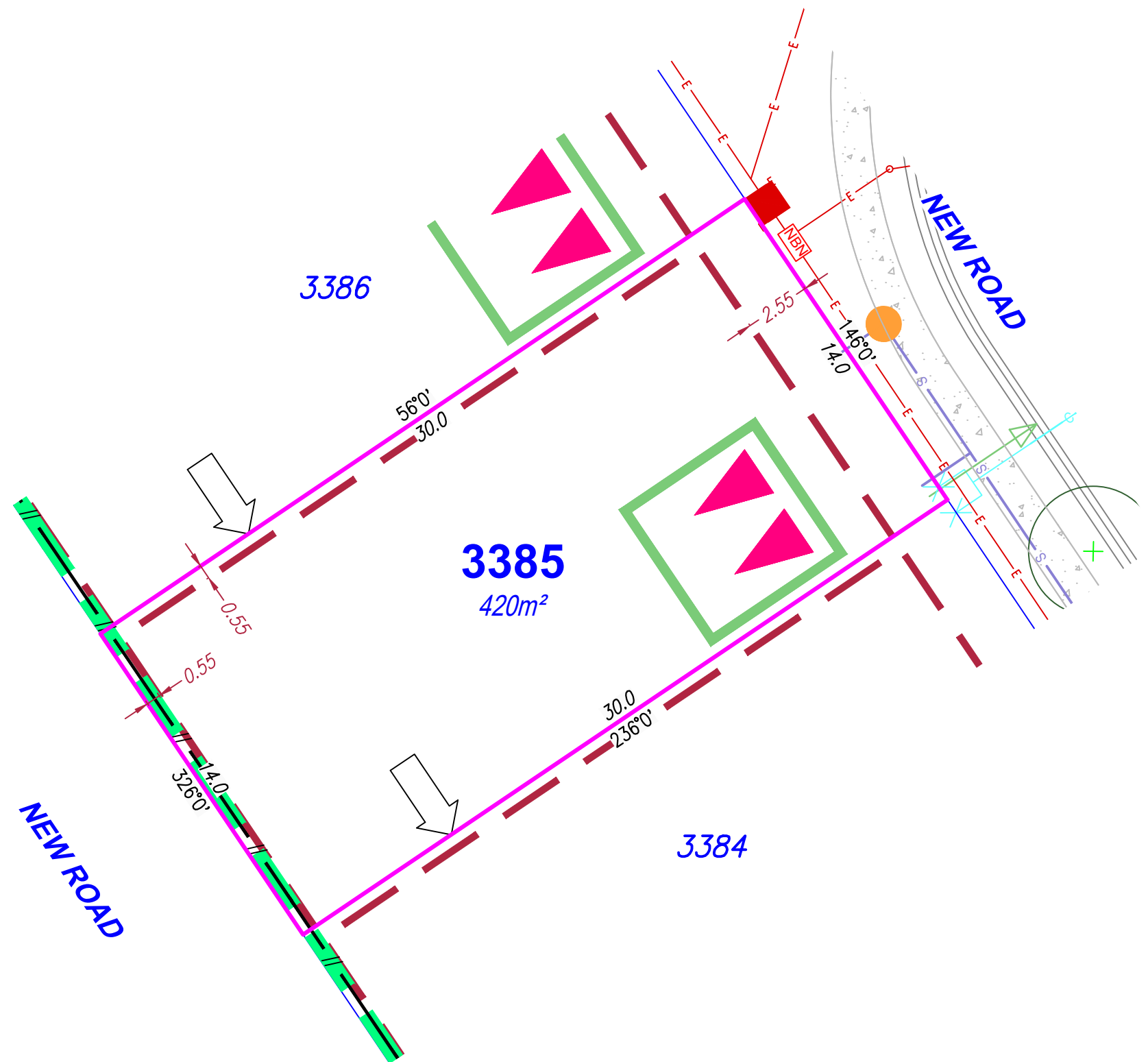
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DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3384	A	1 of 1



Legend	
Rock Retaining Wall	
Sleeper Retaining Wall	
Landscape Retaining Wall	
Sewer line	
Sewer Manhole	
Roofwater Drainage Line and Catch Pit	
Stormwater Drainage Line	
Stormwater Manhole/ Pit	
Stormwater Kerb Adapter	
Water Main	
Water Conduit	
Water Service Point of Entry	
Underground Electricity, Street Light, Electricity Pillar & NBN	
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	
Concrete Pathway	
Landscape Street Tree	
Zero Setback Building Line	
Indicative Building Envelope	
Bin Pads	
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3385
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

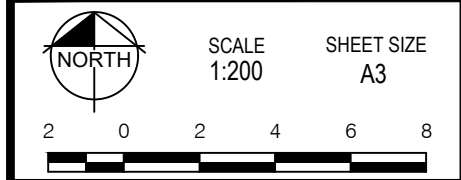
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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

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Checked:	DJL	Date:	05/09/2025
Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	
A	Developer Fences Added	28/11/25	





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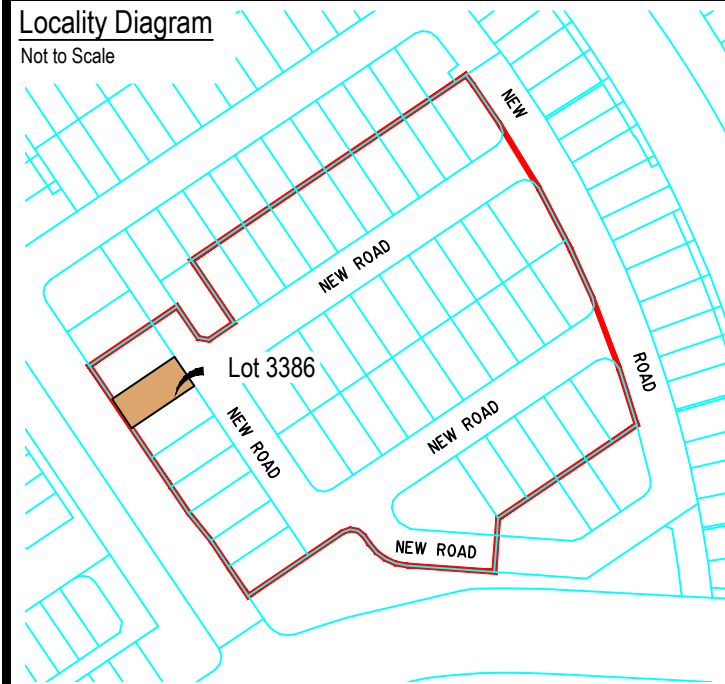
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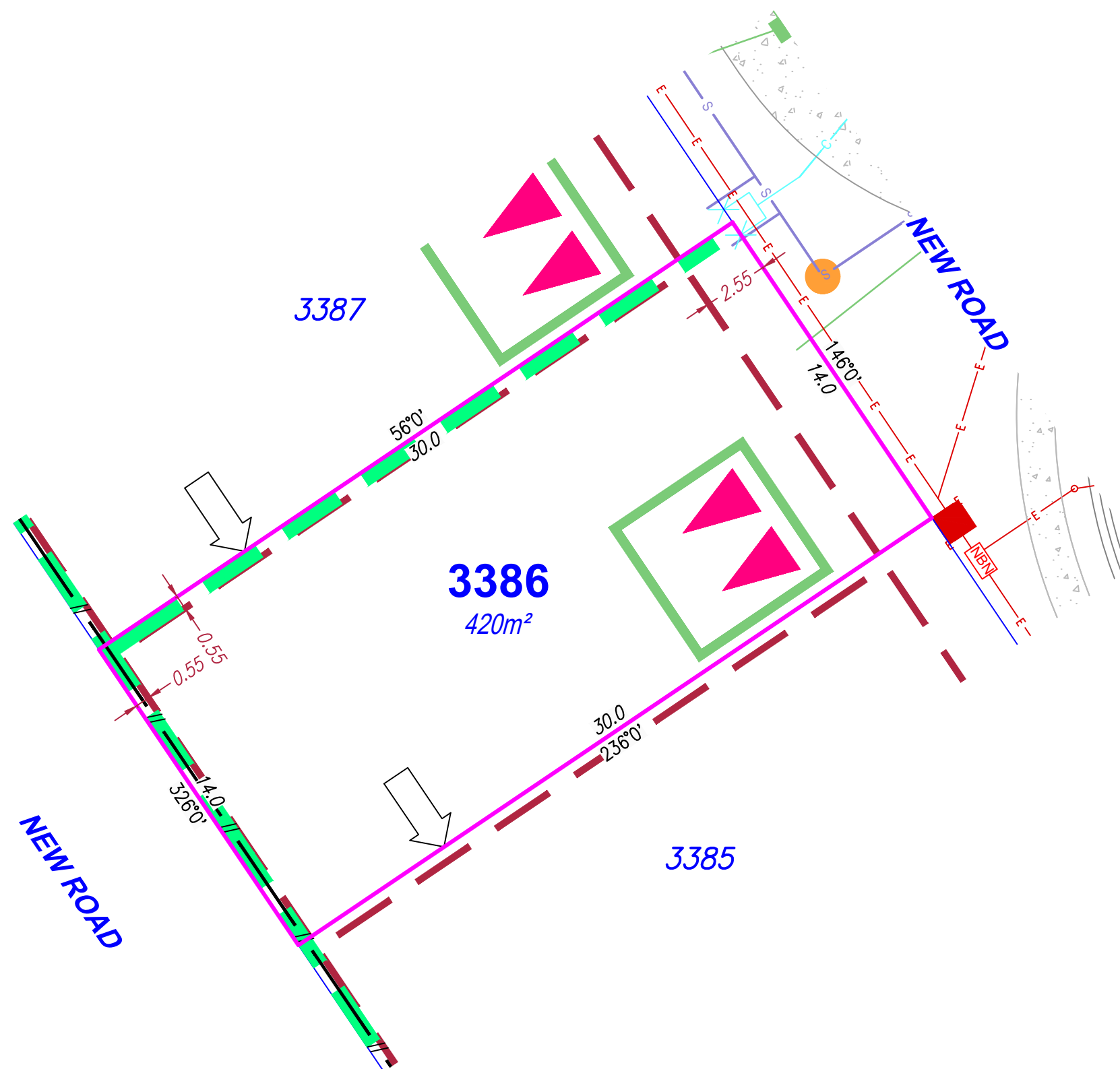
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3385	-	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	★
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3386
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

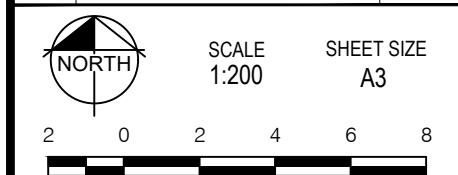
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Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	
A	Developer Fences Added	28/11/25	



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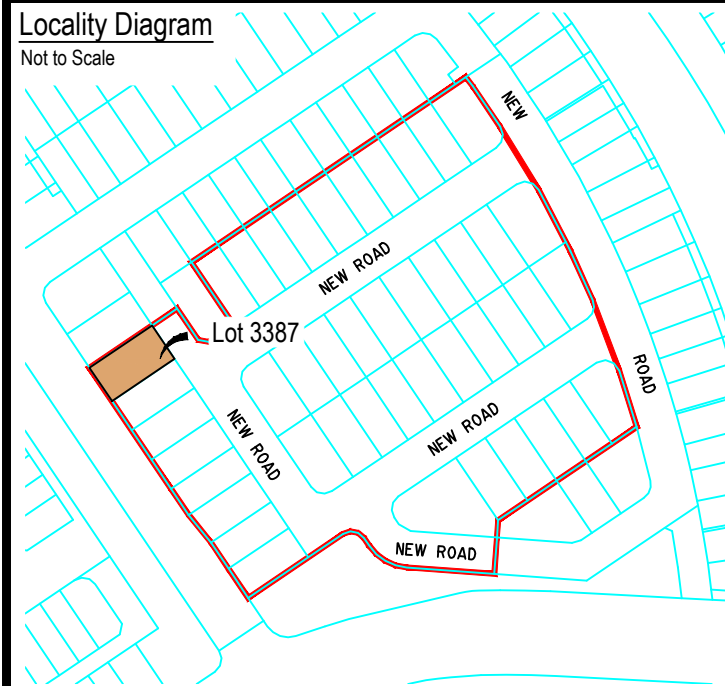
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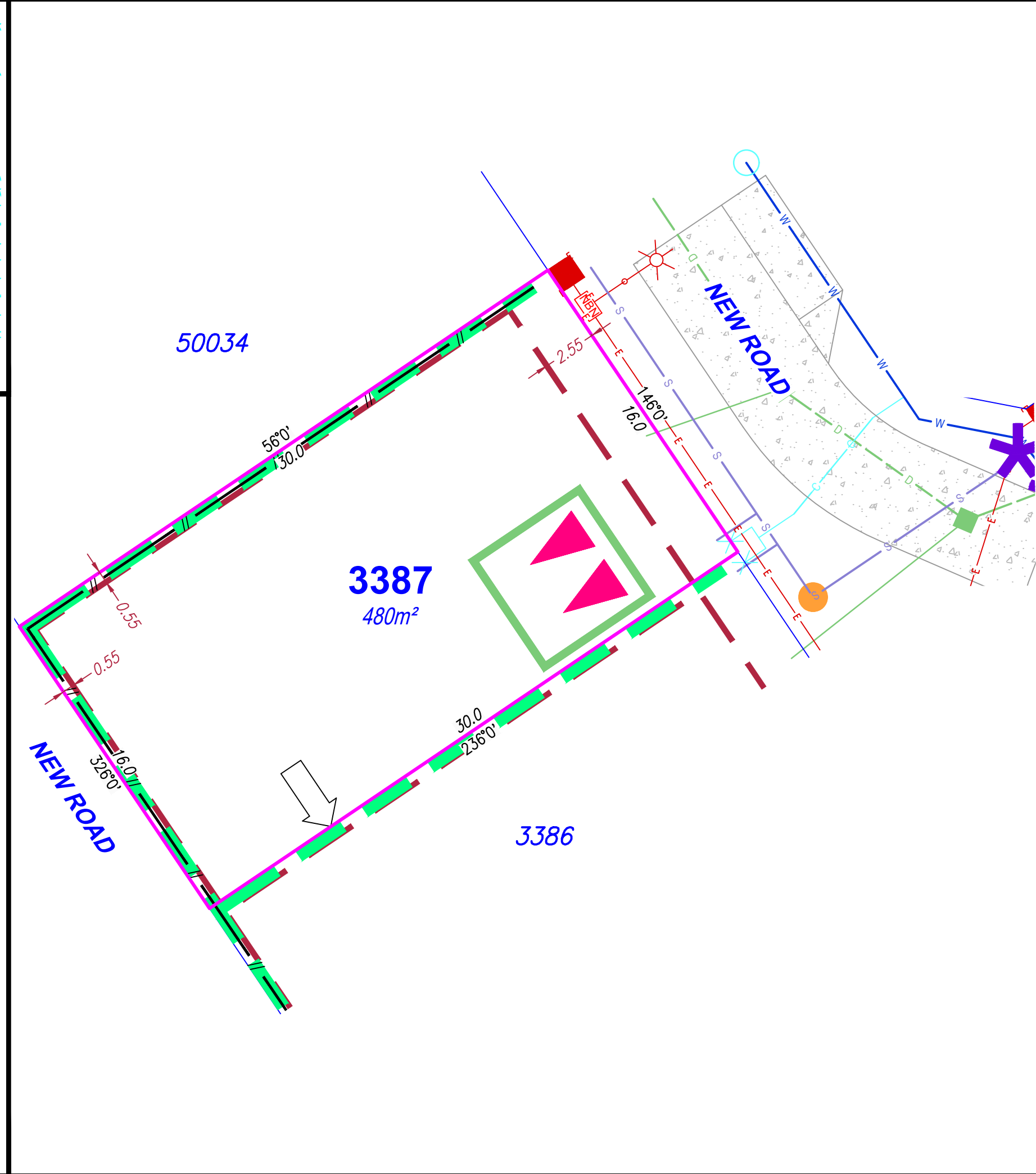
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3386	-	1 of 1



Legend

Rock Retaining Wall	
Sleeper Retaining Wall	
Landscape Retaining Wall	
Sewer line	
Sewer Manhole	
Roofwater Drainage Line and Catch Pit	
Stormwater Drainage Line	
Stormwater Manhole/ Pit	
Stormwater Kerb Adapter	
Water Main	
Water Conduit	
Water Service Point of Entry	
Underground Electricity, Street Light, Electricity Pillar & NBN	
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	
Concrete Pathway	
Landscape Street Tree	
Zero Setback Building Line	
Indicative Building Envelope	
Bin Pads	
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3387
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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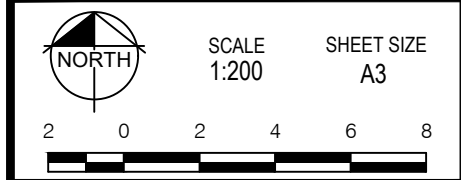
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Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25
A	Bin Pad location added	09/09/25
B	Developer Fences Added	28/11/25



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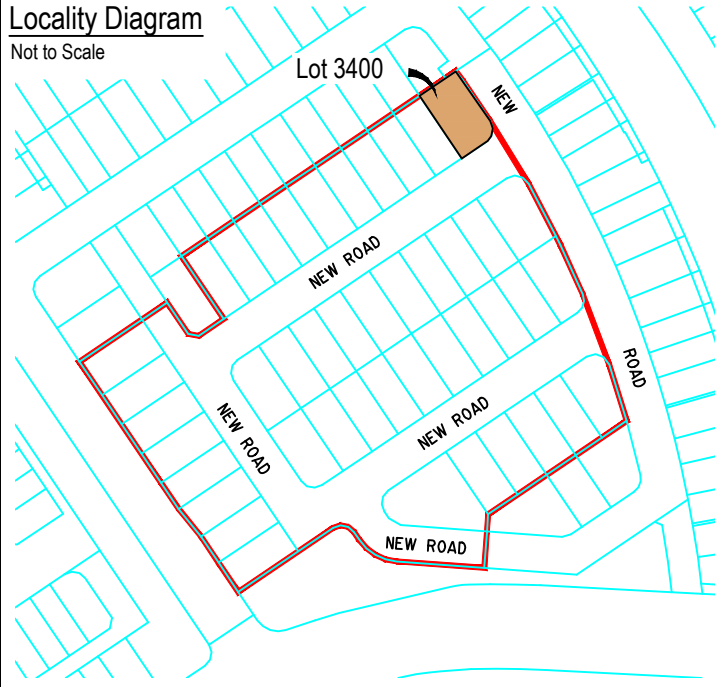
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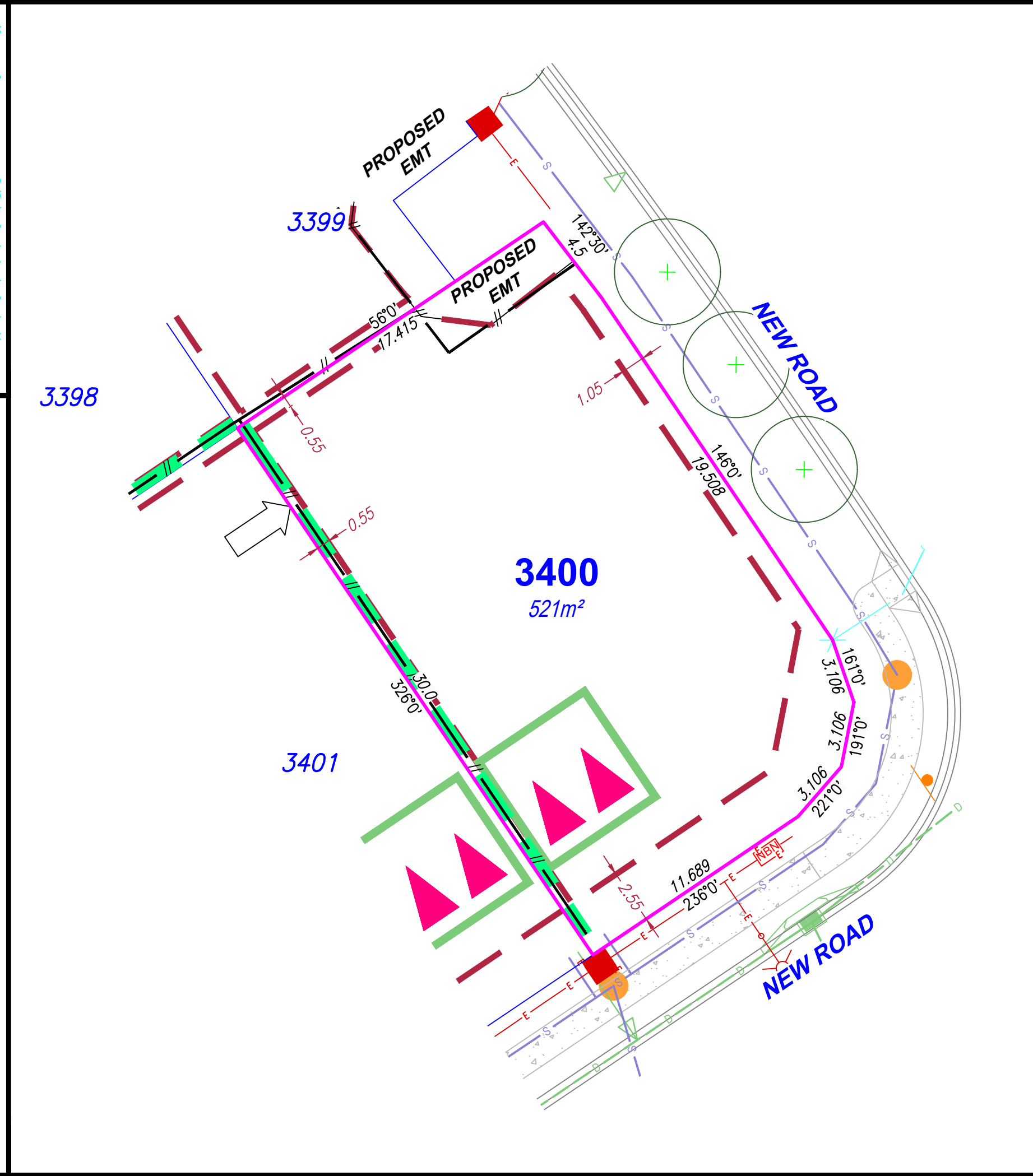
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3387	B	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E —
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— —
Concrete Pathway	■
Landscape Street Tree	○
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	★
Indicative Parking Access Location	▲



SITE PLAN

For Proposed Lot 3400
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25
A	Developer Fences Added	28/11/25

SCALE
1:200

SHEET SIZE
A3

2 0 2 4 6 8

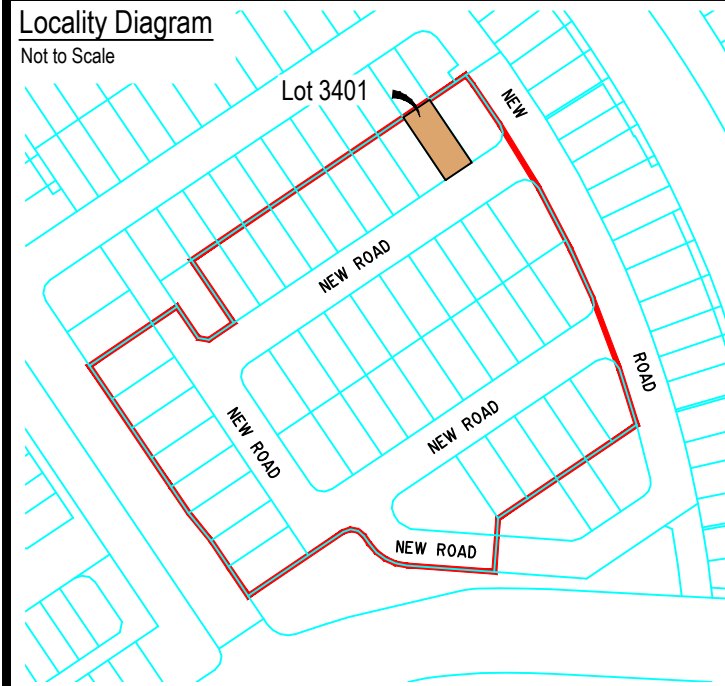
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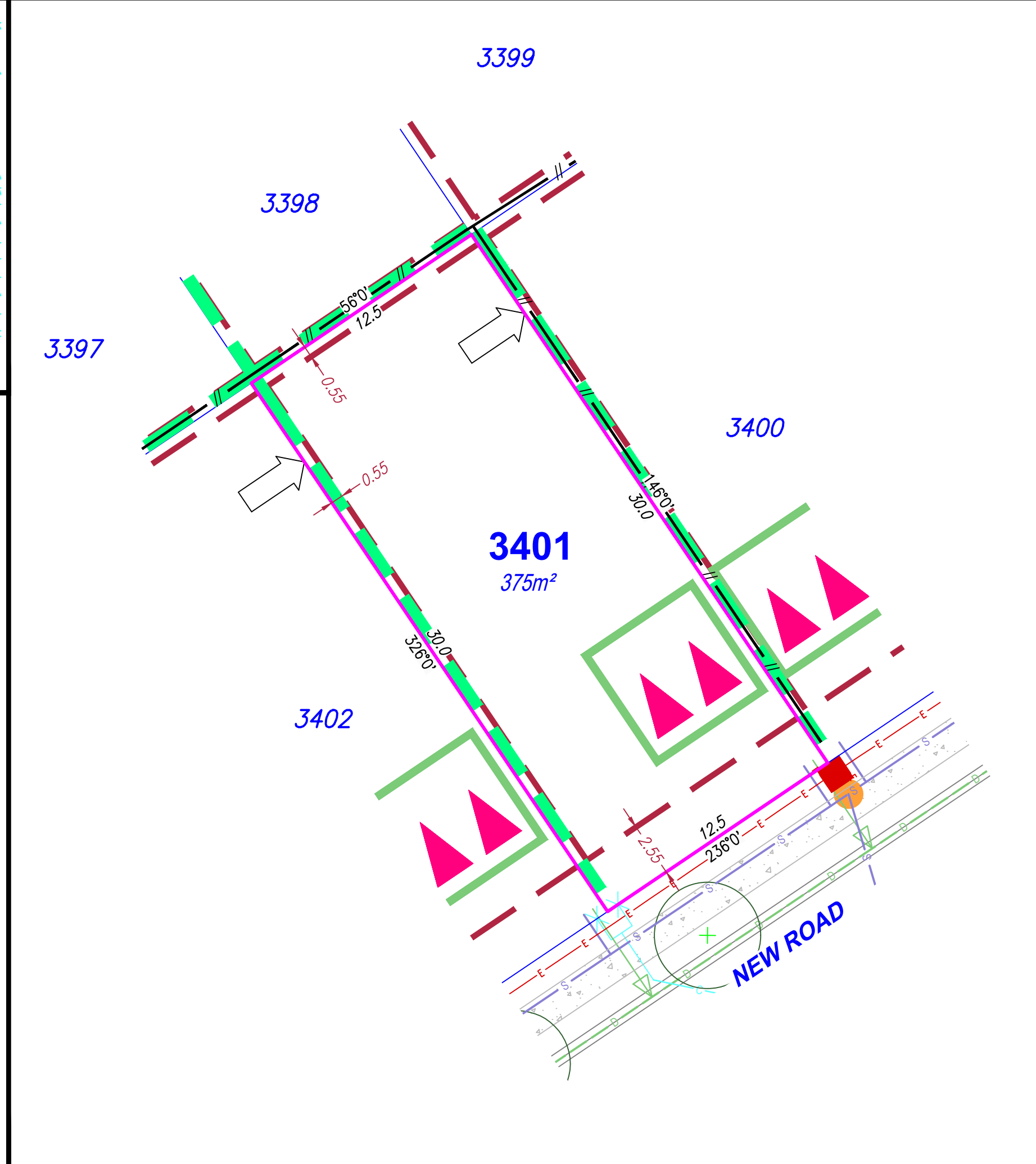
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DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3400	A	1 of 1



Legend	
Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — ■
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— —
Concrete Pathway	■
Landscape Street Tree	○
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN

For Proposed Lot 3401
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025
Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	
A	Developer Fences Added	28/11/25	

SCALE
1:200

SHEET SIZE
A3

2 0 2 4 6 8

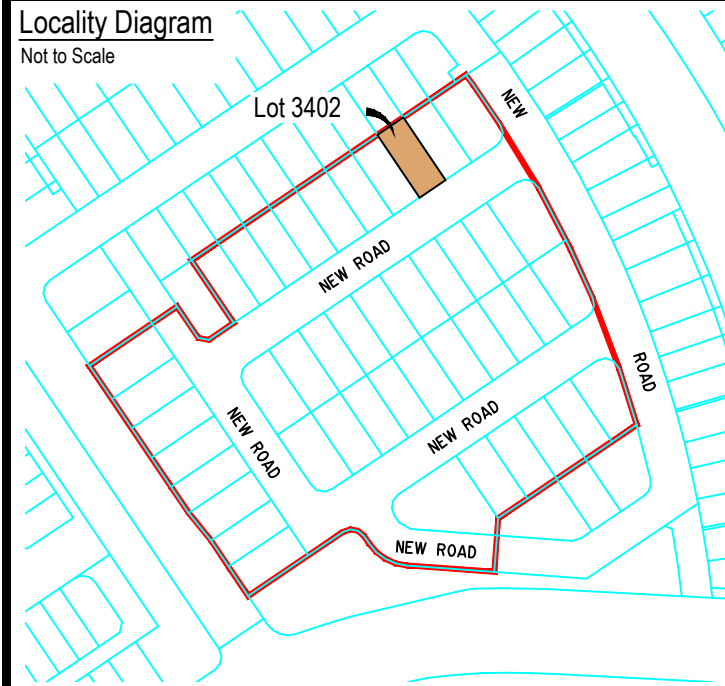
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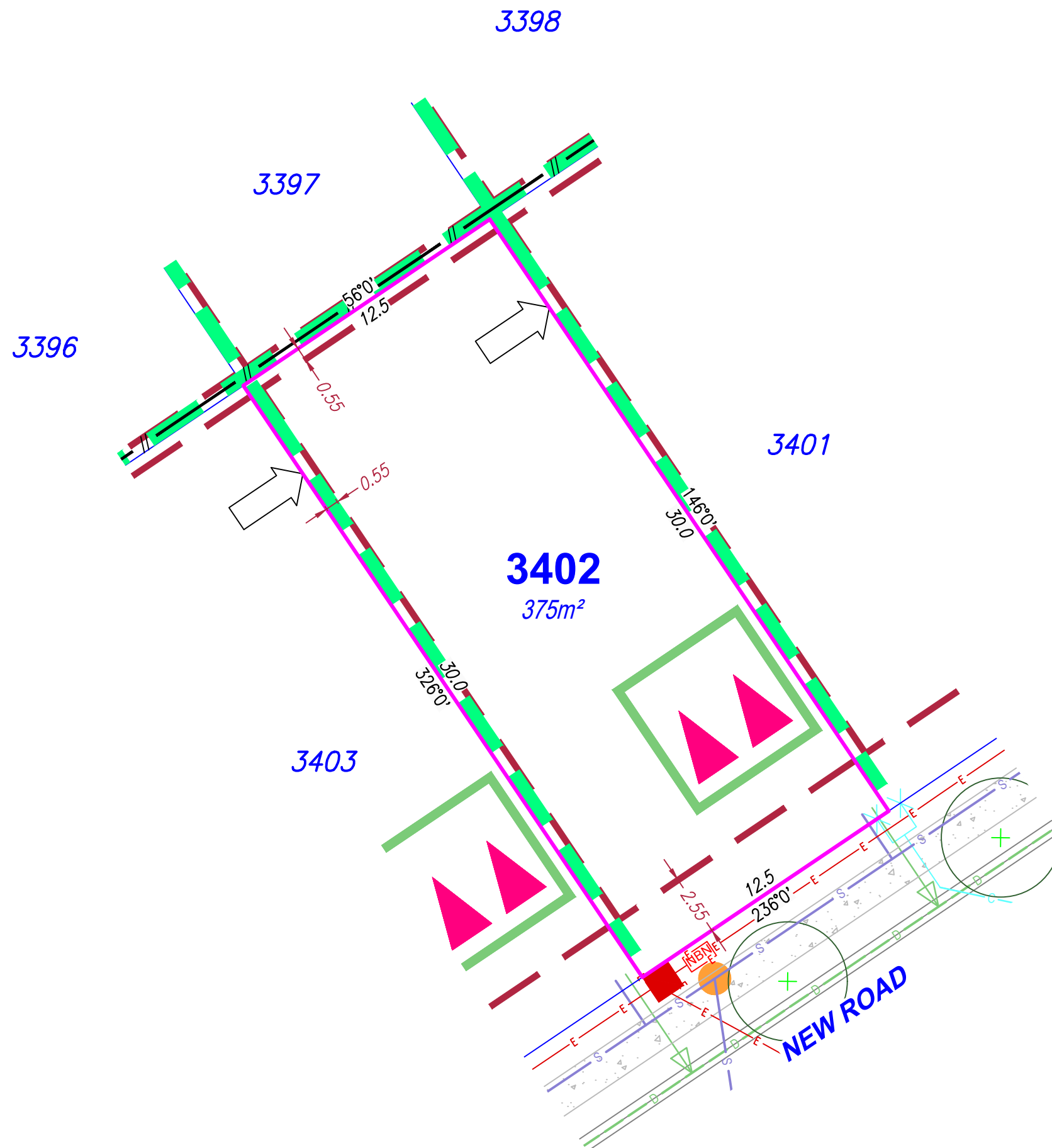
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3401	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E —
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	—
Concrete Pathway	■
Landscape Street Tree	○
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN

For Proposed Lot 3402
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

Compaction of any fill material placed on this site
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testing services in accordance with
AS3798-2007.

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pits are those shown on engineering design
drawings, supplied by Colliers and may differ
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Plan of Development information Supplied by
RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks
measured to outermost projection.

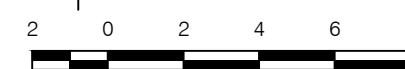
Drawn: GBF Date: 27/08/2025

Checked: DJL Date: 05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25
A	Developer Fences Added	28/11/25



SCALE 1:200
SHEET SIZE A3

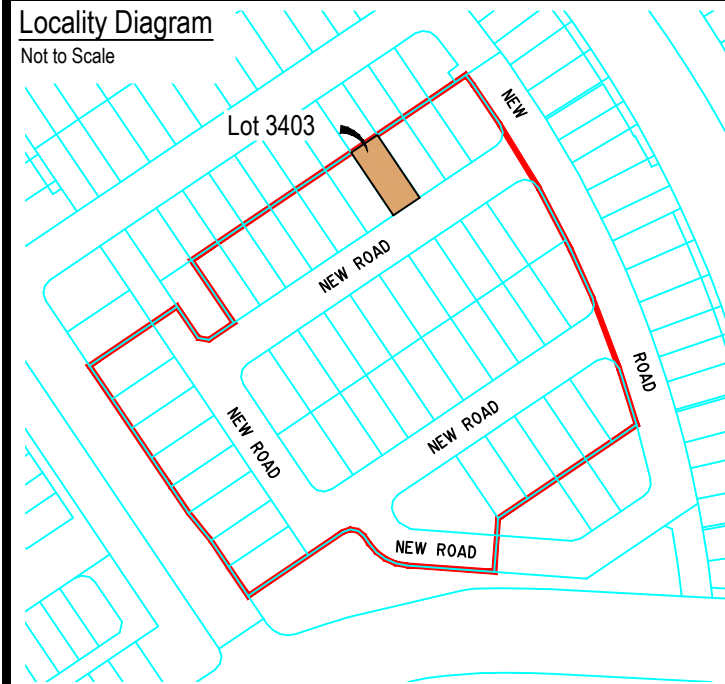


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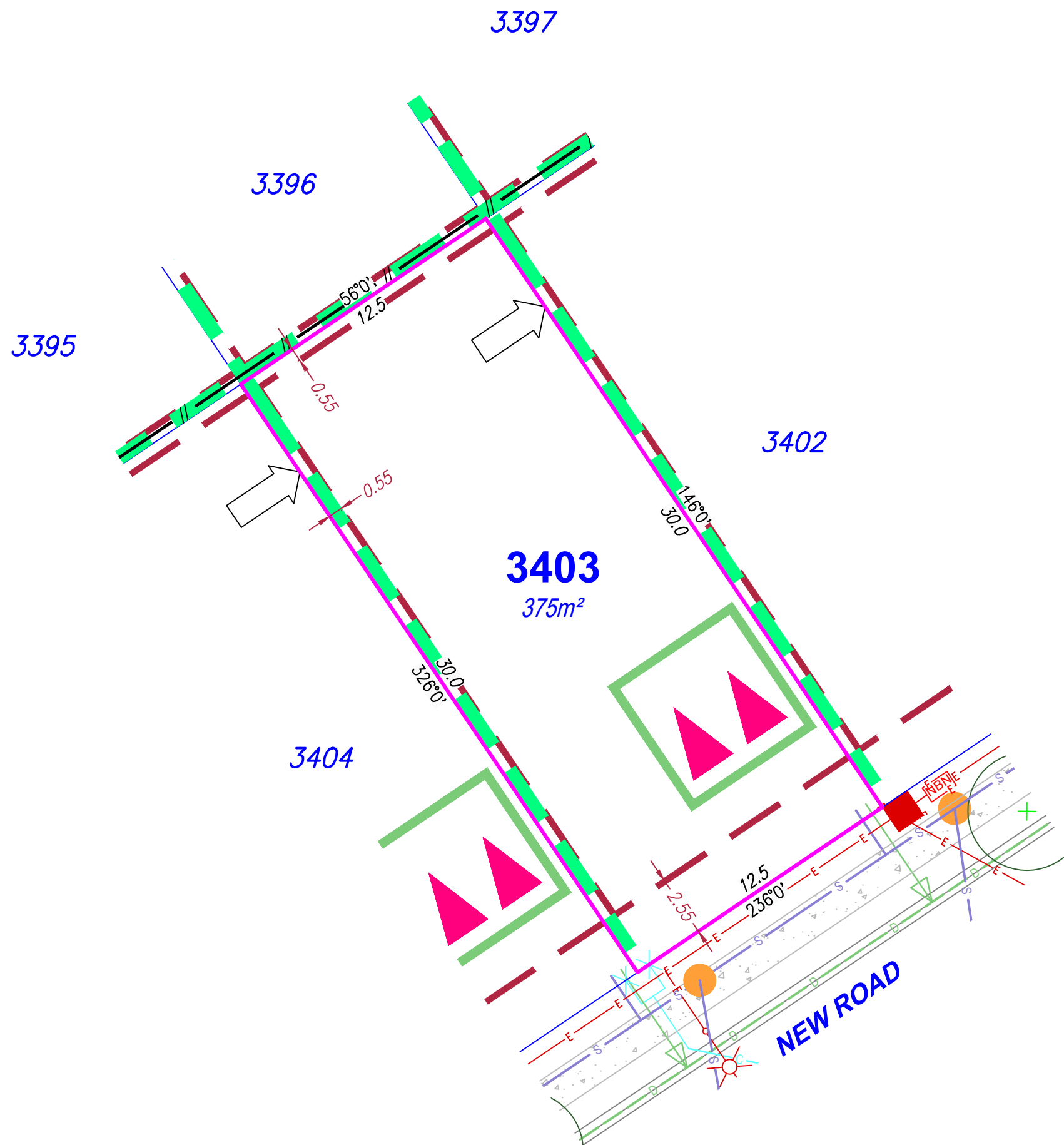
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3402	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E —
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	—
Concrete Pathway	▨
Landscape Street Tree	○
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN

For Proposed Lot 3403
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

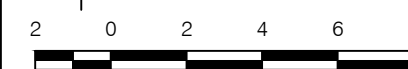
Drawn: GBF Date: 27/08/2025

Checked: DJL Date: 05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25
A	Developer Fences Added	28/11/25



SCALE 1:200
SHEET SIZE A3

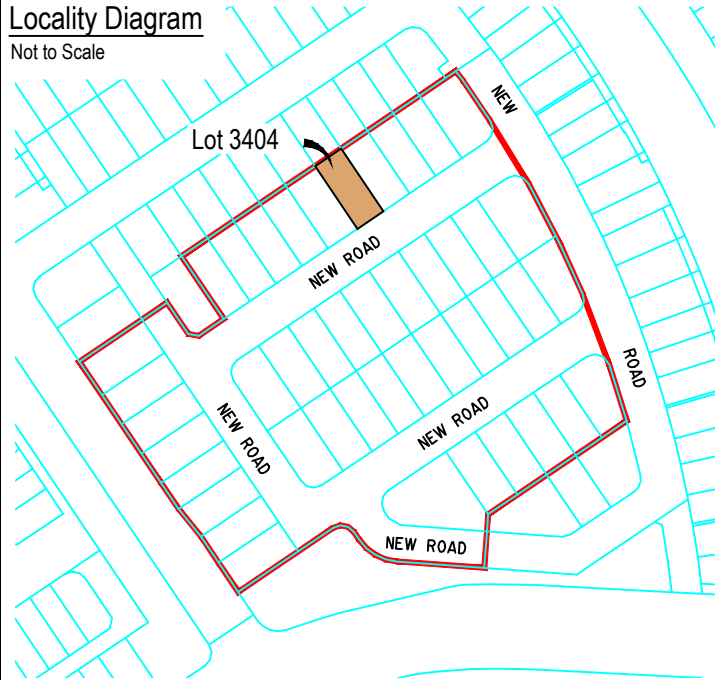


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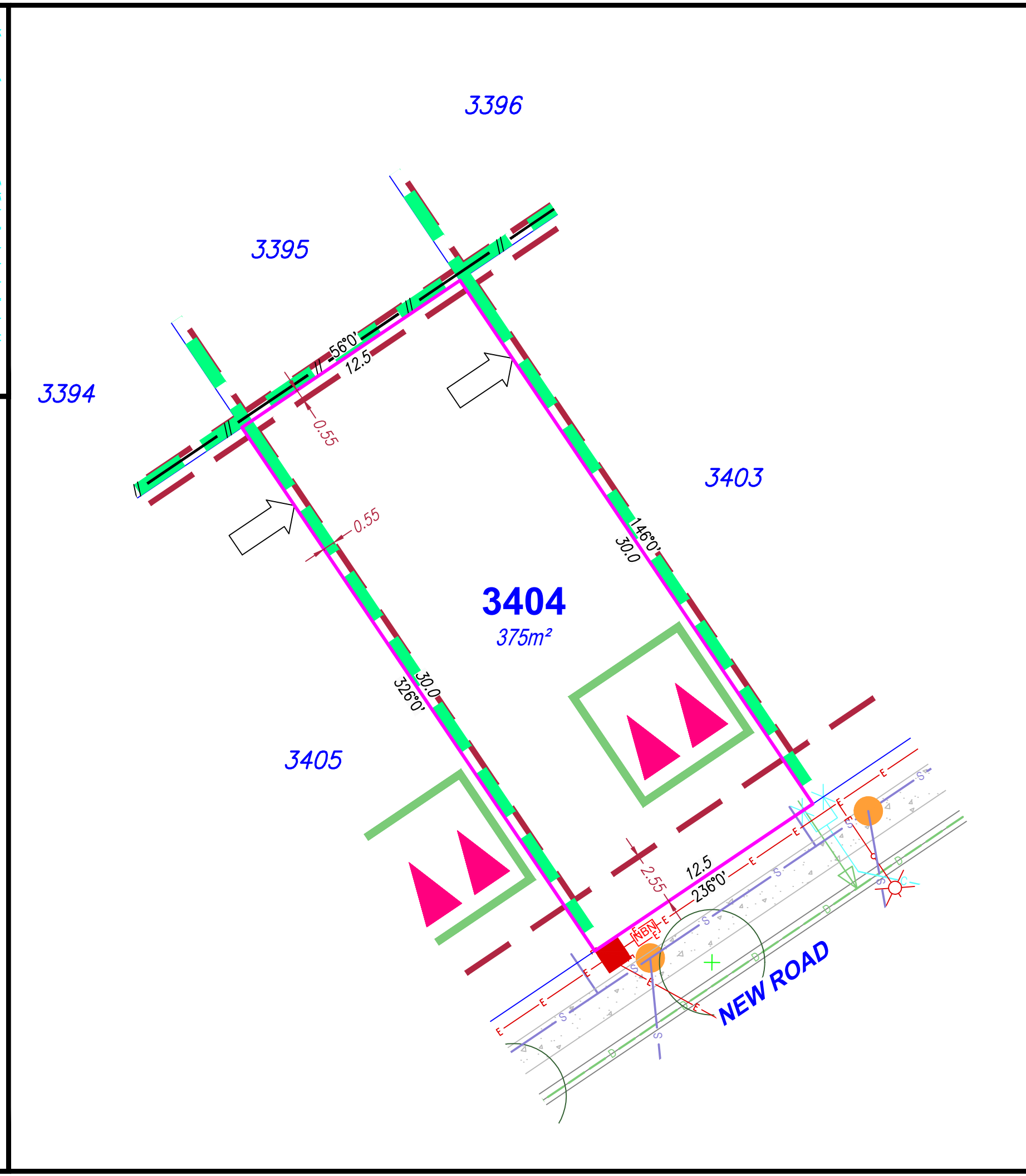
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3403	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— / — / —
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN
For Proposed Lot 3404
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25
A	Developer Fences Added	28/11/25

SCALE
1:200

SHEET SIZE
A3

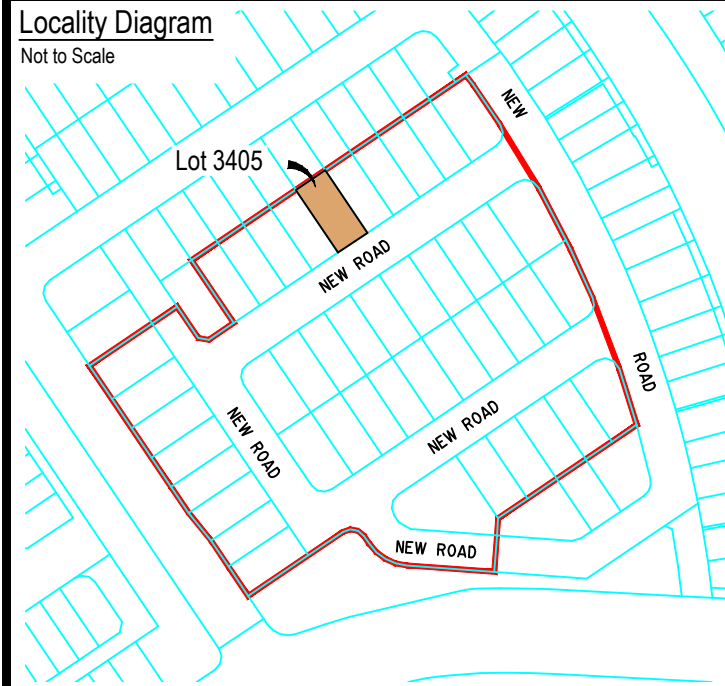
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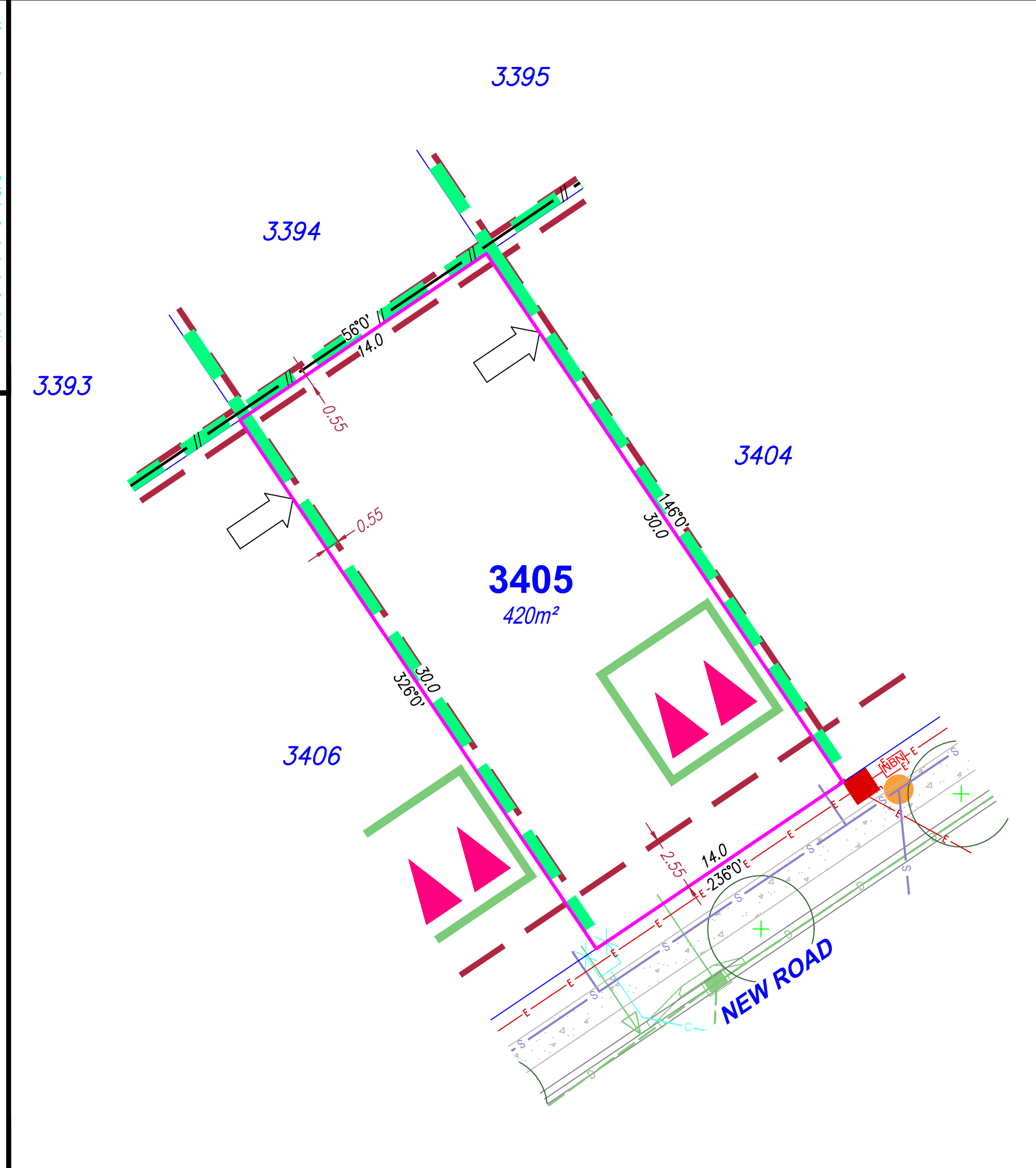
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3404	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — ■
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— — —
Concrete Pathway	▨
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	▢



SITE PLAN

For Proposed Lot 3405
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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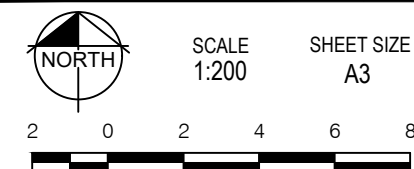
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Checked:	DJL	Date:	05/09/2025
Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	
A	Developer Fences Added	28/11/25	



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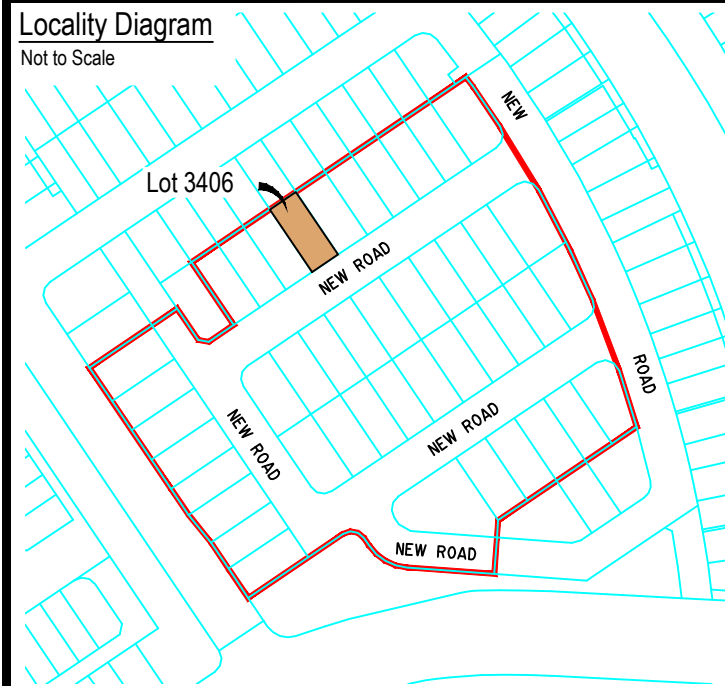
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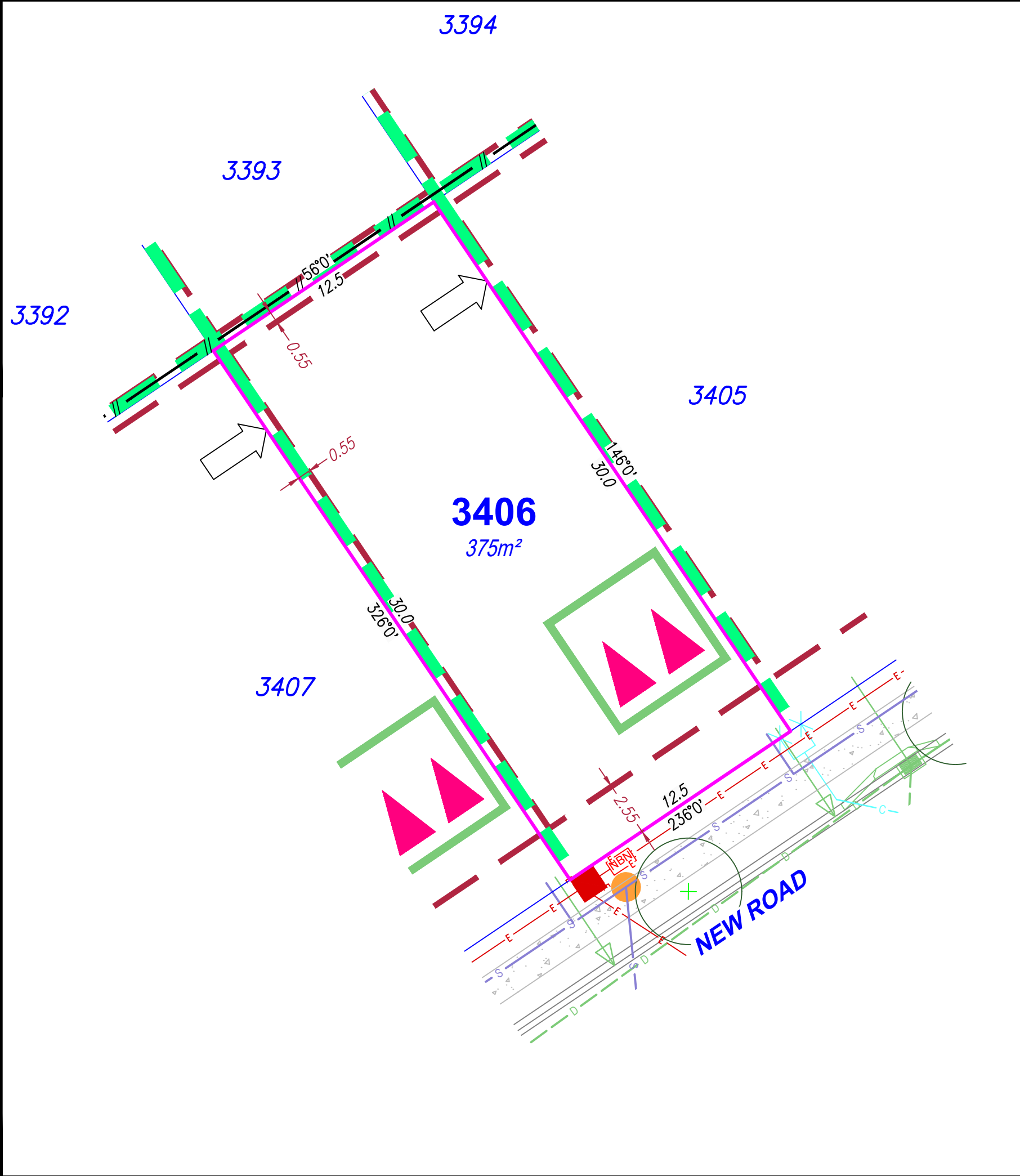
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DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3405	A	1 of 1



Legend	
Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — ■
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— — —
Concrete Pathway	■
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	-----
Bin Pads	✱
Indicative Parking Access Location	■



SITE PLAN

For Proposed Lot 3406
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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ORIG	Issue to Client	05/09/25	
A	Developer Fences Added	28/11/25	





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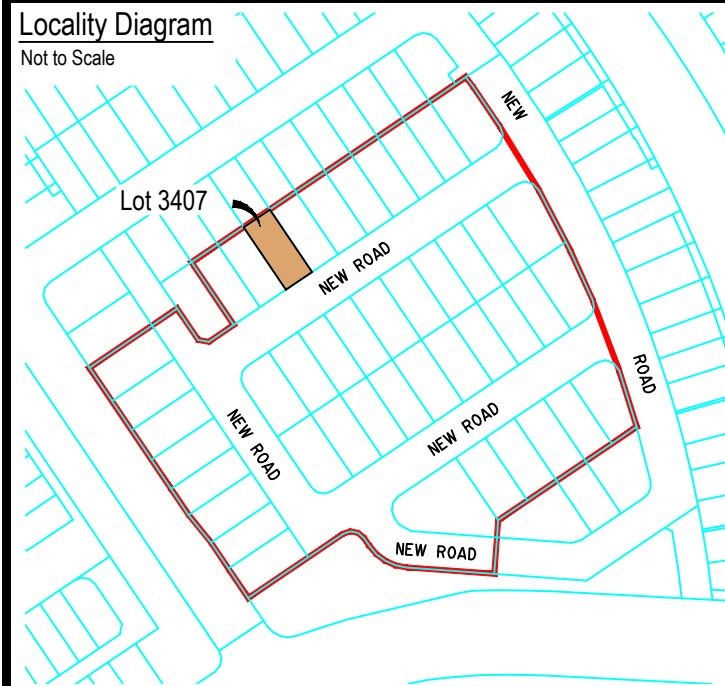
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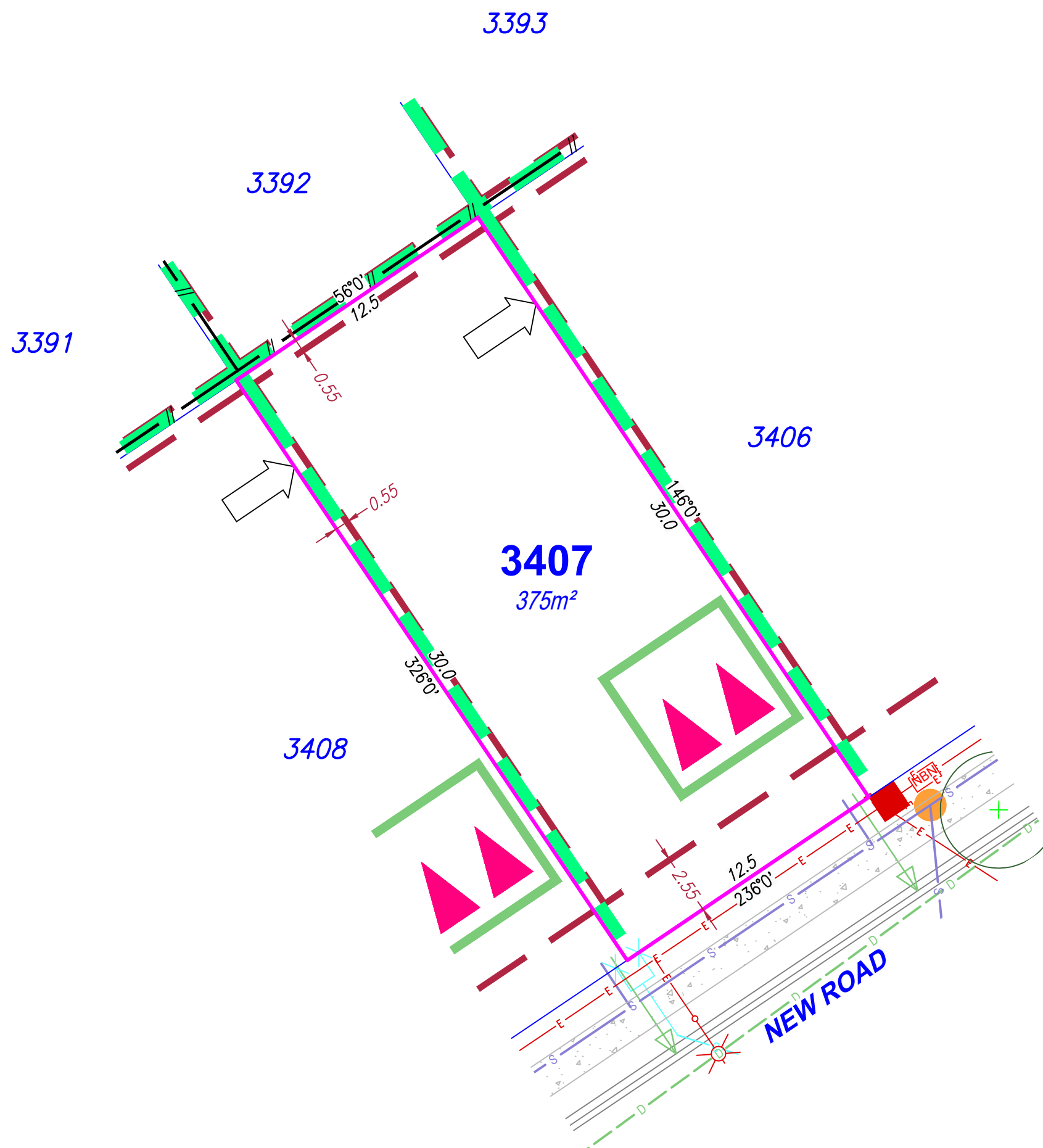
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DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3406	A	1 of 1



Legend	
Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E —
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— / —
Concrete Pathway	■
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN

For Proposed Lot 3407
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	
A	Developer Fences Added	28/11/25	



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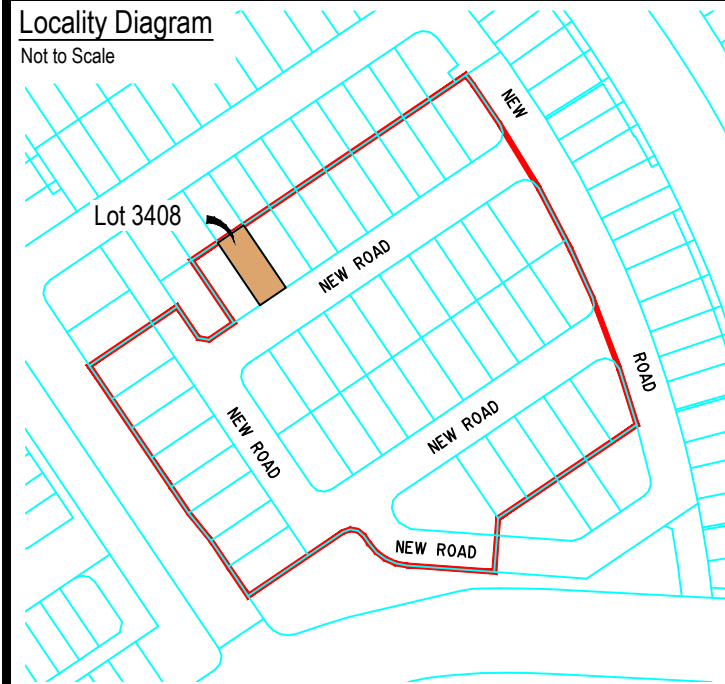
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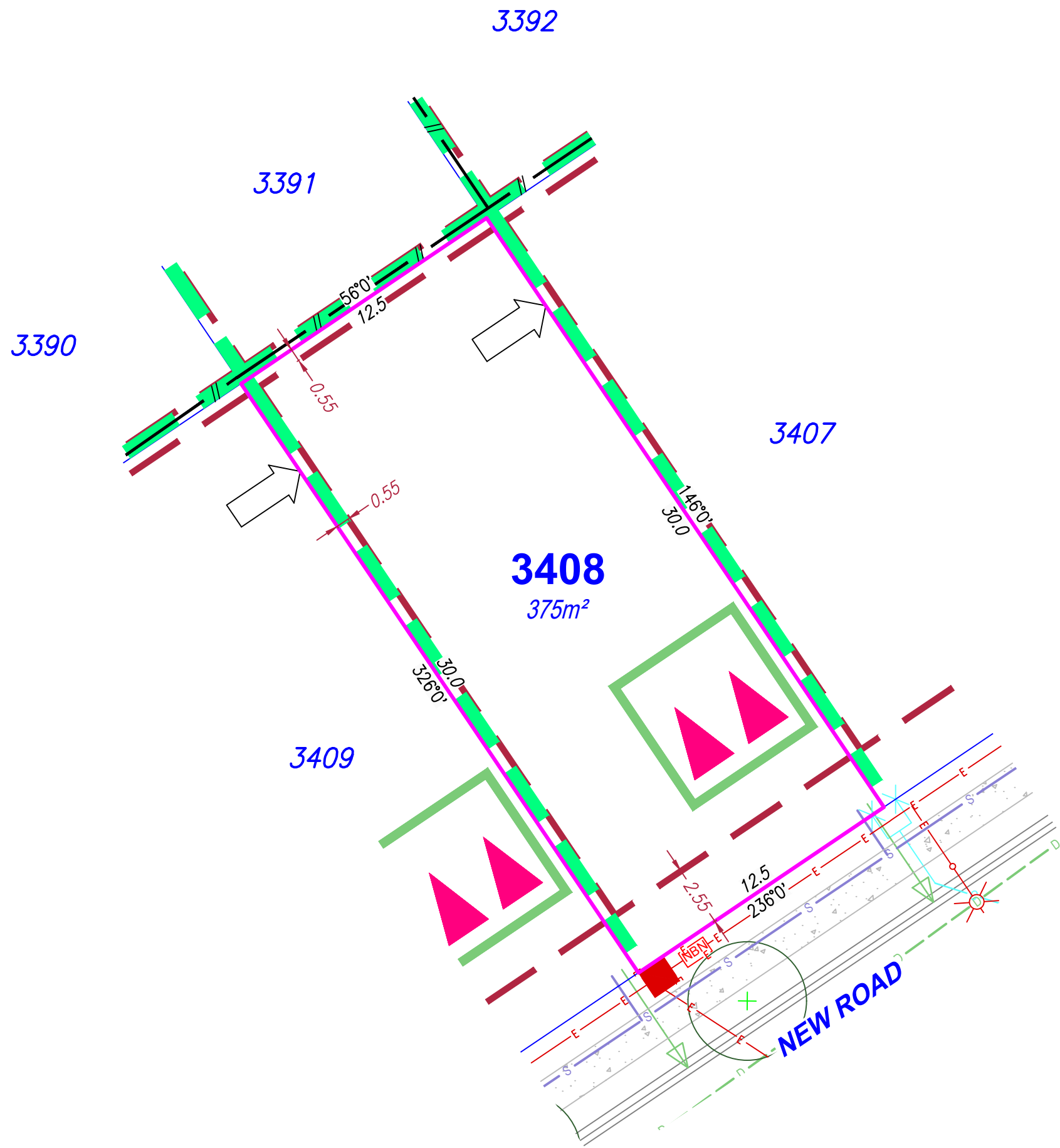
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DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3407	A	1 of 1



Legend	
Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — ■
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— —
Concrete Pathway	■
Landscape Street Tree	○
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN

For Proposed Lot 3408
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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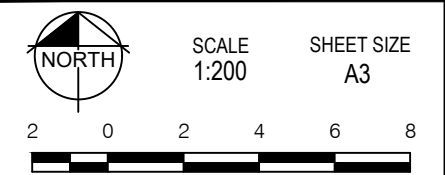
Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn: GBF Date: 27/08/2025

Checked: DJL Date: 05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25
A	Developer Fences Added	28/11/25



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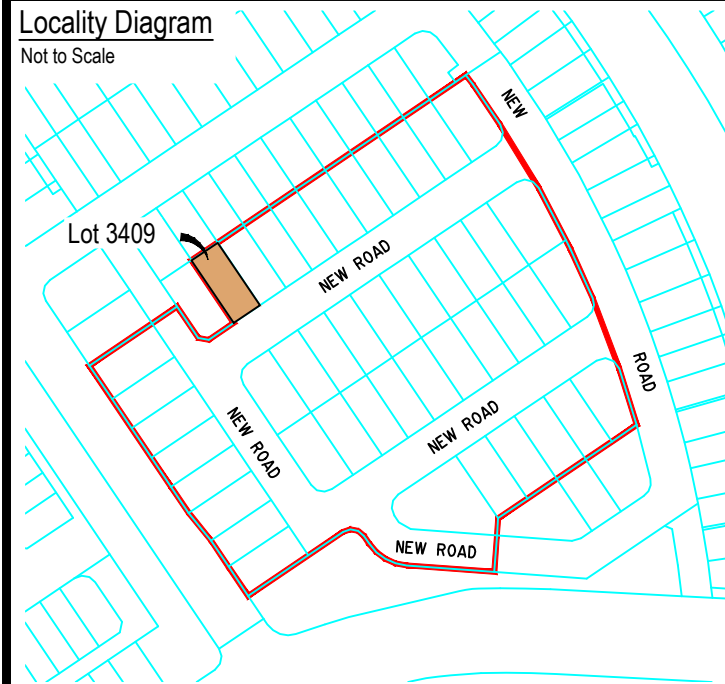
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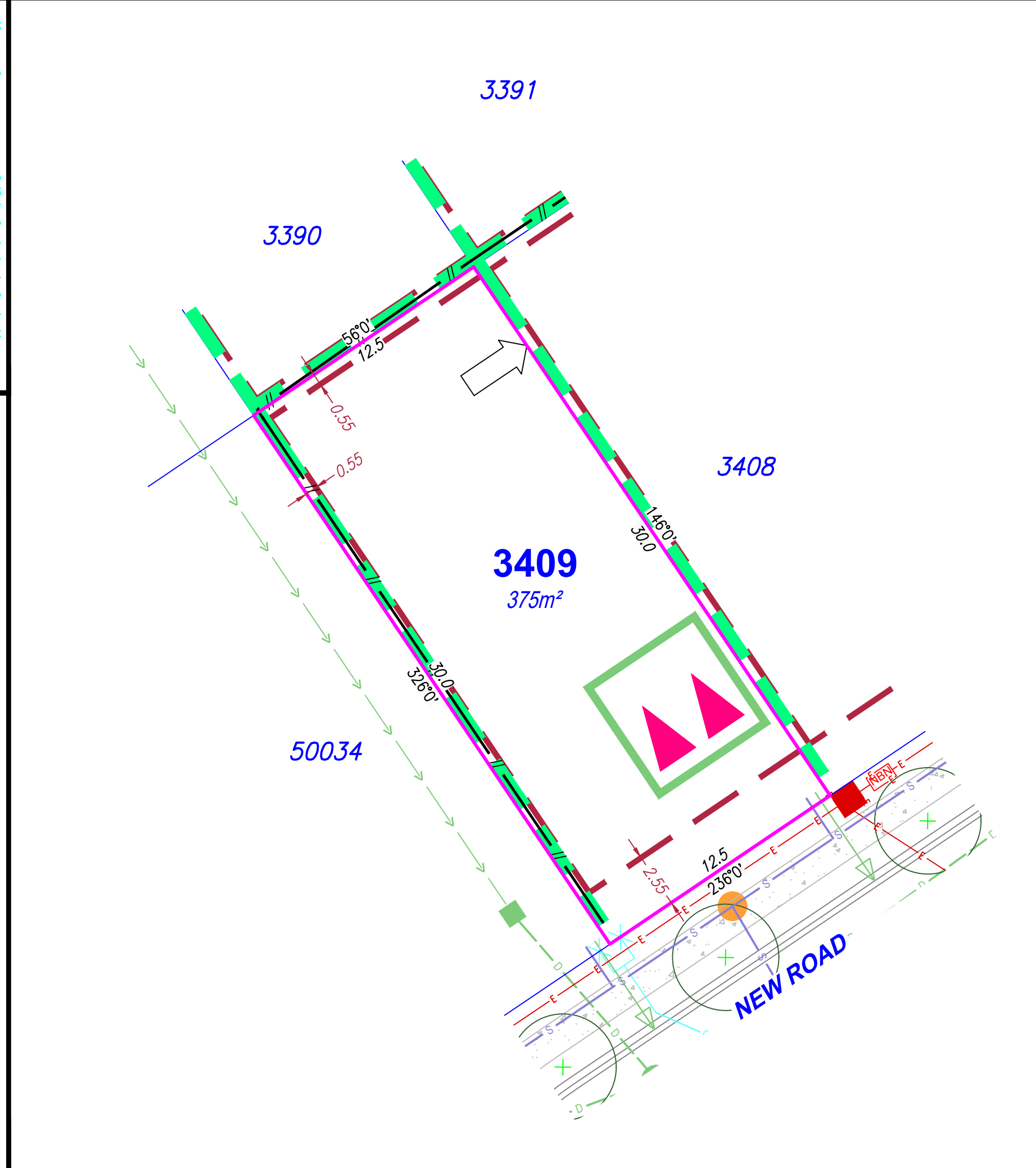
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3408	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — ■
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— —
Concrete Pathway	■
Landscape Street Tree	○
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN
For Proposed Lot 3409
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25
A	Developer Fences Added	28/11/25

SCALE
1:200

SHEET SIZE
A3

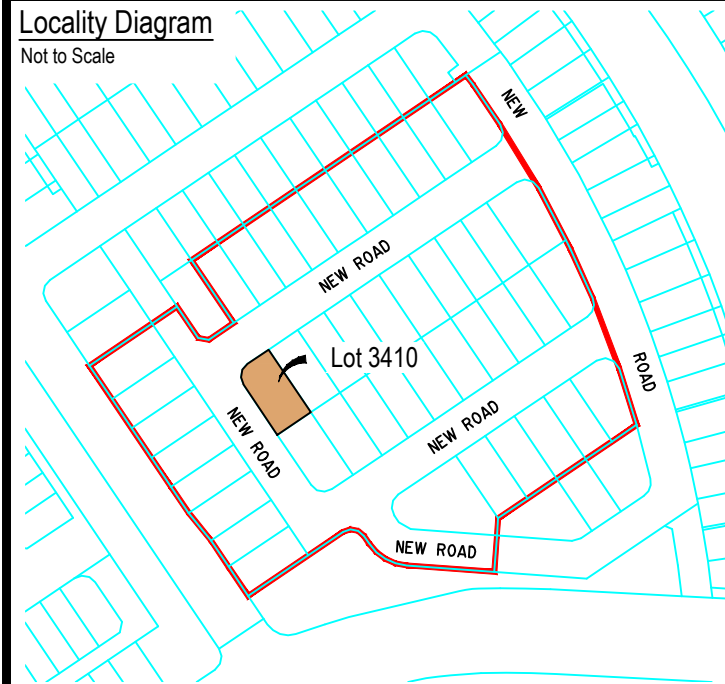
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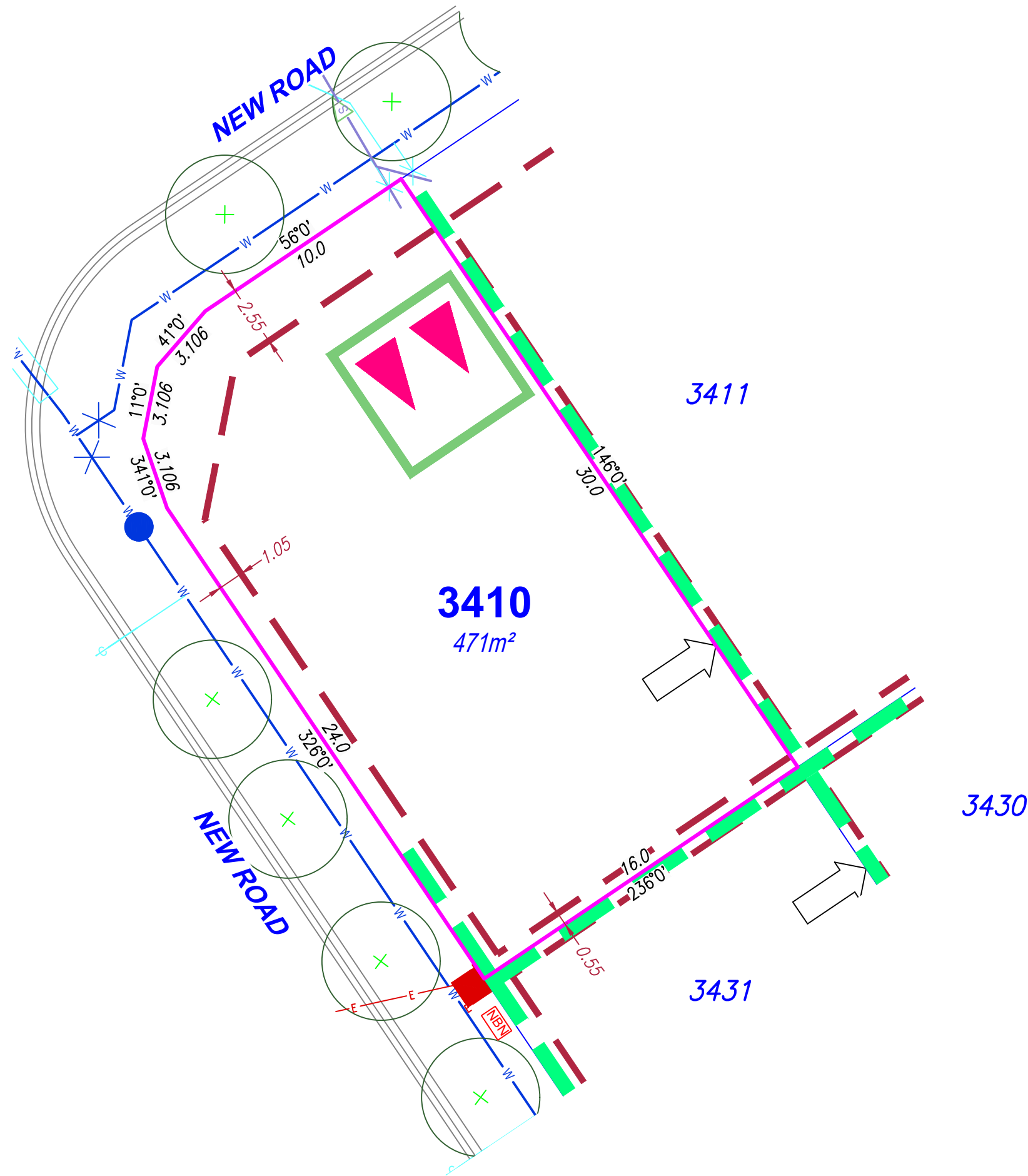
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3409	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	[Arrow]
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3410
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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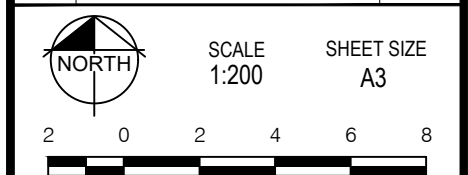
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn: GBF Date: 27/08/2025

Checked: DJL Date: 05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25



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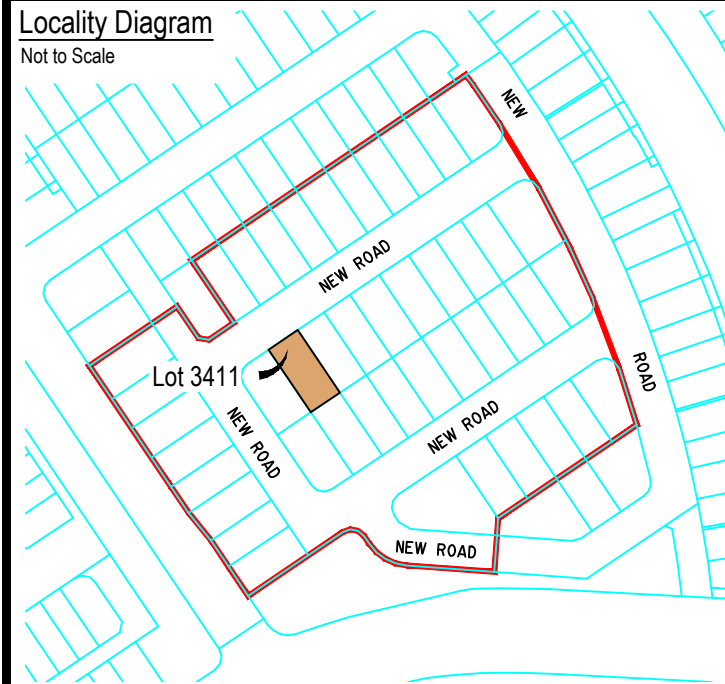
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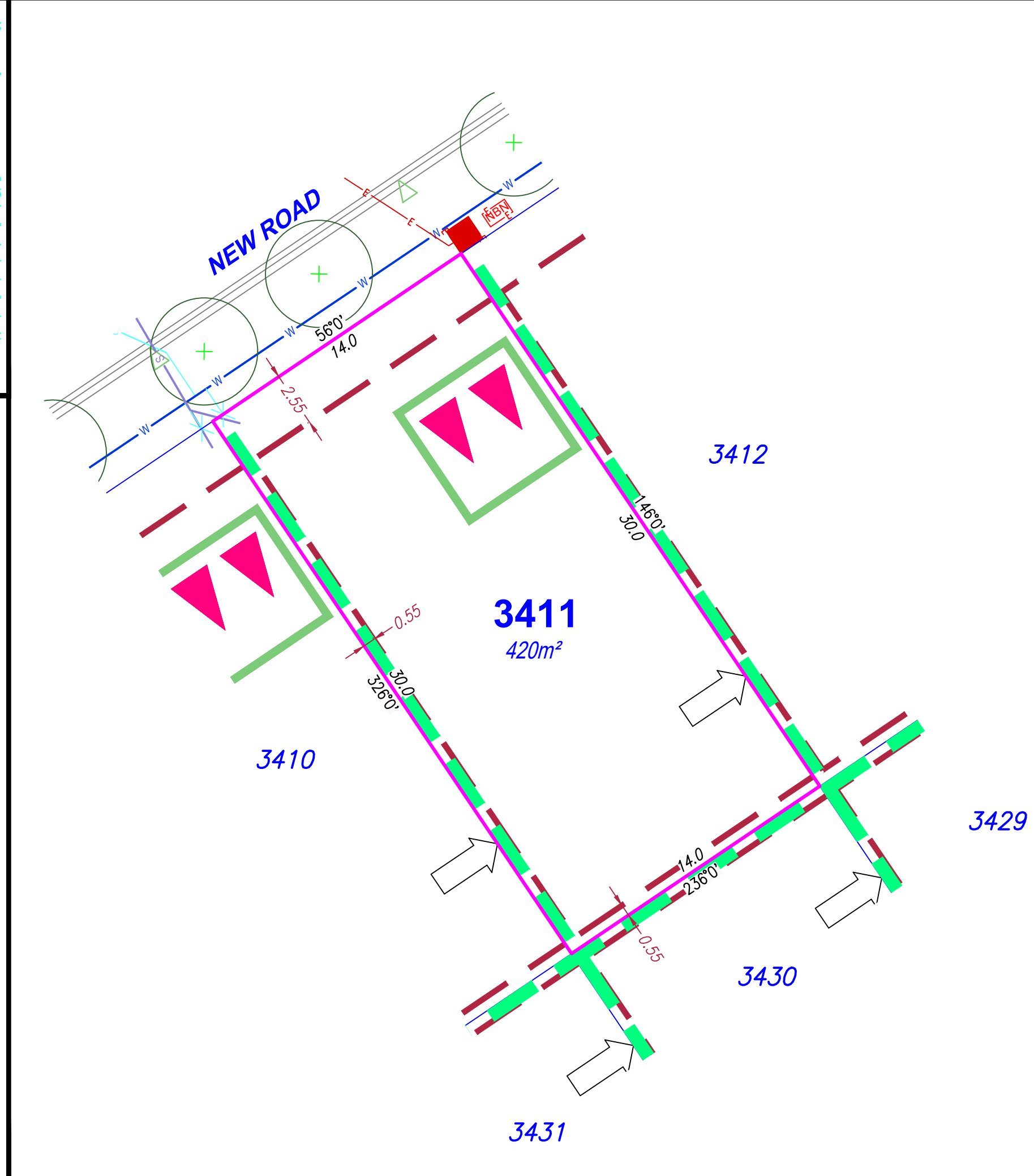
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3410	-	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	[Symbol] — E — [Symbol]
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	[Arrow]
Indicative Building Envelope	[Dashed Box]
Bin Pads	★
Indicative Parking Access Location	[Triangle]



SITE PLAN

For Proposed Lot 3411
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025
Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	

SCALE
1:200

SHEET SIZE
A3

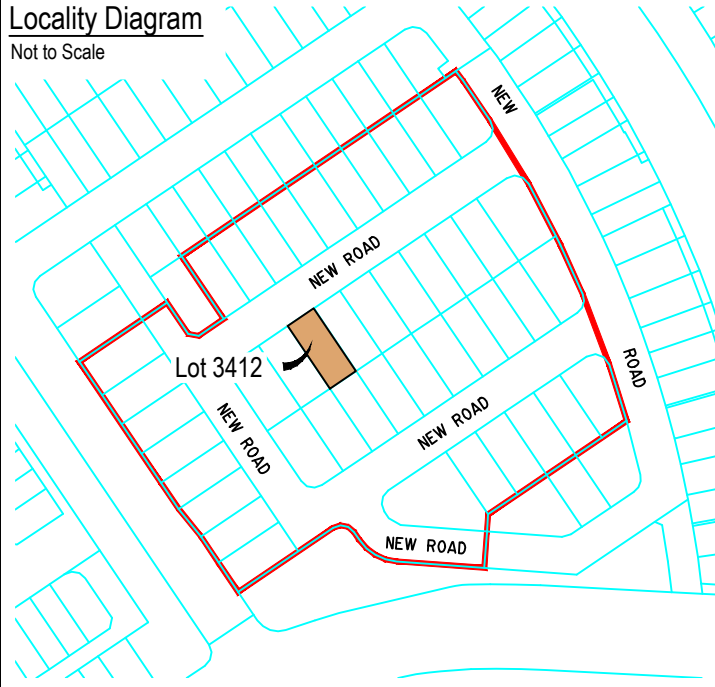
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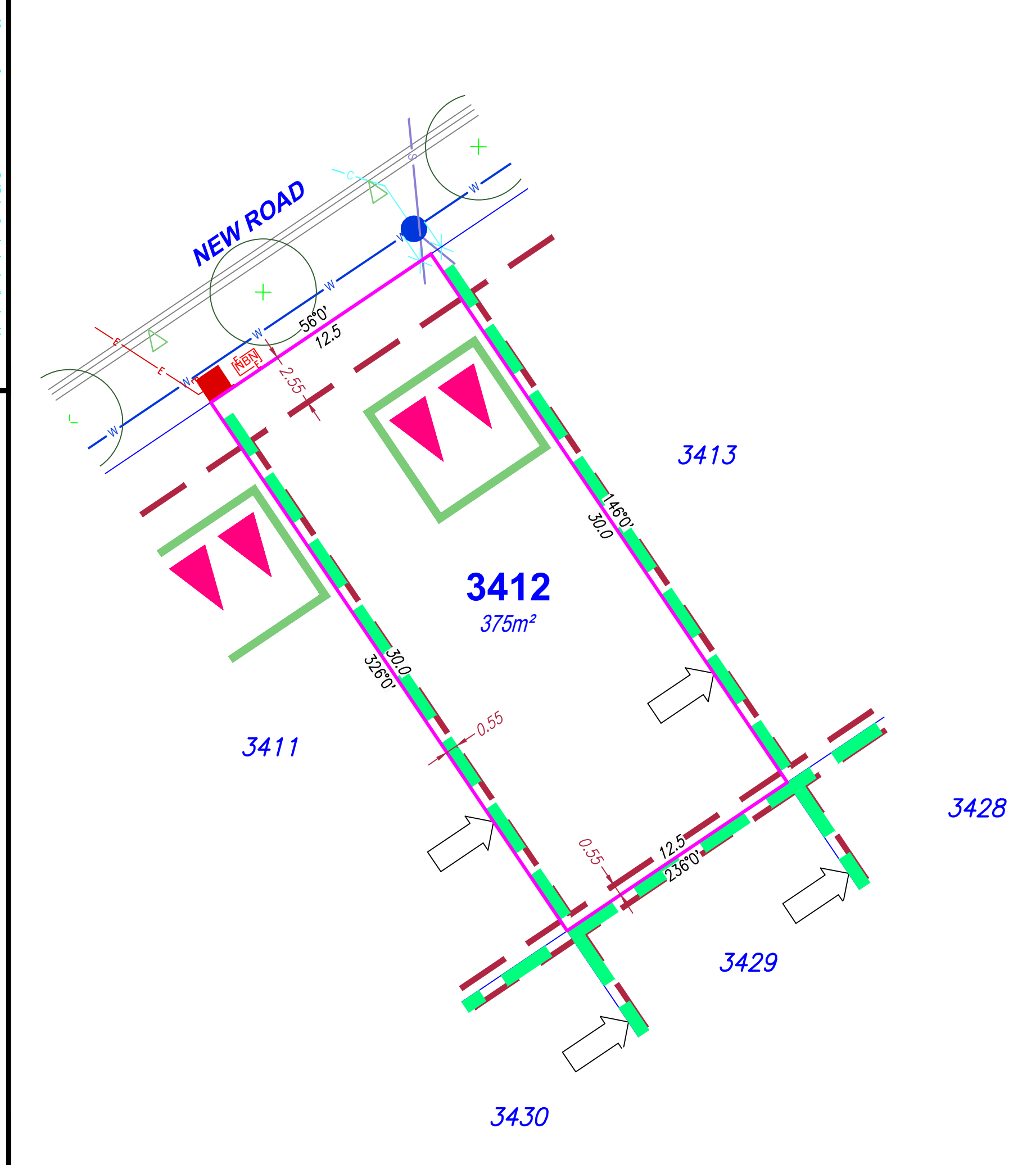
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3411	-	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E —
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— —
Concrete Pathway	■
Landscape Street Tree	⊕
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN
For Proposed Lot 3412
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025
Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	

SCALE
1:200

SHEET SIZE
A3

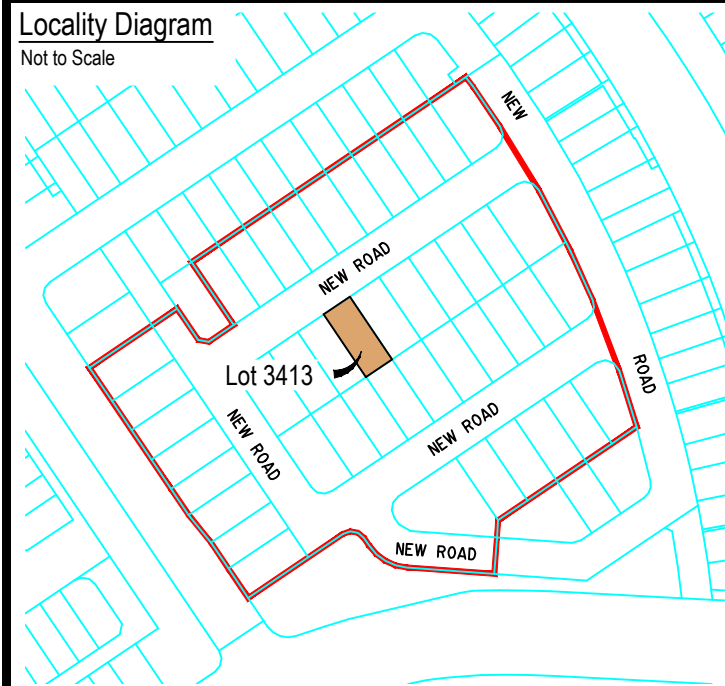
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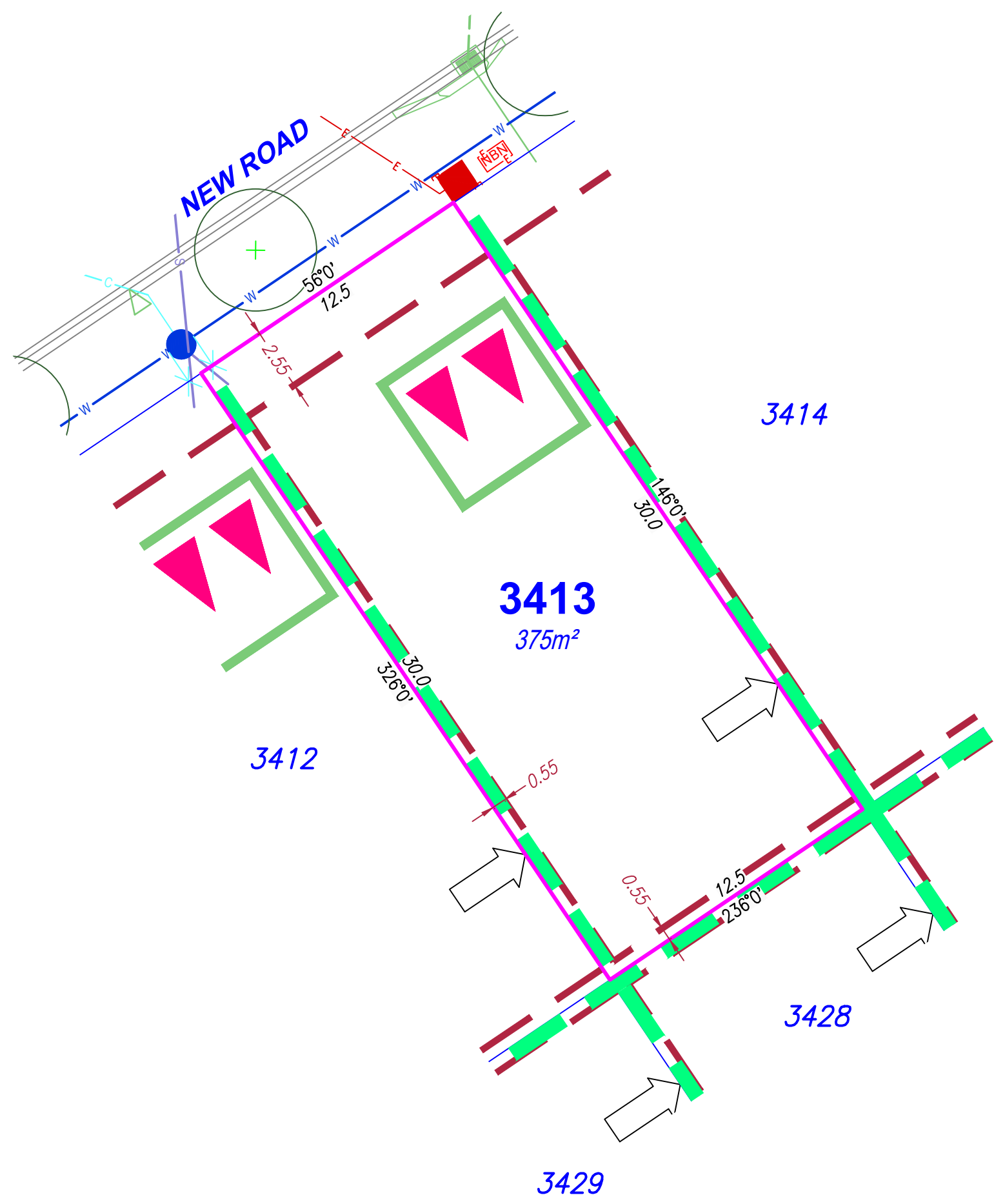
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3412	-	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	★
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3413
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025
Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	

SCALE
1:200

SHEET SIZE
A3

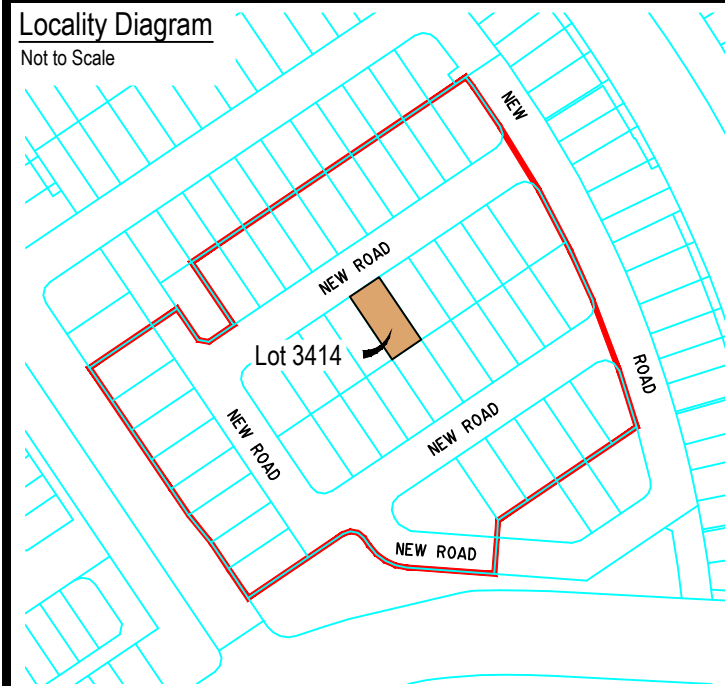
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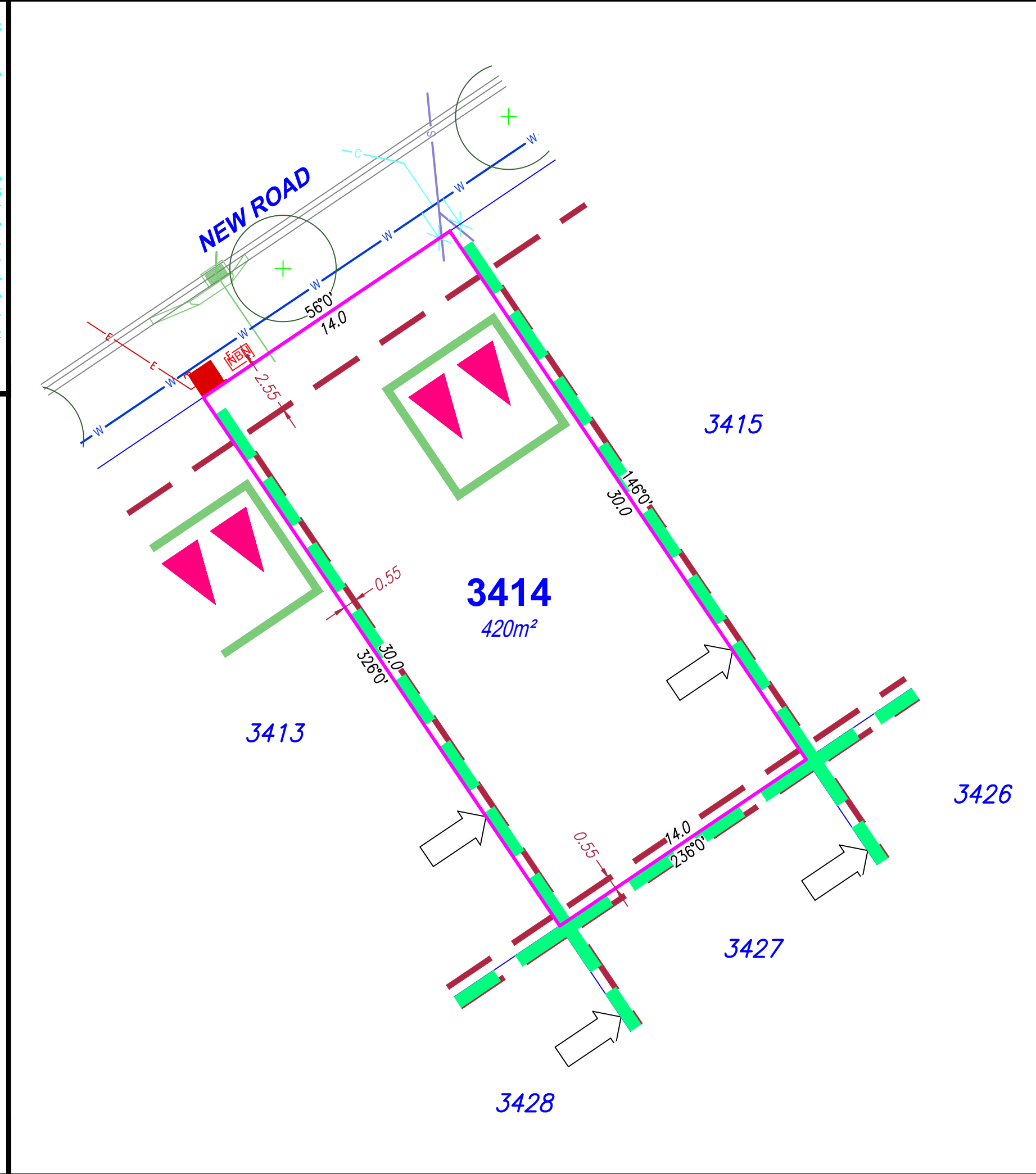
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3413	-	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — ■
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— // —
Concrete Pathway	▨
Landscape Street Tree	⊕
Zero Setback Building Line	➡
Indicative Building Envelope	▭
Bin Pads	✱
Indicative Parking Access Location	▭



SITE PLAN

For Proposed Lot 3414
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

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testing services in accordance with
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pits are those shown on engineering design
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from the as-constructed location.

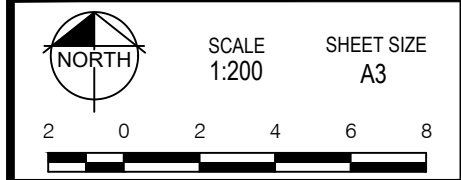
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Indicative Building Envelope depicts setbacks
measured to outermost projection.

Drawn: GBF Date: 27/08/2025

Checked: DJL Date: 05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25



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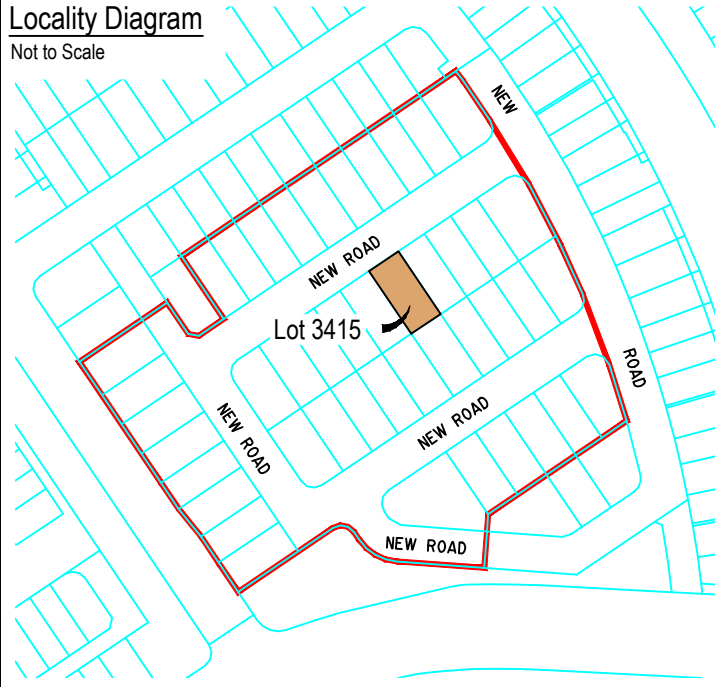
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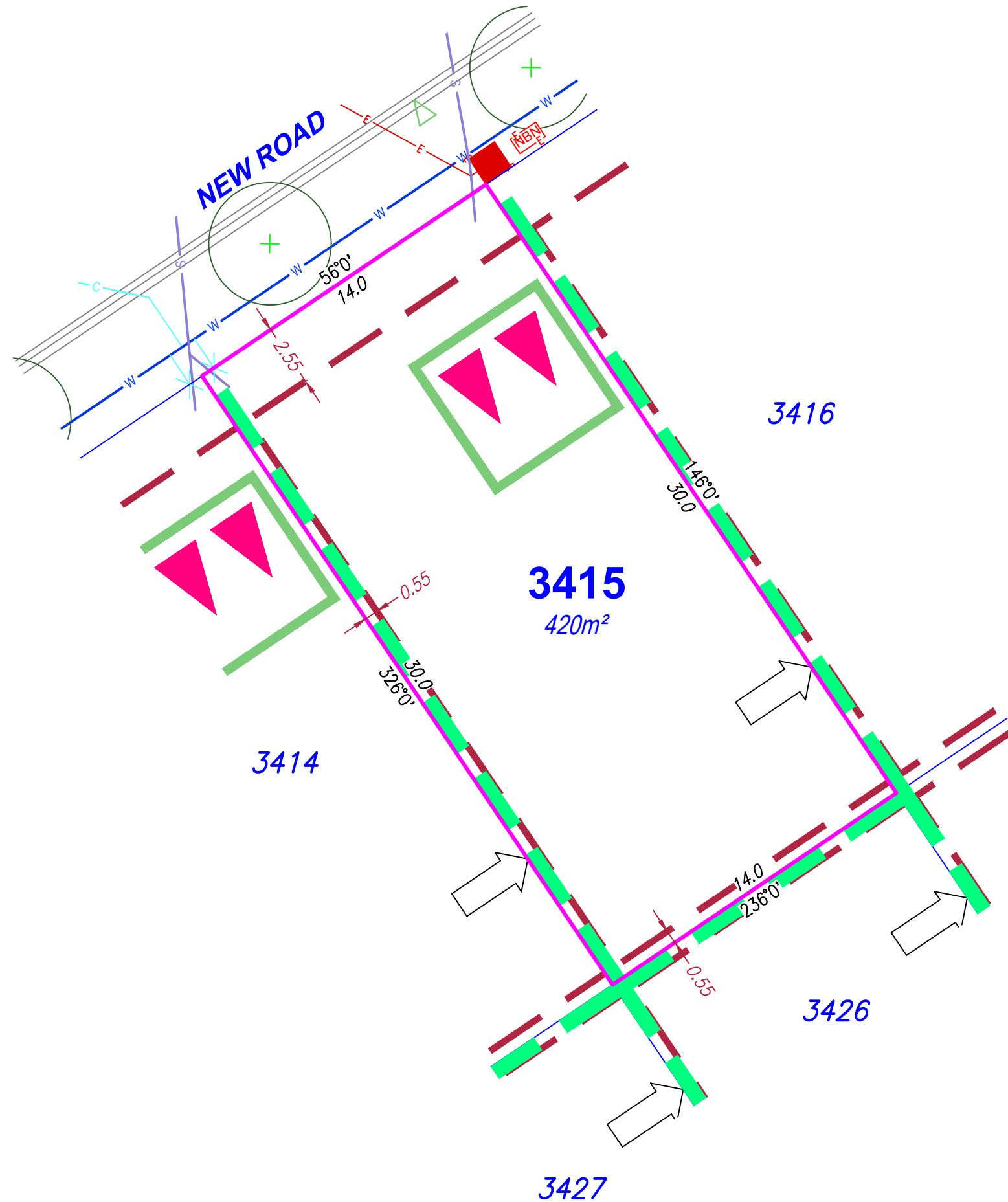
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3414	-	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E —
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— // —
Concrete Pathway	
Landscape Street Tree	○ +
Zero Setback Building Line	
Indicative Building Envelope	-----
Bin Pads	★
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3415
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

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Drawn: GBF Date: 27/08/2025

Checked: DJL Date: 05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25



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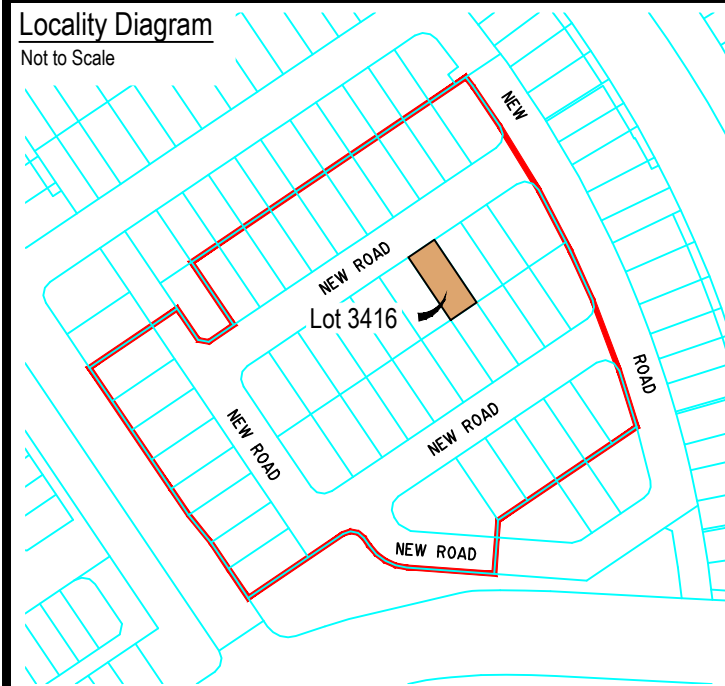
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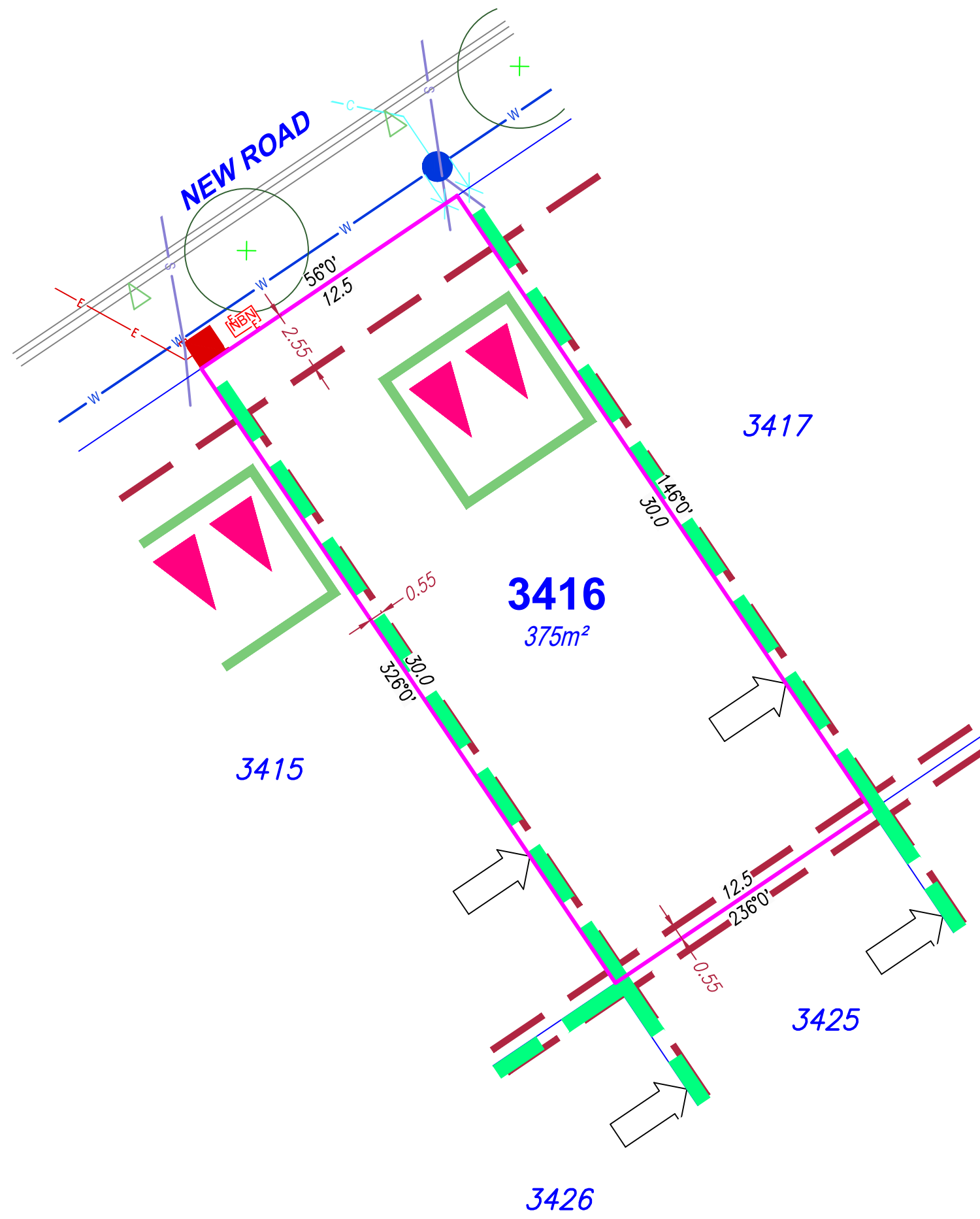
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DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3415	-	1 of 1



Legend	
Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁ ▷
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E —
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— — —
Concrete Pathway	▨
Landscape Street Tree	⊕
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲▲



SITE PLAN

For Proposed Lot 3416
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025
Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	



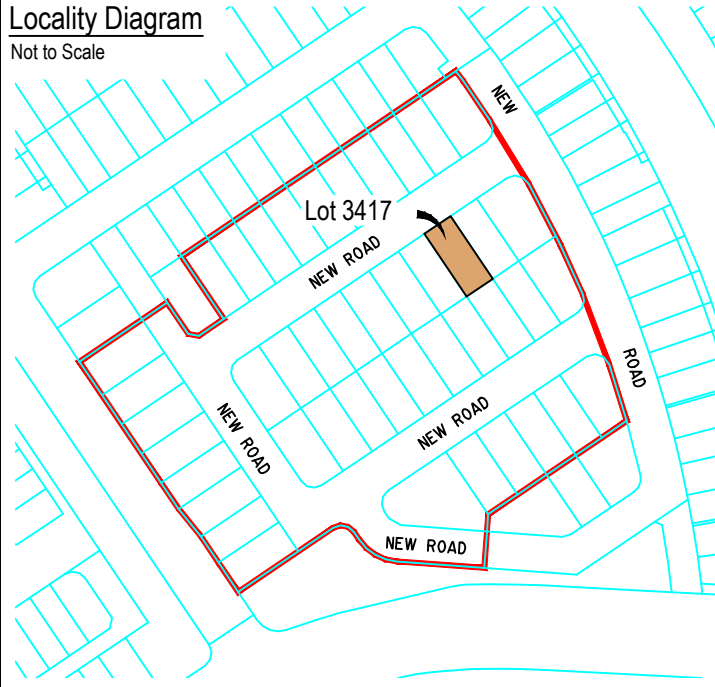
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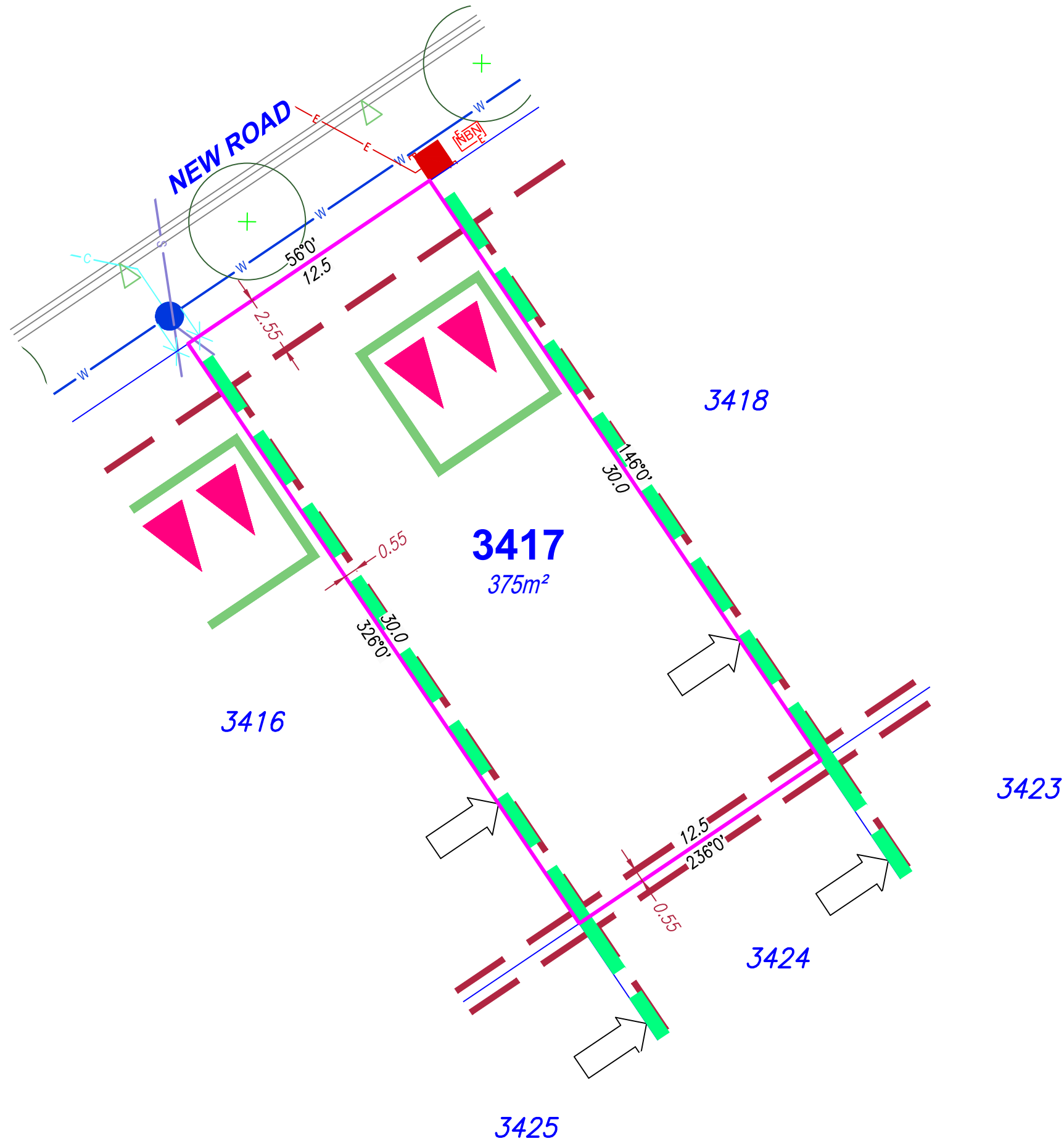
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DWG. TLX370977-009-Stg10D-Site			
PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3416	-	1 of 1



Legend	
Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— // —
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3417
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
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road setback to 2.55 meters as noted on the Plan
of Development Table.

Compaction of any fill material placed on this site
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AS3798-2007.

Location of sewer, roofwater, stormwater, water
reticulation and electricity lines, manholes and
pits are those shown on engineering design
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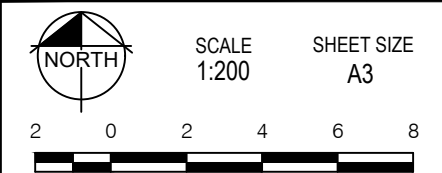
Plan of Development information Supplied by
RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks
measured to outermost projection.

Drawn: GBF Date: 27/08/2025

Checked: DJL Date: 05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25



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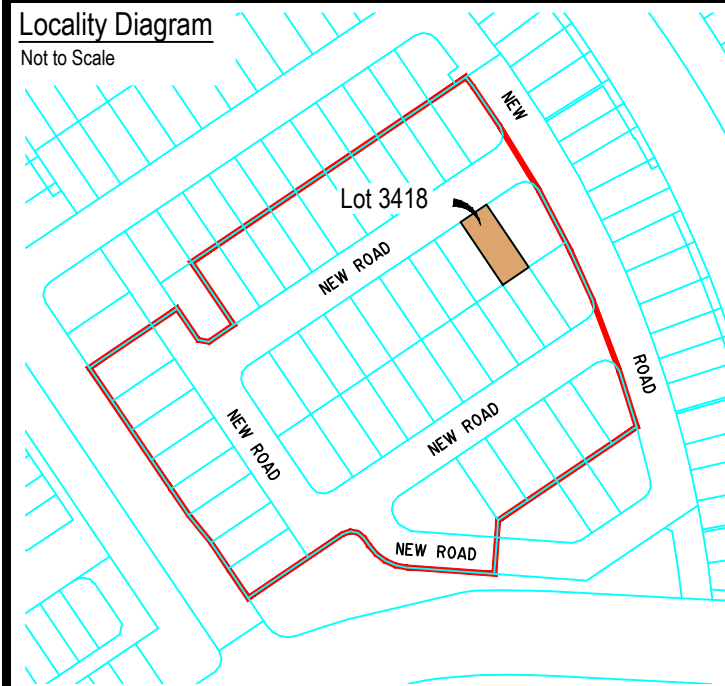
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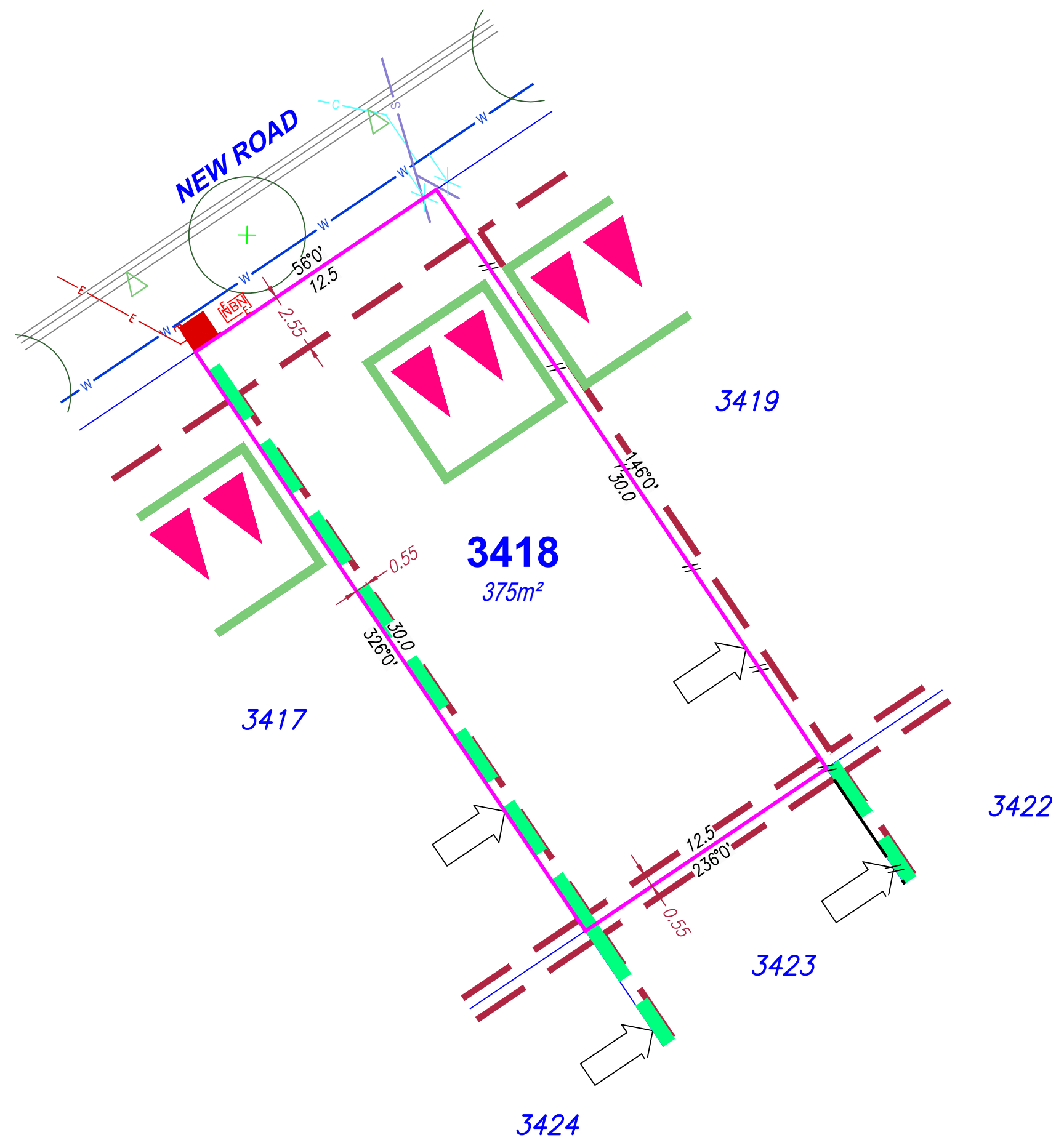
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3417	-	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	[Symbol] — E — [Symbol]
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	[Arrow]
Indicative Building Envelope	[Dashed Box]
Bin Pads	★
Indicative Parking Access Location	[Triangle]



SITE PLAN

For Proposed Lot 3418
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025
Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	
A	Developer Fences Added	28/11/25	

SCALE
1:200

SHEET SIZE
A3

2

0

2

4

6

8

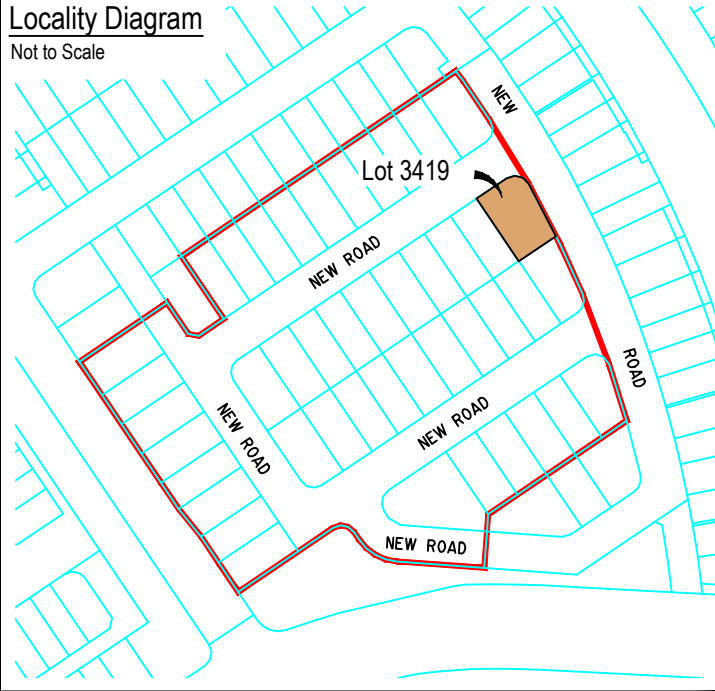
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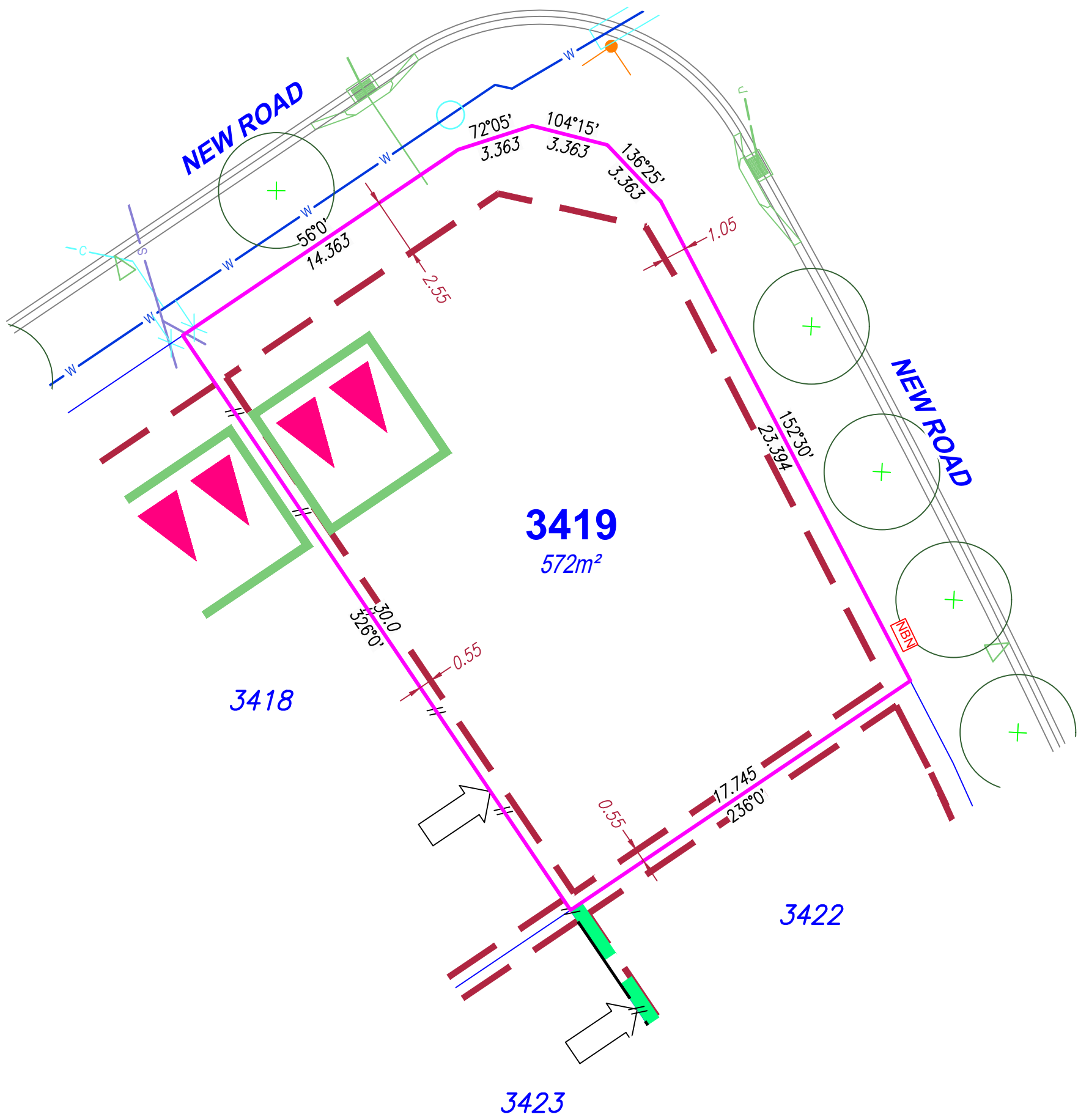
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DWG. TLX370977-009-Stg10D-Site			
PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3418	A	1 of 1



Legend

Rock Retaining Wall	
Sleeper Retaining Wall	
Landscape Retaining Wall	
Sewer line	
Sewer Manhole	
Roofwater Drainage Line and Catch Pit	
Stormwater Drainage Line	
Stormwater Manhole/ Pit	
Stormwater Kerb Adapter	
Water Main	
Water Conduit	
Water Service Point of Entry	
Underground Electricity, Street Light, Electricity Pillar & NBN	
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	
Concrete Pathway	
Landscape Street Tree	
Zero Setback Building Line	
Indicative Building Envelope	
Bin Pads	
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3419
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743 & USL

LOCALITY Flagstone / Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25
A	Developer Fences Added	28/11/25

NORTH

SCALE
1:200

SHEET SIZE
A3

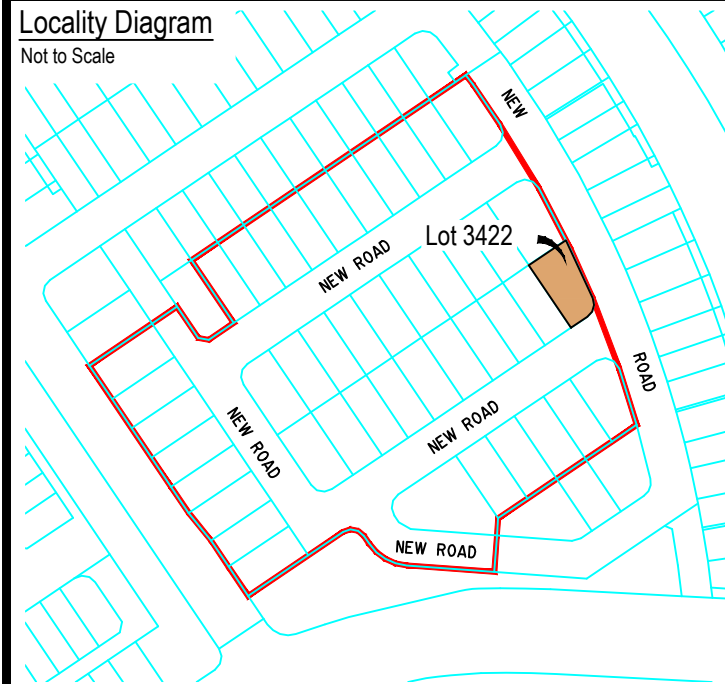
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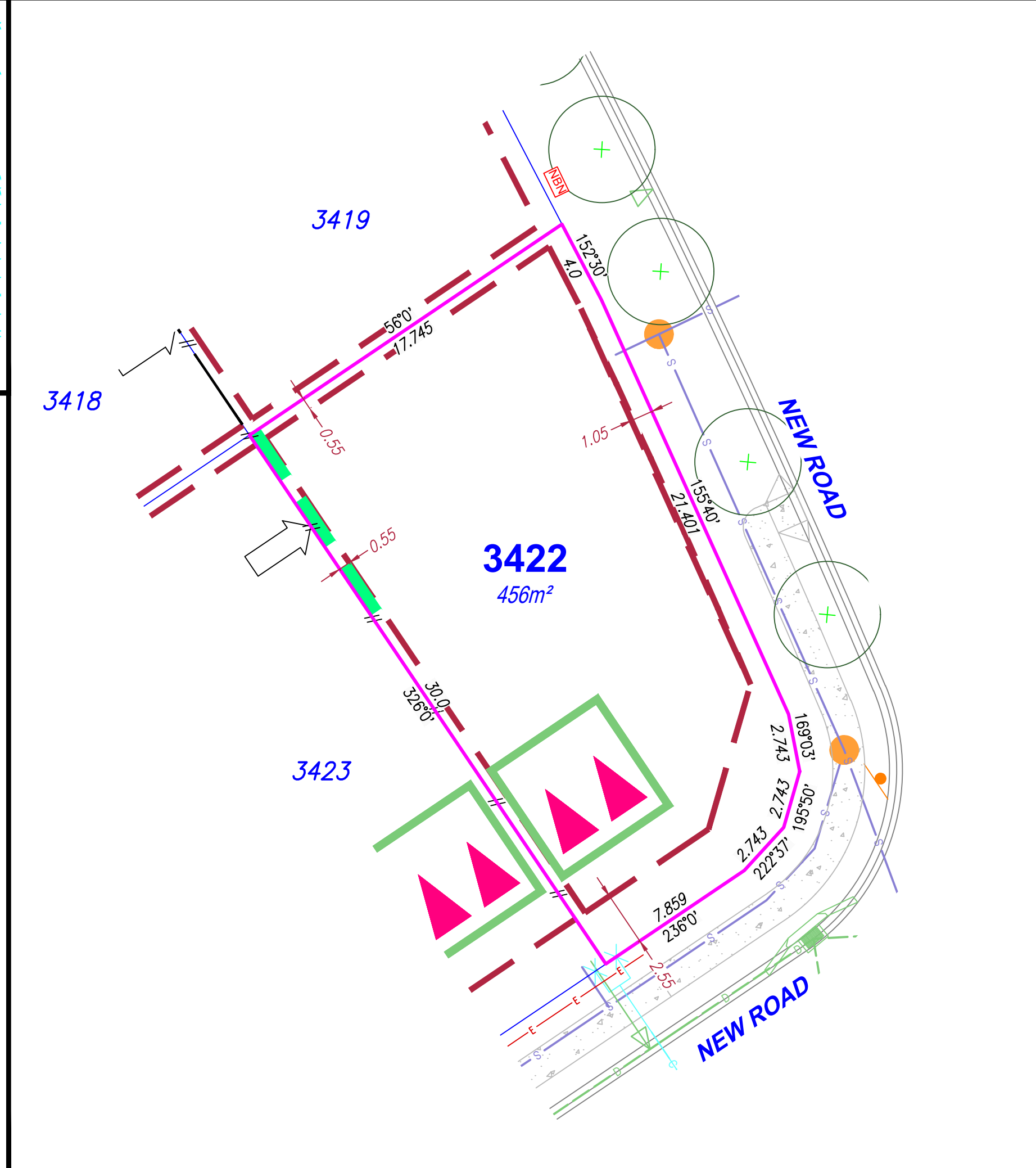
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DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3419	A	1 of 1



Legend	
Rock Retaining Wall	
Sleeper Retaining Wall	
Landscape Retaining Wall	
Sewer line	
Sewer Manhole	
Roofwater Drainage Line and Catch Pit	
Stormwater Drainage Line	
Stormwater Manhole/ Pit	
Stormwater Kerb Adapter	
Water Main	
Water Conduit	
Water Service Point of Entry	
Underground Electricity, Street Light, Electricity Pillar & NBN	
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	
Concrete Pathway	
Landscape Street Tree	
Zero Setback Building Line	
Indicative Building Envelope	
Bin Pads	
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3422
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743 & USL

LOCALITY Flagstone / Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	
A	Developer Fences Added	28/11/25	

SCALE
1:200

SHEET SIZE
A3

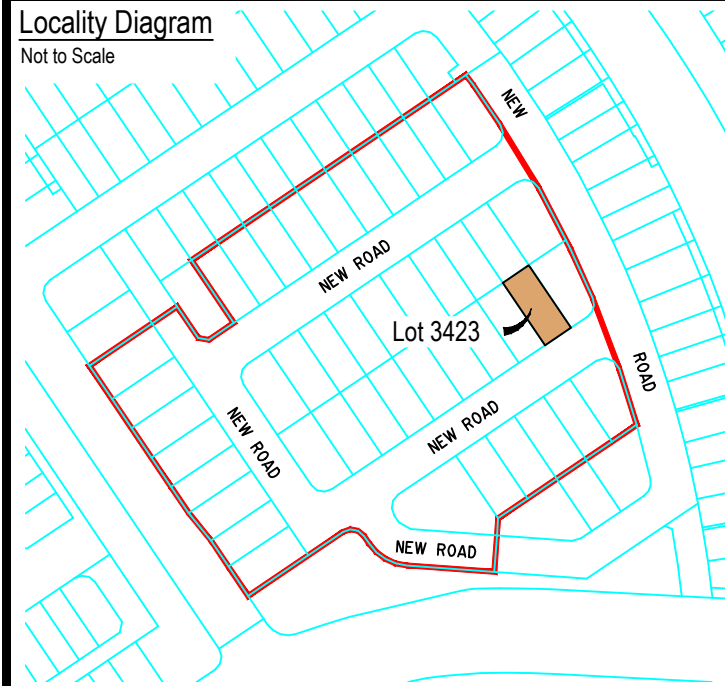
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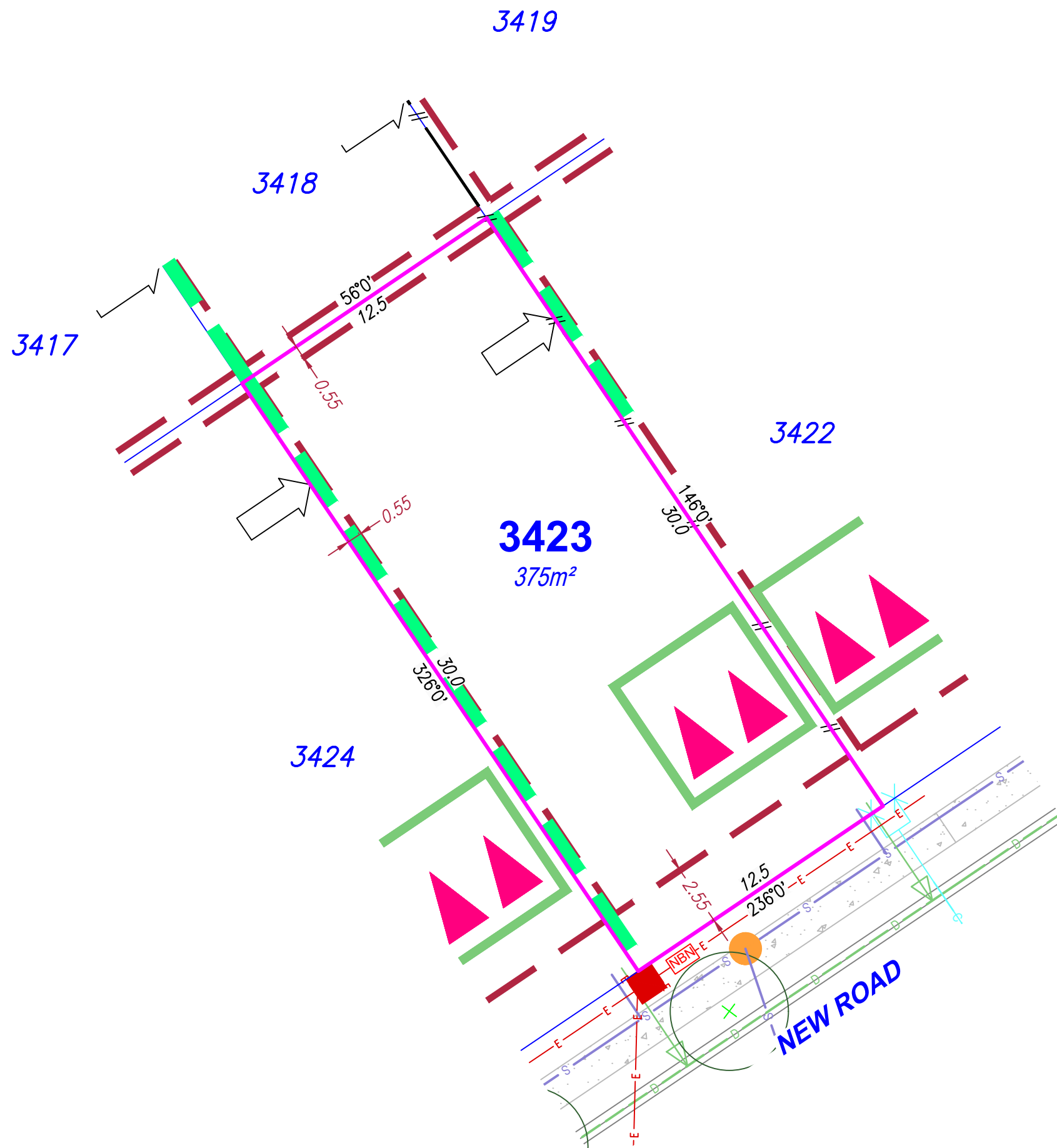
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DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3422	A	1 of 1



Legend	
Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — ■
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— — —
Concrete Pathway	■
Landscape Street Tree	○
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN

For Proposed Lot 3423
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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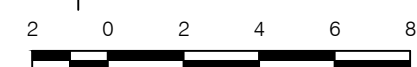
Drawn: GBF Date: 27/08/2025

Checked: DJL Date: 05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25
A	Developer Fences Added	28/11/25



SCALE 1:200
SHEET SIZE A3

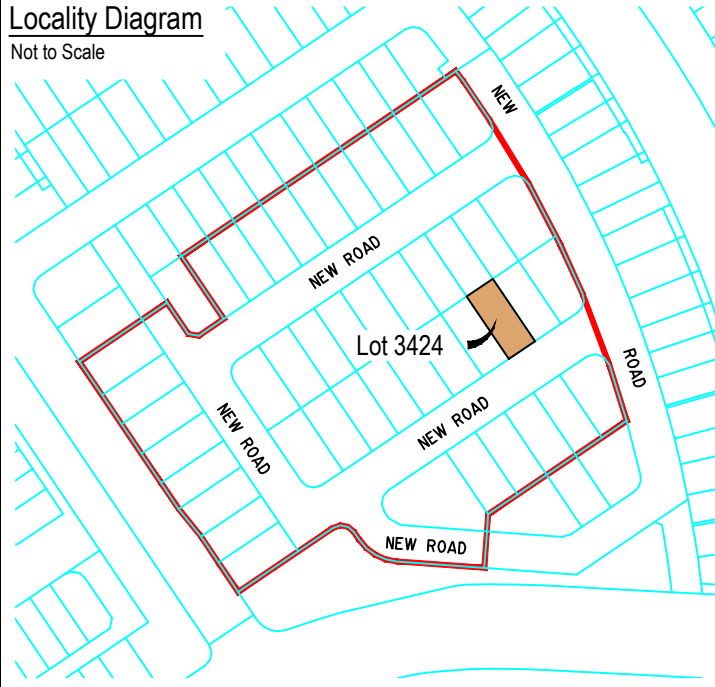


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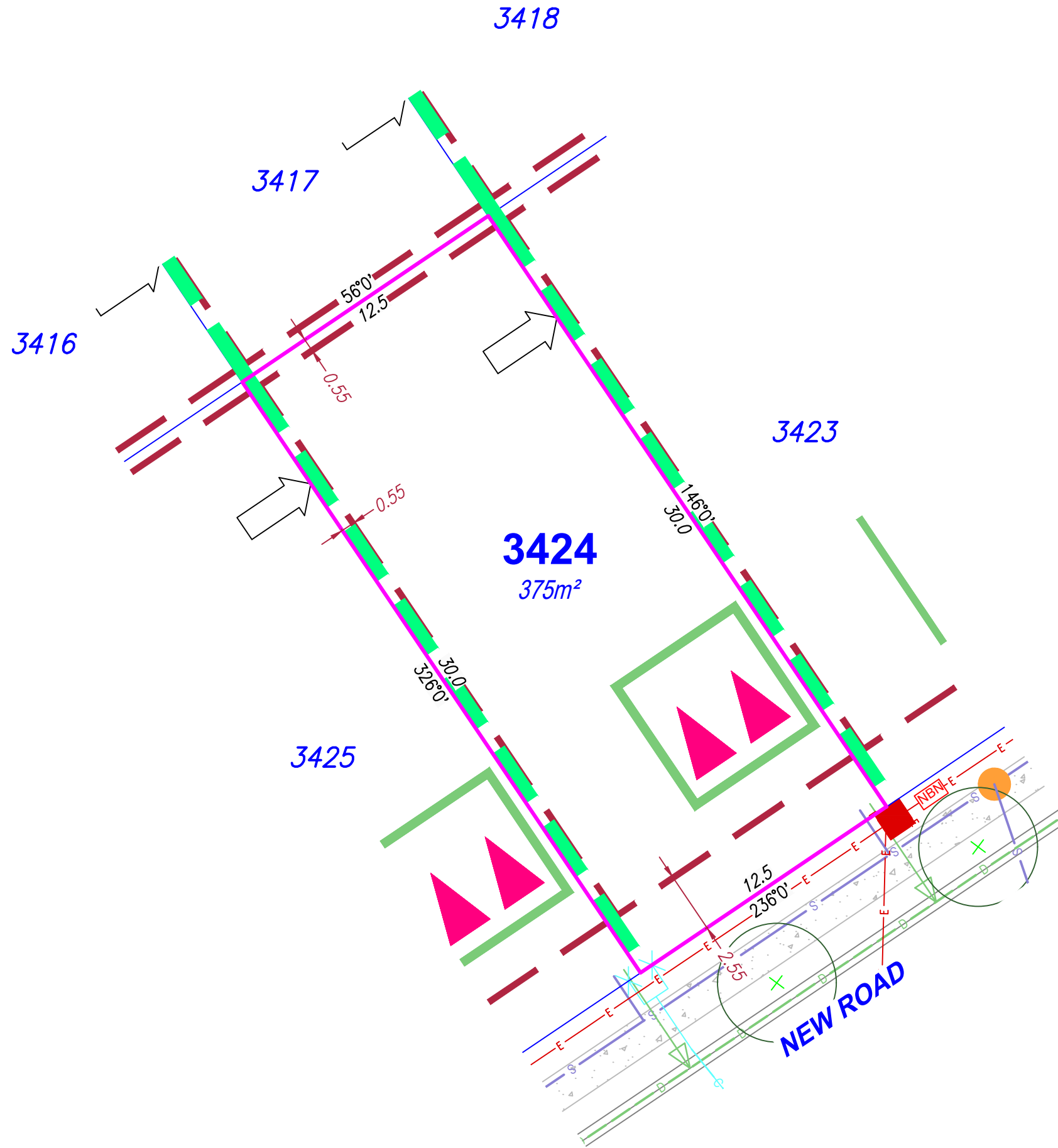
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3423	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — [NBN] — *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— // —
Concrete Pathway	▨
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	◻ ▲



SITE PLAN

For Proposed Lot 3424
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25

NORTH

SCALE
1:200

SHEET SIZE
A3

2 0 2 4 6 8

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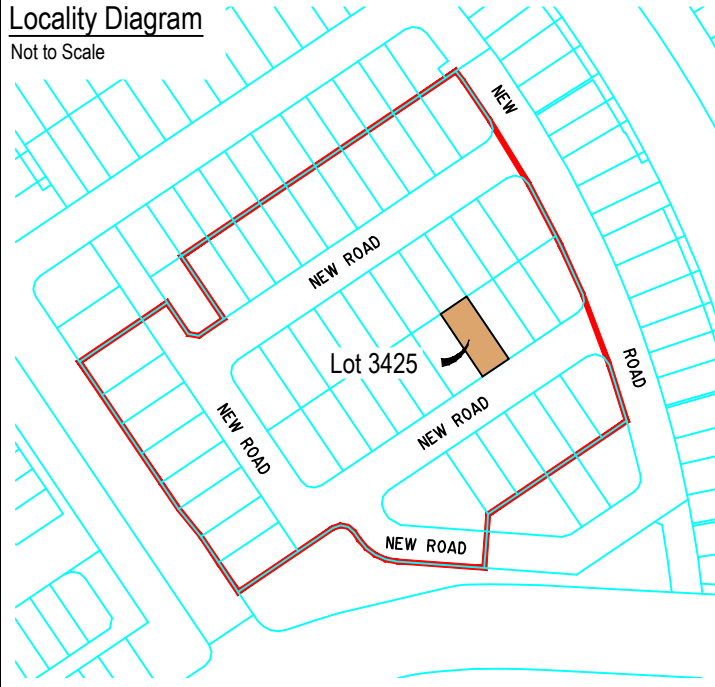
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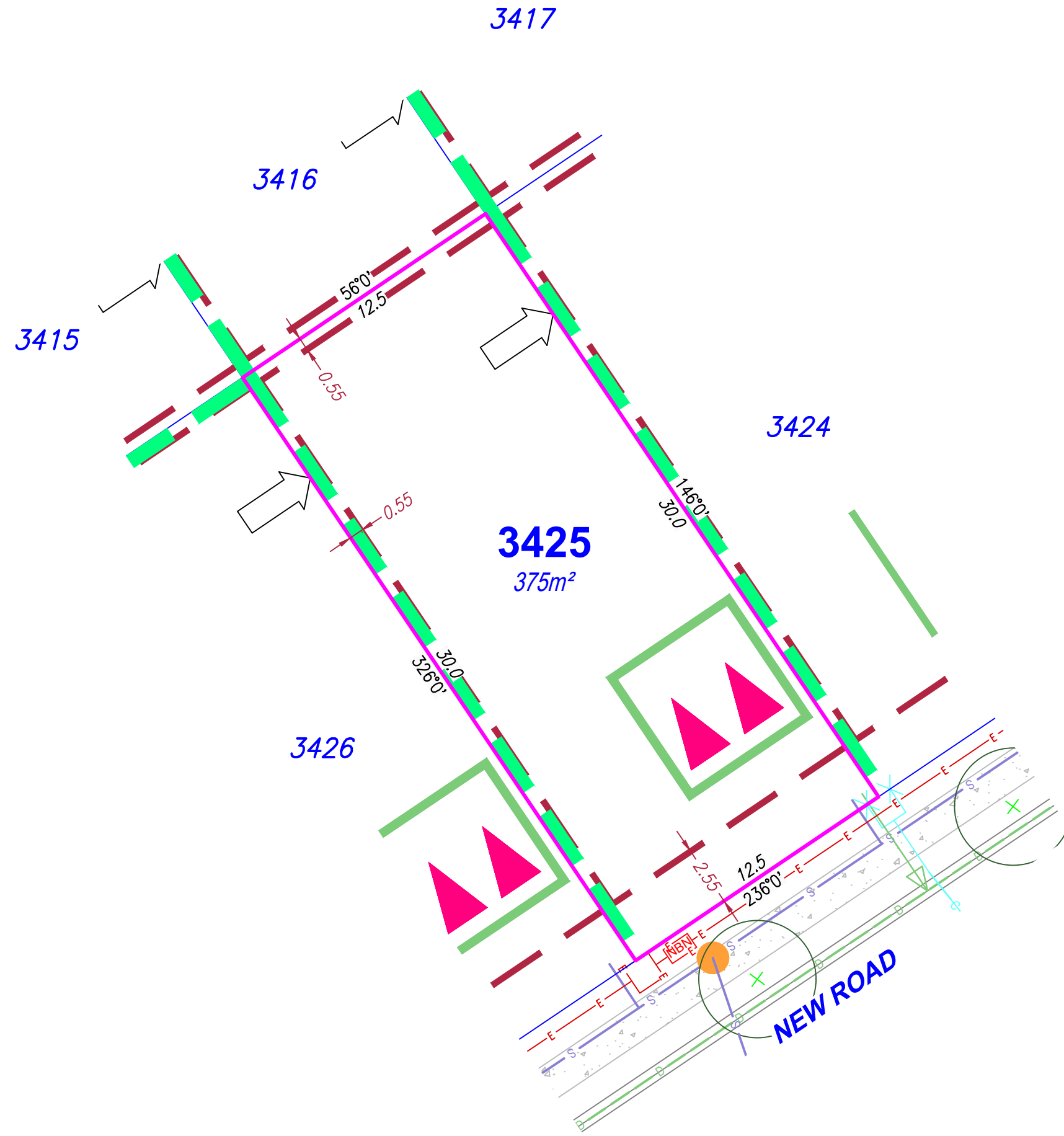
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3424	-	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E —
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— —
Concrete Pathway	▨
Landscape Street Tree	○
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN

For Proposed Lot 3425
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Checked:	DJL	Date:	05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25

NORTH

SCALE
1:200

SHEET SIZE
A3

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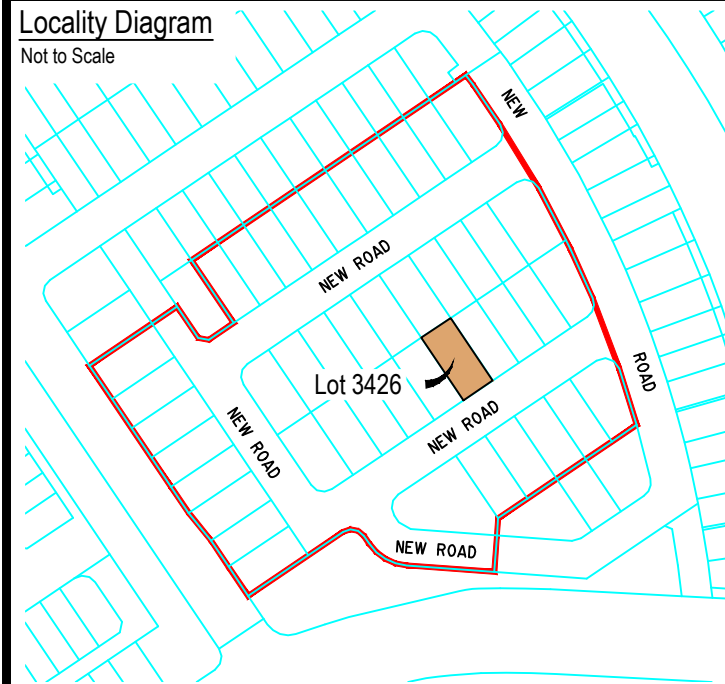
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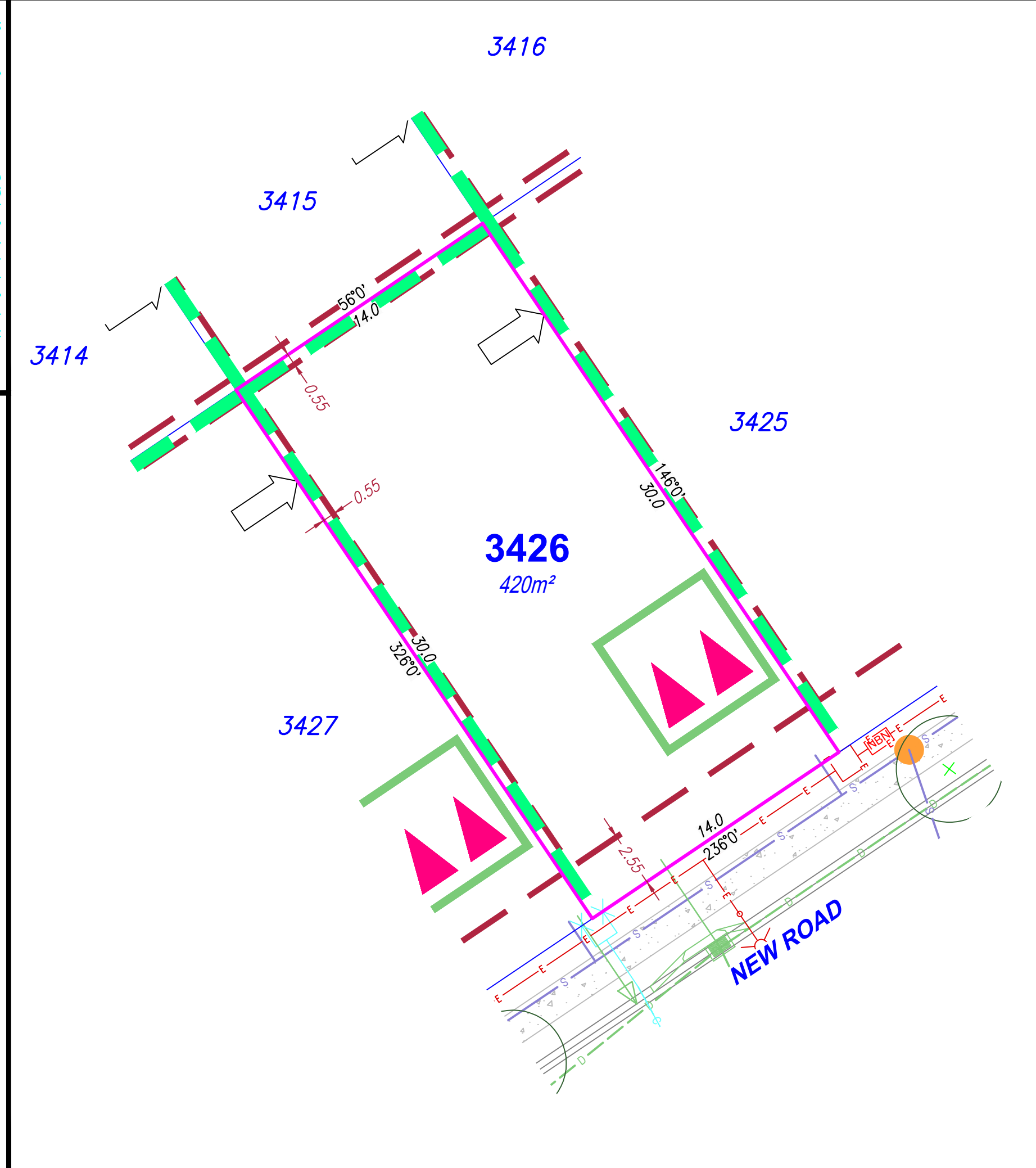
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DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3425	-	1 of 1



Legend	
Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — ■
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— — —
Concrete Pathway	■
Landscape Street Tree	○
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN

For Proposed Lot 3426
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Checked:	DJL	Date:	05/09/2025
Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	

SCALE
1:200

SHEET SIZE
A3

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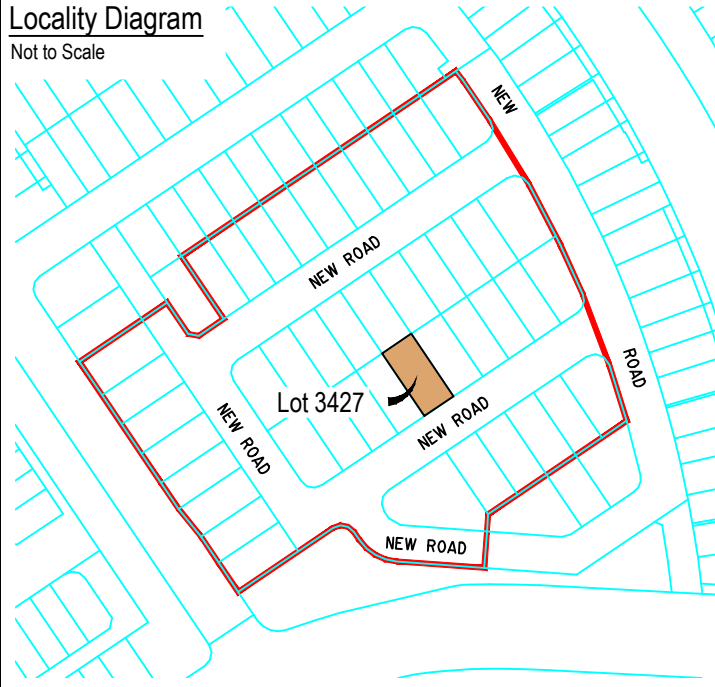
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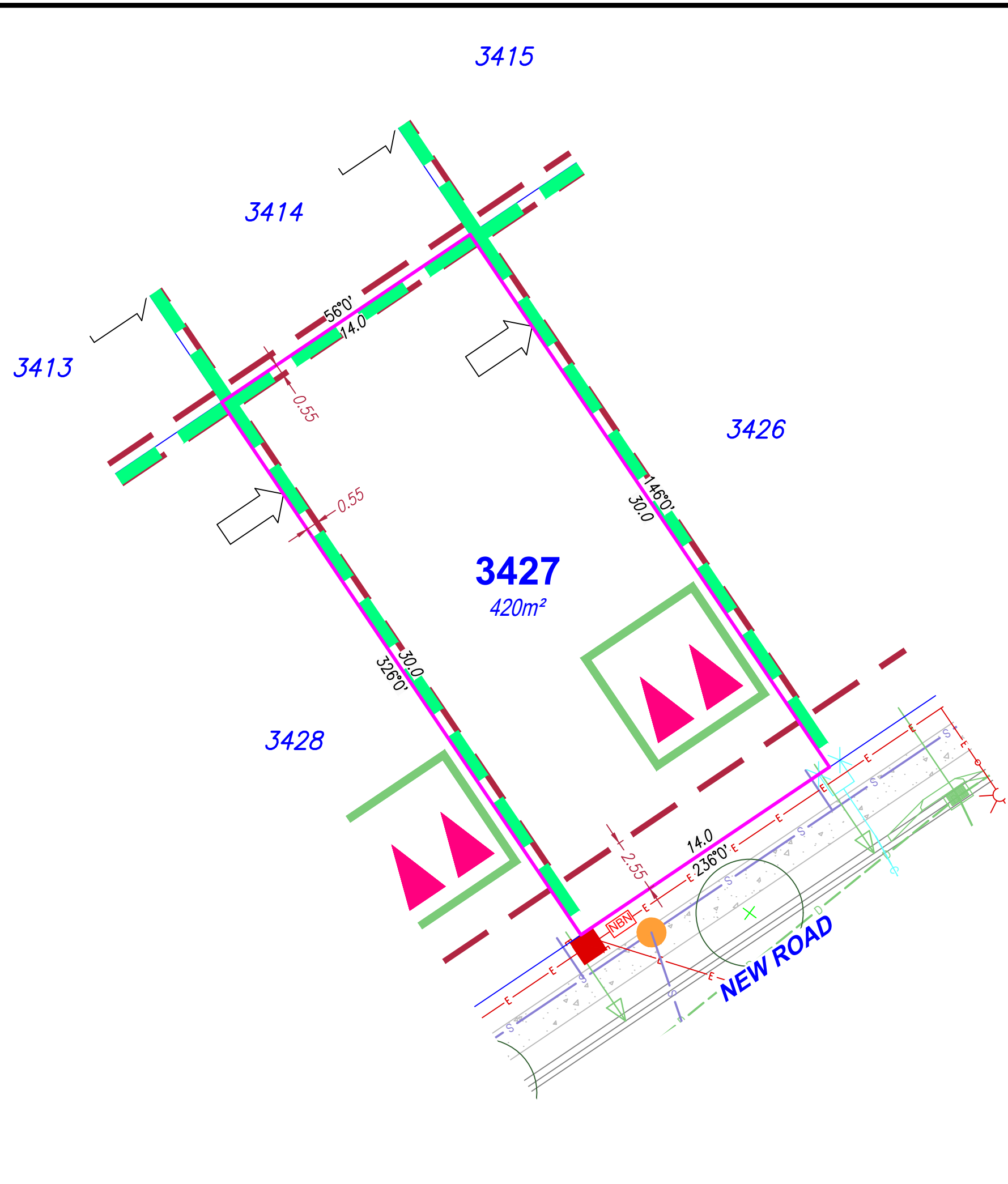
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3426	-	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— / —
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3427
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Checked:	DJL	Date:	05/09/2025
Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	

SCALE
1:200

SHEET SIZE
A3

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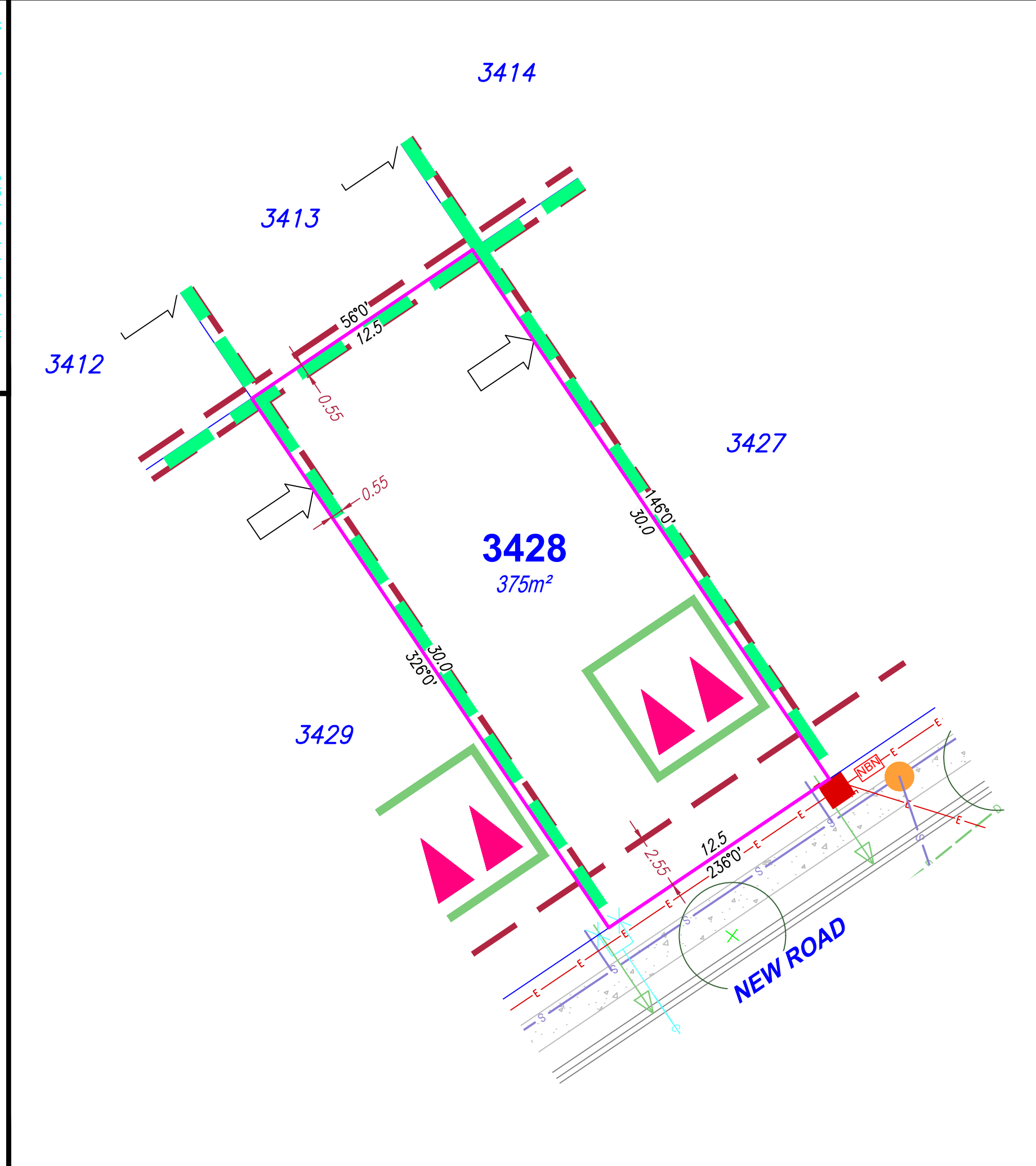
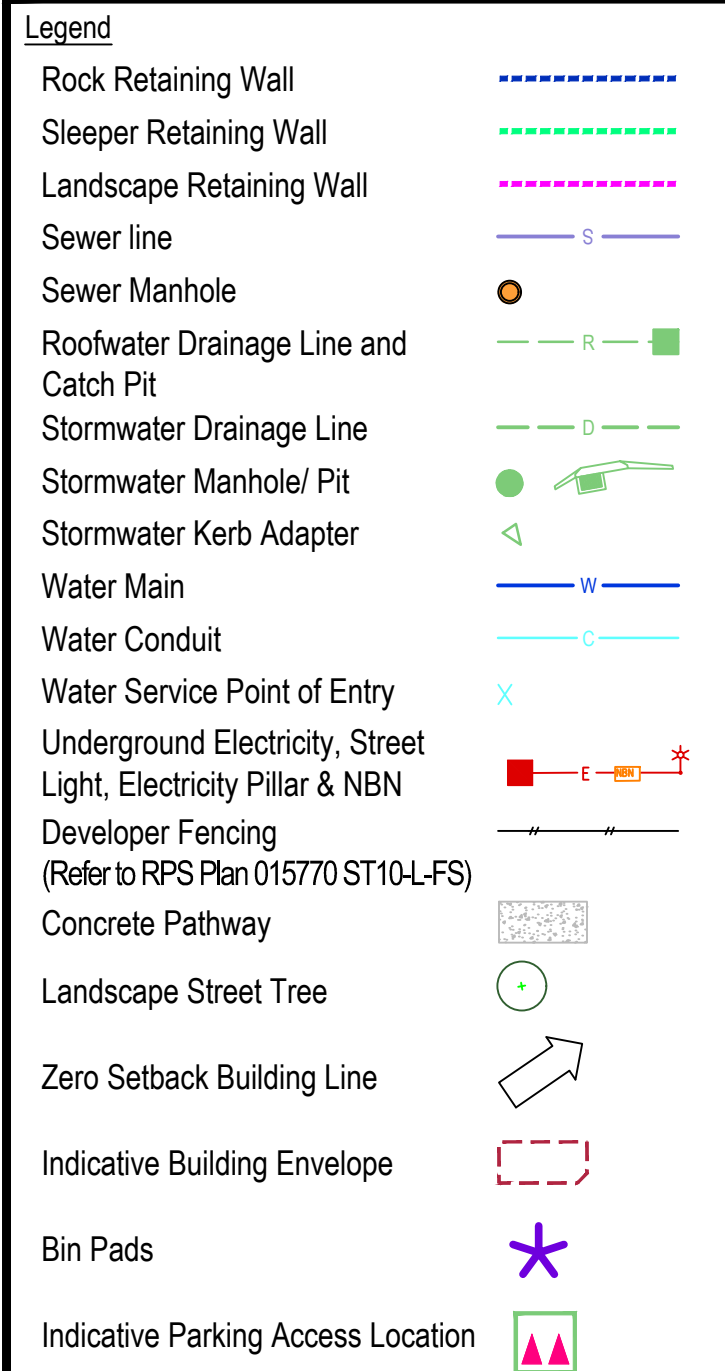
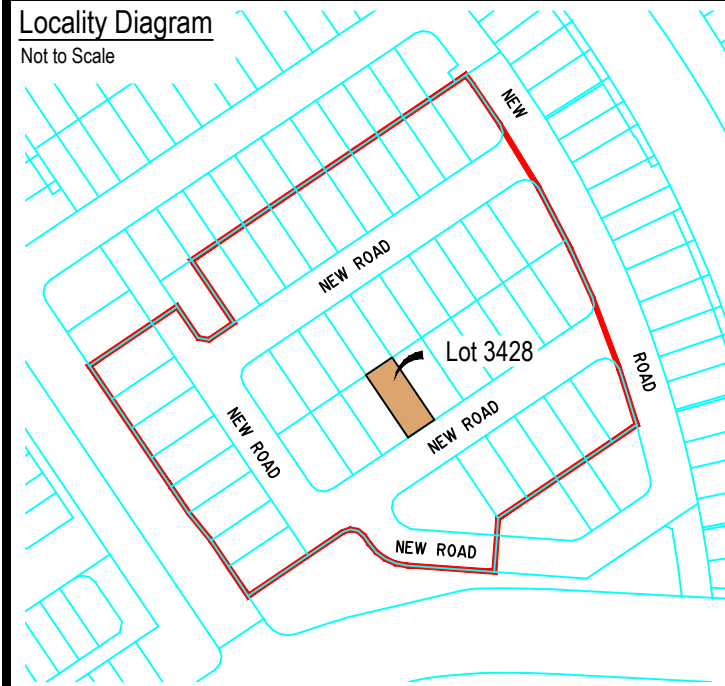
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DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3427	-	1 of 1



SITE PLAN

For Proposed Lot 3428
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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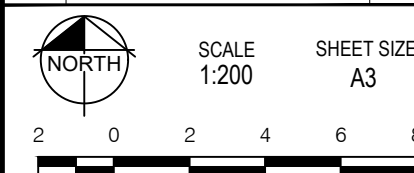
Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn: GBF Date: 27/08/2025

Checked: DJL Date: 05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25



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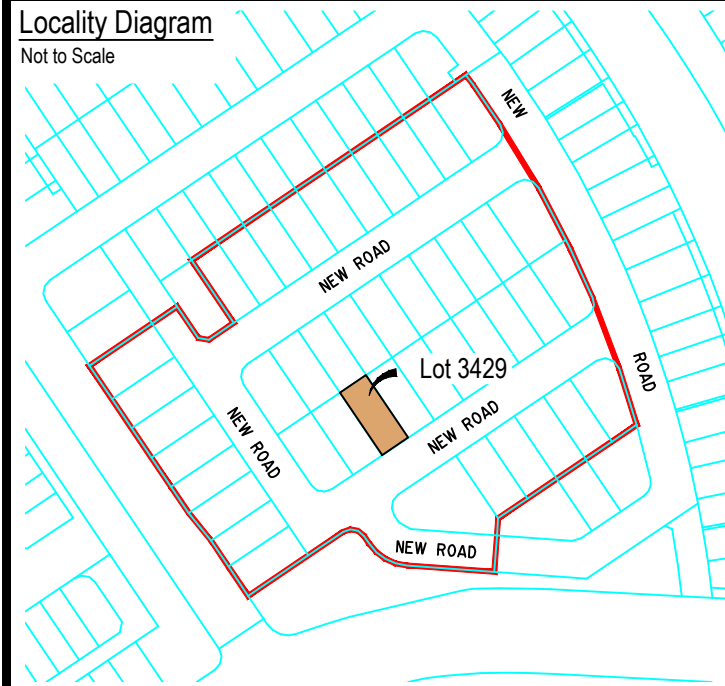
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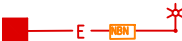







DWG. TLX370977-009-Stg10D-Site

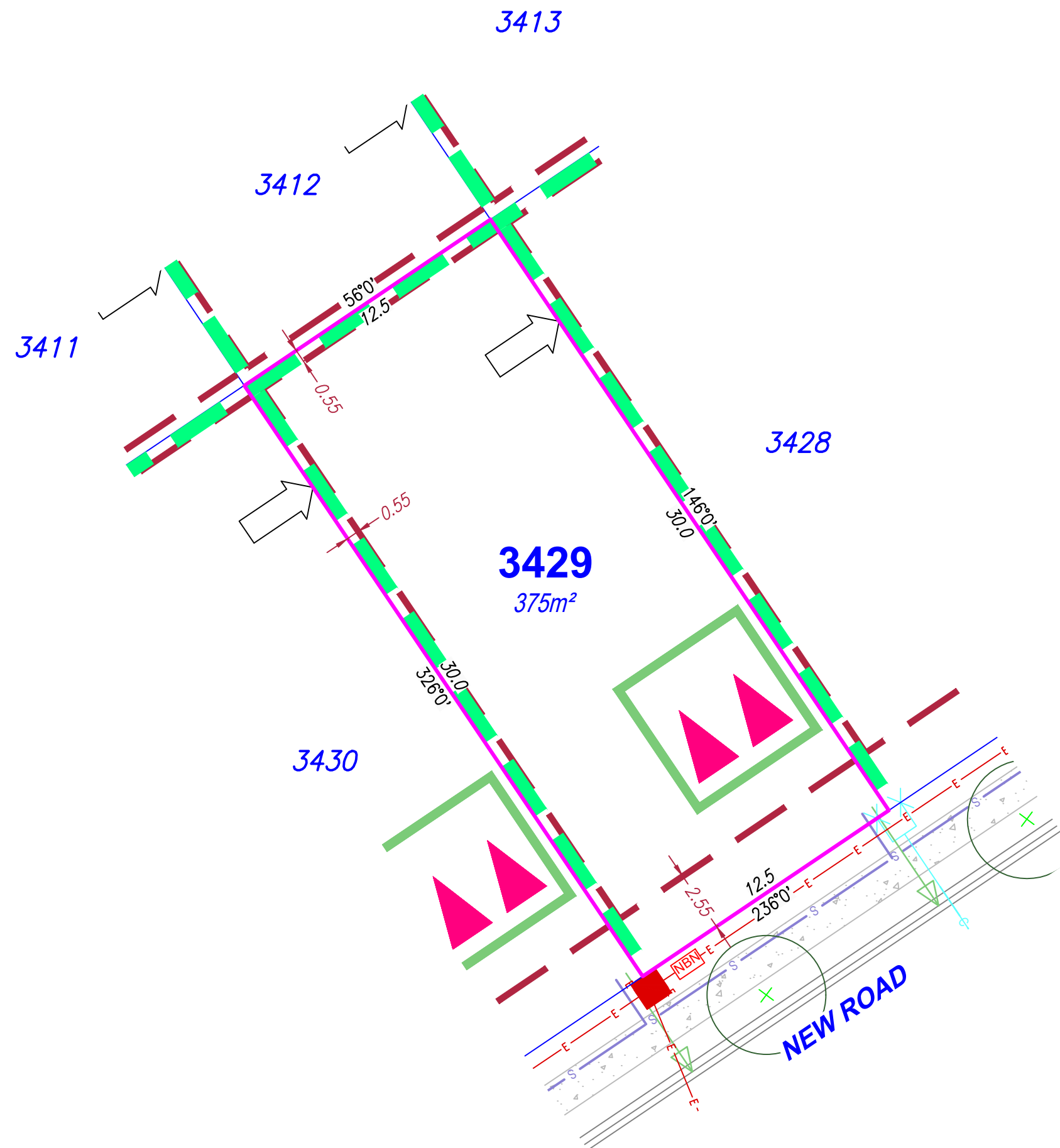
PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3428	-	1 of 1

Not to Scale



10

- | | |
|---|---|
| Rock Retaining Wall |  |
| Sleeper Retaining Wall |  |
| Landscape Retaining Wall |  |
| Sewer line |  |
| Sewer Manhole |  |
| Roofwater Drainage Line and Catch Pit |  |
| Stormwater Drainage Line |  |
| Stormwater Manhole/ Pit |  |
| Stormwater Kerb Adapter |  |
| Water Main |  |
| Water Conduit |  |
| Water Service Point of Entry |  |
| Underground Electricity, Street Light, Electricity Pillar & NBN |  |
| Developer Fencing
(Refer to RPS Plan 015770 ST10-L-FS) |  |
| Concrete Pathway |  |
| Landscape Street Tree |  |
| Zero Setback Building Line |  |
| Indicative Building Envelope |  |
| Bin Pads |  |
| Indicative Parking Access Location |  |



For Proposed Lot 3429
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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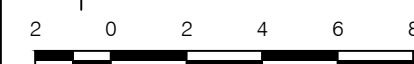
Plan of Development information Supplied by
RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn: GBF		Date: 27/08/2025
Checked: DJL		Date: 05/09/2025
Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25



SCALE 1:200 SHEET SIZE A3



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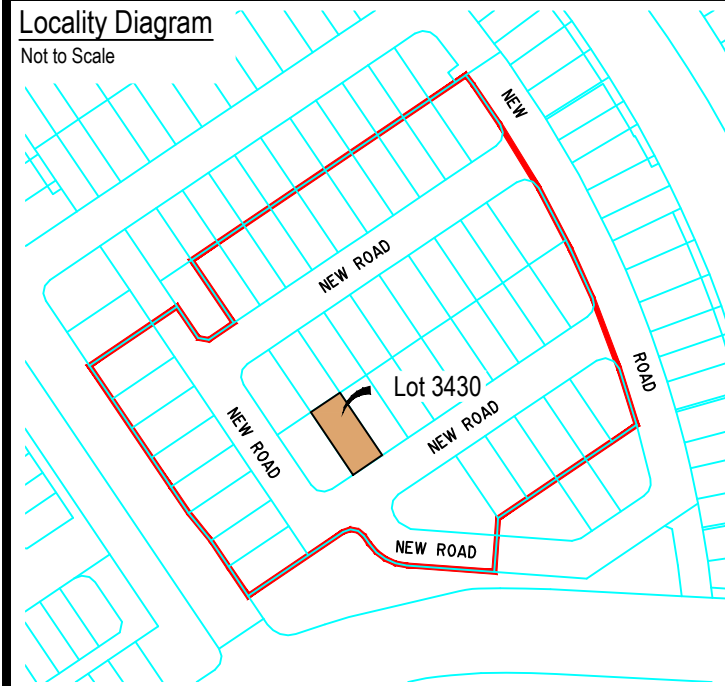
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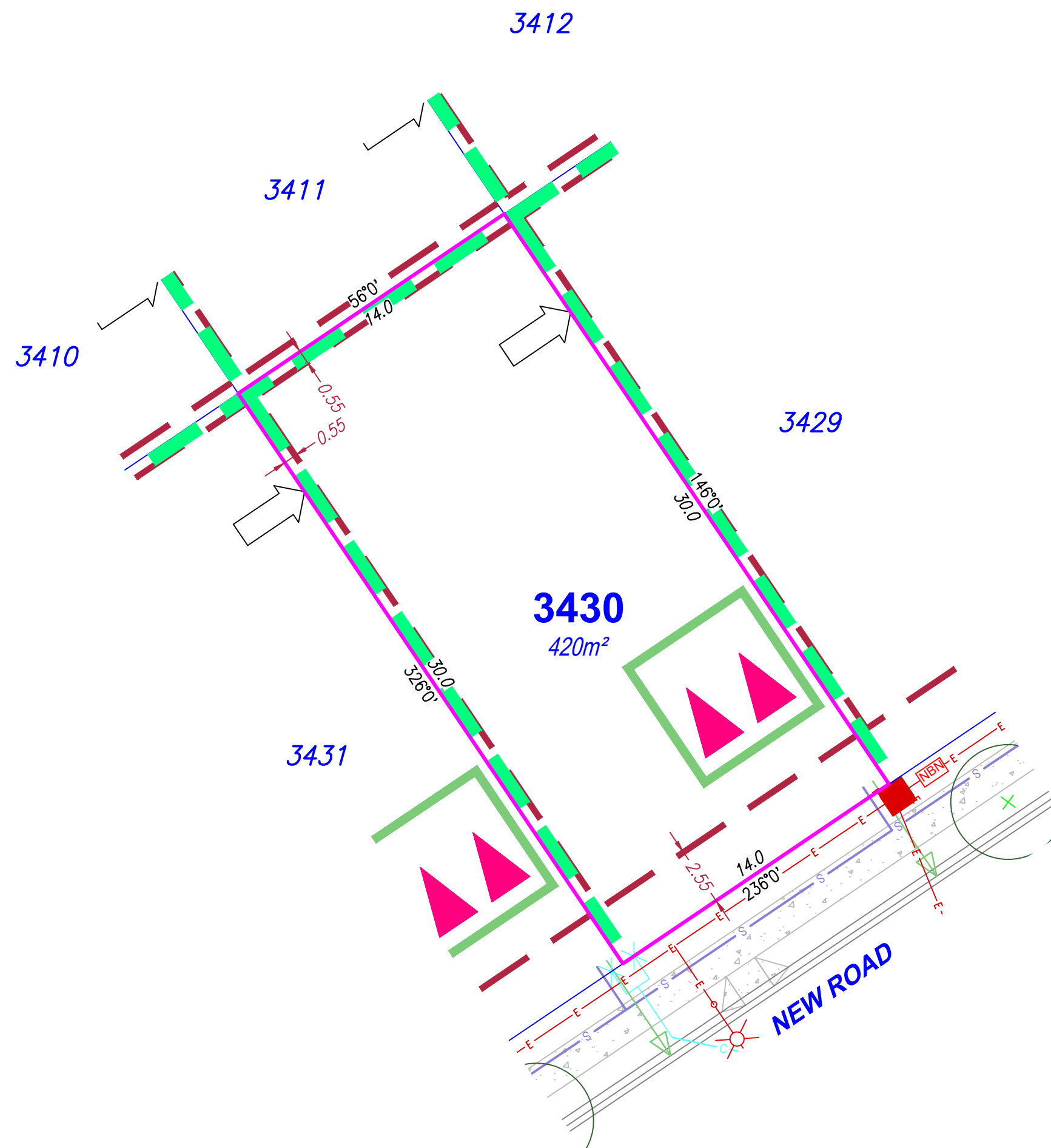
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3429	-	1 of 1

Not to Scale



- | | |
|---|---|
| Rock Retaining Wall |  |
| Sleeper Retaining Wall |  |
| Landscape Retaining Wall |  |
| Sewer line |  |
| Sewer Manhole |  |
| Roofwater Drainage Line and Catch Pit |  |
| Stormwater Drainage Line |  |
| Stormwater Manhole/ Pit |  |
| Stormwater Kerb Adapter |  |
| Water Main |  |
| Water Conduit |  |
| Water Service Point of Entry |  |
| Underground Electricity, Street Light, Electricity Pillar & NBN |  |
| Developer Fencing
(Refer to RPS Plan 015770 ST10-L-FS) |  |
| Concrete Pathway |  |
| Landscape Street Tree |  |
| Zero Setback Building Line |  |
| Indicative Building Envelope |  |
| Bin Pads |  |
| Indicative Parking Access Location |  |



For Proposed Lot 3430
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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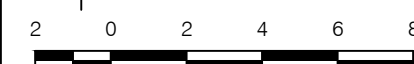
Plan of Development information Supplied by
RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn: GBF		Date: 27/08/2025
Checked: DJL		Date: 05/09/2025
Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25



SCALE 1:200 SHEET SIZE A3



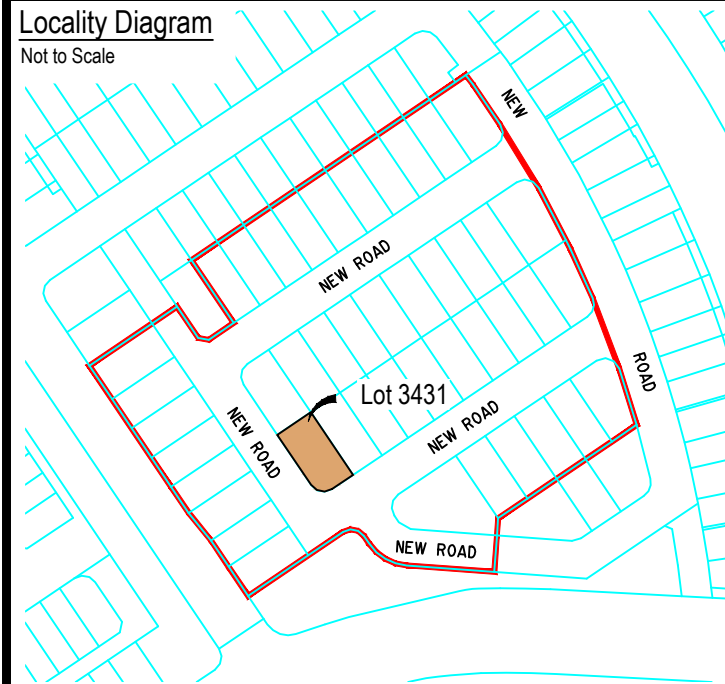
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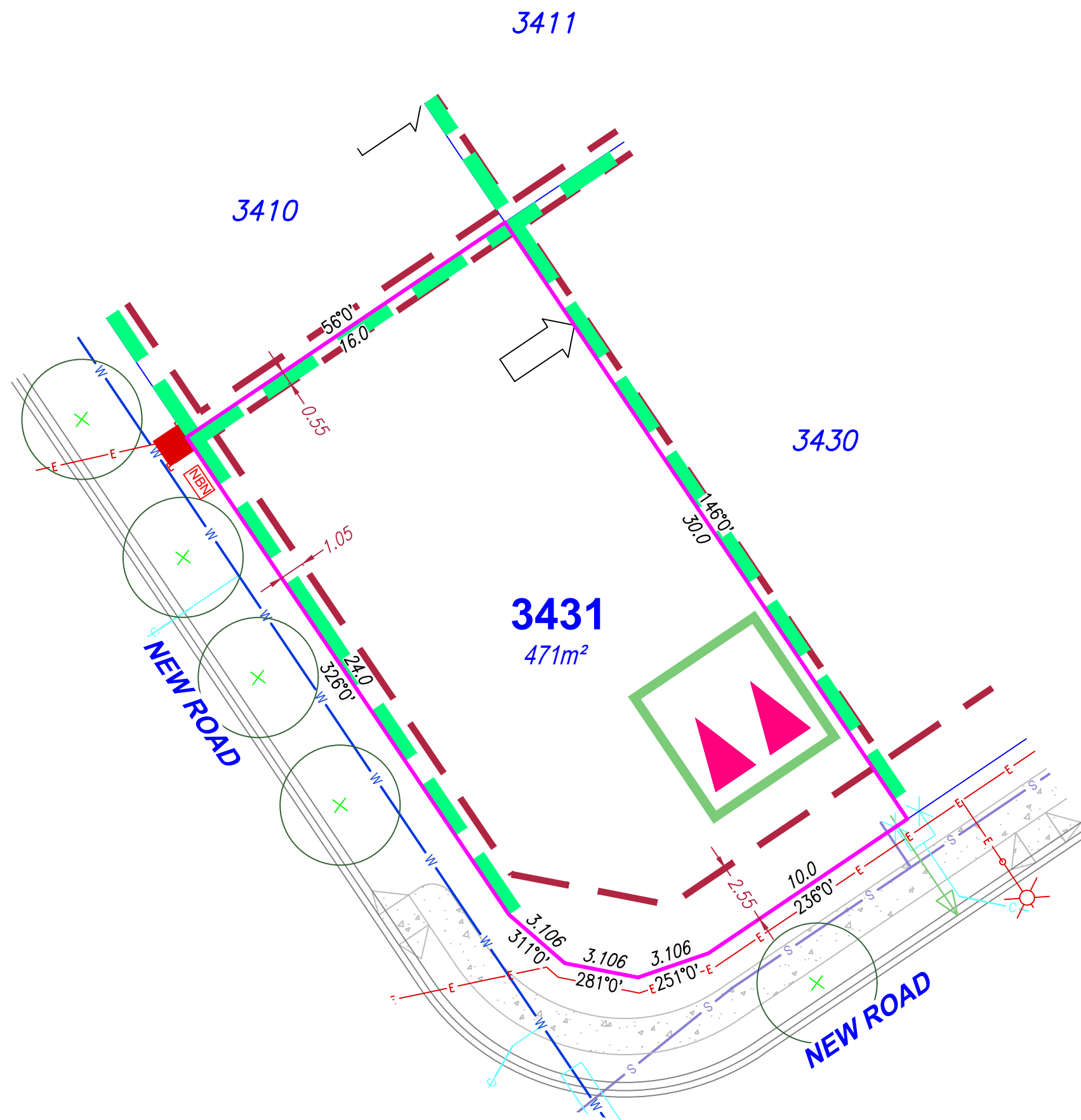
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3430	-	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	[Dashed Box]
Bin Pads	✱
Indicative Parking Access Location	[Green Box with Triangles]



SITE PLAN

For Proposed Lot 3431
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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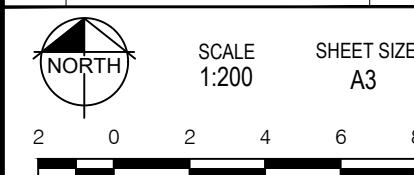
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn: GBF Date: 27/08/2025

Checked: DJL Date: 05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25



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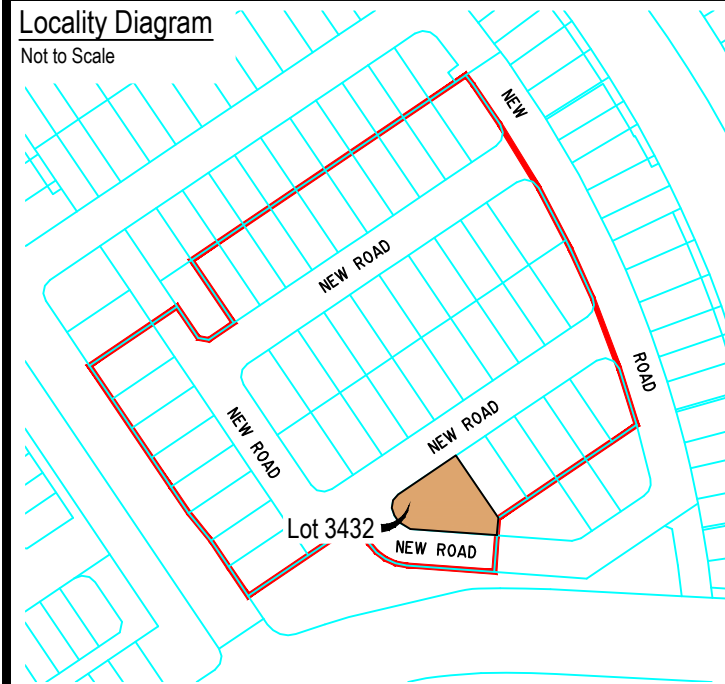
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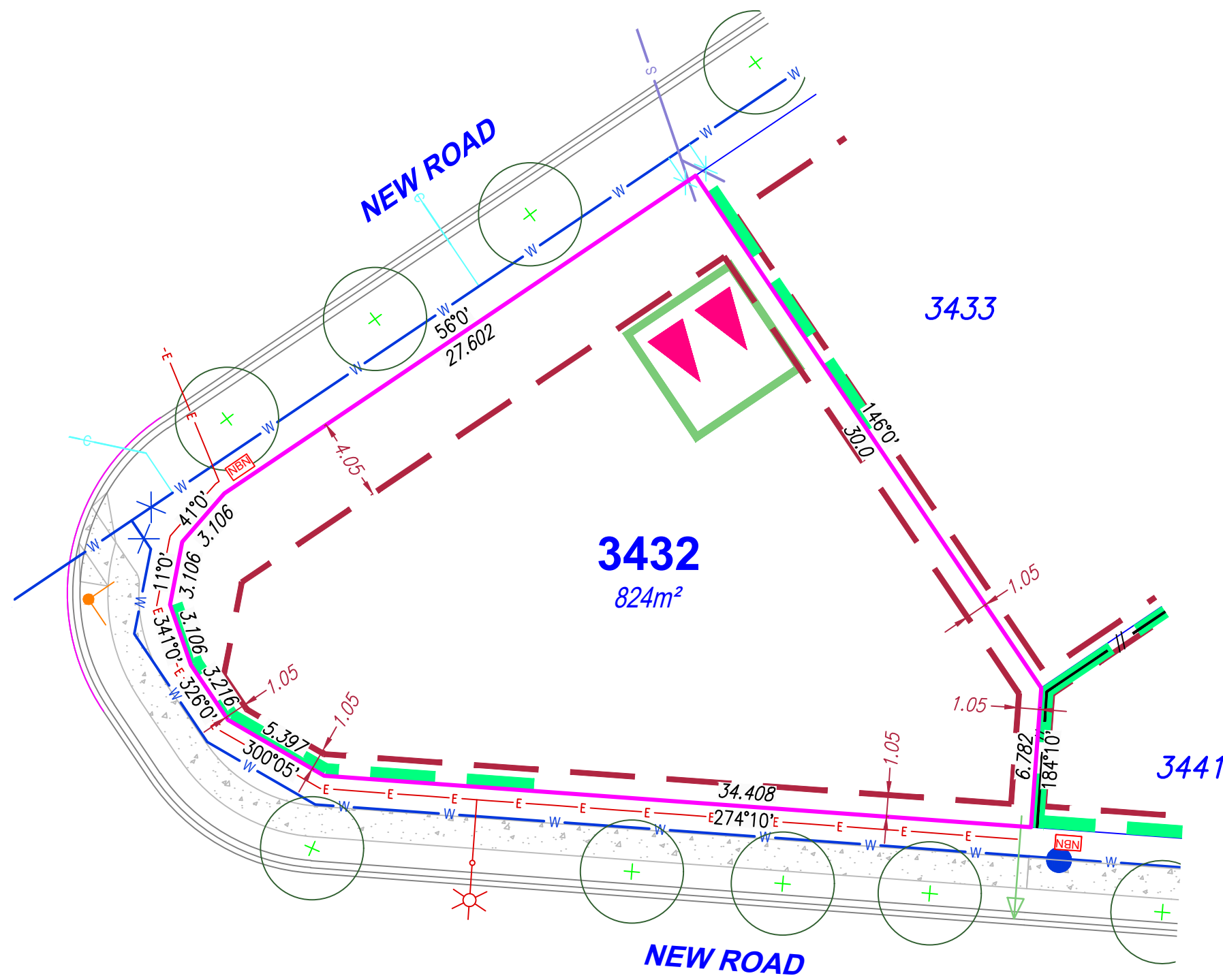
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3431	-	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E —
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	—
Concrete Pathway	▨
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	---
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN
For Proposed Lot 3432
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25
A	Developer Fences Added	28/11/25

North Arrow
SCALE 1:250
SHEET SIZE A3

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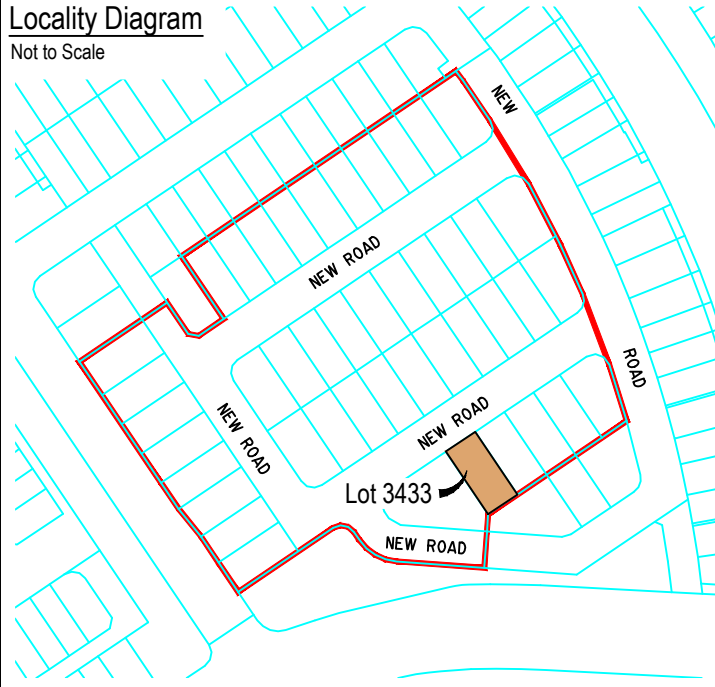
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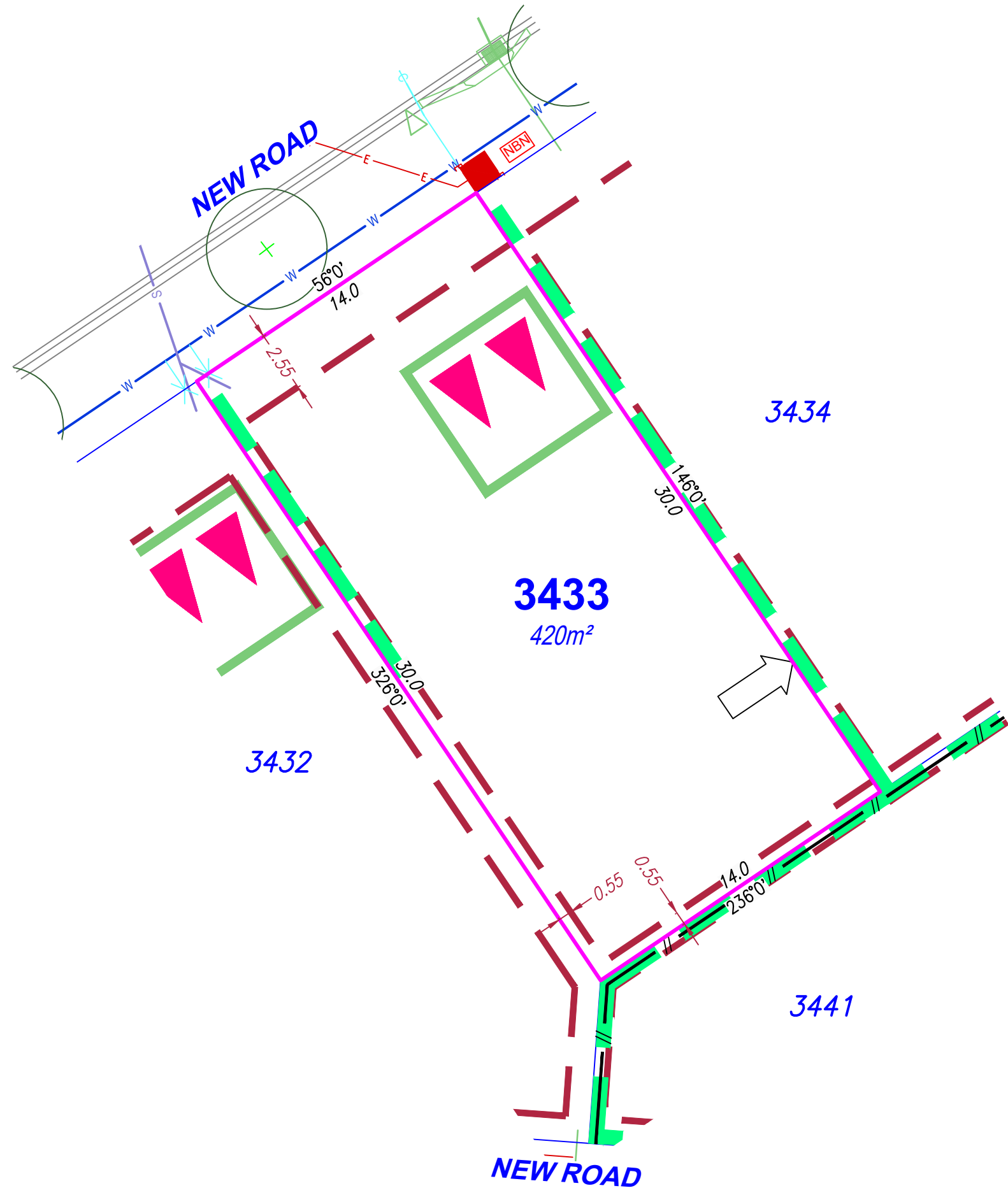
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3432	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	◁
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3433
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Checked:	DJL	Date:	05/09/2025
Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	
A	Developer Fences Added	28/11/25	

SCALE
1:200

SHEET SIZE
A3

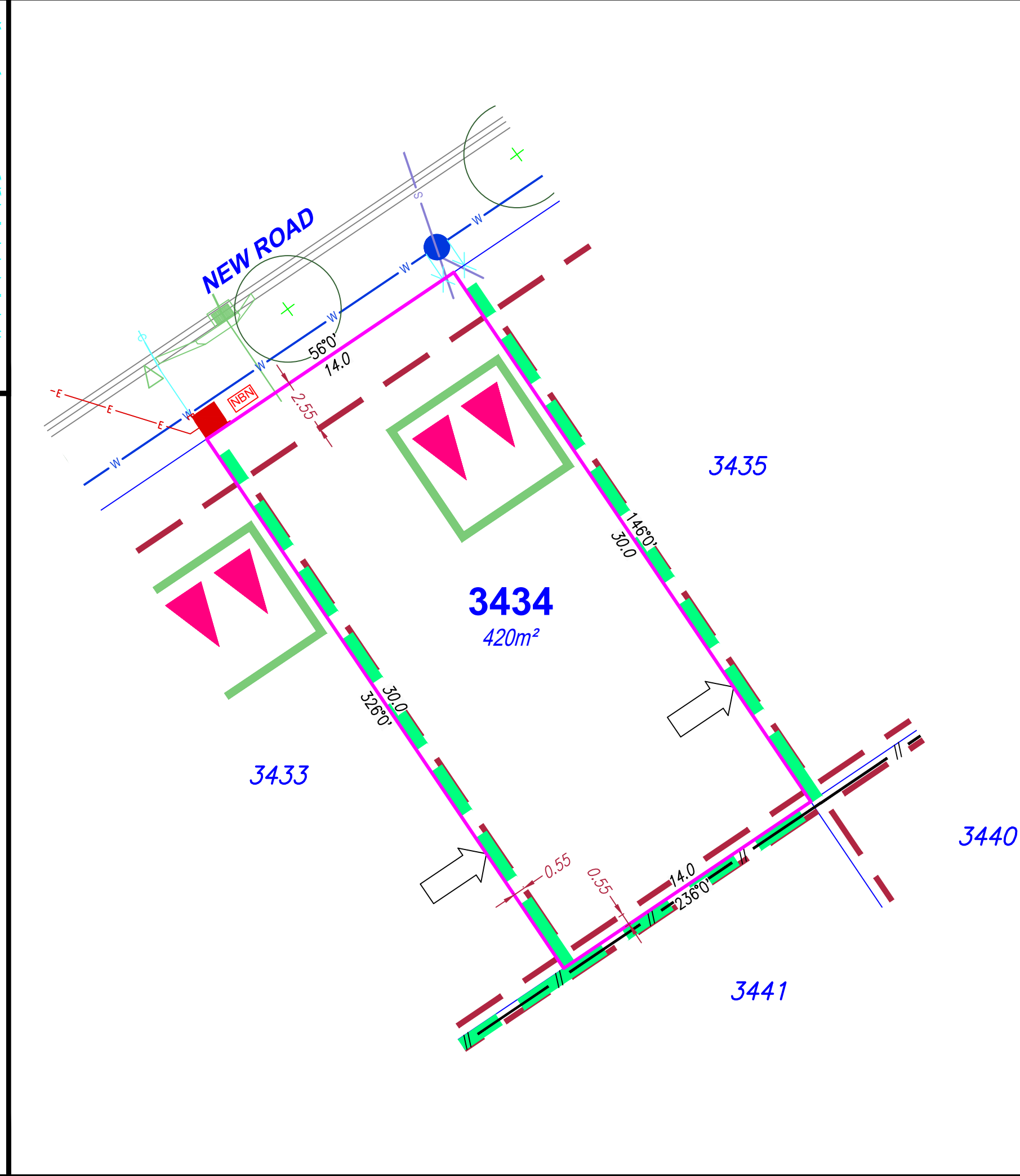
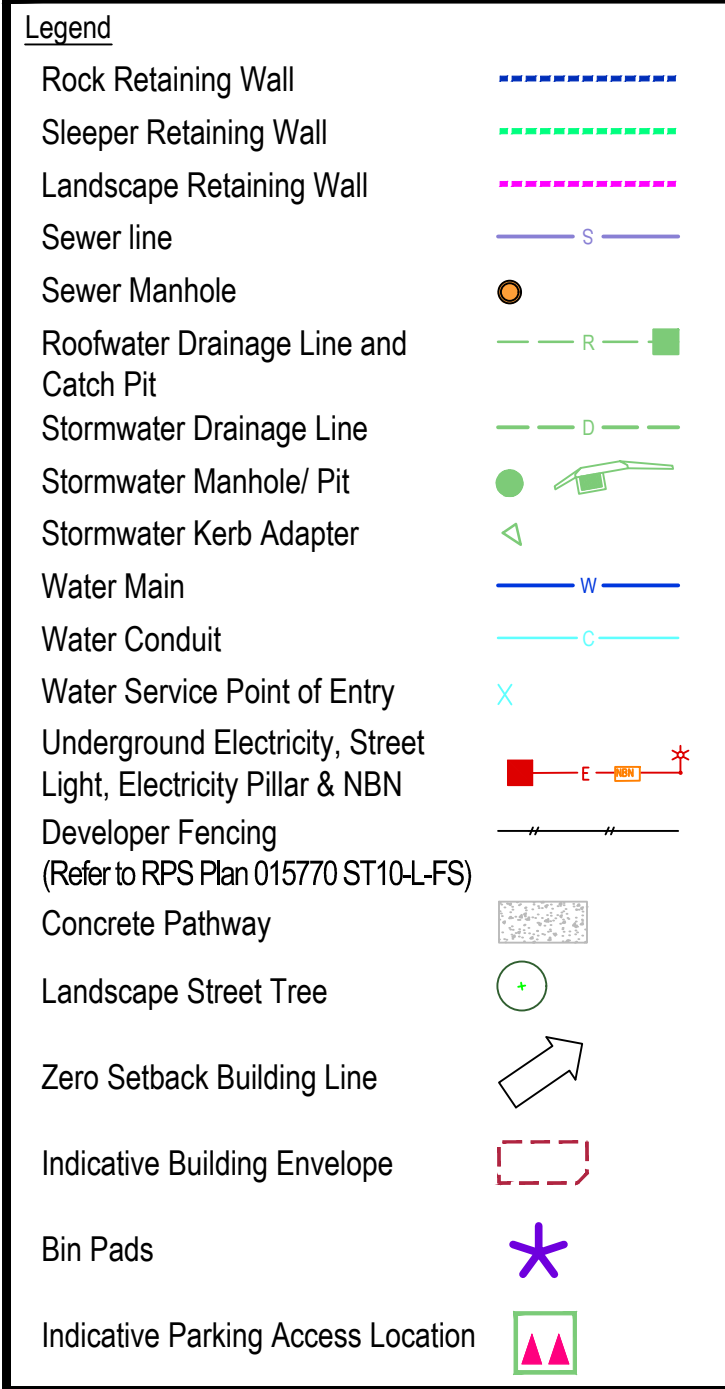
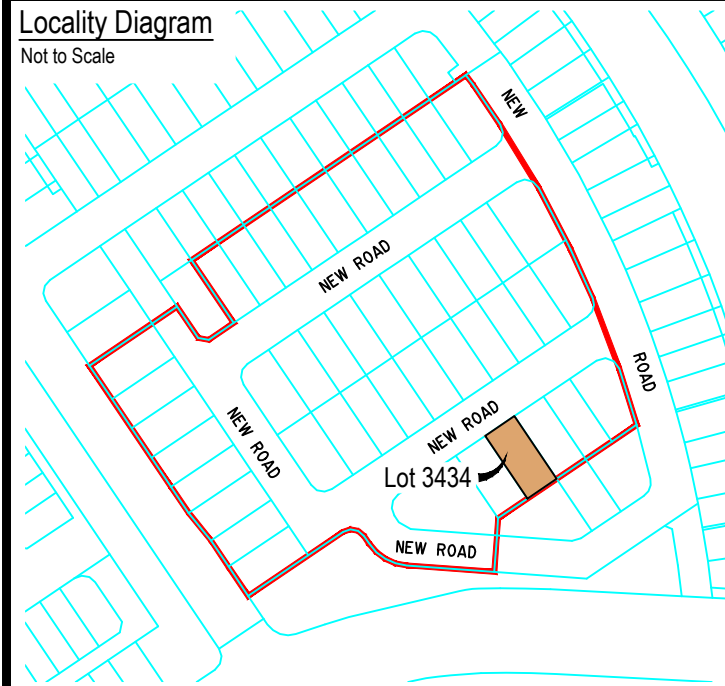
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DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3433	A	1 of 1



SITE PLAN

For Proposed Lot 3434
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
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Indicative Building Envelope depicts setbacks
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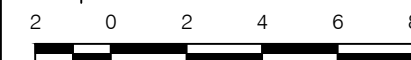
Drawn: GBF Date: 27/08/25

Checked: DJL Date: 05/09/25

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25
A	Developer Fences Added	28/11/25



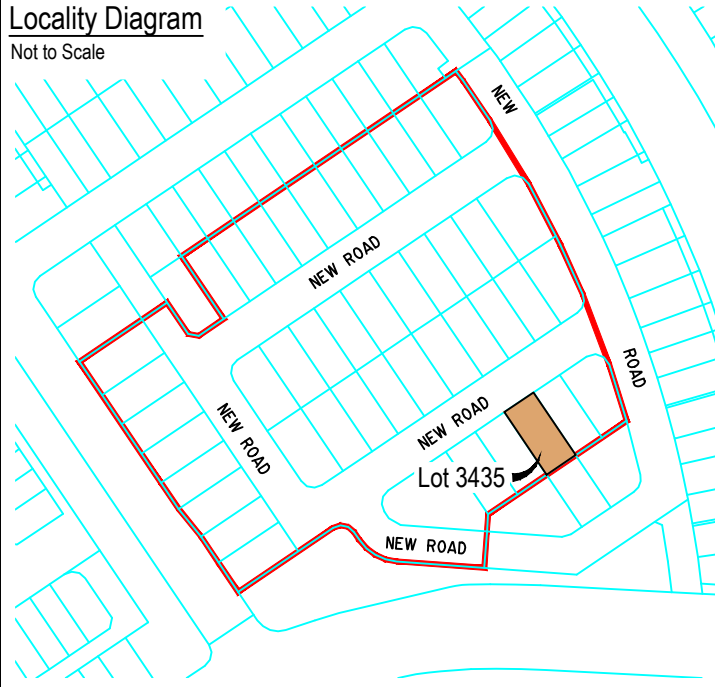
SCALE 1:200
SHEET SIZE A3



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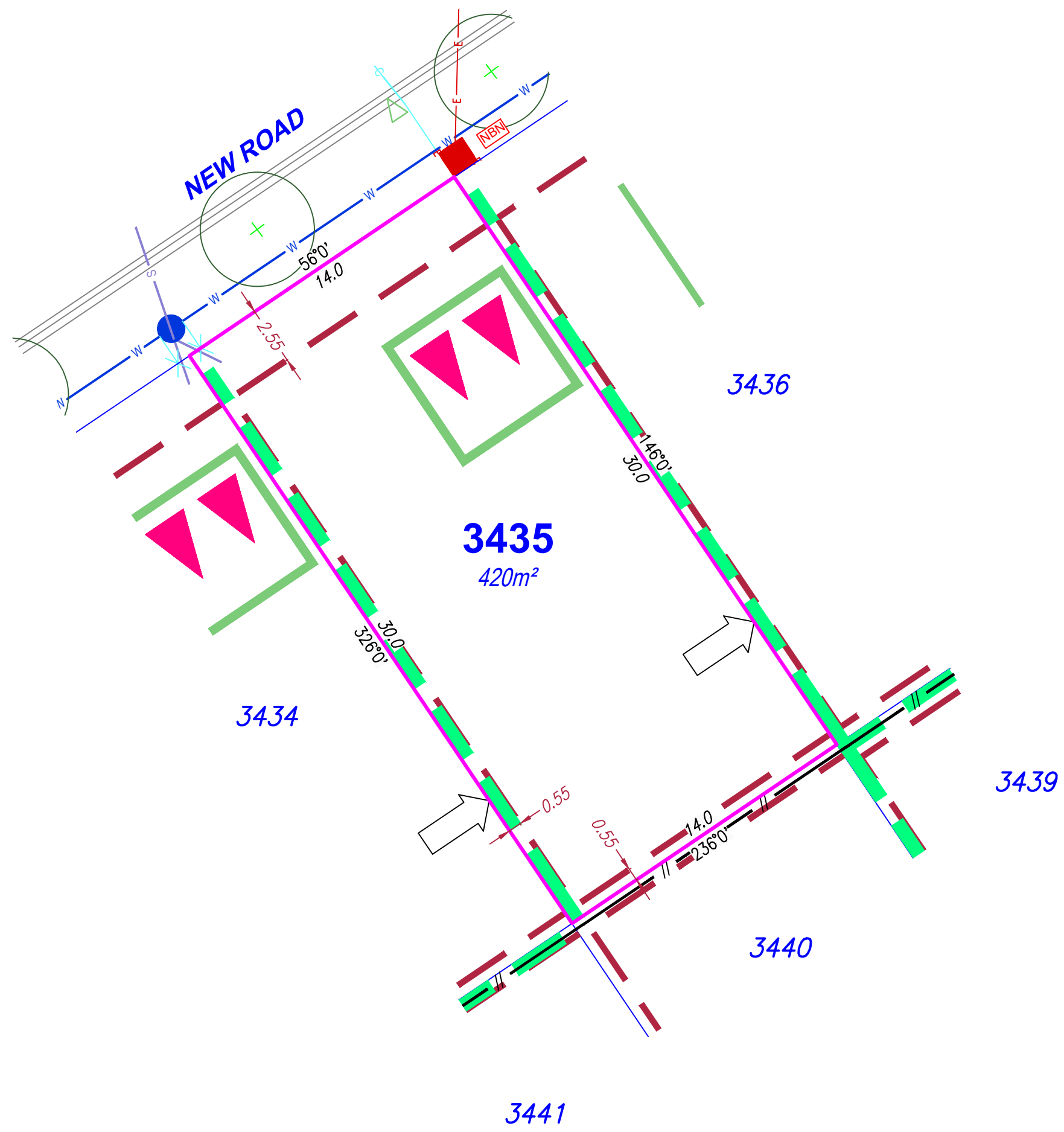
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3434	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	[Symbol] — E — [Symbol]
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	[Arrow]
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3435
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Drawn:	GBF	Date:	27/08/2025
Checked:	DJL	Date:	05/09/2025
Issue	Description	Date	
DRAFT	Draft plans for review	27/08/25	
ORIG	Issue to Client	05/09/25	
A	Developer Fences Added	28/11/25	

SCALE
1:200

SHEET SIZE
A3

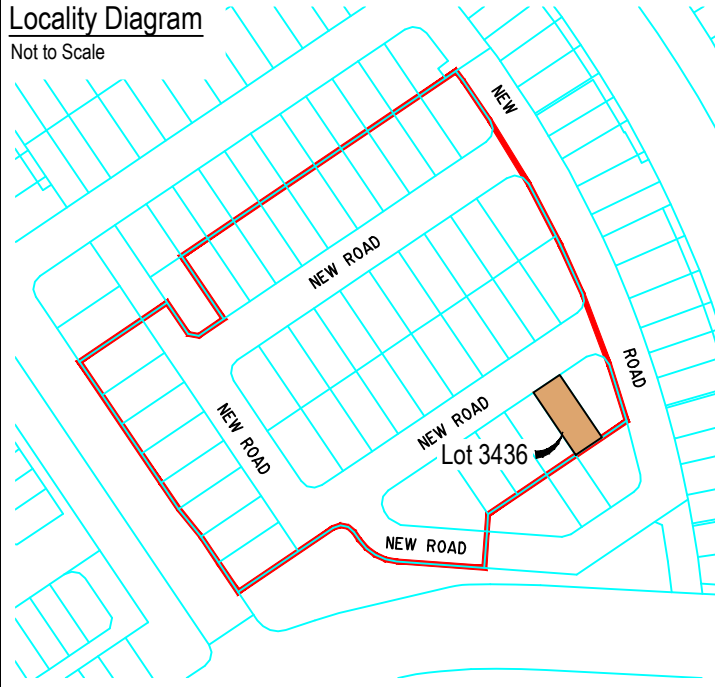
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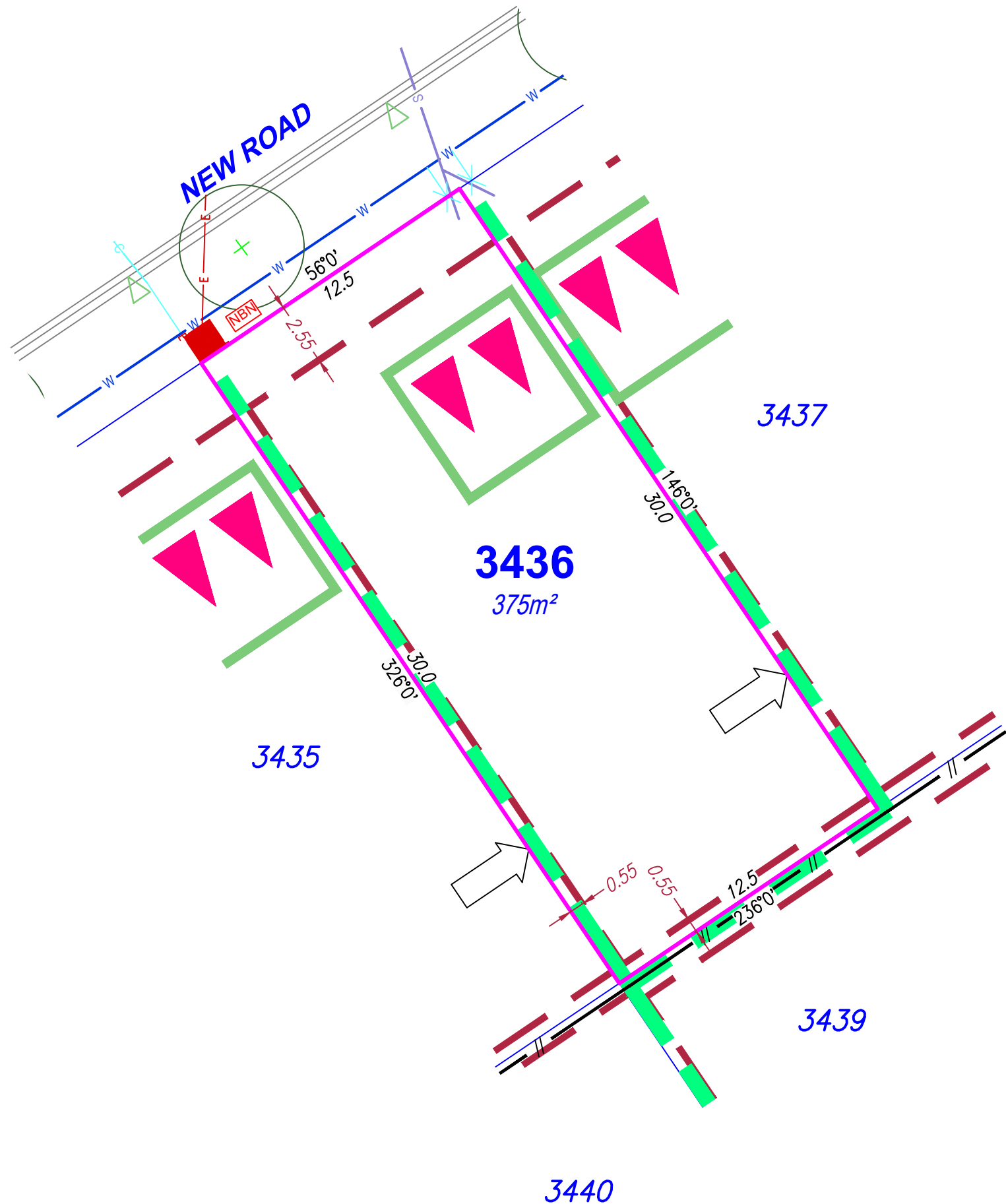
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3435	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — [Symbol] *
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	==
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	[Arrow]
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3436
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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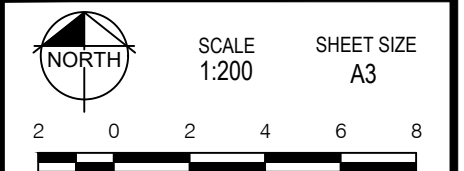
Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Drawn: GBF Date: 27/08/2025

Checked: DJL Date: 05/09/2025

Issue	Description	Date
DRAFT	Draft plans for review	27/08/25
ORIG	Issue to Client	05/09/25
A	Developer Fences Added	28/11/25



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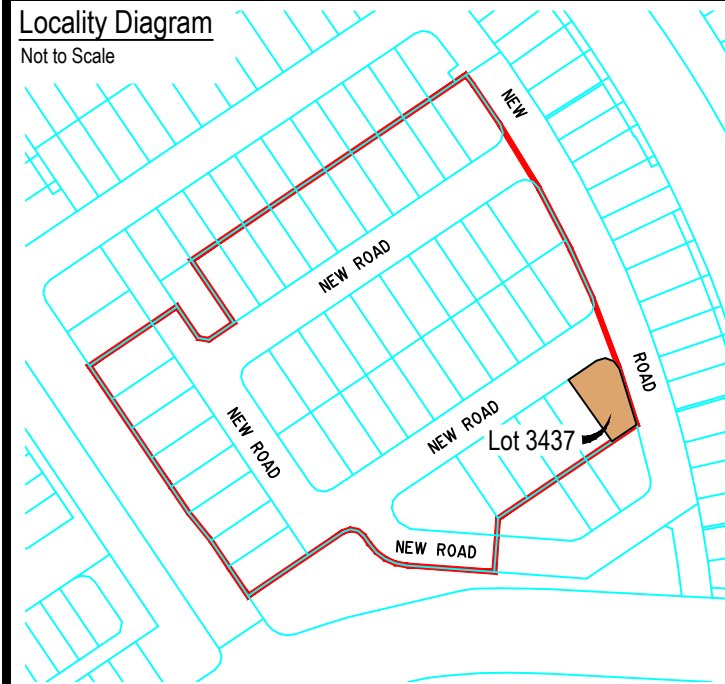
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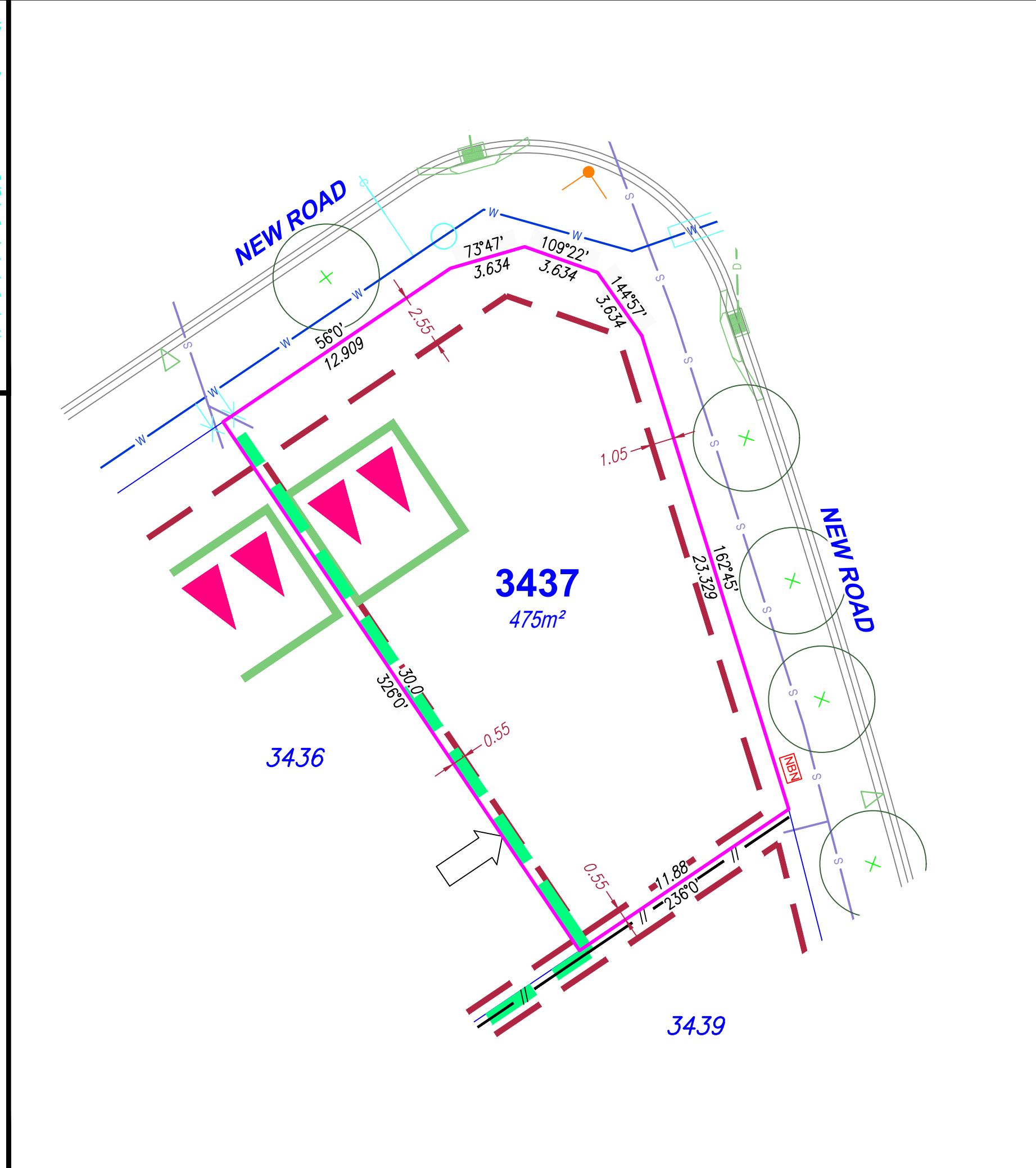
DWG. TLX370977-009-Stg10D-Site

PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3436	A	1 of 1



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	●
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	— E — ■
Developer Fencing (Refer to RPS Plan 015770 ST10-L-FS)	— — —
Concrete Pathway	■
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	-----
Bin Pads	✱
Indicative Parking Access Location	▲



SITE PLAN
For Proposed Lot 3437
on SP355572
Flagstone - Stage 10D

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743 & USL

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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NORTH

SCALE 1:200

SHEET SIZE A3

2 0 2 4 6 8

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PROJECT	PLAN	AMD.	SHEET
TLX370977	9/3437	A	1 of 1