



See RPS Plan
Ref: 110056-391

Stage 4

Stage 3

Stage 2

Stage 5

Stage 2A-2C
(Approved)

Stage 1A-1AF
(Approved)

- Legend**
- Site Boundary
 - - - Proposed Stage Boundary
 - - - Proposed Sub Stage Boundary
 - - - Existing Q100
 - Residential Allotment (Max. no. of dwellings)
 - ▭ Entry Statements - Lease
 - ★ Indicative Indented Bus Stop Location
 - ★ Indicative In-Line Bus Stop Location
 - ★ Indicative Temporary In-Line Bus Stop Location
 - Bus Stop Catchment (400m)
 - Neighbourhood Park Catchment (400m)
 - 10m Wide Existing Sewer Easement
 - SPS Access EMT
 - Temporary Sewage Tankering Facility

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Scale 1 : 3000 @ A1
0 15 30 60 90 120 150 180
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information: Site boundaries: Registered Survey Plans / Veris.
Adjoining Information: DCDB, Contours: Bradlees.

REVISION
AG: 13/04/2023 Stage 3 & 5 Layout Changes
AI: 08/08/2023 Stage 5 Basin Change
AJ: 12/02/2024 Stage 5R Layout Change
AK: 15/08/2024 Stage 4 Layout Change
AL: 15/08/2024 Stage 4 Layout Change
AM: 27/09/2024 Stage 4 Layout Change
AN: 29/11/2024 Stage 4 Layout Change
AO: 07/02/2025 Site Cover Definition Included
AP: 07/02/2025 Site Cover Definition Included
AQ: 04/07/2025 Stage 4 Layout Change
AR: 25/07/2025 Incorporation of Stage 4 PMTs
AS: 18/08/2025 Stage 4 Updates

PROJECT		CLIENT	
Job Ref. 110056	Date. 18 August 2025	PEET	
Comp By. NF	DWG Name. Precinct 1 Stages 2-5		
Chk'd By. MD	Locality. Flagstone		
Local Authority. Economic Development Queensland		Plan of Subdivision Stages 2 – 5 Overall Allotment Layout	

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2012/403/303
Date: 30 October 2025

Land Budget Stages 2 – 5

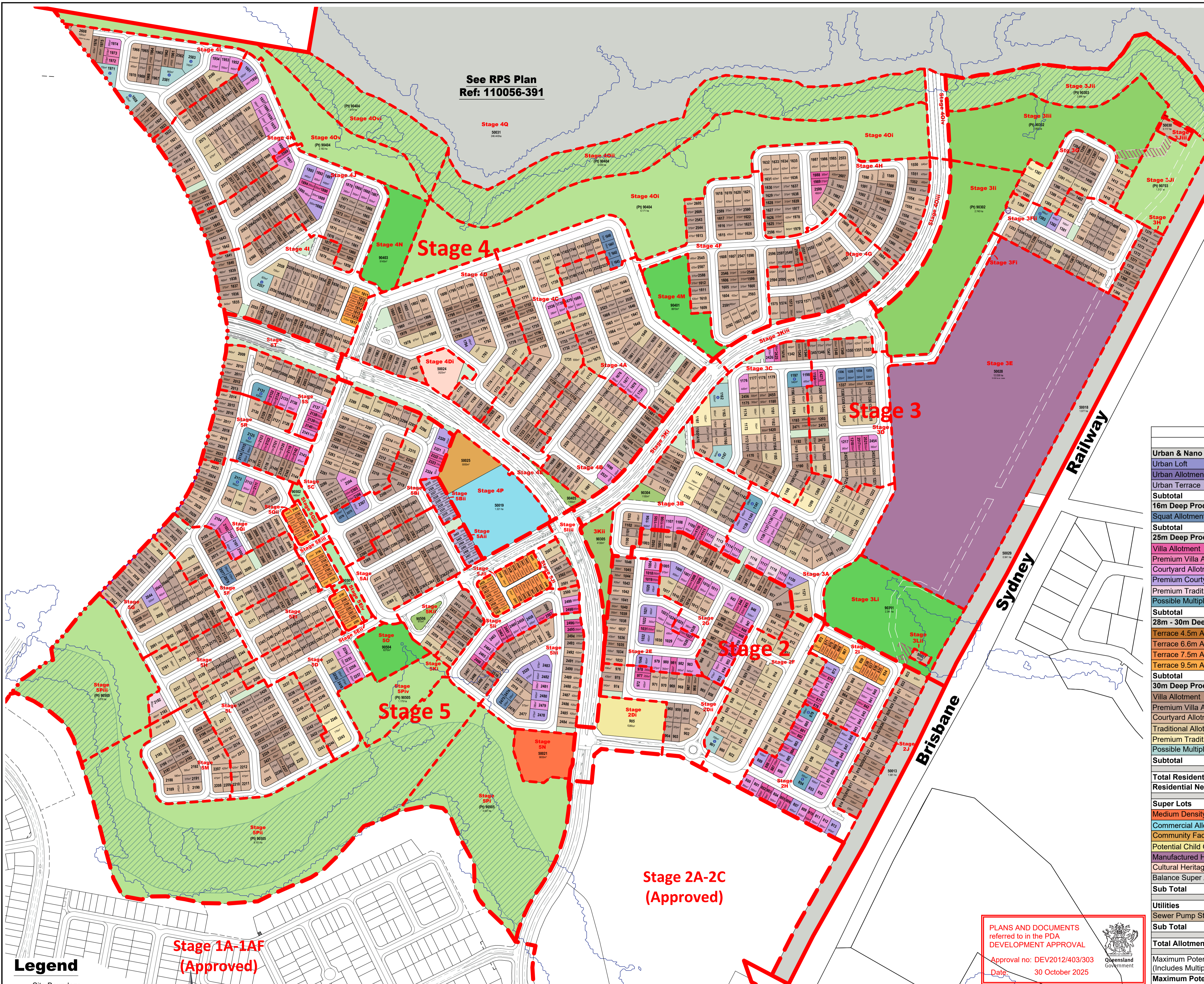
Land Use	Stage 2	Stage 3	Stage 4	Stage 5	Overall	
	Area	Area	Area	Area	Area	%
Area of Subject Site	16.883 ha	45.912 ha	301.981 ha	52.188 ha	416.964 ha	100.0%
Saleable Area						
Residential Allotments	9.636 ha	10.219 ha	22.089 ha	19.984 ha	61.928 ha	14.9%
Medium Density Allotment	—	—	0.666 ha	—	0.666 ha	0.2%
Commercial Allotment	—	—	1.321 ha	—	1.321 ha	0.3%
Community Facility Allotment	—	—	0.500 ha	—	0.500 ha	0.1%
Potential Child Care Allotment	0.628 ha	—	—	—	0.628 ha	0.2%
Manufactured Home Estate Allotment	—	12.038 ha	—	—	12.038 ha	2.9%
Cultural Heritage Allotment	—	—	0.353 ha	—	0.353 ha	0.1%
Balance Super Allotments	1.581 ha	2.919 ha	246.443 ha	—	250.943 ha	60.2%
Total Area of Allotments	11.845 ha	25.176 ha	270.706 ha	20.650 ha	328.377 ha	78.8%
Utilities						
Sewer Pump Station	—	0.162 ha	—	—	0.162 ha	0.0%
Total Area of Utilities	—	0.162 ha	—	—	0.162 ha	0.0%
Road						
Collector Road	1.502 ha	3.065 ha	4.804 ha	3.532 ha	12.903 ha	3.1%
Local Road	3.465 ha	4.511 ha	9.340 ha	8.671 ha	25.987 ha	6.2%
Linear Connections	0.071 ha	0.412 ha	0.501 ha	0.442 ha	1.426 ha	0.3%
Existing Road	—	0.063 ha	—	—	0.063 ha	0.0%
Entry Statements	—	—	—	—	—	0.0%
Total Area of New Road	5.038 ha	8.051 ha	14.645 ha	12.645 ha	40.379 ha	9.7%
Open Space						
Corridor Park	—	4.006 ha	14.711 ha	17.812 ha	36.529 ha	8.8%
Conservation Park (Within Corridor Park)	—	2.650 ha	6.357 ha	10.710 ha	19.717 ha	4.7%
District Recreation Park	—	5.648 ha	—	—	5.648 ha	1.4%
Neighbourhood Recreation Park	—	2.346 ha	1.801 ha	0.627 ha	4.774 ha	1.1%
Local Recreation Park	—	0.523 ha	0.118 ha	0.088 ha	0.729 ha	0.2%
Local Linear Recreation Park	—	—	—	0.366 ha	0.366 ha	0.1%
Stormwater Detention	—	—	—	—	—	0.0%
Total Open Space	—	12.523 ha	16.630 ha	18.893 ha	48.046 ha	11.5%

Yield Breakdown Stages 2 – 5

Residential Allotments		Stage 2	Stage 3	Stage 4	Stage 5	Overall
Typical Size	Typical Area					
Urban & Nano Allotments Product						
Urban Loft	4.7 x 11.5m 50m ²	—	—	—	—	0%
Urban Allotments	7.5 x 16m 120m ²	—	—	—	—	0%
Urban Terrace	7.5 x 27.5m 170m ²	—	—	—	16	1%
Subtotal					16	1%
16m Deep Product						
Squat Allotment	14 x 16m 220m ²	—	4	4	10	1%
Subtotal			4	4	10	1%
25m Deep Product						
Villa Allotment	10 x 25m 250m ²	29	10	5	21	4%
Premium Villa Allotment	12.5 x 25m 313m ²	—	—	3	3	0%
Courtyard Allotment	14 x 25m 350m ²	41	16	28	25	7%
Premium Courtyard Allotment	16 x 25m 400m ²	17	6	5	10	3%
Premium Traditional Allotment	20 x 25m 500m ²	—	4	—	1	0%
Possible Multiple Residential Allotment	—	2	3	—	3	1%
Subtotal		89	39	41	63	16%
28m - 30m Deep Product						
Terrace 4.5m Allotment	4.5 x 28m 126m ²	—	—	—	—	0%
Terrace 6.6m Allotment	6.6 x 28m 185m ²	—	—	—	—	0%
Terrace 7.5m Allotment	7.5 x 28m 210m ²	8	—	5	33	4%
Terrace 9.5m Allotment	9.5 x 28m 265m ²	4	—	2	12	1%
Subtotal		12	—	7	45	4%
30m Deep Product						
Villa Allotment	10 x 30m 300m ²	32	35	111	72	17%
Premium Villa Allotment	12.5 x 30m 375m ²	33	66	174	123	26%
Courtyard Allotment	14 x 30m 420m ²	51	53	160	124	26%
Traditional Allotment	20 x 30m 600m ²	19	27	26	43	8%
Premium Traditional Allotment	25 x 30m 720m ²	—	7	—	2	1%
Possible Multiple Residential Allotment	—	1	2	5	—	1%
Subtotal		136	190	476	364	78%
Total Residential Allotments		237	233	528	498	100%
Residential Net Density		18.0 dw/ha	12.9 dw/ha	15.6 dw/ha	16.5 dw/ha	15.7 dw/ha
Super Lots						
Medium Density Allotment		—	—	—	1	1
Commercial Allotment		—	—	1	—	1
Community Facility Allotment		—	—	1	—	1
Potential Child Care Allotment		1	—	—	—	1
Manufactured Home Estate Allotment		—	1	—	—	1
Cultural Heritage Allotment		—	—	1	—	1
Balance Super Allotments		1	2	1	—	4
Sub Total		2	3	4	1	10
Utilities						
Sewer Pump Station		—	2	—	—	2
Sub Total		—	2	—	—	2
Total Allotments		239	238	532	499	1508
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)		240	242	535	501	1518
Maximum Potential Net Residential Density		18.2 dw/ha	13.4 dw/ha	15.8 dw/ha	16.6 dw/ha	15.9 dw/ha

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Scale 1 : 3000	Sheet A1	Plan Ref 110056 – 374	Rev AS
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Ref: 110056-391

- Legend**
- Site Boundary
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Commercial Allotment	—	—	1.321 ha	—	1.321 ha	0.3%
Community Facility Allotment	—	—	0.500 ha	—	0.500 ha	0.1%
Potential Child Care Allotment	0.628 ha	—	—	—	0.628 ha	0.2%
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Linear Connections	0.071 ha	0.412 ha	0.501 ha	0.442 ha	1.426 ha	0.3%
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Entry Statements	—	—	—	—	—	0.0%
Total Area of New Road	5.038 ha	8.051 ha	14.645 ha	12.645 ha	40.379 ha	9.7%
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Local Recreation Park	—	0.523 ha	0.118 ha	0.088 ha	0.729 ha	0.2%
Local Linear Recreation Park	—	—	—	0.366 ha	0.366 ha	0.1%
Stormwater Detention	—	—	—	—	—	0.0%
Total Open Space	—	12.523 ha	16.630 ha	18.893 ha	48.046 ha	11.5%

Yield Breakdown Stages 2 – 5

Residential Allotments		Typical Size	Typical Area	Stage 2	Stage 3	Stage 4	Stage 5	Overall
Urban & Nano Allotments Product								
Urban Loft	4.7 x 11.5m	50m ²	—	—	—	—	—	0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	—	0%
Urban Terrace	7.5 x 27.5m	170m ²	—	—	—	16	16	1%
Subtotal							16	1%
16m Deep Product								
Squat Allotment	14 x 16m	220m ²	—	4	4	10	18	1%
Subtotal				4	4	10	18	1%
25m Deep Product								
Villa Allotment	10 x 25m	250m ²	29	10	5	21	65	4%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	3	3	6	0%
Courtyard Allotment	14 x 25m	350m ²	41	16	28	25	110	7%
Premium Courtyard Allotment	16 x 25m	400m ²	17	6	5	10	38	3%
Premium Traditional Allotment	20 x 25m	500m ²	—	4	—	1	5	0%
Possible Multiple Residential Allotment	—	—	2	3	—	3	8	1%
Subtotal			89	39	41	63	232	16%
28m - 30m Deep Product								
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	—	—	0%
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	—	—	—	—	0%
Terrace 7.5m Allotment	7.5 x 28m	210m ²	8	—	5	33	46	3%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	4	—	2	12	18	1%
Subtotal			12	—	7	45	64	4%
30m Deep Product								
Villa Allotment	10 x 30m	300m ²	32	35	111	72	250	17%
Premium Villa Allotment	12.5 x 30m	375m ²	33	66	174	123	396	26%
Courtyard Allotment	14 x 30m	420m ²	51	53	160	124	388	26%
Traditional Allotment	20 x 30m	600m ²	19	27	26	43	115	8%
Premium Traditional Allotment	25 x 30m	720m ²	—	7	—	2	9	1%
Possible Multiple Residential Allotment	—	—	1	2	5	—	8	1%
Subtotal			136	190	476	364	1166	78%
Total Residential Allotments			237	233	528	498	1496	100%
Residential Net Density			18.0 dw/ha	12.9 dw/ha	15.6 dw/ha	16.5 dw/ha	15.7 dw/ha	
Super Lots			Lots	Lots	Lots	Lots	Lots	
Medium Density Allotment	—	—	—	—	1	—	1	
Commercial Allotment	—	—	—	—	1	—	1	
Community Facility Allotment	—	—	—	—	1	—	1	
Potential Child Care Allotment	1	—	—	—	—	—	1	
Manufactured Home Estate Allotment	—	1	—	—	—	—	1	
Cultural Heritage Allotment	—	—	—	—	1	—	1	
Balance Super Allotments	1	2	1	—	—	—	4	
Sub Total	2	3	4	1	—	—	10	
Utilities								
Sewer Pump Station	—	2	—	—	—	—	2	
Sub Total	—	2	—	—	—	—	2	
Total Allotments	239	238	532	499	1508			
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)	240	242	535	501	1518			
Maximum Potential Net Residential Density	18.2 dw/ha	13.4 dw/ha	15.8 dw/ha	16.6 dw/ha	15.9 dw/ha			



Plan of Subdivision
Stages 2 – 5
Overall Allotment Layout - Sub - Staging

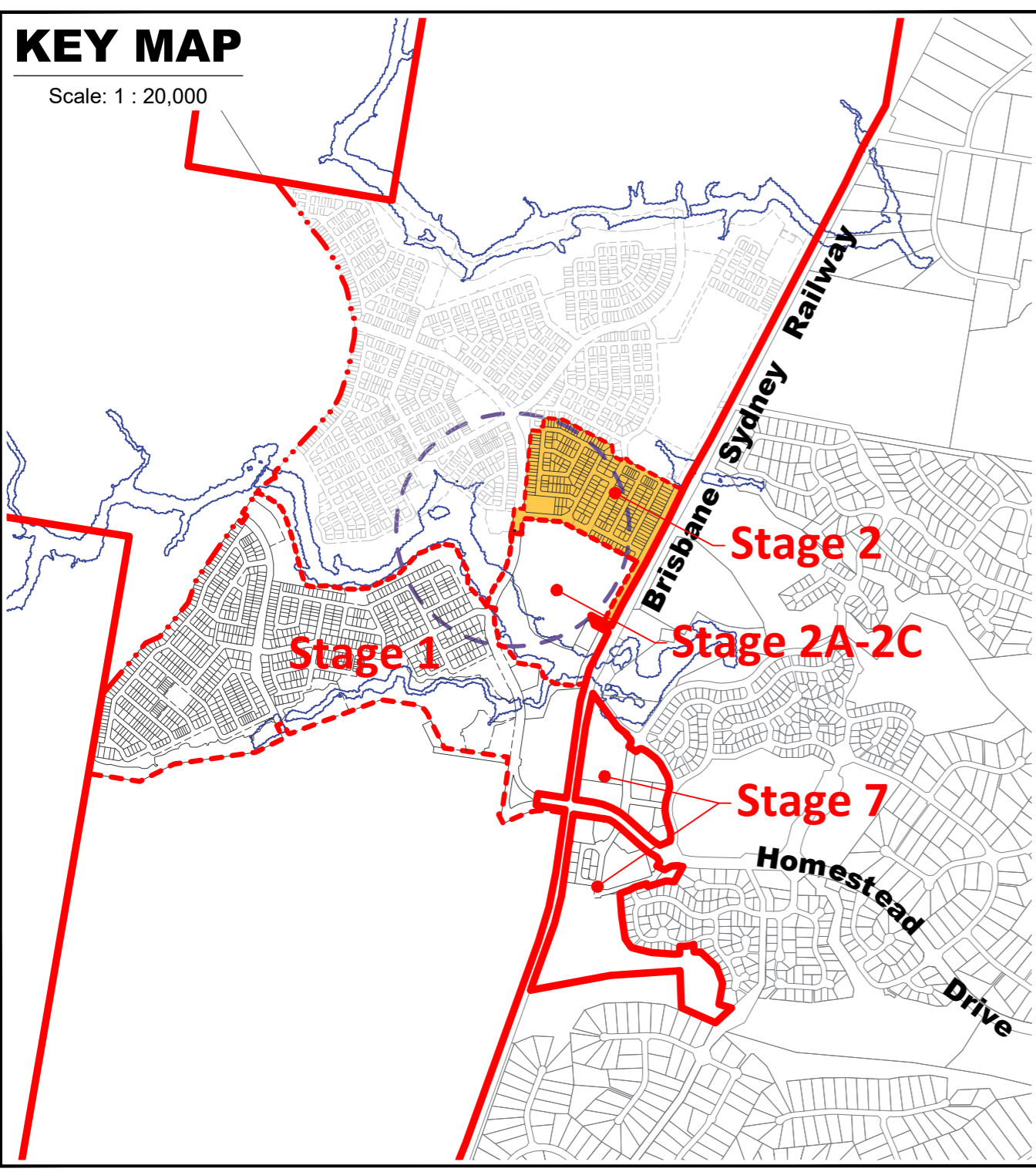


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Scale 1 : 3000	Sheet A1	Plan Ref 110056 – 481	Rev AS
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KEY MAP

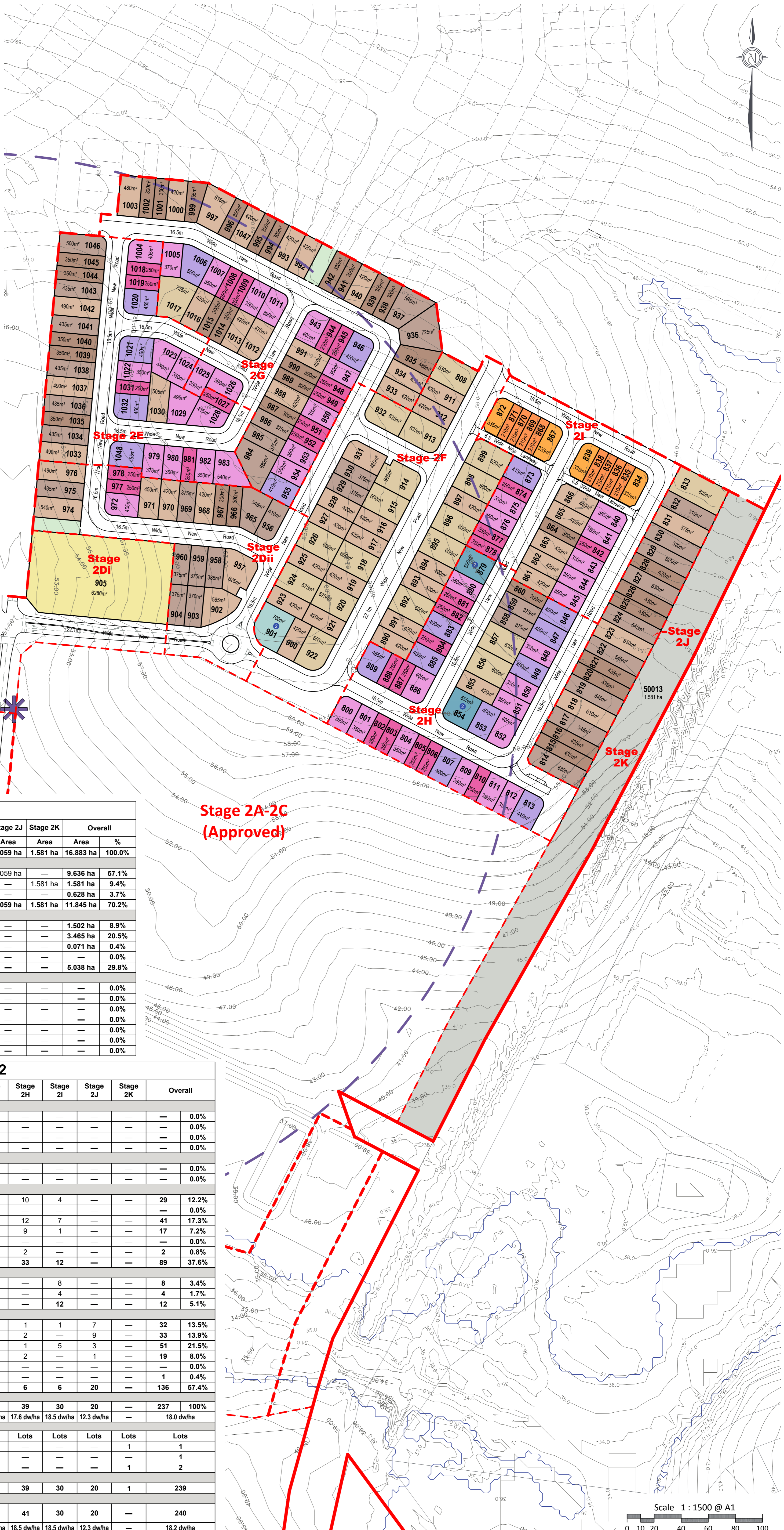
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Legend

- Site Boundary
- - - Proposed Stage Boundary
- - - - - Proposed Sub Stage Boundary
- Existing Q100
- ① Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement
- ✳ Indicative Indented Bus Stop Location
- Bus Stop Catchment (400m)

Note:
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Areas have been rounded down to the nearest 5m².
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Source Information:
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Land Budget Stage 2

Land Use	Stage 2Di	Stage 2Dii	Stage 2E	Stage 2F	Stage 2G	Stage 2H	Stage 2I	Stage 2J	Stage 2K	Overall	
	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	1.167 ha	1.556 ha	1.936 ha	2.838 ha	2.914 ha	2.212 ha	1.620 ha	1.059 ha	1.581 ha	16.883 ha	100.0%
Saleable Area											
Residential Allotments	—	0.868 ha	1.356 ha	1.775 ha	2.214 ha	1.430 ha	0.934 ha	1.059 ha	—	9.636 ha	57.1%
Balance Super Allotments	—	—	—	—	—	—	—	—	1.581 ha	1.581 ha	9.4%
Potential Child Care Allotment	0.628 ha	—	—	—	—	—	—	—	—	0.628 ha	3.7%
Total Area of Allotments	0.628 ha	0.868 ha	1.356 ha	1.775 ha	2.214 ha	1.430 ha	0.934 ha	1.059 ha	1.581 ha	11.845 ha	70.2%
Road											
Collector Road	0.539 ha	0.178 ha	—	0.785 ha	—	—	—	—	—	1.502 ha	8.9%
Local Road	—	0.475 ha	0.580 ha	0.278 ha	0.664 ha	0.782 ha	0.686 ha	—	—	3.465 ha	20.5%
Linear Connections	—	0.035 ha	—	—	0.036 ha	—	—	—	—	0.071 ha	0.4%
Entry Statements	—	—	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	0.539 ha	0.688 ha	0.580 ha	1.063 ha	0.700 ha	0.782 ha	0.686 ha	—	—	5.038 ha	29.8%
Open Space											
Corridor Park	—	—	—	—	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	—	—	—	—	0.0%

Yield Breakdown Stage 2

Residential Allotments	Typical Size	Typical Area	Stage 2Di	Stage 2Dii	Stage 2E	Stage 2F	Stage 2G	Stage 2H	Stage 2I	Stage 2J	Stage 2K	Overall
Urban & Nano Allotments Product												
Urban Loft	4.7 x 11.5m	54m ²	—	—	—	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	—	—	—	0.0%
16m Deep Product												
Squat Allotment	14 x 16m	220m ²	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	—	—	—	0.0%
25m Deep Product												
Villa Allotment	10 x 25m	250m ²	—	2	5	—	8	10	4	—	—	29
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	—	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	—	1	10	—	11	12	7	—	—	41
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	4	—	3	9	1	—	—	17
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	2	—	—	2
Subtotal			—	3	19	—	22	33	12	—	—	89
28m Deep Product												
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	—	—	8	—	—	8
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	—	—	4	—	—	4
Subtotal			—	—	—	—	—	—	12	—	—	12
30m Deep Product												
Villa Allotment	10 x 30m	300m ²	—	2	5	—	16	1	1	7	—	32
Premium Villa Allotment	12.5 x 30m	375m ²	—	9	6	2	5	2	—	9	—	33
Courtyard Allotment	14 x 30m	420m ²	—	7	4	17	14	1	5	3	—	51
Traditional Allotment	20 x 30m	600m ²	—	—	—	15	1	2	—	1	—	19
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	1	—	—	1
Subtotal			—	18	15	35	36	6	6	20	—	136
Total Residential Allotments			—	21	34	35	58	39	30	20	—	237
Residential Net Density			—	10.8 dw/ha	17.6 dw/ha	17.0 dw/ha	19.9 dw/ha	17.6 dw/ha	18.5 dw/ha	12.3 dw/ha	—	18.0 dw/ha
Super Lots												
Balance Super Allotments			—	—	—	—	—	—	—	—	—	1
Potential Child Care Allotment			1	—	—	—	—	—	—	—	—	1
Sub Total			1	—	—	—	—	—	—	—	—	2
Total Allotments			1	21	34	35	58	39	30	20	1	239
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			—	21	34	36	58	41	30	20	—	240
Maximum Potential Net Residential Density			—	10.8 dw/ha	17.6 dw/ha	17.5 dw/ha	19.9 dw/ha	18.5 dw/ha	18.5 dw/ha	12.3 dw/ha	—	18.2 dw/ha

Stage 2A-2C (Approved)

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AN: 29/11/2024 Stage 4 Layout Change
AO: 07/02/2025 Site Cover Definition Included
AP: 14/05/2025 Stage 3 and 4 Layout Change
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AR: 25/07/2025 Incorporation of Stage 4 PMTs
AS: 18/08/2025 Stage 4 Updates

PROJECT

Flagstone Precinct 1

Job Ref. 110056	Date. 18 August 2025
Comp By. NF	DWG Name. Precinct 1 Stage 2
Chk'd By. MD	Locality. Flagstone
Local Authority. Economic Development Queensland	

CLIENT

PEET

Plan of Subdivision
Stage 2 Overall
Allotment Layout

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025

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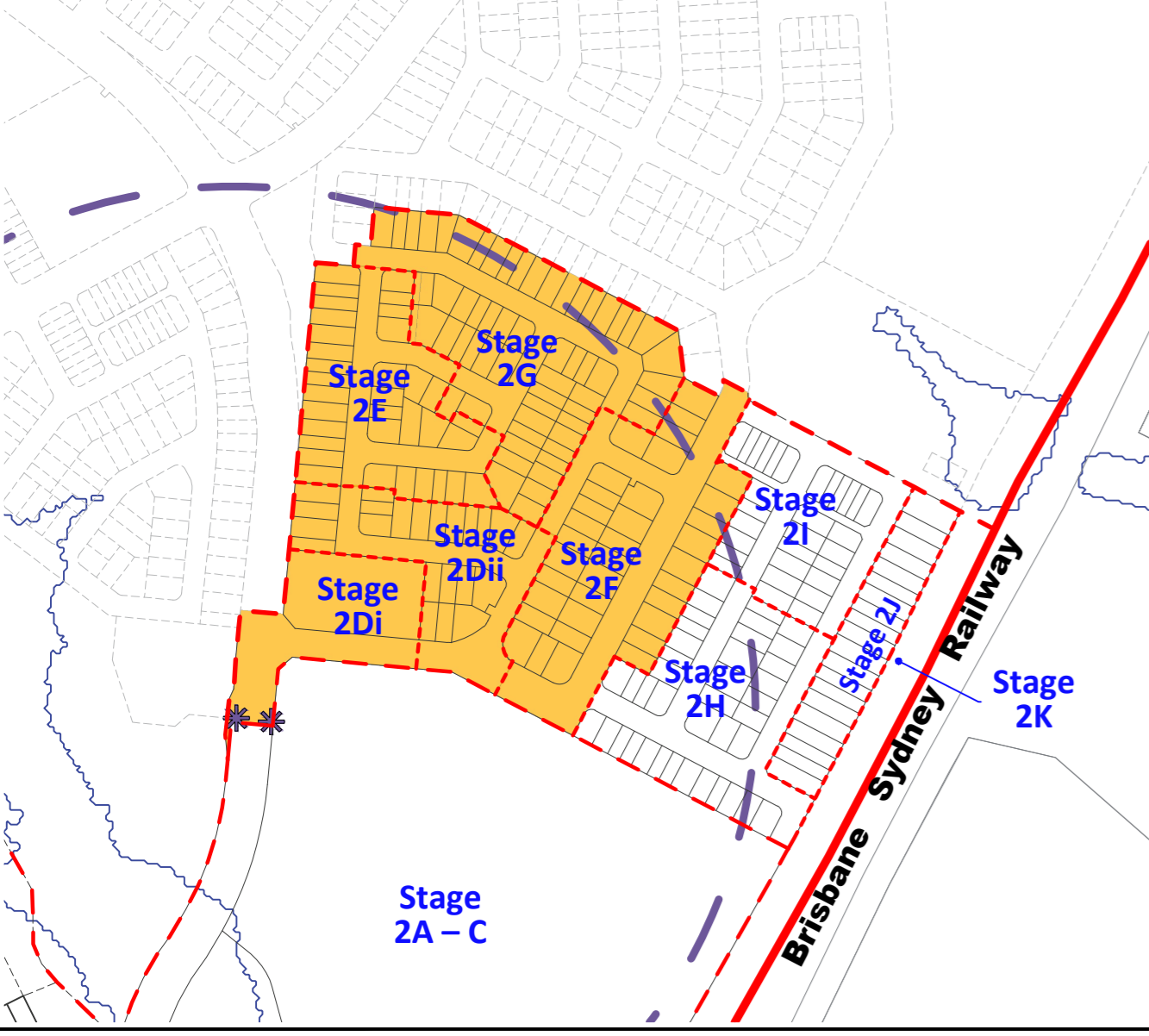
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Scale 1 : 1500	Sheet A1	Plan Ref 110056 - 375	Rev AS
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KEY MAP

Scale: 1 : 5,000



Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

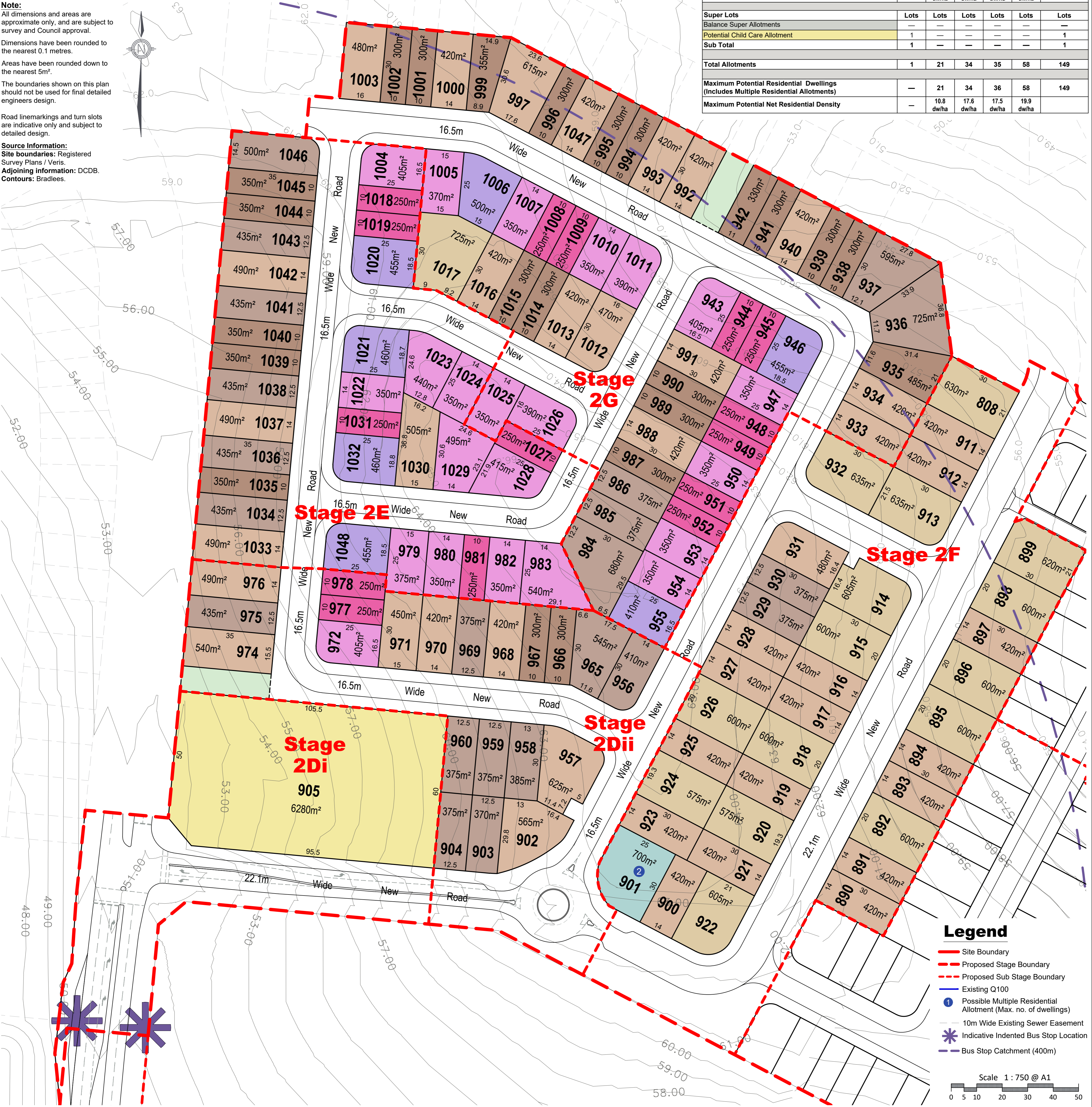
The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

Land Use	Land Budget Stage 2						Overall	%
	Stage 2Di	Stage 2Dii	Stage 2E	Stage 2F	Stage 2G	Area		
Area of Subject Site	1.167 ha	1.556 ha	1.936 ha	2.838 ha	2.914 ha	10.411 ha	100.0%	
Saleable Area								
Residential Allotments	—	0.868 ha	1.356 ha	1.775 ha	2.214 ha	6.213 ha	59.7%	
Balance Super Allotments	—	—	—	—	—	—	0.0%	
Potential Child Care Allotment	0.628 ha	—	—	—	—	0.628 ha	6.0%	
Total Area of Allotments	0.628 ha	0.868 ha	1.356 ha	1.775 ha	2.214 ha	6.841 ha	65.7%	
Road								
Collector Road	0.539 ha	0.178 ha	—	0.785 ha	—	1.502 ha	14.4%	
Local Road	—	0.475 ha	0.580 ha	0.278 ha	0.664 ha	1.997 ha	19.2%	
Linear Connections	—	0.035 ha	—	—	0.036 ha	0.071 ha	0.7%	
Entry Statements	—	—	—	—	—	—	0.0%	
Total Area of New Road	0.539 ha	0.688 ha	0.580 ha	1.063 ha	0.700 ha	3.570 ha	34.3%	
Open Space								
Corridor Park	—	—	—	—	—	—	0.0%	
District Recreation Park	—	—	—	—	—	—	0.0%	
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%	
Local Recreation Park	—	—	—	—	—	—	0.0%	
Local Linear Recreation Park	—	—	—	—	—	—	0.0%	
Stormwater Detention	—	—	—	—	—	—	0.0%	
Total Open Space	—	—	—	—	—	—	0.0%	

Residential Allotments Product	Typical Size		Typical Area	Stage 2Di	Stage 2Dii	Stage 2E	Stage 2F	Stage 2G	Overall
	Typical Size	Typical Area							
Urban & Nano Allotments Product									
Urban Loft	4.7 x 11.5m	54m ²	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	—	—	—	0.0%
Subtotal									
16m Deep Product									
Squat Allotment	14 x 16m	220m ²	—	—	—	—	—	—	0.0%
Subtotal									
25m Deep Product									
Villa Allotment	10 x 25m	250m ²	—	2	5	—	8	15	10.1%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	—	1	10	—	11	22	14.9%
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	4	—	3	7	4.7%
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	0.0%
Subtotal									
28m Deep Product									
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	—	—	0.0%
Subtotal									
30m Deep Product									
Villa Allotment	10 x 30m	300m ²	—	2	5	—	16	23	15.5%
Premium Villa Allotment	12.5 x 30m	375m ²	—	9	6	2	5	22	14.9%
Courtyard Allotment	14 x 30m	420m ²	—	7	4	17	14	42	28.4%
Traditional Allotment	20 x 30m	600m ²	—	—	—	15	1	16	10.8%
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	1	1	0.7%
Subtotal									
Total Residential Allotments									
Residential Net Density									
Super Lots									
Balance Super Allotments	—	—	—	—	—	—	—	—	—
Potential Child Care Allotment	1	—	—	—	—	—	—	—	1
Sub Total	1	—	—	—	—	—	—	—	1
Total Allotments	1	21	34	35	58	148	100%		
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)									
Maximum Potential Net Residential Density									



REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change		
AK: 15/08/2024 Stage 4 Layout Change		
AL: 23/08/2024 Stage 4 Layout Change		
AM: 27/09/2024 Stage 4 Layout Change		
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AR: 25/07/2025 Incorporation of Stage 4 PMTs		
AS: 18/08/2025 Stage 4 Updates		

Job Ref.	Date.	Comp By.	DWG Name.	Chk'd By.	Locality.	Local Authority.
110056	18 August 2025	MM / CB	Precinct 1 Stage 2	MD	Flagstone	Economic Development Queensland

CLIENT

PEET

Plan of Subdivision
Stage 2D – 2G
Allotment Layout

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025

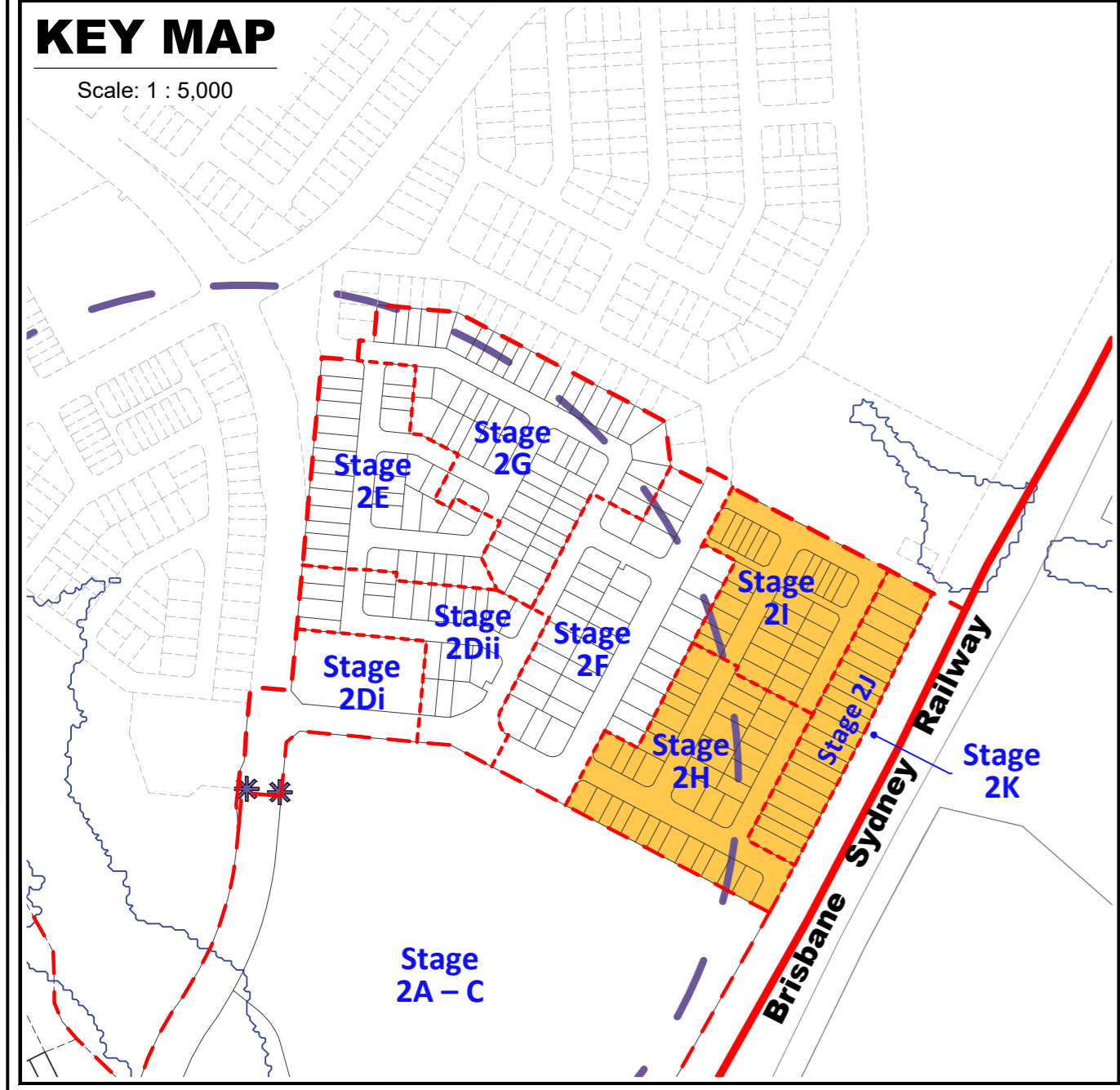
Scale 1 : 750

Sheet A1

Plan Ref **110056 – 376**

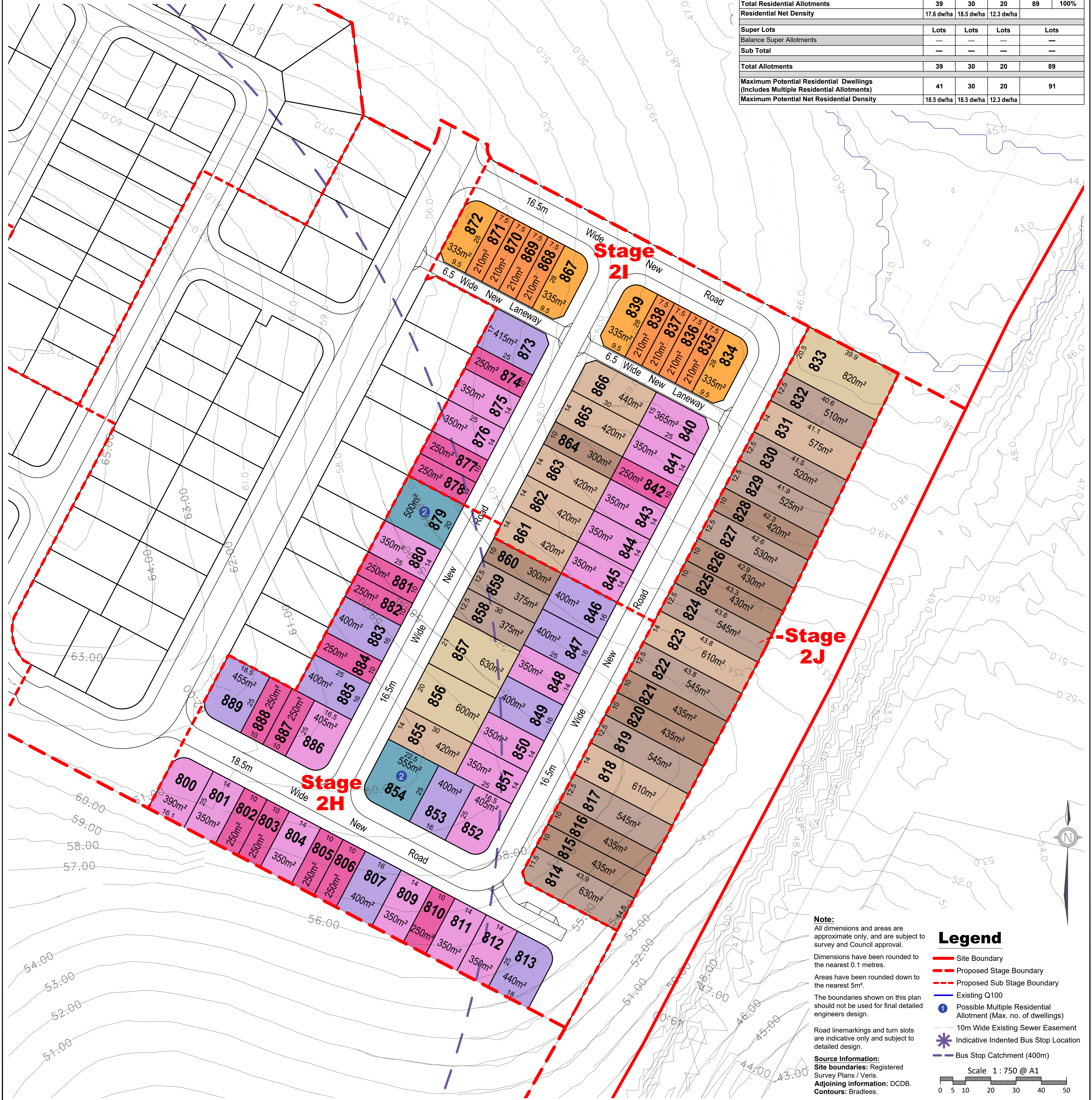
Rev **AS**

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Land Use	Land Budget Stage 2				Overall
	Stage 2H	Stage 2I	Stage 2J	Overall	
Area of Subject Site	2.212 ha	1.620 ha	1.059 ha	4.891 ha	100.0%
Saleable Area					
Residential Allotments	1.430 ha	0.934 ha	1.059 ha	3.423 ha	70.0%
Balance Super Allotments	—	—	—	—	0.0%
Total Area of Allotments	1.430 ha	0.934 ha	1.059 ha	3.423 ha	70.0%
Road					
Collector Road	—	—	—	—	0.0%
Local Road	0.782 ha	0.686 ha	—	1.468 ha	30.0%
Linear Connections	—	—	—	—	0.0%
Entry Statements	—	—	—	—	0.0%
Total Area of New Road	0.782 ha	0.686 ha	—	1.468 ha	30.0%
Open Space					
Corridor Park	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	0.0%
Total Open Space	—	—	—	—	0.0%

Yield Breakdown Stage 2						
Residential Allotments	Typical Size	Typical Area	Stage 2H	Stage 2I	Stage 2J	Overall
			Urban & Nano Allotments Product			
Urban Loft	4.7 x 11.5m	54m ²	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	0.0%
Subtotal						0.0%
16m Deep Product						
Squat Allotment	14 x 16m	220m ²	—	—	—	0.0%
Subtotal						0.0%
25m Deep Product						
Villa Allotment	10 x 25m	250m ²	10	4	—	14
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	12	7	—	19
Premium Courtyard Allotment	16 x 25m	400m ²	9	1	—	10
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	2	—	—	2
Subtotal			33	12		45
28m Deep Product						
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	8	—	8
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	4	—	4
Subtotal				12		12
30m Deep Product						
Villa Allotment	10 x 30m	300m ²	1	1	7	9
Premium Villa Allotment	12.5 x 30m	375m ²	2	—	9	11
Courtyard Allotment	14 x 30m	420m ²	1	5	3	9
Traditional Allotment	20 x 30m	600m ²	2	—	1	3
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	0.0%
Subtotal			6	6	20	32
Total Residential Allotments			39	30	20	89
Residential Net Density			17.6 dw/ha	18.5 dw/ha	12.3 dw/ha	
Super Lots			Lots	Lots	Lots	Lots
Balance Super Allotments	—	—	—	—	—	—
Sub Total						
Total Allotments			39	30	20	89
Maximum Potential Residential Dwellings (includes Multiple Residential Allotments)			41	30	20	91
Maximum Potential Net Residential Density			18.5 dw/ha	18.5 dw/ha	12.3 dw/ha	



Note:
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Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement
- Indicative Indented Bus Stop Location
- Bus Stop Catchment (400m)

Scale 1 : 750 @ A1

REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage SR Layout Change		
AK: 15/08/2024 Stage 4 Layout Change		
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AS: 18/08/2025 Stage 4 Updates		

Job Ref.	110056	Date.	18 August 2025
Comp By.	NF	DWG Name.	Precinct 1 Stage 2
Chk'd By.	MD	Locality.	Flagstone
Local Authority.	Economic Development Queensland		

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025

Scale 1 : 750

Sheet A1

Plan Ref 110056 - 377

Rev AS

PEET

Plan of Subdivision Stage 2H - 2J Allotment Layout

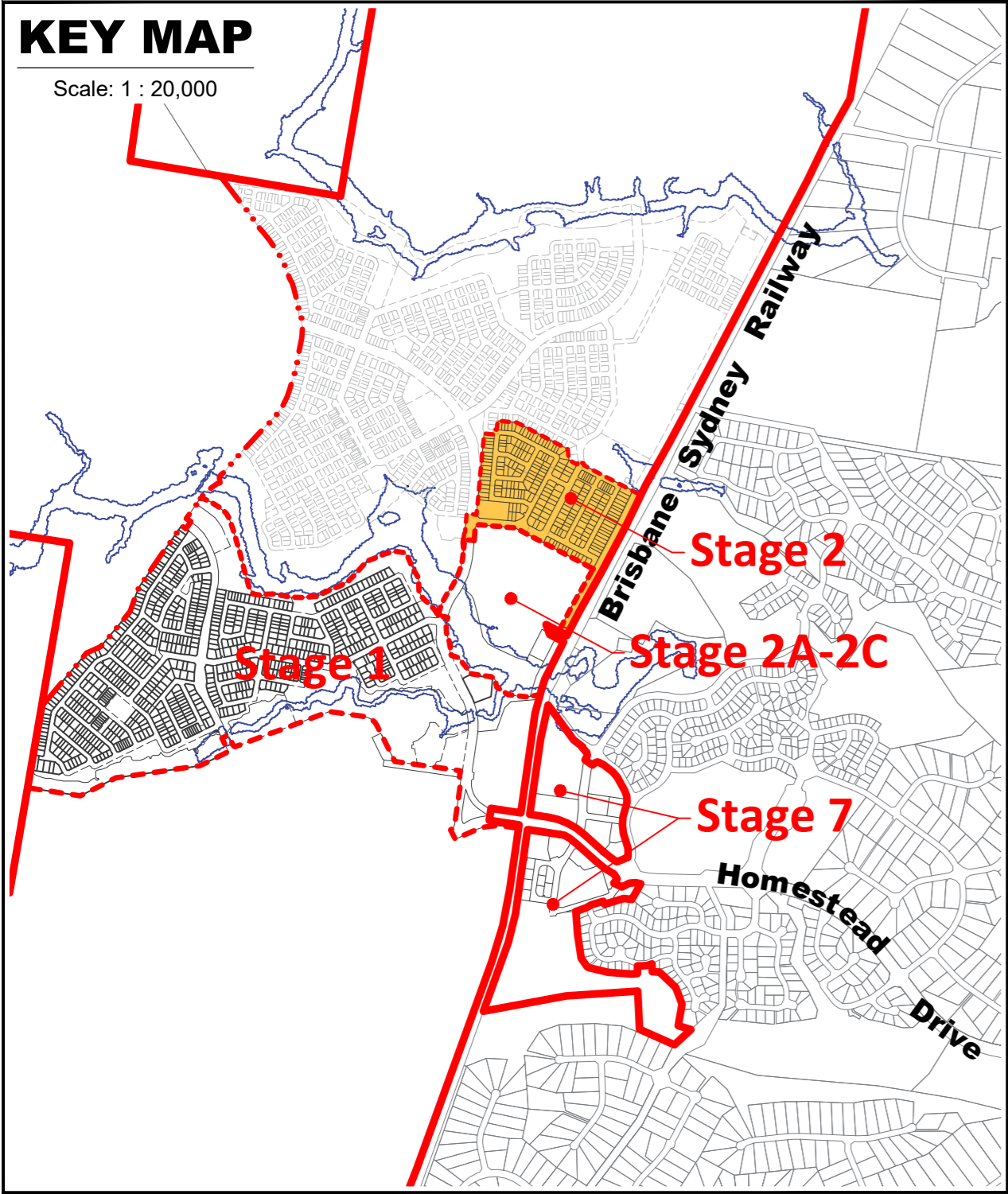
QUEENSLAND GOVERNMENT

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KEY MAP

Scale: 1 : 20,000



Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement

Open Space

- District Recreation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 1.8m High Solid Timber Fence
- 1.5m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
- Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lots, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

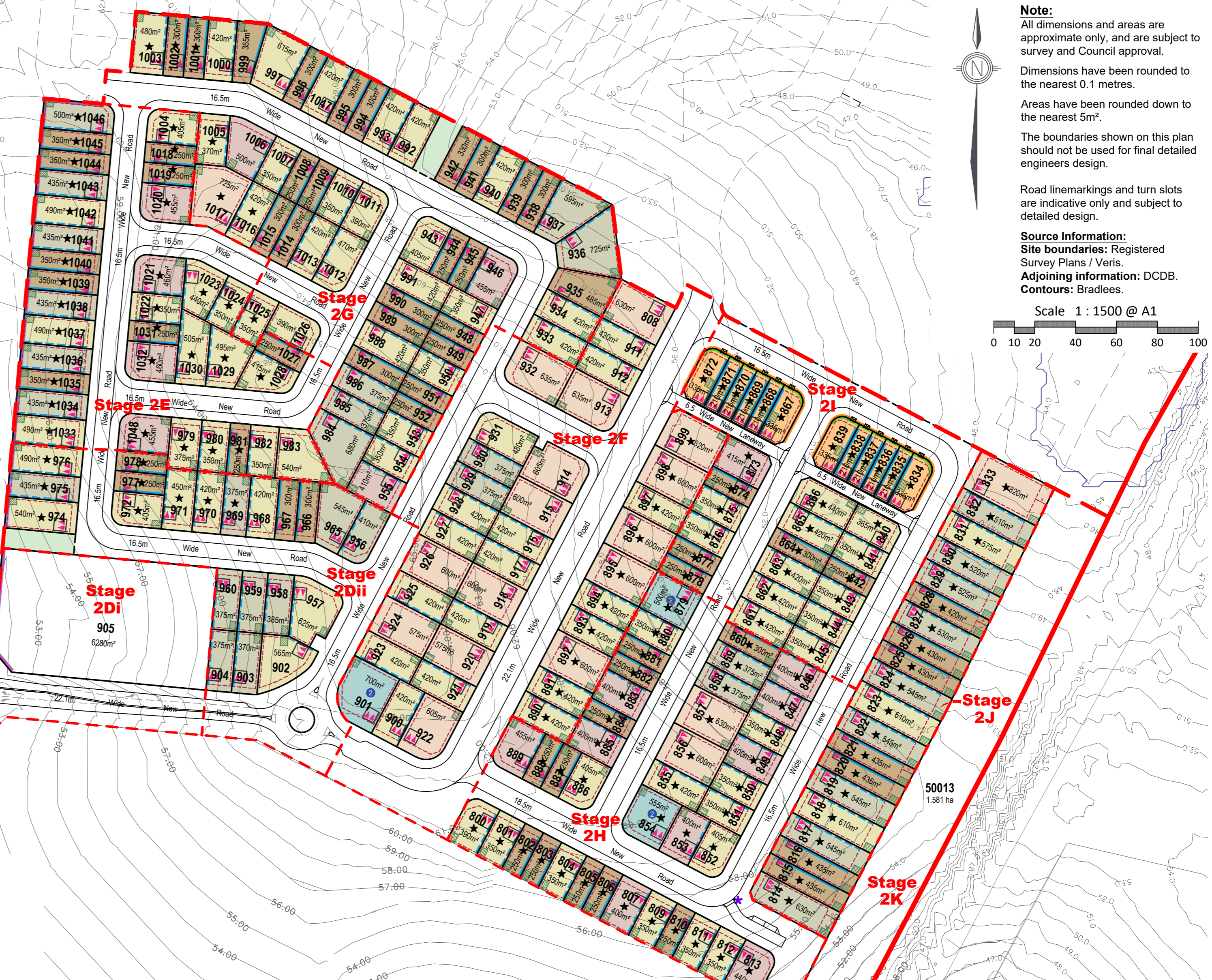
Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.

Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)			
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor		
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a		
Rear * Additional setback required on some allotments - refer POD Notes 14-16.	0.0m *	0.0m *	1.5m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	1.0m *	1.5m *	0.9m *	0.9m *	0.9m *	0.9m *	1.0m *	1.0m *	1.0m *	1.5m *	1.0m *	1.5m *	1.5m *	2.0m *	1.5m *	2.0m *	1.5m *	1.5m *		
Side - General Lots																												
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a		
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a			
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m		
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m		
Laneway Lots																												
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a		
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%			



Note:
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Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining Information: DCDB.
Contours: Bradlees.

Scale 1 : 1500 @ A1
0 10 20 40 60 80 100

Stage 2A-2C (Approved)

- The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.*
 - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
 - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
 - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
 - Maximum of one driveway per dwelling unless it is a MR lot.
 - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
 - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
 - Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls **not** constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted by a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the primary boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Balconies recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.

- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	<h2>Flagstone Precinct 1</h2>	<h1>PEET</h1>
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change		
AK: 15/08/2024 Stage 4 Layout Change		
AL: 23/08/2024 Stage 4 Layout Change		
AM: 27/09/2024 Stage 4 Layout Change	Job Ref. 110056	Date. 18 August 2025
AN: 29/11/2024 Stage 4 Layout Change	Comp By. NF	DWG Name. Precinct 1 Stage 2
AO: 07/02/2025 Site Cover Definition Included	Chk'd By. MD	Locality. Flagstone
AP: 14/05/2025 Stage 3 and 4 Layout Change	Local Authority. Economic Development Queensland	
AQ: 04/07/2025 Stage 4 Layout Change		
AR: 25/07/2025 Incorporation of Stage 4 PMTs		
AS: 18/08/2025 Stage 4 Updates		

REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	<h2>Flagstone Precinct 1</h2>	<h1>PEET</h1>
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CLIENT

PEET

Plan of Development
Stage 2 Overall
Residential Allotments

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025

Scale 1 : 1500

Sheet A1

Plan Ref 110056 - 378

Rev AS

Scale 1 : 1500

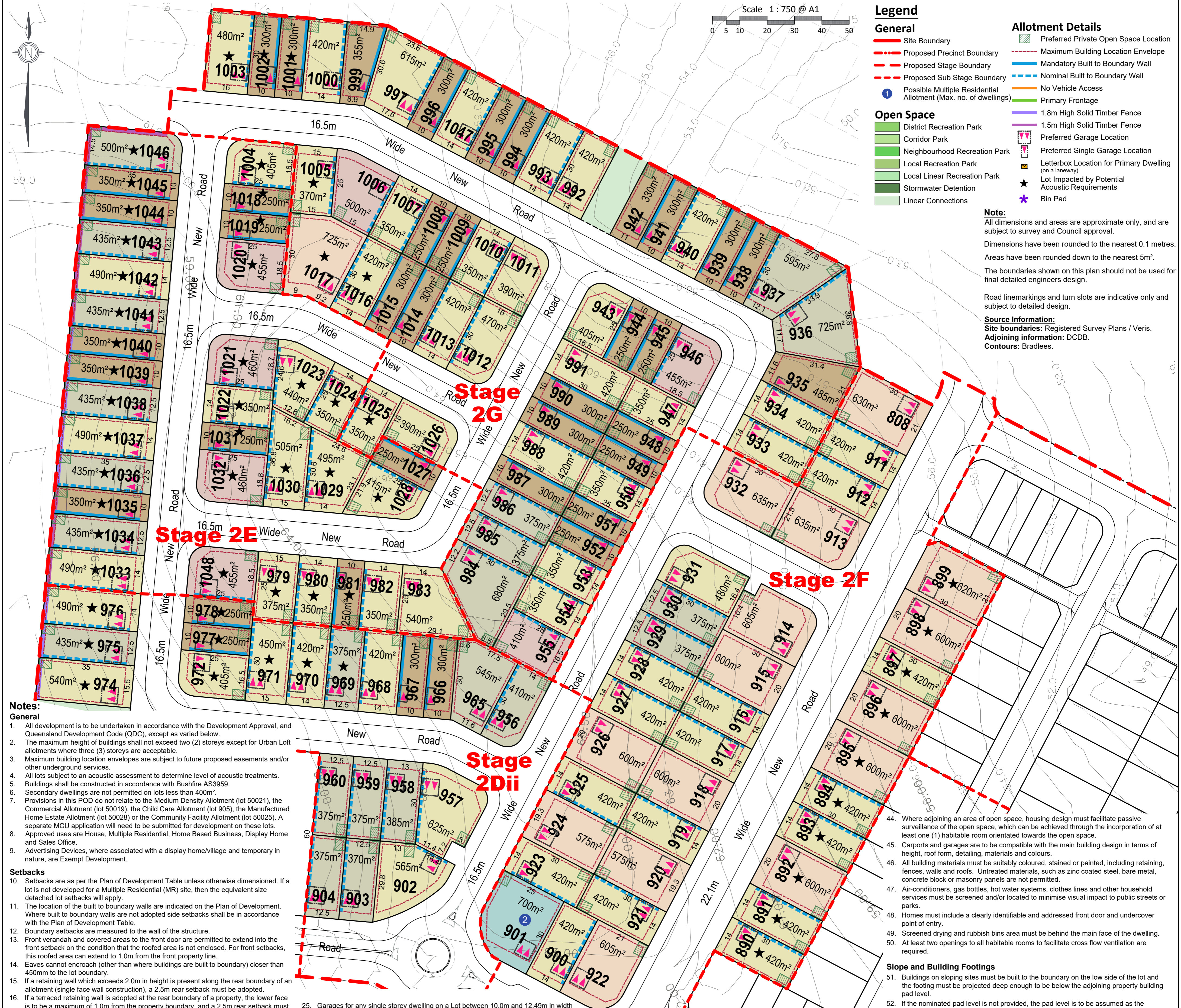
Sheet A1

Plan Ref 110056 - 378

Rev AS

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PO Box 1559
Fortitude Valley QLD 4006
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W rpsgroup.com

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- Legend**
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
- Open Space**
- District Recreation Park
 - Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- Allotment Details**
- Preferred Private Open Space Location
 - Maximum Building Location Envelope
 - Mandatory Built to Boundary Wall
 - Nominal Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - 1.8m High Solid Timber Fence
 - 1.5m High Solid Timber Fence
 - Preferred Garage Location
 - Preferred Single Garage Location
 - Letterbox Location for Primary Dwelling (on a laneway)
 - Lot Impacted by Potential Acoustic Requirements
 - Bin Pad

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Vens.
Adjoining information: DCDB.
Contours: Bradlees.

- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
 - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lots, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development.
- Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials

- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

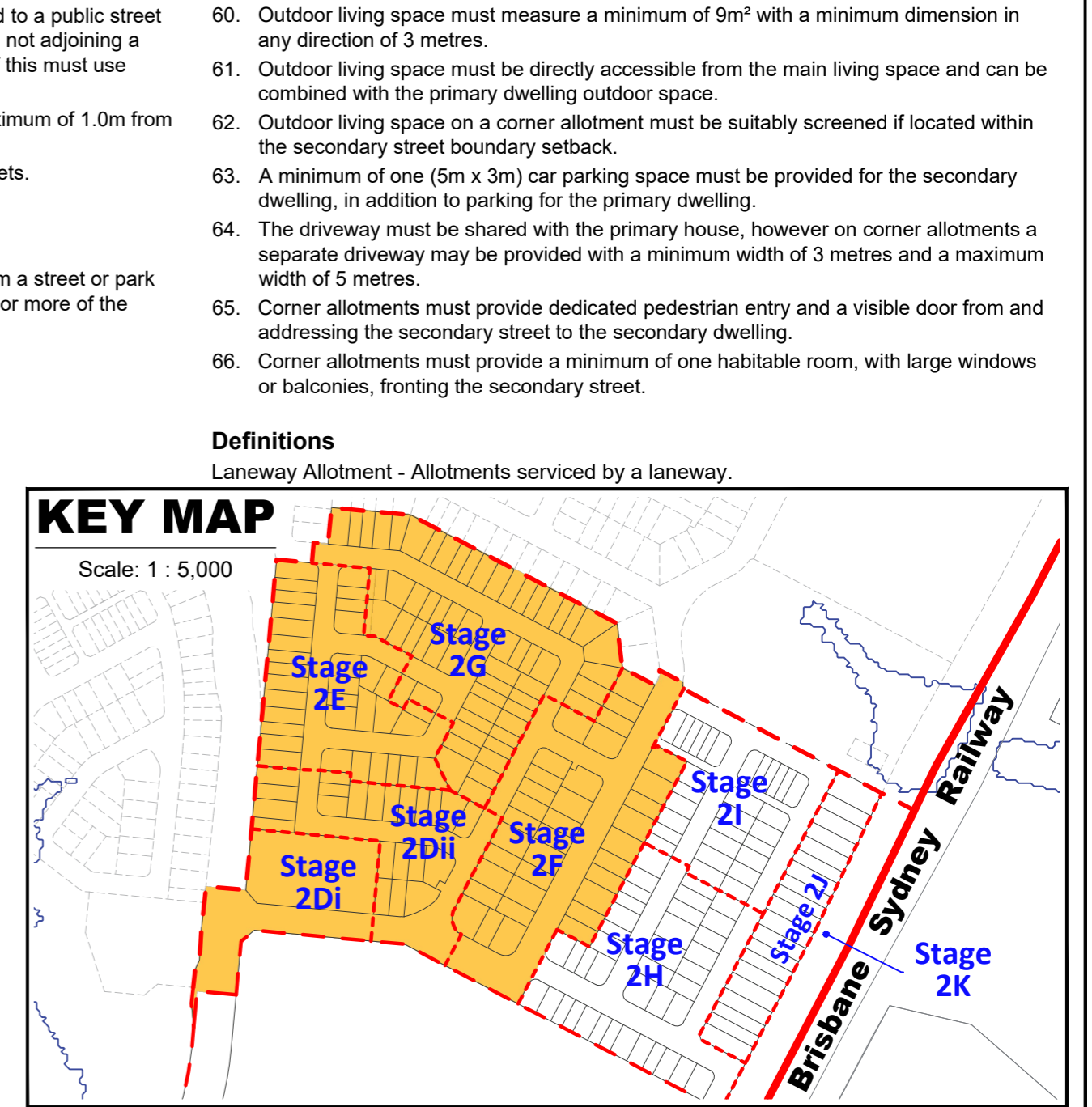
Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension on 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).

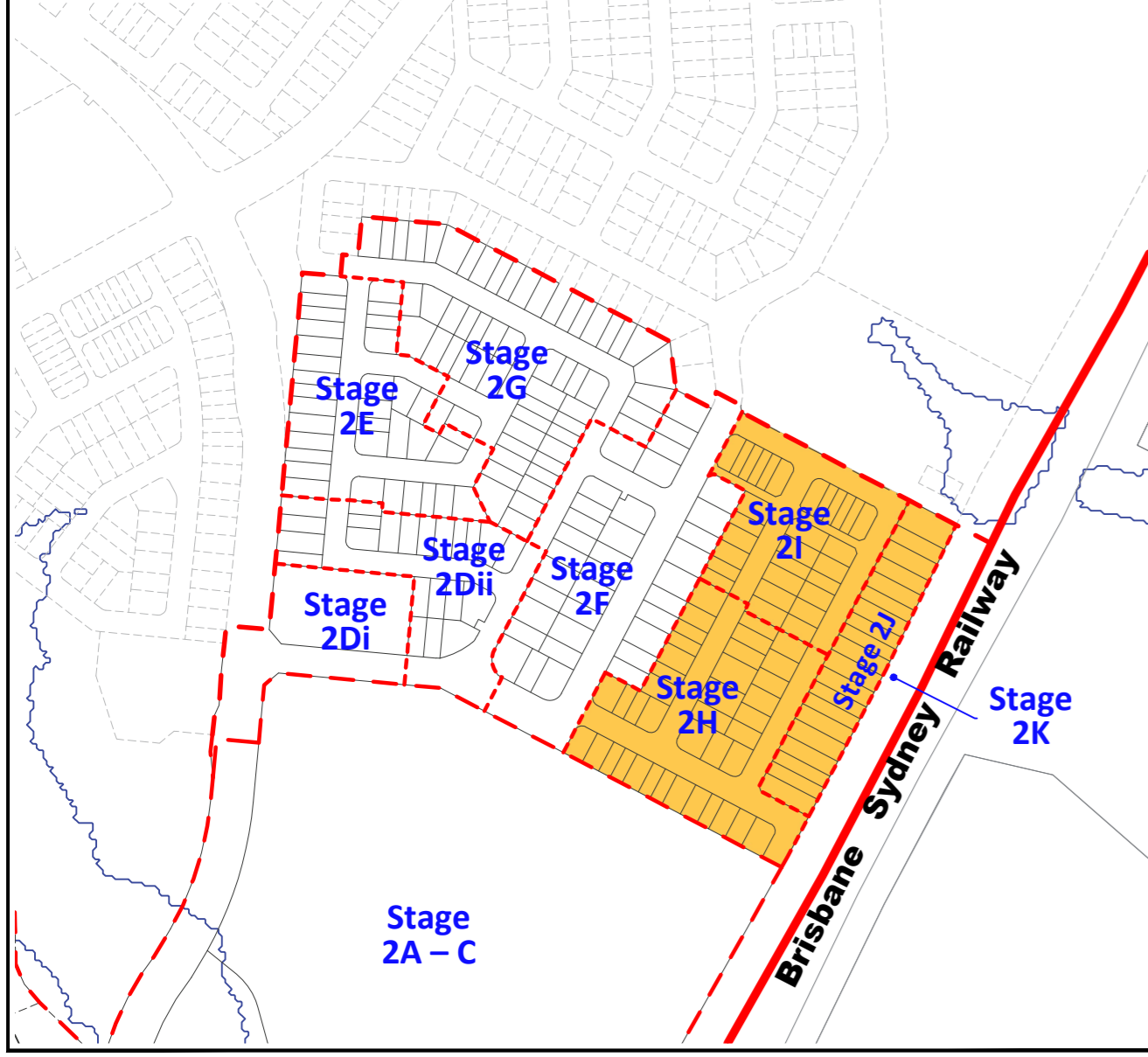
Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)			
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor		
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m		
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a		
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	1.5m*			
* Additional setback required on some allotments - refer POD Notes 14-16.																												
Side - General Lots																												
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	n/a		
Maximum BTB Wall Length (% of boundary length)	85%	75%	90%	90%	75%	75%	70%	65%	65%	60%	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m		
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m		
Laneway Lots																												
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	n/a		
Site Cover	90%	75%	75%	75%	75%	75%	75%	75%	75%	75%	65%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	75%		



REVISION AH: 25/04/2023 Stage 4 Layout Changes AP: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage SR Layout Change AK: 15/08/2024 Stage 4 Layout Change AL: 23/08/2024 Stage 4 Layout Change AM: 27/09/2024 Stage 4 Layout Change AN: 29/11/2024 Stage 4 Layout Change AO: 07/02/2025 Site Cover Definition Included AP: 14/05/2025 Stage 3 and 4 Layout Change AQ: 04/07/2025 Stage 4 Layout Change AR: 25/07/2025 Incorporation of Stage 4 PMTs AS: 18/08/2025 Stage 4 Updates	PROJECT Flagstone Precinct 1	CLIENT PEET	PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DEV2024/03/303 Date: 30 October 2025			URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com
Job Ref. 110056 Date. 18 August 2025 Comp By. NF DWG Name. Precinct 1 Stage 2 Chk'd By. MD Locality. Flagstone Local Authority. Economic Development Queensland	Scale 1 : 750	Sheet A1	Plan Ref 110056 - 379	Rev AS		

KEY MAP

Scale: 1 : 5,000



Legend

- ### General
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - 10m Wide Existing Sewer Easement

- ### Open Space
- District Recreation Park
 - Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections

- ### Allotment Details
- Preferred Private Open Space Location
 - Maximum Building Location Envelope
 - Mandatory Built to Boundary Wall
 - Nominal Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - 1.8m High Solid Timber Fence
 - 1.5m High Solid Timber Fence
 - Preferred Garage Location
 - Preferred Single Garage Location
 - Letterbox Location for Primary Dwelling (on a laneway)
 - Lot Impacted by Potential Acoustic Requirements
 - Bin Pad

Notes:

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 - Secondary dwellings are not permitted on lots less than 400m².
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 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that have a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

Fencing

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m *	0.0m *	1.5m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	1.0m *	1.5m *	0.9m *	0.9m *	0.9m *	0.9m *	1.0m *	1.0m *	1.0m *	1.5m *	1.0m *	1.5m *	1.5m *	2.0m *	1.5m *	2.0m *	1.5m *	1.5m *	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		

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Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

Scale 1 : 750 @ A1



- ### Retaining Walls
- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.

- ### Building Articulation
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

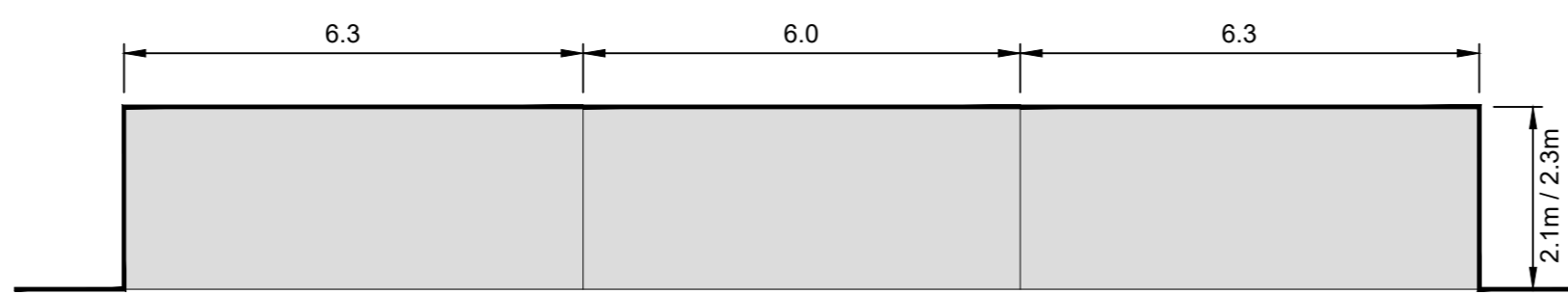
- ### Slope and Building Footings
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

- ### Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screened from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

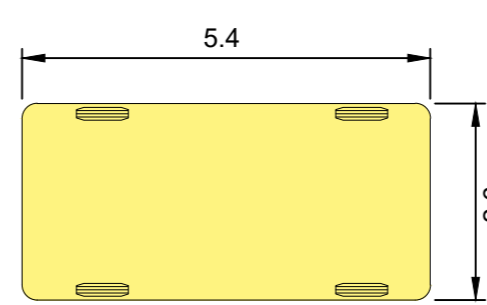
- ### Additional Criteria for Secondary Dwellings
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions
Laneway Allotment - Allotments serviced by a laneway.

REVISION AH: 25/04/2023 Stage 4 Layout Changes AJ: 08/08/2023 Stage 5 Basin Change AK: 12/02/2024 Stage SR Layout Change AL: 15/08/2024 Stage 4 Layout Change AM: 23/08/2024 Stage 4 Layout Change AN: 27/09/2024 Stage 4 Layout Change AO: 07/02/2025 Site Cover Definition Included AP: 14/05/2025 Stage 3 and 4 Layout Change AQ: 04/07/2025 Stage 4 Layout Change AR: 25/07/2025 Incorporation of Stage 4 PMTs AS: 18/08/2025 Stage 4 Updates	PROJECT Flagstone Precinct 1		CLIENT PEET		PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DEV2012/403/303 Date: 30 October 2025			URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com				
	Job Ref. 110056	Date. 18 August 2025	Plan of Development Stage 2H – 2J Residential Allotments						Scale 1 : 750	Sheet A1	Plan Ref 110056 – 380	Rev AS
	Comp By. JC	DWG Name. Precinct 1 Stage 2										
	Chk'd By. MD	Locality. Flagstone										
Local Authority. Economic Development Queensland												



Typical Indented Parking Bay Arrangement
(In accordance with AS2890)
Scale 1 : 100



Parking Bay Diagram
Scale 1 : 100

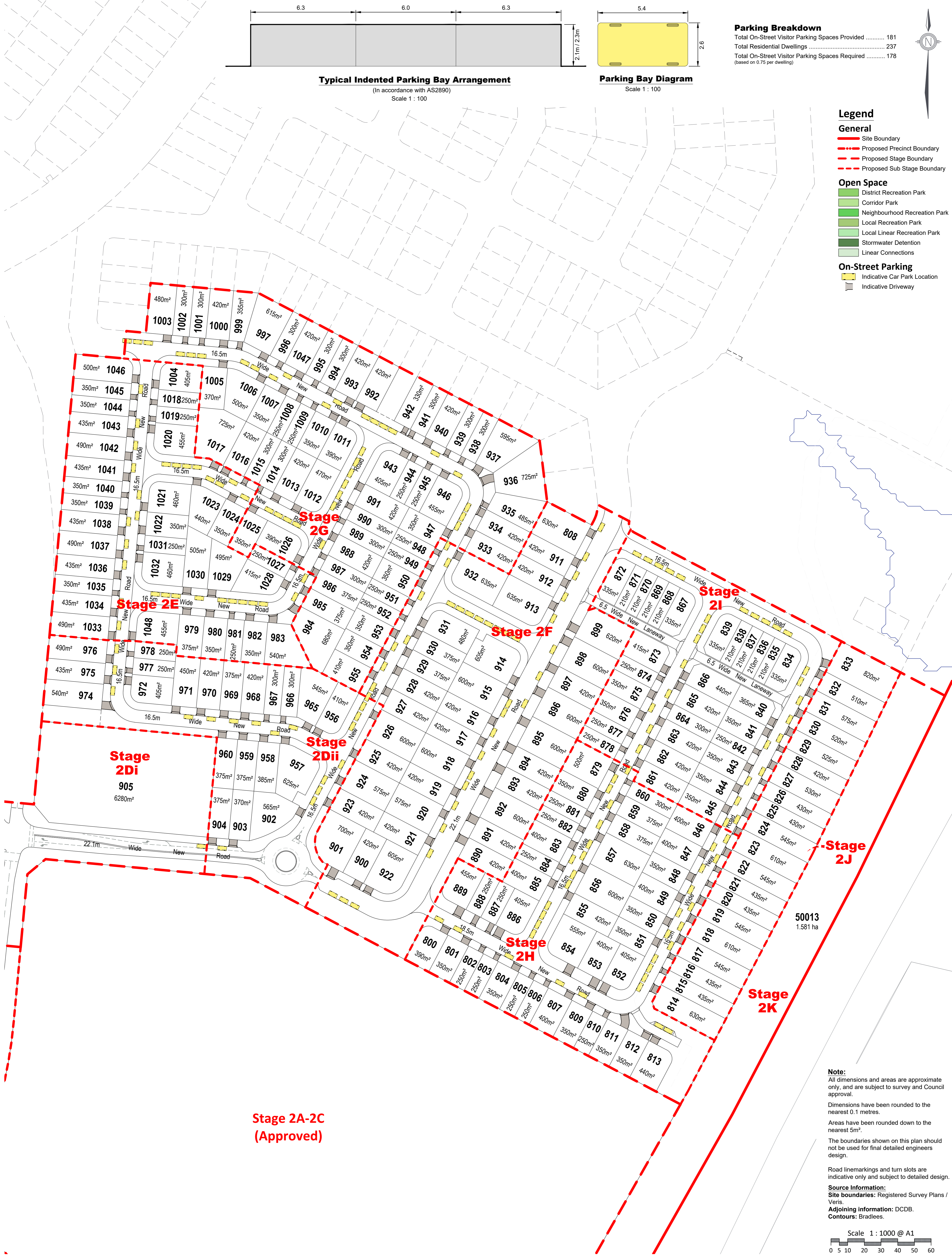
Parking Breakdown

Total On-Street Visitor Parking Spaces Provided 181
Total Residential Dwellings 237
Total On-Street Visitor Parking Spaces Required 178
(based on 0.75 per dwelling)



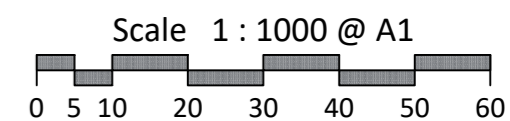
Legend

- General**
- Site Boundary
 - - - Proposed Precinct Boundary
 - - - Proposed Stage Boundary
 - - - Proposed Sub Stage Boundary
- Open Space**
- District Recreation Park
 - Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- On-Street Parking**
- Indicative Car Park Location
 - Indicative Driveway



**Stage 2A-2C
(Approved)**

Note:
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Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.



REVISION
AH: 25/04/2023 Stage 4 Layout Changes
AI: 08/08/2023 Stage 5 Basin Change
AJ: 12/02/2024 Stage 5R Layout Change
AK: 15/08/2024 Stage 4 Layout Change
AL: 23/08/2024 Stage 4 Layout Change
AM: 27/09/2024 Stage 4 Layout Change
AN: 29/11/2024 Stage 4 Layout Change
AO: 07/02/2025 Site Cover Definition Included
AP: 14/05/2025 Stage 3 and 4 Layout Change
AQ: 04/07/2025 Stage 4 Layout Change
AR: 25/07/2025 Incorporation of Stage 4 PMTs
AS: 18/08/2025 Stage 4 Updates

PROJECT		CLIENT	
Flagstone Precinct 1		PEET	
Job Ref. 110056	Date. 18 August 2025		
Comp By. NF	DWG Name. Precinct 1 Stage 2		
Chk'd By. MD	Locality. Flagstone		
Local Authority. Economic Development Queensland			

PEET

Plan of Development
Stage 2 Overall
Parking Management Plan

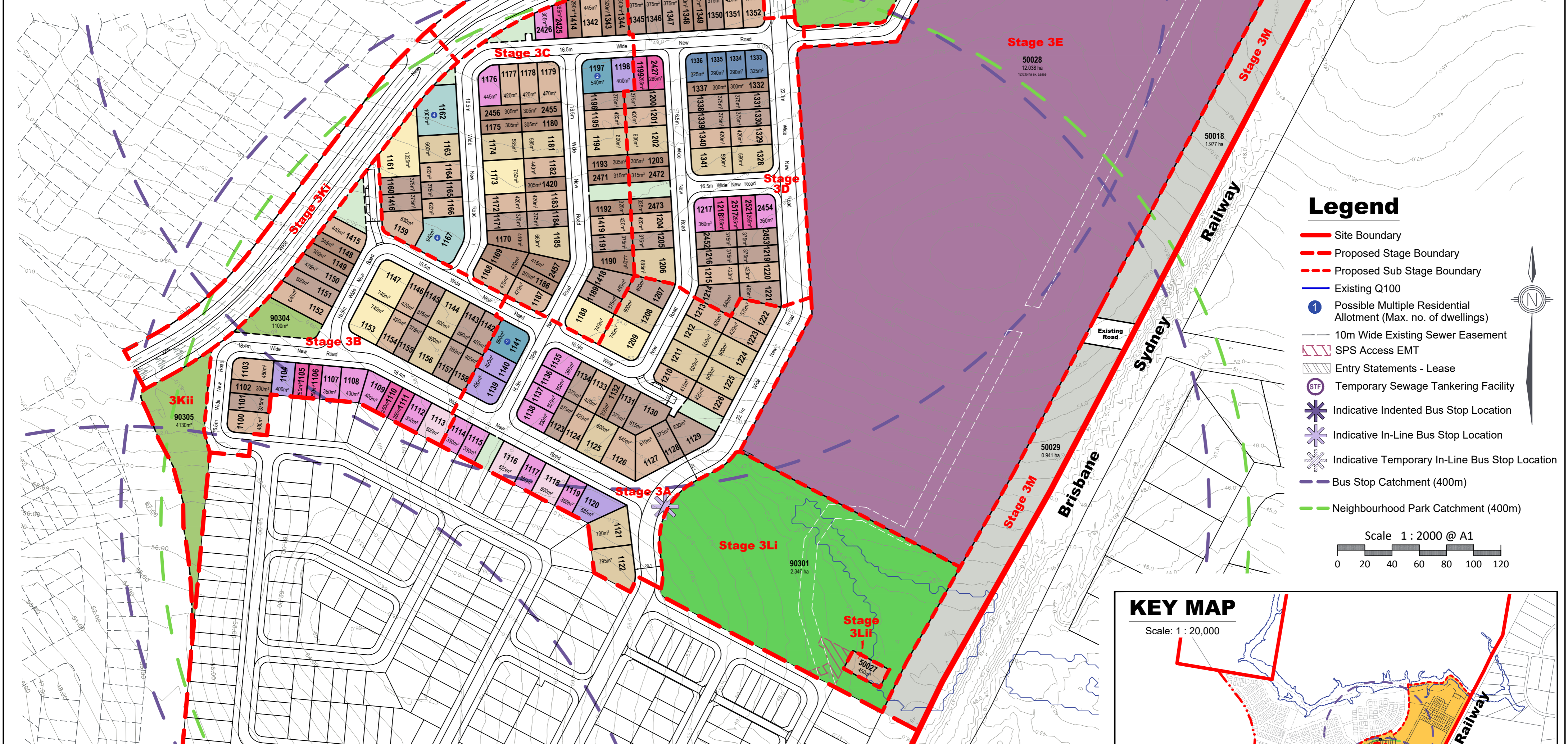
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025

rps	URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com
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Scale 1 : 1000	Sheet A1
Plan Ref 110056 - 381	Rev AS

Yield Breakdown Stage 3																		
Residential Allotments	Typical Size	Typical Area	Stage 3A	Stage 3B	Stage 3C	Stage 3D	Stage 3E	Stage 3F	Stage 3Fi	Stage 3G	Stage 3H	Stage 3I	Stage 3J	Stage 3K	Stage 3L	Stage 3M	Overall	
Urban & Nano Allotments Product																	0.0%	
Urban Loft	4.7 x 11.5m	50m ²															0.0%	
Urban Allotments	7.5 x 16m	120m ²															0.0%	
Urban Terrace	6.2 x 27.5m	170m ²															0.0%	
Subtotal																	0.0%	
16m Deep Product																		
Squat Allotment	14 x 16m	220m ²				4											1.7%	
Subtotal						4											1.7%	
25m Deep Product																		
Villa Allotment	10 x 25m	250m ²		4	1	5											10	4.3%
Premium Villa Allotment	12.5 x 25m	313m ²																0.0%
Courtyard Allotment	14 x 25m	350m ²	8	4	2	2											16	6.9%
Premium Courtyard Allotment	16 x 25m	400m ²	3	1	1												6	2.6%
Premium Traditional Allotment	20 x 25m	500m ²	2	1					1								4	1.7%
Possible Multiple Residential Allotment			1		1				1								3	1.3%
Subtotal			14	10	5	7			3								39	16.7%
28m - 30m Deep Product																		
Terrace 7.5m Allotment	7.5 x 28m	210m ²																0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m ²																0.0%
Subtotal																		0.0%
30m Deep Product																		
Villa Allotment	10 x 30m	300m ²	1	3	16	7			2	3	3						35	15.0%
Premium Villa Allotment	12.5 x 30m	375m ²	7	9	9	16			14	6	5						66	28.3%
Courtyard Allotment	14 x 30m	420m ²	9	6	14	8			8	6	2						53	22.7%
Traditional Allotment	20 x 30m	600m ²	8	2	5	4			3	5							27	11.6%
Premium Traditional Allotment	25 x 30m	720m ²	1	2	3				3	1							7	3.0%
Possible Multiple Residential Allotment					2												2	0.9%
Subtotal			26	22	49	35			27	21	10						190	81.5%
Total Residential Allotments			40	32	54	46			30	21	10						233	100%
Residential Net Density			14.5 dw/ha	13.4 dw/ha	16.1 dw/ha	19.6 dw/ha			14.3 dw/ha	15.4 dw/ha	24.8 dw/ha						12.9 dw/ha	
Super Lots																		
Balance Super Allotments																	2	2
Manufactured Home Estate Allotment																	1	1
Sub Total																	2	3
Utilities																		
Sewer Pump Station																	1	1
Sub Total																	1	2
Total Allotments			40	32	54	46	1		30	21	10				1	2	238	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			41	32	61	46			31	21	10						242	
Maximum Potential Net Residential Density			14.9 dw/ha	13.4 dw/ha	18.2 dw/ha	19.6 dw/ha			14.8 dw/ha	15.4 dw/ha	24.8 dw/ha						13.4 dw/ha	

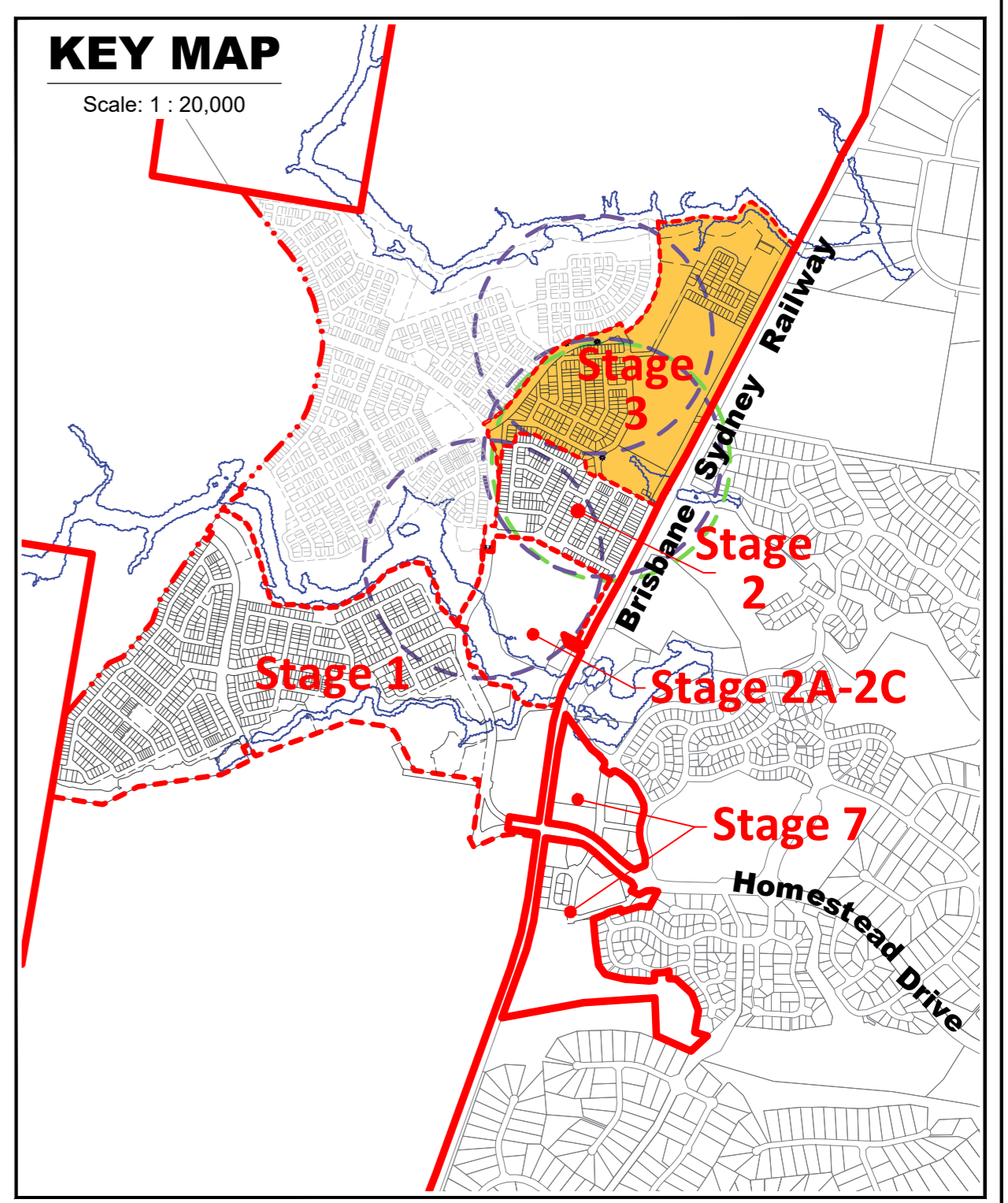
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Source Information:
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 Adjoining information: DCDB.
 Contours: Bradlees.



Legend

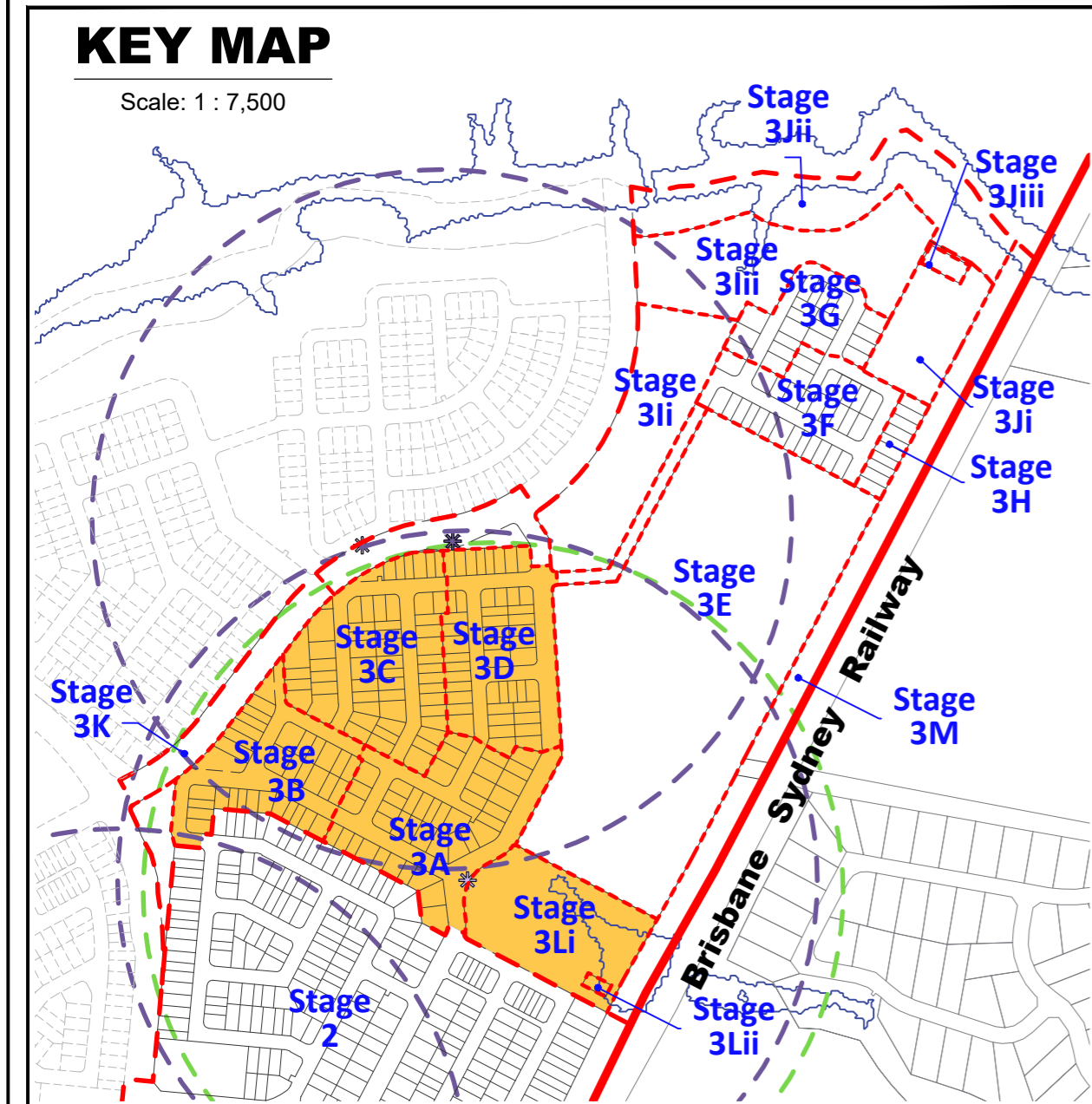
- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement
- SPS Access EMT
- Entry Statements - Lease
- Temporary Sewage Tankering Facility
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Scale 1 : 2000 @ A1

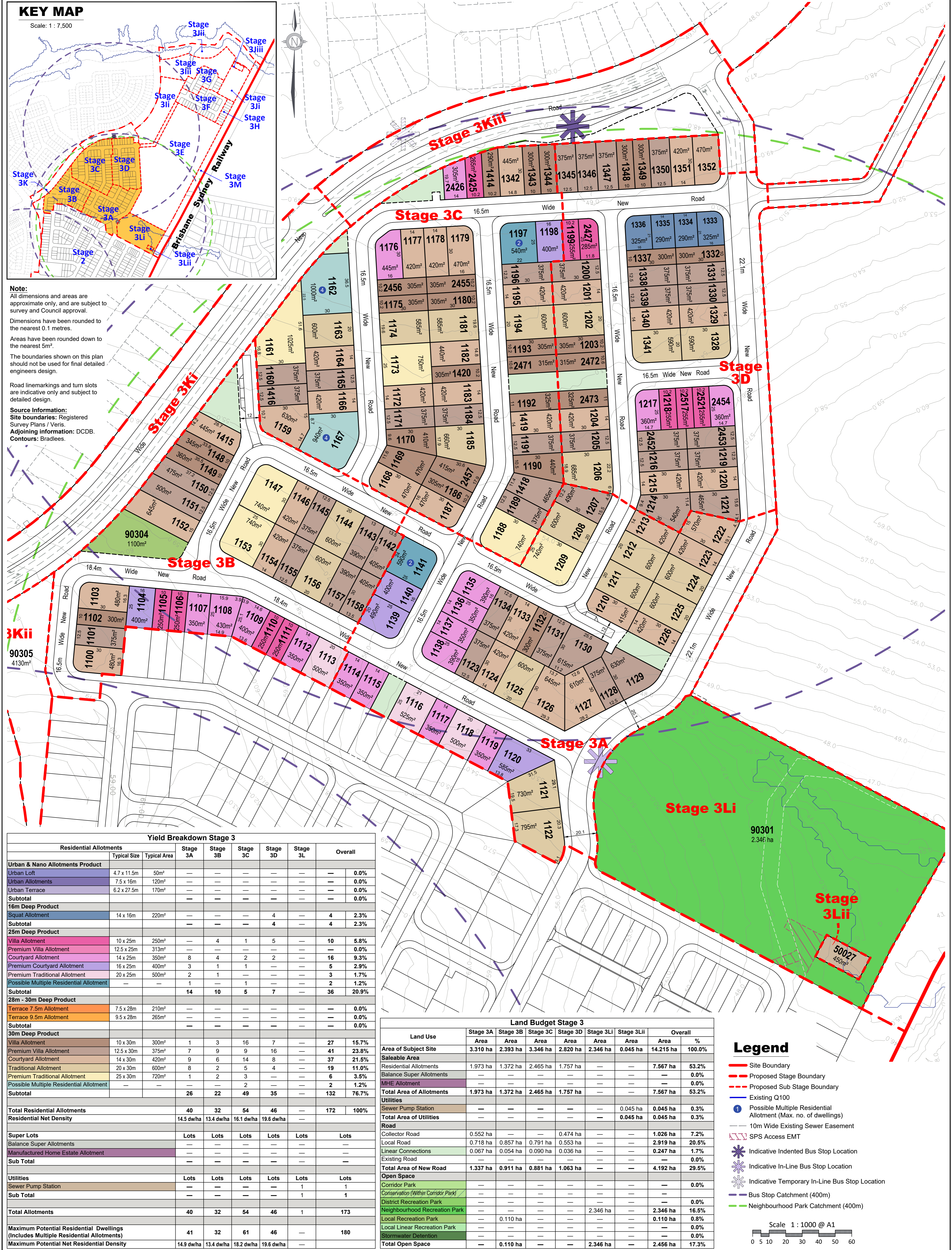


Land Budget Stage 3																						
Land Use	Stage 3A	Stage 3B	Stage 3C	Stage 3D	Stage 3E	Stage 3F	Stage 3Fi	Stage 3G	Stage 3H	Stage 3I	Stage 3Ji	Stage 3Jii	Stage 3Jiii	Stage 3K	Stage 3Ki	Stage 3Kii	Stage 3Kiii	Stage 3L	Stage 3Li	Stage 3M	Overall	
	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	3.310 ha	2.393 ha	3.346 ha	1.757 ha	12.038 ha	0.410 ha	2.096 ha	1.365 ha	0.403 ha	2.740 ha	2.908 ha	1.312 ha	2.694 ha	0.117 ha	1.065 ha	0.413 ha	1.109 ha	2.346 ha	0.045 ha	2.982 ha	45.912 ha	100.0%
Saleable Area																						
Residential Allotments	1.973 ha	1.372 ha	2.465 ha	1.757 ha	12.038 ha	0.410 ha	2.096 ha	1.365 ha	0.403 ha	2.740 ha	2.908 ha	1.312 ha	2.694 ha	0.117 ha	1.065 ha	0.413 ha	1.109 ha	2.346 ha	0.045 ha	2.982 ha	10.219 ha	22.3%
Balance Super Allotments																					2.919 ha	6.4%
MHE Allotment					12.038 ha																12.038 ha	26.2%
Total Area of Allotments	1.973 ha	1.372 ha	2.465 ha	1.757 ha	12.038 ha	0.410 ha	2.096 ha	1.365 ha	0.403 ha	2.740 ha	2.908 ha	1.312 ha	2.694 ha	0.117 ha	1.065 ha	0.413 ha	1.109 ha	2.346 ha	0.045 ha	2.919 ha	25.176 ha	54.8%
Utilities																						
Sewer Pump Station																					0.162 ha	0.4%
Total Area of Utilities																					0.162 ha	0.4%
Road																						
Collector Road	0.552 ha		0.474 ha											1.065 ha			0.974 ha				3.065 ha	6.7%
Local Road	0.718 ha	0.857 ha	0.791 ha	0.563 ha		0.410 ha	0.766 ha	0.416 ha									0.135 ha				4.511 ha	9.8%
Linear Connections	0.067 ha	0.054 ha	0.090 ha	0.036 ha																	0.412 ha	0.9%
Existing Road																					0.063 ha	0.1%
Total Area of New Road	1.337 ha	0.911 ha	0.881 ha	1.063 ha		0.410 ha	0.796 ha	0.416 ha						1.065 ha			1.109 ha			0.063 ha	8.051 ha	17.5%
Open Space																						
Corridor Park										1.312 ha	2.694 ha										4.006 ha	8.7%
Conservation (Within Corridor Park)											2.650 ha										2.650 ha	
District Recreation Park										2.740 ha	2.908 ha										5.648 ha	12.3%
Neighbourhood Recreation Park																					2.346 ha	5.1%
Local Recreation Park		0.110 ha																			0.523 ha	1.1%
Local Linear Recreation Park																						0.0%
Stormwater Detention																						0.0%
Total Open Space		0.110 ha								2.740 ha	2.908 ha	1.312 ha	2.694 ha			0.413 ha				2.346 ha	12.623 ha	27.3%

REVISION AH: 25/04/2023 Stage 4 Layout Changes AJ: 08/08/2023 Stage 5 Basin Change AK: 12/02/2024 Stage 5R Layout Change AL: 15/08/2024 Stage 4 Layout Change AM: 23/08/2024 Stage 4 Layout Change AN: 27/09/2024 Stage 4 Layout Change AO: 29/11/2024 Stage 4 Layout Change AP: 07/02/2025 Site Cover Definition Included AQ: 14/05/2025 Stage 3 and 4 Layout Change AR: 04/07/2025 Stage 4 Layout Change AS: 25/07/2025 Incorporation of Stage 4 PMTs AT: 18/08/2025 Stage 4 Updates	PROJECT Flagstone Precinct 1 Job Ref. 110056 Date. 18 August 2025 Comp By. NF DWG Name. Precinct 1 Stage 3 Chk'd By. MD Locality. Flagstone Local Authority. Economic Development Queensland	CLIENT PEET Plan of Subdivision Stage 3 Overall Allotment Layout	PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DEV2012/403/303 Date: 30 October 2025			URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 2539 9500 W rpsgroup.com
Scale 1 : 2000	Sheet A1	Plan Ref 110056 - 382	Rev AS			



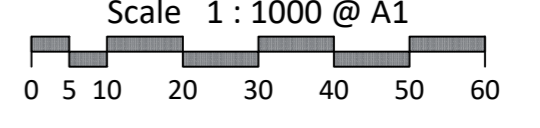
Note:
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 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
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 Road line markings and turn slots are indicative only and subject to detailed design.
Source Information:
 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB.
 Contours: Bradlees.



Residential Allotments	Typical Size	Typical Area	Stage					Overall
			3A	3B	3C	3D	3L	
Urban & Nano Allotments Product								
Urban Loft	4.7 x 11.5m	50m ²	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	—	—	0.0%
Subtotal								0.0%
16m Deep Product								
Squat Allotment	14 x 16m	220m ²	—	—	—	4	4	2.3%
Subtotal								2.3%
25m Deep Product								
Villa Allotment	10 x 25m	250m ²	—	4	1	5	10	5.8%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	8	4	2	2	16	9.3%
Premium Courtyard Allotment	16 x 25m	400m ²	3	1	1	—	5	2.9%
Premium Traditional Allotment	20 x 25m	500m ²	2	1	—	—	3	1.7%
Possible Multiple Residential Allotment	—	—	1	—	1	—	2	1.2%
Subtotal			14	10	5	7	36	20.9%
28m - 30m Deep Product								
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	—	0.0%
Subtotal								0.0%
30m Deep Product								
Villa Allotment	10 x 30m	300m ²	1	3	16	7	27	15.7%
Premium Villa Allotment	12.5 x 30m	375m ²	7	9	16	—	41	23.8%
Courtyard Allotment	14 x 30m	420m ²	9	6	14	8	37	21.5%
Traditional Allotment	20 x 30m	600m ²	8	2	5	4	19	11.0%
Premium Traditional Allotment	25 x 30m	720m ²	1	2	3	—	6	3.5%
Possible Multiple Residential Allotment	—	—	—	—	2	—	2	1.2%
Subtotal			26	22	49	35	132	76.7%
Total Residential Allotments			40	32	54	46	172	100%
Residential Net Density			14.5 dw/ha	13.4 dw/ha	16.1 dw/ha	19.6 dw/ha		
Super Lots								
Balance Super Allotments			Lots	Lots	Lots	Lots	Lots	Lots
Manufactured Home Estate Allotment			—	—	—	—	—	—
Sub Total								
Utilities								
Sewer Pump Station			Lots	Lots	Lots	Lots	Lots	Lots
Sub Total								
Total Allotments			40	32	54	46	1	173
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			41	32	61	46	—	180
Maximum Potential Net Residential Density			14.9 dw/ha	13.4 dw/ha	18.2 dw/ha	19.6 dw/ha		

Land Use	Stage 3A	Stage 3B	Stage 3C	Stage 3D	Stage 3Li	Stage 3Lii	Overall
Area of Subject Site	3.310 ha	2.393 ha	3.346 ha	2.820 ha	2.346 ha	0.045 ha	14.215 ha
Saleable Area							100.0%
Residential Allotments	1.973 ha	1.372 ha	2.465 ha	1.757 ha	—	—	7.567 ha 53.2%
Balance Super Allotments	—	—	—	—	—	—	0.0%
MHE Allotment	—	—	—	—	—	—	0.0%
Total Area of Allotments	1.973 ha	1.372 ha	2.465 ha	1.757 ha	—	—	7.567 ha 53.2%
Utilities							
Sewer Pump Station	—	—	—	—	0.045 ha	—	0.045 ha 0.3%
Total Area of Utilities	—	—	—	—	0.045 ha	—	0.045 ha 0.3%
Road							
Collector Road	0.552 ha	—	—	0.474 ha	—	—	1.026 ha 7.2%
Local Road	0.718 ha	0.857 ha	0.791 ha	0.553 ha	—	—	2.919 ha 20.5%
Linear Connections	0.067 ha	0.054 ha	0.090 ha	0.036 ha	—	—	0.247 ha 1.7%
Existing Road	—	—	—	—	—	—	0.0%
Total Area of New Road	1.337 ha	0.911 ha	0.881 ha	1.063 ha	—	—	4.192 ha 29.5%
Open Space							
Corridor Park	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	2.346 ha	—	2.346 ha 16.5%
Local Recreation Park	—	0.110 ha	—	—	—	—	0.110 ha 0.8%
Local Linear Recreation Park	—	—	—	—	—	—	0.0%
Stormwater Detention	—	0.110 ha	—	—	—	—	0.110 ha 0.8%
Total Open Space	—	0.110 ha	—	—	2.346 ha	—	2.456 ha 17.3%

- Legend**
- Site Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Existing Q100
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - 10m Wide Existing Sewer Easement
 - SPS Access EMT
 - Indicative Indented Bus Stop Location
 - Indicative In-Line Bus Stop Location
 - Indicative Temporary In-Line Bus Stop Location
 - Bus Stop Catchment (400m)
 - Neighbourhood Park Catchment (400m)



REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change		
AK: 15/08/2024 Stage 4 Layout Change		
AL: 23/08/2024 Stage 4 Layout Change		
AM: 27/09/2024 Stage 4 Layout Change		
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AP: 14/05/2025 Stage 3 and 4 Layout Change		
AQ: 04/07/2025 Stage 4 Layout Change		
AR: 25/07/2025 Incorporation of Stage 4 PMTs		
AS: 18/08/2025 Stage 4 Updates		

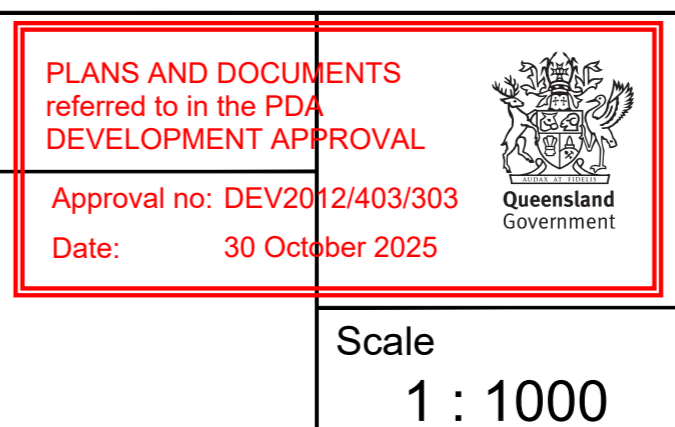
Job Ref.	110056	Date.	18 August 2025
Comp By.	NF	DWG Name.	Precinct 1 Stage 3
Chk'd By.	MD	Locality.	Flagstone
Local Authority.	Economic Development Queensland		

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

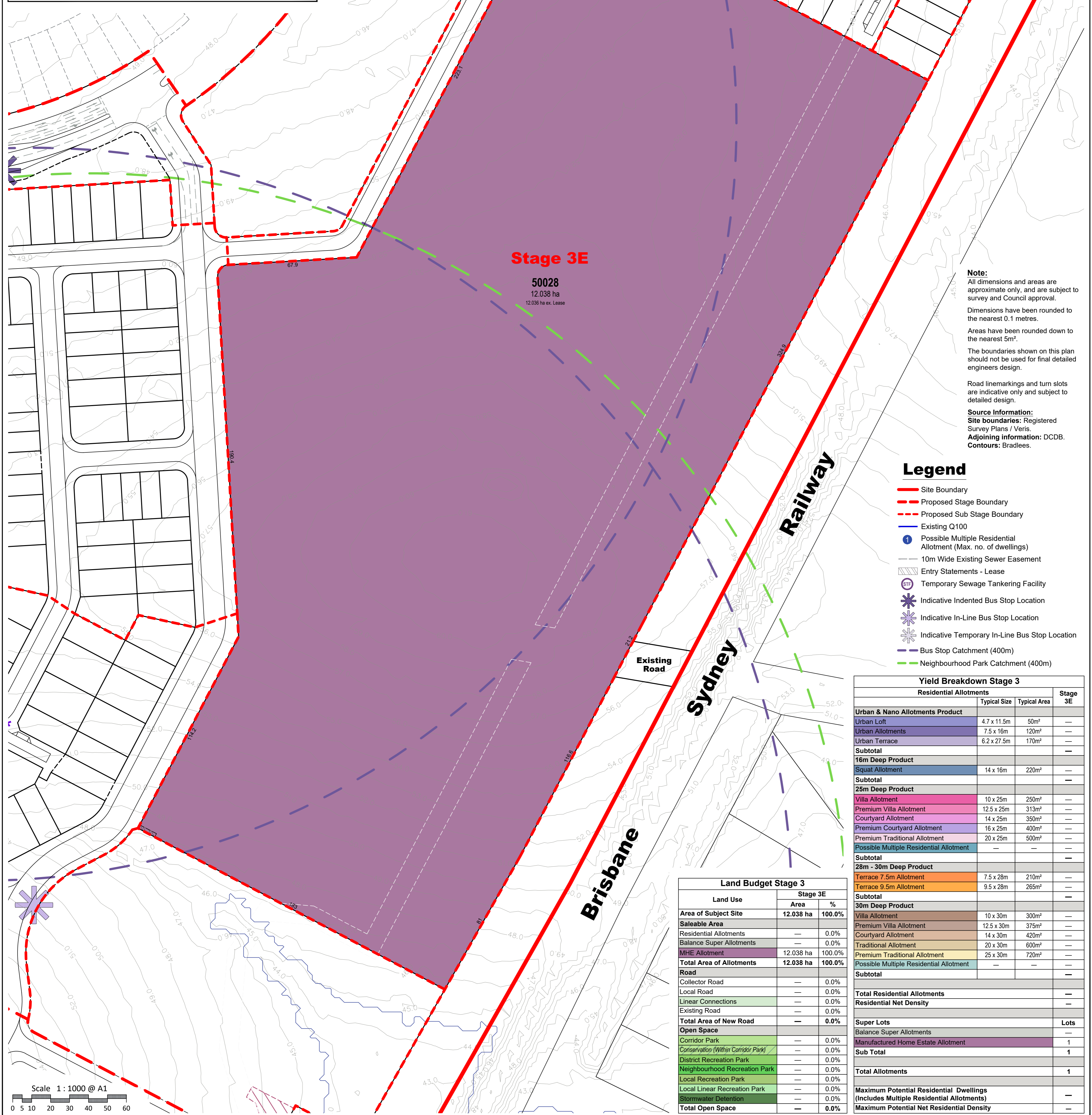
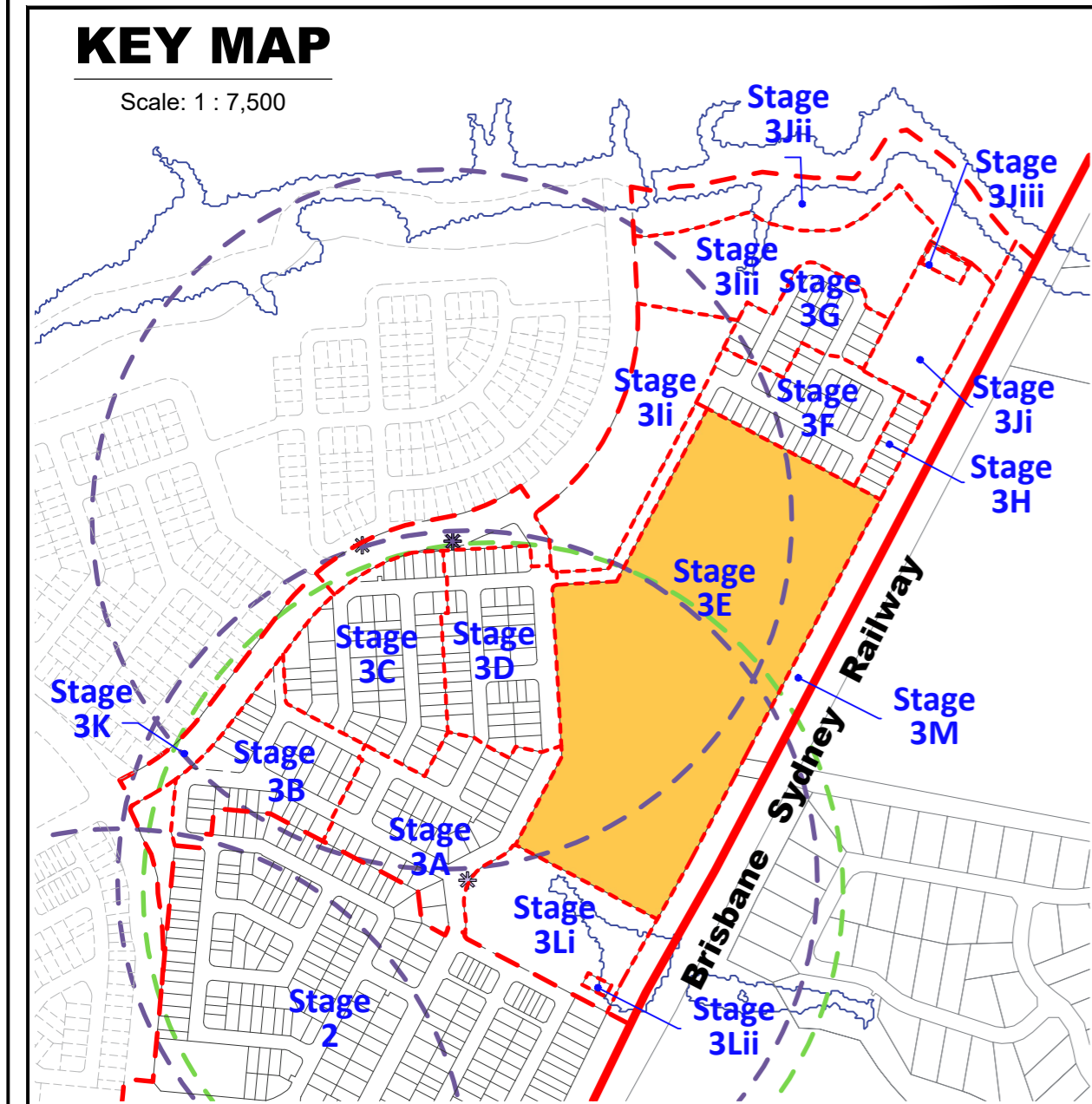
Approval no: DEV2024/03/303

Date: 30 October 2025

Plan of Subdivision Stage 3A – 3D & 3L Allotment Layout



Scale	1 : 1000	Sheet	A1	Plan Ref	110056 – 383	Rev	AS
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Stage 3E
 50028
 12.038 ha
 12.038 ha ex. Lease

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 Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB.
 Contours: Bradlees.

Legend

- Site Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing Q100
- ① Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement
- Entry Statements - Lease
- ⊙ Temporary Sewage Tankering Facility
- ⊙ Indicative Indented Bus Stop Location
- ⊙ Indicative In-Line Bus Stop Location
- ⊙ Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Yield Breakdown Stage 3

Residential Allotments				Stage 3E
	Typical Size	Typical Area		
Urban & Nano Allotments Product				
Urban Loft	4.7 x 11.5m	50m ²		—
Urban Allotments	7.5 x 16m	120m ²		—
Urban Terrace	6.2 x 27.5m	170m ²		—
Subtotal				—
16m Deep Product				
Squat Allotment	14 x 16m	220m ²		—
Subtotal				—
25m Deep Product				
Villa Allotment	10 x 25m	250m ²		—
Premium Villa Allotment	12.5 x 25m	313m ²		—
Courtyard Allotment	14 x 25m	350m ²		—
Premium Courtyard Allotment	16 x 25m	400m ²		—
Premium Traditional Allotment	20 x 25m	500m ²		—
Possible Multiple Residential Allotment	—	—		—
Subtotal				—
28m - 30m Deep Product				
Terrace 7.5m Allotment	7.5 x 28m	210m ²		—
Terrace 9.5m Allotment	9.5 x 28m	265m ²		—
Subtotal				—
30m Deep Product				
Villa Allotment	10 x 30m	300m ²		—
Premium Villa Allotment	12.5 x 30m	375m ²		—
Courtyard Allotment	14 x 30m	420m ²		—
Traditional Allotment	20 x 30m	600m ²		—
Premium Traditional Allotment	25 x 30m	720m ²		—
Possible Multiple Residential Allotment	—	—		—
Subtotal				—
Total Residential Allotments				—
Residential Net Density				—
Super Lots				
Balance Super Allotments				—
Manufactured Home Estate Allotment				1
Sub Total				1
Total Allotments				1
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)				—
Maximum Potential Net Residential Density				—

Land Budget Stage 3

Land Use	Stage 3E	
	Area	%
Area of Subject Site	12.038 ha	100.0%
Saleable Area		
Residential Allotments	—	0.0%
Balance Super Allotments	—	0.0%
MHE Allotment	12.038 ha	100.0%
Total Area of Allotments	12.038 ha	100.0%
Road		
Collector Road	—	0.0%
Local Road	—	0.0%
Linear Connections	—	0.0%
Existing Road	—	0.0%
Total Area of New Road	—	0.0%
Open Space		
Corridor Park	—	0.0%
Conservation (Within Corridor Park)	—	0.0%
District Recreation Park	—	0.0%
Neighbourhood Recreation Park	—	0.0%
Local Recreation Park	—	0.0%
Local Linear Recreation Park	—	0.0%
Stormwater Detention	—	0.0%
Total Open Space	—	0.0%

REVISION

AH: 25/04/2023 Stage 4 Layout Changes
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PROJECT

Flagstone Precinct 1

Job Ref.	110056	Date.	18 August 2025
Comp By.	NF	DWG Name.	Precinct 1 Stage 3
Chk'd By.	MD	Locality.	Flagstone
Local Authority.			

CLIENT

PEET

Plan of Subdivision
 Stage 3E
 Allotment Layout

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
 Date: 30 October 2025

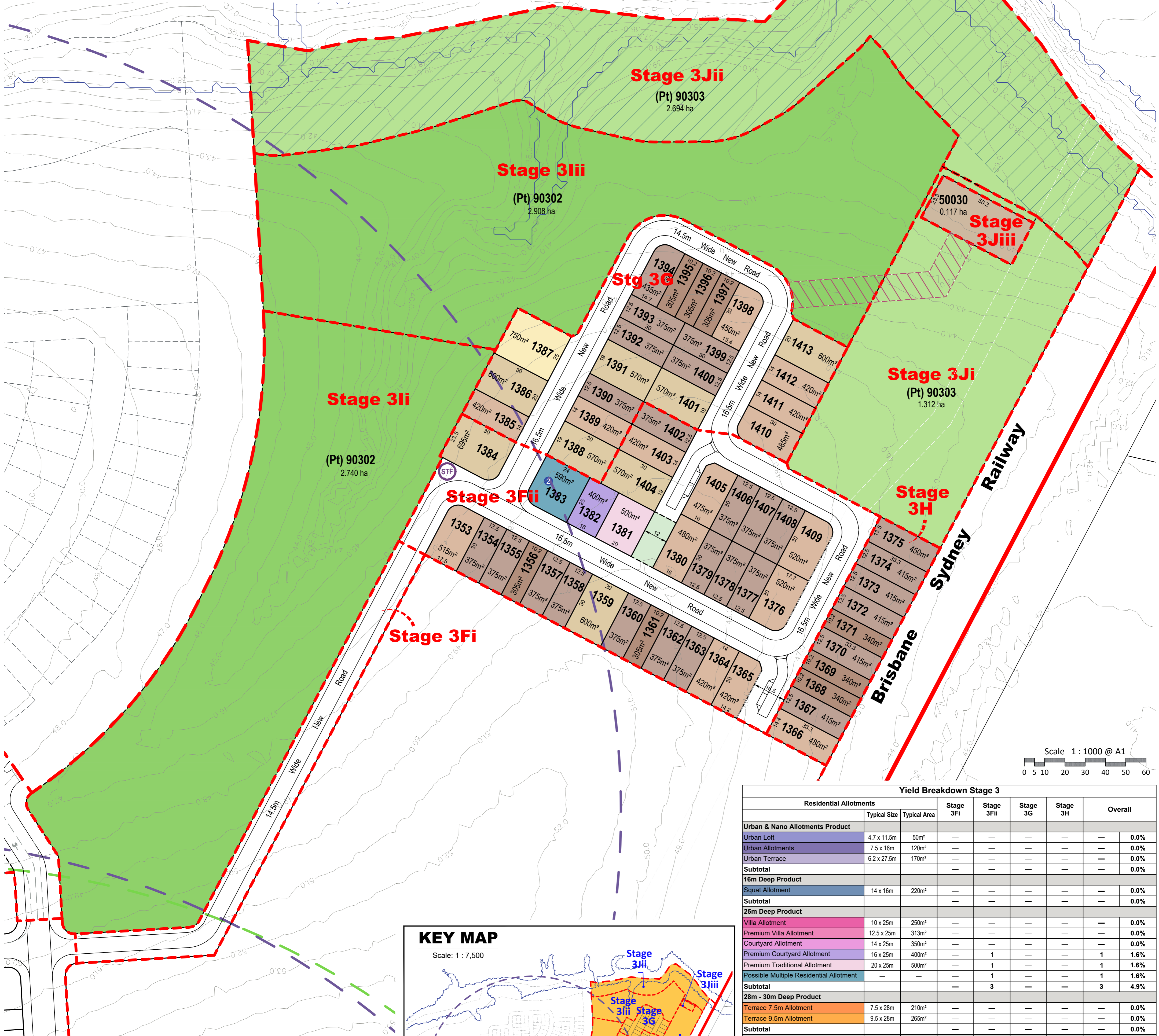
Queensland Government

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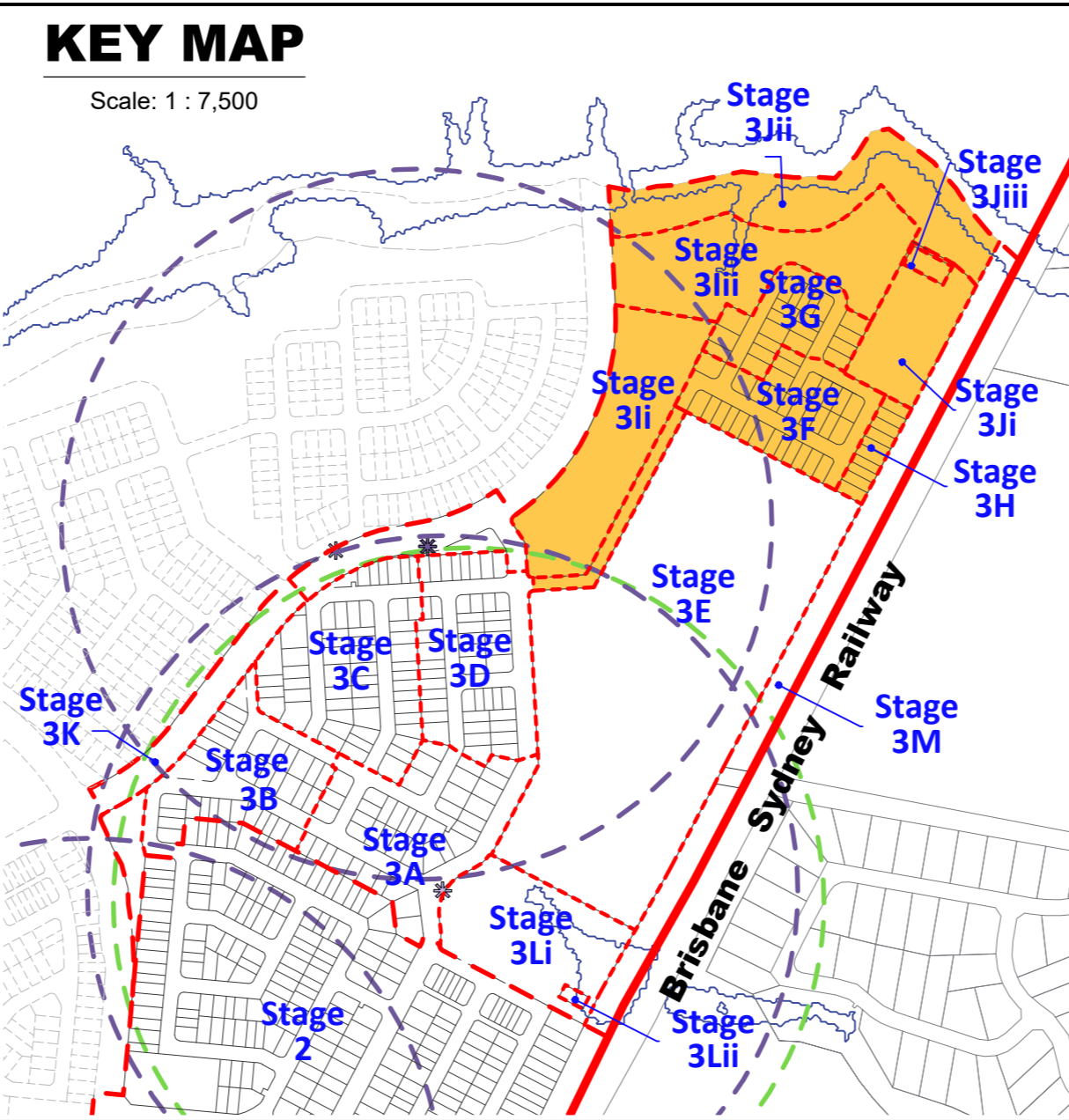
Land Use	Land Budget Stage 3										Overall
	Stage 3Fi	Stage 3Fii	Stage 3G	Stage 3H	Stage 3Ii	Stage 3Iii	Stage 3Ji	Stage 3Jii	Stage 3Jiii	Overall	
Area of Subject Site	0.410 ha	2.096 ha	1.365 ha	0.403 ha	2.740 ha	2.908 ha	1.312 ha	2.694 ha	0.117 ha	14.045 ha	100.0%
Saleable Area											
Residential Allotments	—	1 300 ha	0 949 ha	0 403 ha	—	—	—	—	—	2 652 ha	18.9%
Balance Super Allotments	—	—	—	—	—	—	—	—	—	—	0.0%
MHE Allotment	—	—	—	—	—	—	—	—	—	—	0.0%
Total Area of Allotments	—	1 300 ha	0 949 ha	0 403 ha	—	—	—	—	—	2 652 ha	18.9%
Utilities											
Sewer Pump Station	—	—	—	—	—	—	—	—	0.117 ha	0.117 ha	0.8%
Total Area of Utilities	—	—	—	—	—	—	—	—	0.117 ha	0.117 ha	0.8%
Road											
Collector Road	—	—	—	—	—	—	—	—	—	—	0.0%
Local Road	0.410 ha	0.766 ha	0.416 ha	—	—	—	—	—	—	1.592 ha	11.3%
Linear Connections	—	0.030 ha	—	—	—	—	—	—	—	0.030 ha	0.2%
Existing Road	—	—	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	0.410 ha	0.796 ha	0.416 ha	—	—	—	—	—	—	1.622 ha	11.5%
Open Space											
Corridor Park	—	—	—	—	—	—	1.312 ha	2.694 ha	—	4.006 ha	28.5%
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	2.650 ha	—	2.650 ha	18.9%
District Recreation Park	—	—	—	—	2.740 ha	2.908 ha	—	—	—	5.648 ha	40.2%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	2.740 ha	2.908 ha	1.312 ha	2.694 ha	—	9.654 ha	68.7%
Total Open Space	—	—	—	—	2.740 ha	2.908 ha	1.312 ha	2.694 ha	—	9.654 ha	68.7%



Legend

- Site Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing Q100
- ① Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement
- Ⓢ SPS Access EMT
- Ⓢ Temporary Sewage Tankering Facility
- Ⓢ Indicative Indented Bus Stop Location
- Ⓢ Indicative In-Line Bus Stop Location
- Ⓢ Indicative Temporary In-Line Bus Stop Location
- Ⓢ Bus Stop Catchment (400m)
- Ⓢ Neighbourhood Park Catchment (400m)

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Yield Breakdown Stage 3								
Residential Allotments	Typical Size	Typical Area	Stage 3Fi	Stage 3Fii	Stage 3G	Stage 3H	Overall	
			Urban & Nano Allotments Product	Urban Loft	4.7 x 11.5m	50m ²		—
Urban Allotments	Urban Terrace	7.5 x 16m	120m ²	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	—	—	0.0%
Subtotal								0.0%
16m Deep Product								
Squat Allotment	14 x 16m	220m ²	—	—	—	—	—	0.0%
Subtotal								0.0%
25m Deep Product								
Villa Allotment	10 x 25m	250m ²	—	—	—	—	—	0.0%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	—	—	—	—	—	0.0%
Premium Courtyard Allotment	16 x 25m	400m ²	—	1	—	—	1	1.6%
Premium Traditional Allotment	20 x 25m	500m ²	—	1	—	—	1	1.6%
Possible Multiple Residential Allotment	—	—	—	1	—	—	1	1.6%
Subtotal				3	—	—	3	4.9%
28m - 30m Deep Product								
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	—	0.0%
Subtotal								0.0%
30m Deep Product								
Villa Allotment	10 x 30m	300m ²	—	2	3	3	8	13.1%
Premium Villa Allotment	12.5 x 30m	375m ²	—	14	6	5	25	41.0%
Courtyard Allotment	14 x 30m	420m ²	—	8	6	2	16	26.2%
Traditional Allotment	20 x 30m	600m ²	—	3	5	—	8	13.1%
Premium Traditional Allotment	25 x 30m	720m ²	—	—	1	—	1	1.6%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	0.0%
Subtotal				27	21	10	58	95.1%
Total Residential Allotments				30	21	10	61	100%
Residential Net Density				14.3 dw/ha	15.4 dw/ha	24.8 dw/ha		
Super Lots				Lots	Lots	Lots	Lots	Lots
Balance Super Allotments	—	—	—	—	—	—	—	—
Manufactured Home Estate Allotment	—	—	—	—	—	—	—	—
Sub Total								
Total Allotments				30	21	10	61	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)				31	21	10	62	
Maximum Potential Net Residential Density				14.8 dw/ha	15.4 dw/ha	24.8 dw/ha		

REVISION	PROJECT
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CLIENT	CLIENT
Job Ref. 110056	Date. 18 August 2025
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Chk'd By. MD	Locality. Flagstone
Local Authority. Economic Development Queensland	

PEET

Plan of Subdivision
 Stage 3F – 3J
 Allotment Layout

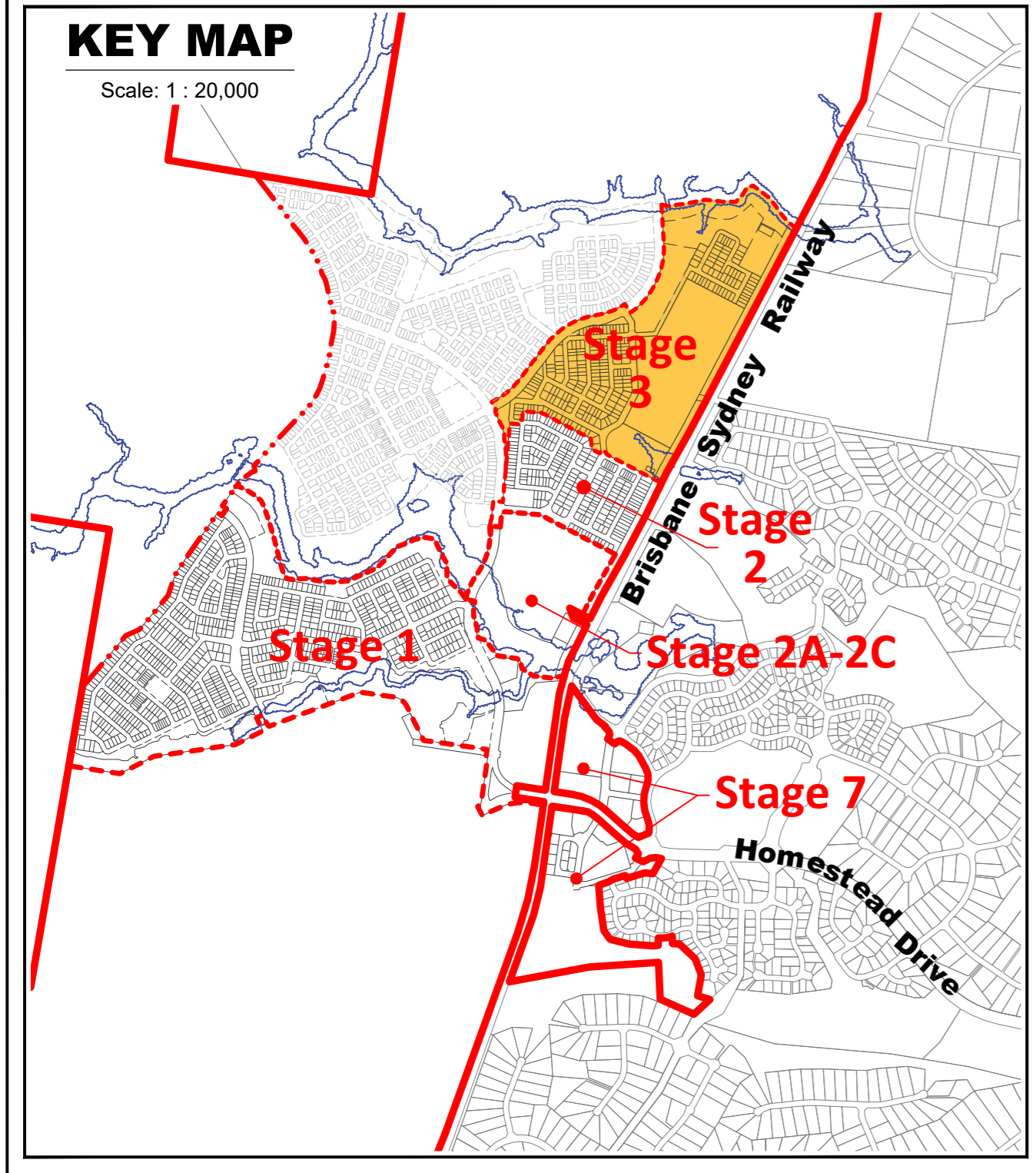
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
 Date: 30 October 2025

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Scale 1 : 1000	Sheet A1	Plan Ref 110056 - 385	Rev AS
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Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courttyard Allotments		Premium Courttyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	2.0m*	2.0m*	1.5m*	1.5m*	1.5m*	
* Additional setback required on some allotments - refer POD Notes 14-16.																										
Side - General Lots																										
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a	
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
Laneway Lots																										
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		75%	

- Legend**
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - 10m Wide Existing Sewer Easement
 - Temporary Sewage Tanking Facility
- Open Space**
- District Recreation Park
 - Corridor Park
 - Conservation Within Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- Allotment Details**
- Preferred Private Open Space Location
 - Maximum Building Location Envelope
 - Mandatory Built to Boundary Wall
 - Nominal Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - Preferred Double Garage Location
 - Preferred Single Garage Location
 - Letterbox Location for Primary Dwelling (on a laneway)
 - Lot Impacted by Potential Acoustic Requirements
 - Bin Pad

- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
 - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courttyard, Premium Courttyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.



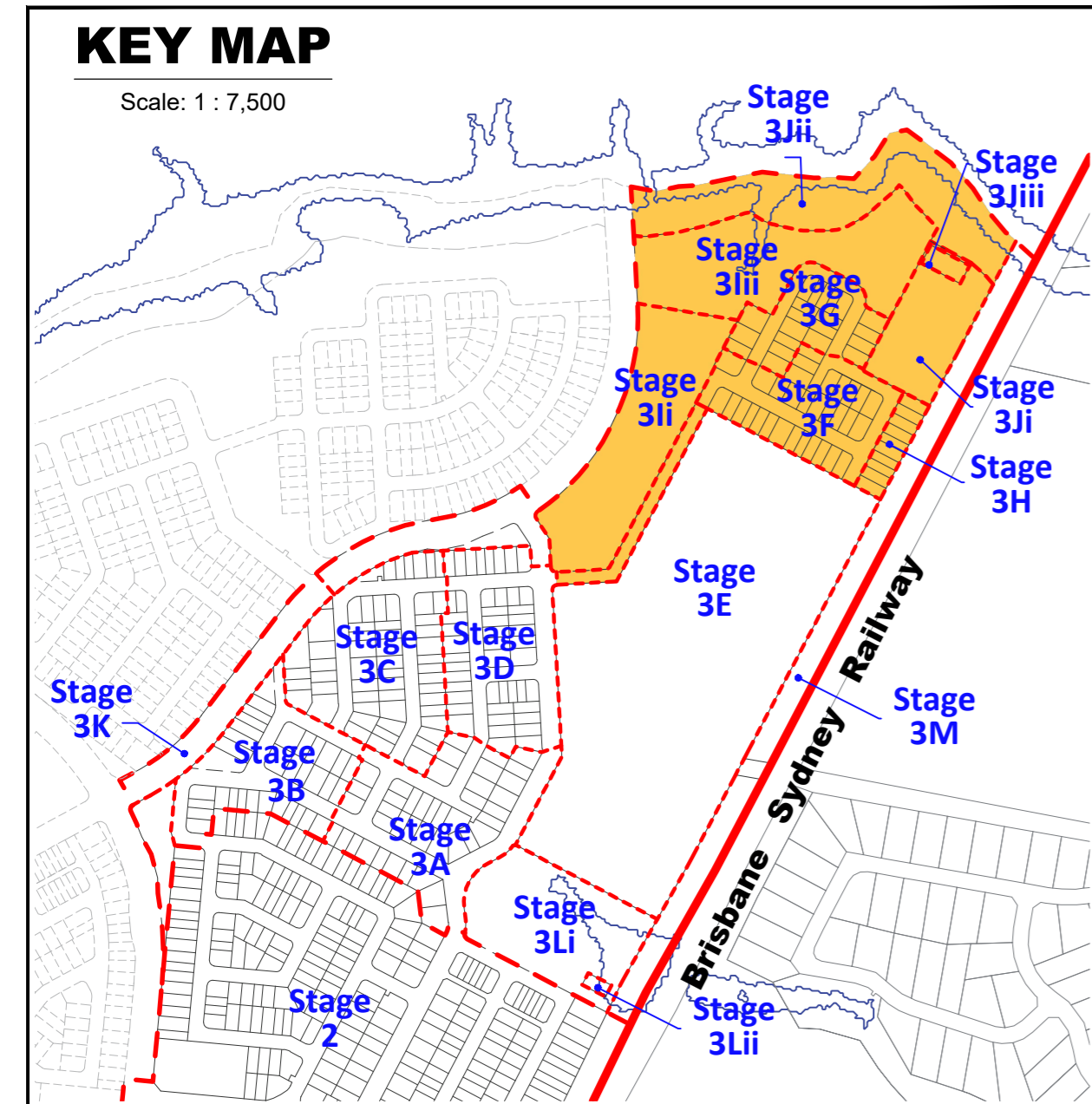
Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

Scale 1 : 2000 @ A1

- Retaining Walls**
- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

REVISION AH: 25/04/2023 Stage 4 Layout Changes AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change AK: 15/08/2024 Stage 4 Layout Change AL: 23/08/2024 Stage 4 Layout Change AM: 27/09/2024 Stage 4 Layout Change AN: 29/11/2024 Stage 4 Layout Change AO: 07/02/2025 Site Cover Definition Included AP: 14/05/2025 Stage 3 and 4 Layout Change AQ: 04/07/2025 Stage 4 Layout Change AR: 25/07/2025 Incorporation of Stage 4 PMTs AS: 18/08/2025 Stage 4 Updates	PROJECT <h2 style="text-align: center;">Flagstone Precinct 1</h2>	CLIENT <h1 style="text-align: center;">PEET</h1>	PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DEV2012/403/303 Date: 30 October 2025			URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 1500 W rpsgroup.com
Job Ref. 110056 Date. 18 August 2025 Comp By. NF DWG Name. Precinct 1 Stage 3 Chk'd By. MD Locality. Flagstone Local Authority. Economic Development Queensland	Plan of Development Stage 3 Overall Residential Allotments		Scale 1 : 2000 Sheet A1 Plan Ref 110056 - 386 Rev AS			

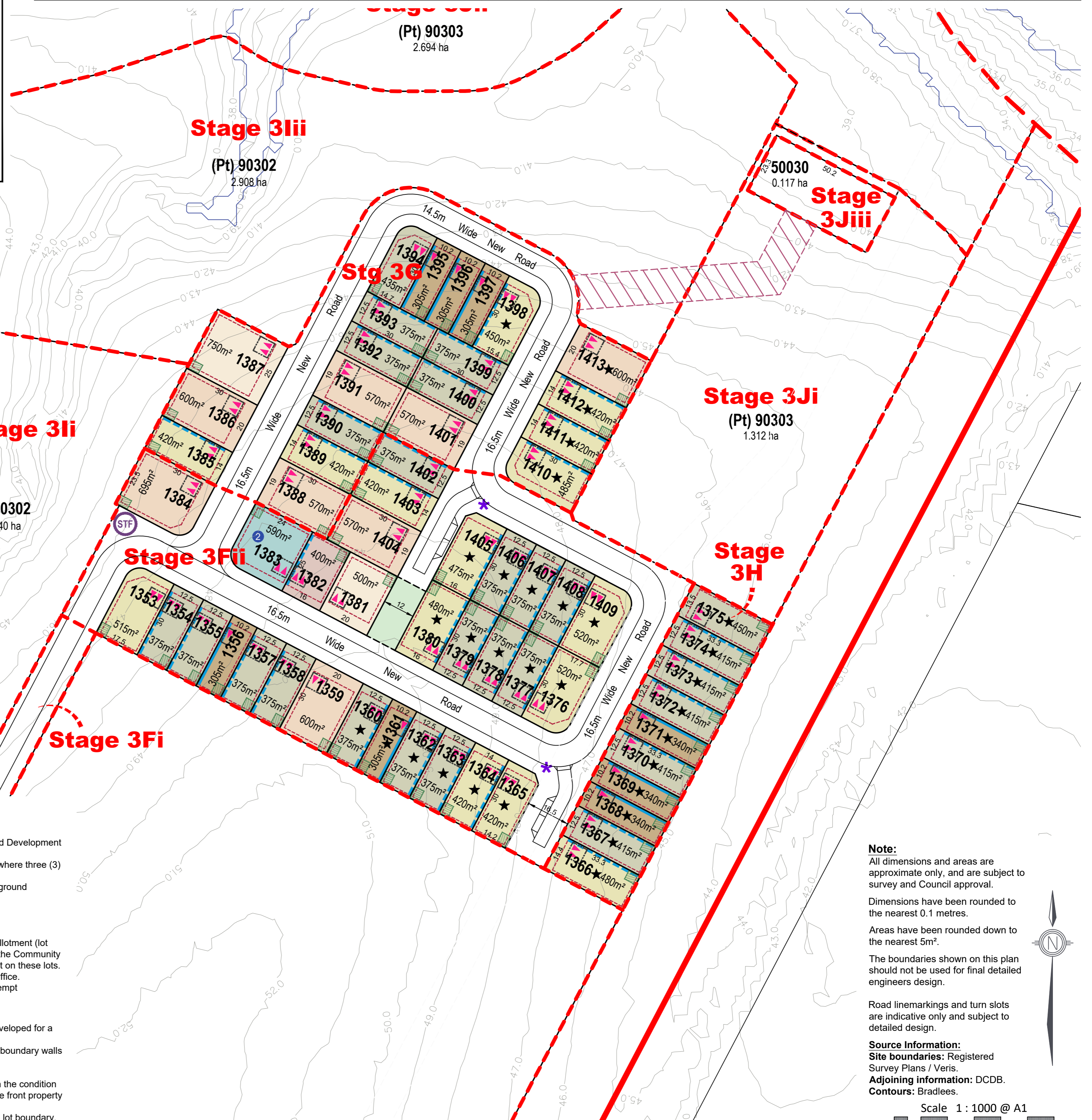


- Legend**
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - 10m Wide Existing Sewer Easement
 - Temporary Sewage Tanking Facility
- Open Space**
- District Recreation Park
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- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
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 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
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- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
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 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

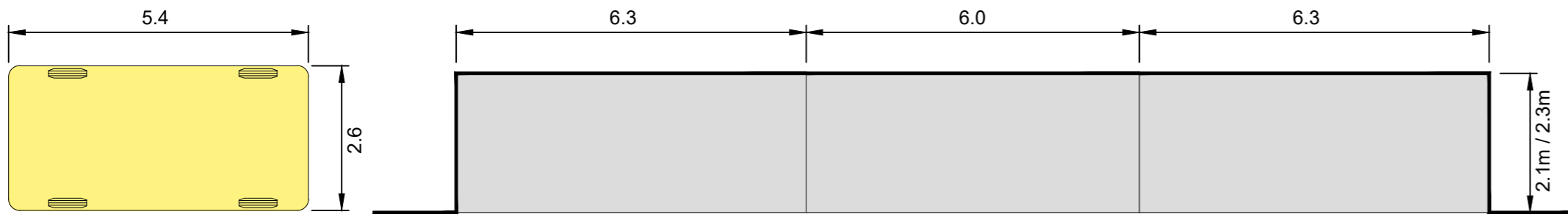
- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
 - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
 - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.

Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)			
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor		
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a		
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.5m*	1.5m*	2.0m*	2.0m*	2.0m*	2.0m*	1.5m*	1.5m*		
* Additional setback required on some allotments - refer POD Notes 14-16.																												
Side - General Lots																												
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a		
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a			
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m		
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m		
Laneway Lots																												
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a		
Site Cover																												
	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%			



- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for 'Vehicle Access to Residential Premises' is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
 - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
 - Maximum of one driveway per dwelling unless it is a MR lot.
 - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
 - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
 - Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls **not** constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

<p>REVISION</p> <p>AH: 25/04/2023 Stage 4 Layout Changes</p> <p>AJ: 08/08/2023 Stage 5 Basin Change</p> <p>AJ: 12/02/2024 Stage SR Layout Change</p> <p>AK: 15/08/2024 Stage 4 Layout Change</p> <p>AL: 23/08/2024 Stage 4 Layout Change</p> <p>AM: 27/09/2024 Stage 4 Layout Change</p> <p>AN: 29/11/2024 Stage 4 Layout Change</p> <p>AO: 07/02/2025 Site Cover Definition Included</p> <p>AP: 14/05/2025 Stage 3 and 4 Layout Change</p> <p>AQ: 04/07/2025 Stage 4 Layout Change</p> <p>AR: 25/07/2025 Incorporation of Stage 4 PMTs</p> <p>AS: 18/08/2025 Stage 4 Updates</p>	<p>PROJECT</p> <p>Flagstone Precinct 1</p> <p>Job Ref. 110056</p> <p>Comp By. MD</p> <p>Chk'd By. NF</p> <p>Local Authority. Economic Development Queensland</p>	<p>CLIENT</p> <p>PEET</p> <p>Plan of Development</p> <p>Stage 3F – 3H</p> <p>Residential Allotments</p>	<p>PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL</p> <p>Approval no: DEV2012/403/303</p> <p>Date: 30 October 2025</p>	<p>URBAN DESIGN</p> <p>Level 4 HQ South</p> <p>520 Wickham Street</p> <p>PO Box 1559</p> <p>Fortitude Valley QLD 4006</p> <p>T +61 7 3539 1500</p> <p>W rpsgroup.com</p>
<p>Scale 1 : 1000</p>	<p>Sheet A1</p>	<p>Plan Ref 110056 – 389</p>	<p>Rev AS</p>	<p>Scale 1 : 1000 @ A1</p> <p>0 5 10 20 30 40 50 60</p>



Parking Bay Diagram
Scale 1 : 100

Typical Indented Parking Bay Arrangement
(In accordance with AS2890)
Scale 1 : 100

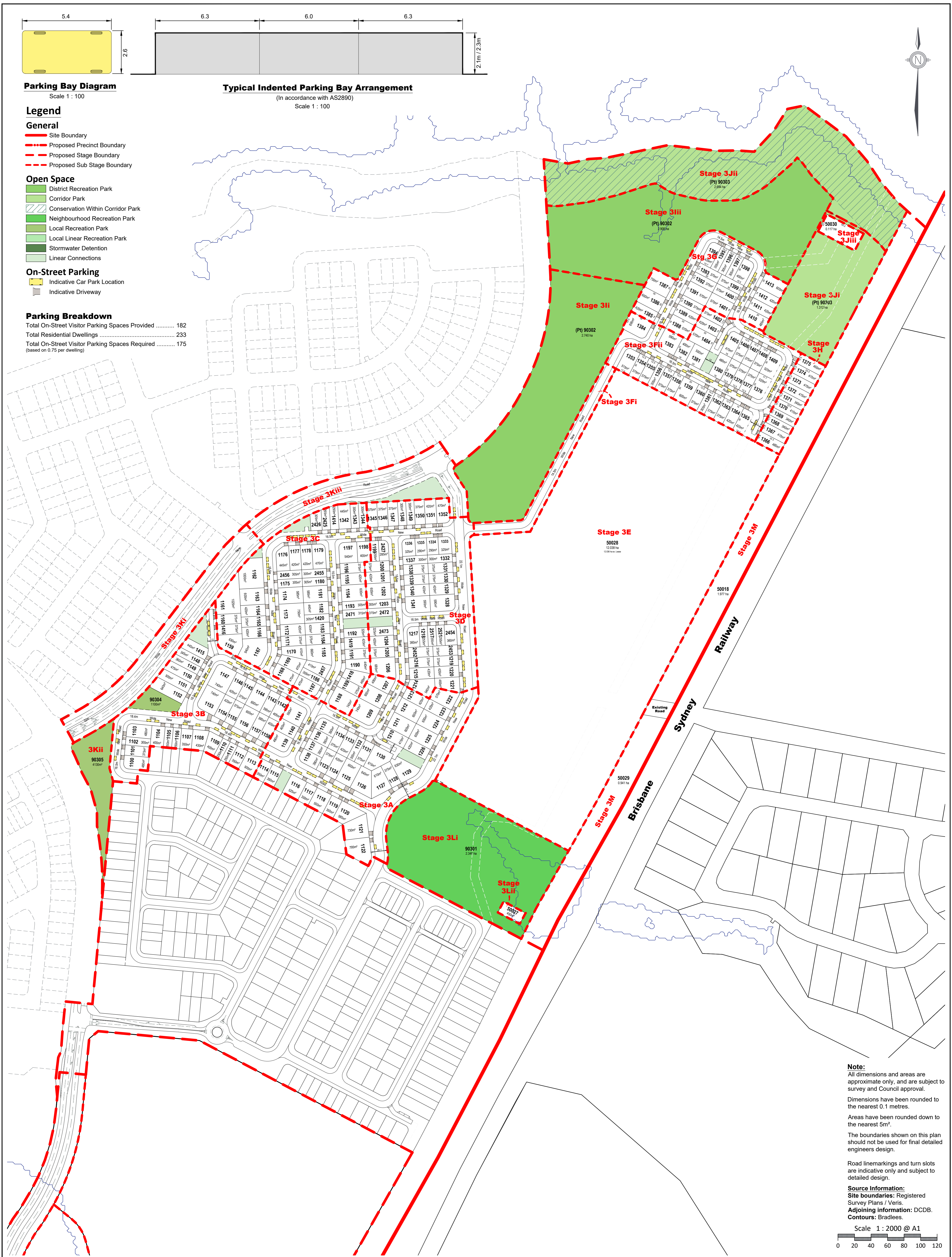
- Legend**
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
- Open Space**
- District Recreation Park
 - Corridor Park
 - Conservation Within Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- On-Street Parking**
- Indicative Car Park Location
 - Indicative Driveway

Parking Breakdown

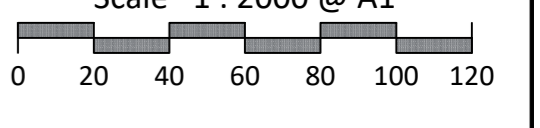
Total On-Street Visitor Parking Spaces Provided 182

Total Residential Dwellings 233

Total On-Street Visitor Parking Spaces Required 175
(based on 0.75 per dwelling)



Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.



REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change	Job Ref. 110056	Date. 18 August 2025
AK: 15/08/2024 Stage 4 Layout Change	Comp By. NF	DWG Name. Precinct 1 Stage 3
AL: 23/08/2024 Stage 4 Layout Change	Chk'd By. MD	Locality. Flagstone
AM: 27/09/2024 Stage 4 Layout Change	Local Authority. Economic Development Queensland	
AN: 29/11/2024 Stage 4 Layout Change		
AO: 07/02/2025 Site Cover Definition Included		
AP: 14/05/2025 Stage 3 and 4 Layout Change		
AQ: 04/07/2025 Stage 4 Layout Change		
AR: 25/07/2025 Incorporation of Stage 4 PMTs		
AS: 18/08/2025 Stage 4 Updates		

REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
AI: 08/08/2023 Stage 5 Basin Change		
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AO: 07/02/2025 Site Cover Definition Included		
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AQ: 04/07/2025 Stage 4 Layout Change		
AR: 25/07/2025 Incorporation of Stage 4 PMTs		
AS: 18/08/2025 Stage 4 Updates		

CLIENT

PEET

Plan of Development
Stage 3 Overall
Parking Management Plan

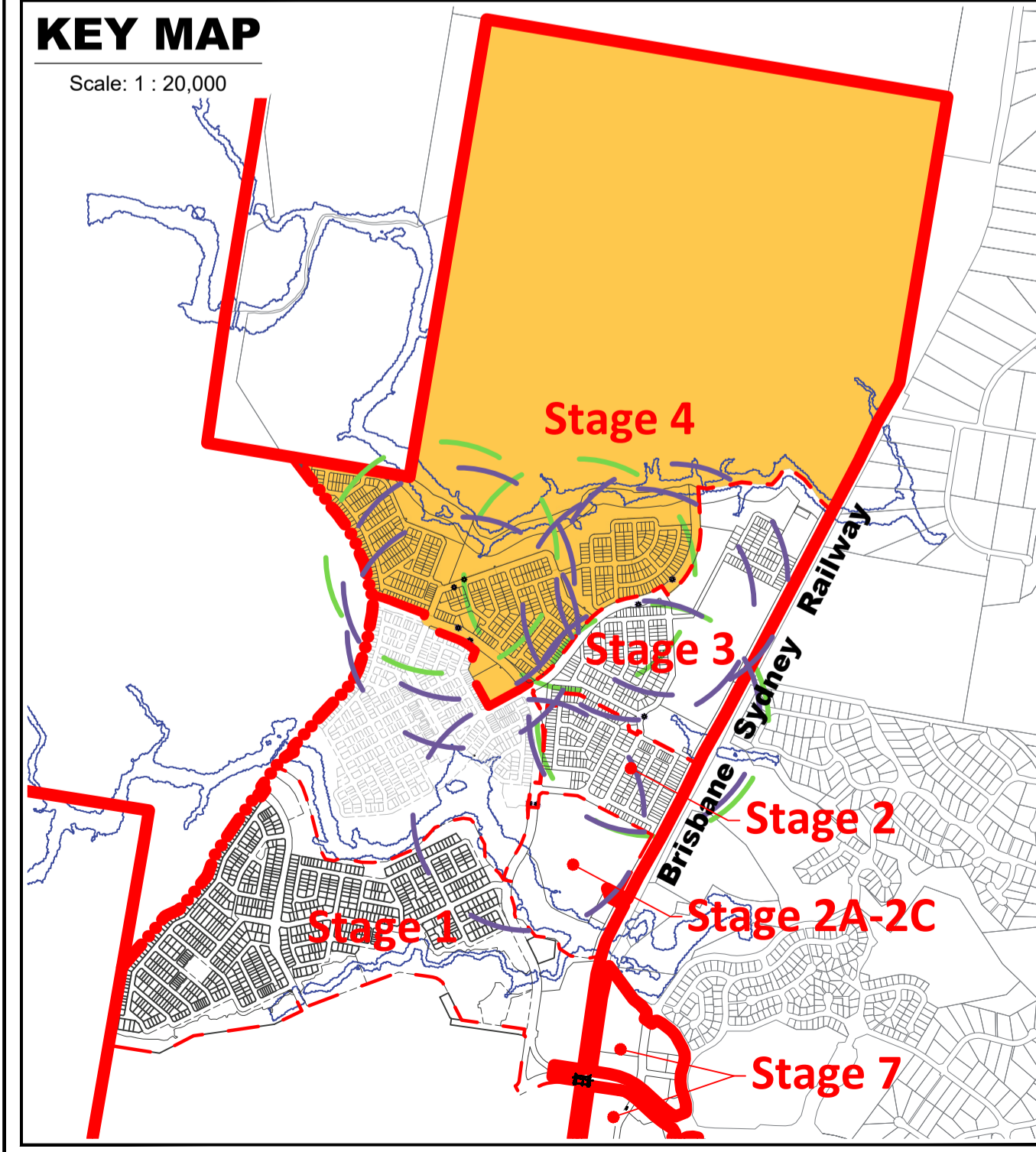
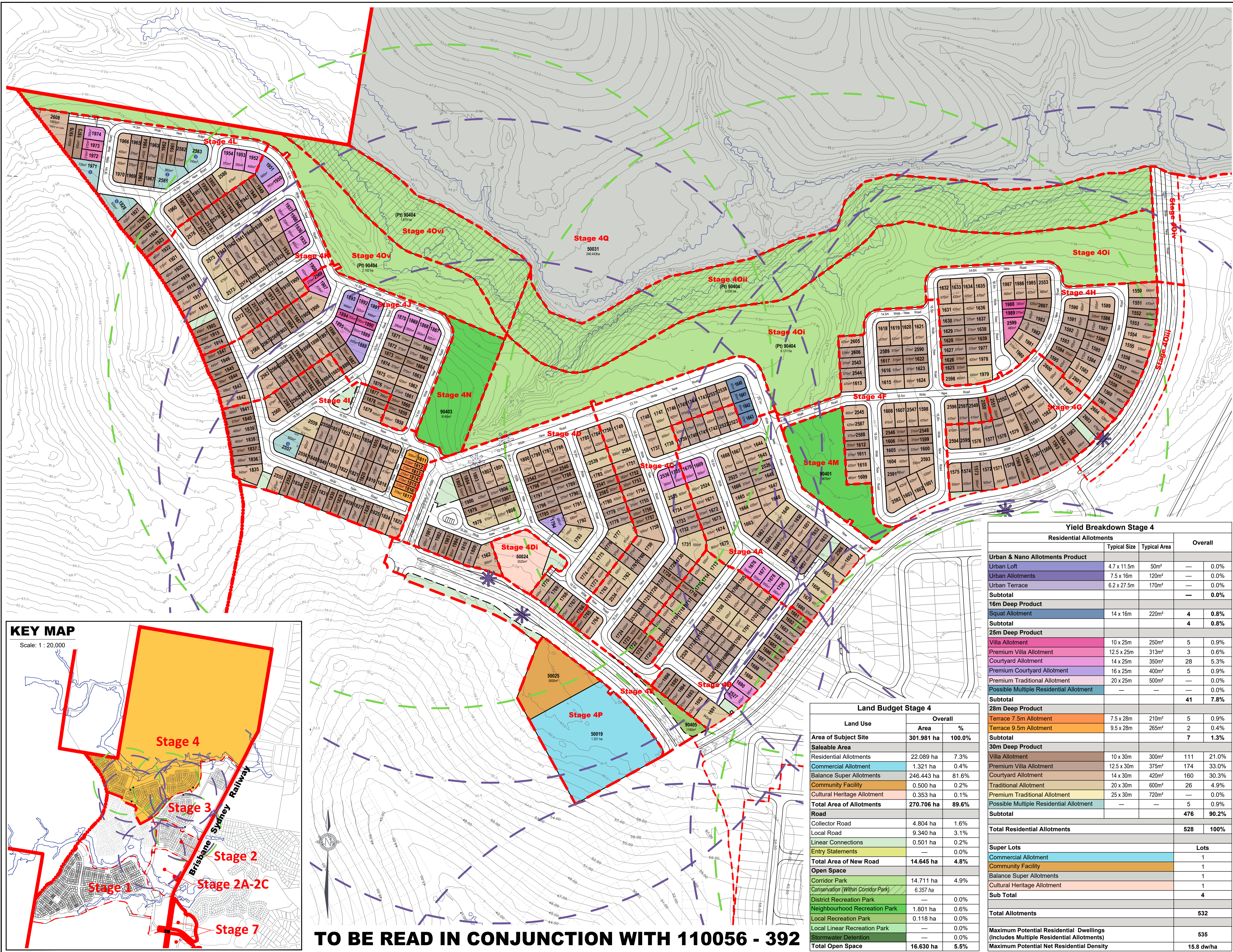
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025

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TO BE READ IN CONJUNCTION WITH 110056 - 392

REVISION

AH:	25/04/2023	Stage 4 Layout Changes
AI:	08/08/2023	Stage 5 Basin Change
AJ:	12/02/2024	Stage 5R Layout Change
AK:	15/08/2024	Stage 4 Layout Change
AL:	23/08/2024	Stage 4 Layout Change
AM:	27/09/2024	Stage 4 Layout Change
AN:	29/11/2024	Stage 4 Layout Change
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AS:	25/07/2025	Incorporation of Stage 4 PMTs
AS:	18/08/2025	Stage 4 Updates

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease
- Indicative Indented Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025
Scale: 1:2000 @ A1

CLIENT
PEET

PROJECT
Flagstone Precinct 1
Plan of Subdivision Stage 4 Overall Allotment Layout

Date:	18 August 2025
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1:2000
Sheet:	A1
Plan Ref:	110056 - 391
Rev:	AS

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Yield Breakdown Stage 4

Residential Allotments	Typical Size	Typical Area	Overall	
			Count	%
Urban & Nano Allotments Product				
Urban Loft	4.7 x 11.5m	50m ²	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	0.0%
Subtotal			—	0.0%
16m Deep Product				
Squat Allotment	14 x 16m	220m ²	4	0.8%
Subtotal			4	0.8%
25m Deep Product				
Villa Allotment	10 x 25m	250m ²	5	0.9%
Premium Villa Allotment	12.5 x 25m	313m ²	3	0.6%
Courtyard Allotment	14 x 25m	350m ²	28	5.3%
Premium Courtyard Allotment	16 x 25m	400m ²	5	0.9%
Premium Traditional Allotment	20 x 25m	500m ²	—	0.0%
Possible Multiple Residential Allotment	—	—	—	0.0%
Subtotal			41	7.8%
28m Deep Product				
Terrace 7.5m Allotment	7.5 x 28m	210m ²	5	0.9%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	2	0.4%
Subtotal			7	1.3%
30m Deep Product				
Villa Allotment	10 x 30m	300m ²	111	21.0%
Premium Villa Allotment	12.5 x 30m	375m ²	174	33.0%
Courtyard Allotment	14 x 30m	420m ²	160	30.3%
Traditional Allotment	20 x 30m	600m ²	26	4.9%
Premium Traditional Allotment	25 x 30m	720m ²	—	0.0%
Possible Multiple Residential Allotment	—	—	5	0.9%
Subtotal			476	90.2%
Total Residential Allotments			528	100%
Super Lots			Lots	
Commercial Allotment			1	
Community Facility			1	
Balance Super Allotments			1	
Cultural Heritage Allotment			1	
Sub Total			4	
Total Allotments			532	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			535	
Maximum Potential Net Residential Density			15.8 dw/ha	

Land Budget Stage 4

Land Use	Overall	
	Area	%
Area of Subject Site	301.981 ha	100.0%
Saleable Area		
Residential Allotments	22.089 ha	7.3%
Commercial Allotment	1.321 ha	0.4%
Balance Super Allotments	246.443 ha	81.6%
Community Facility	0.500 ha	0.2%
Cultural Heritage Allotment	0.353 ha	0.1%
Total Area of Allotments	270.706 ha	89.6%
Road		
Collector Road	4.804 ha	1.6%
Local Road	9.340 ha	3.1%
Linear Connections	0.501 ha	0.2%
Entry Statements	—	0.0%
Total Area of New Road	14.645 ha	4.8%
Open Space		
Corridor Park	14.711 ha	4.9%
Conservation (Within Corridor Park)	6.357 ha	—
District Recreation Park	—	0.0%
Neighbourhood Recreation Park	1.801 ha	0.6%
Local Recreation Park	0.118 ha	0.0%
Local Linear Recreation Park	—	0.0%
Stormwater Detention	—	0.0%
Total Open Space	16.630 ha	5.5%

Yield Breakdown Stage 4

Residential Allotments			Stage 4A	Stage 4B	Stage 4C	Stage 4D	Stage 4Di	Stage 4E	Stage 4F	Stage 4G	Stage 4H	Stage 4I	Stage 4J	Stage 4K	Stage 4L	Stage 4M	Stage 4N	Stage 4O	Stage 4P	Stage 4Q	Overall	
	Typical Size	Typical Area																				
Urban & Nano Allotments Product																						
Urban Loft	4.7 x 11.5m	50m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
16m Deep Product																						
Squat Allotment	14 x 16m	220m²	—	—	4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.8%
Subtotal			—	—	4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.8%
25m Deep Product																						
Villa Allotment	10 x 25m	250m²	—	—	—	—	—	—	—	—	2	—	3	—	—	—	—	—	—	—	—	0.9%
Premium Villa Allotment	12.5 x 25m	313m²	—	—	—	—	—	—	—	—	1	—	—	—	2	—	—	—	—	—	—	0.6%
Courtyard Allotment	14 x 25m	350m²	6	2	2	—	—	—	—	—	—	—	8	6	4	—	—	—	—	—	—	5.3%
Premium Courtyard Allotment	16 x 25m	400m²	—	—	—	1	—	—	—	—	—	—	3	1	—	—	—	—	—	—	—	0.9%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			6	2	2	1	—	—	—	—	3	—	14	7	6	—	—	—	—	—	—	7.8%
28m Deep Product																						
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	—	—	—	—	—	—	5	—	—	—	—	—	—	—	—	—	0.9%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	—	—	—	—	—	—	2	—	—	—	—	—	—	—	—	—	0.4%
Subtotal			—	—	—	—	—	—	—	—	—	7	—	—	—	—	—	—	—	—	—	1.3%
30m Deep Product																						
Villa Allotment	10 x 30m	300m²	1	6	9	14	—	—	8	7	11	15	13	14	13	—	—	—	—	—	—	21.0%
Premium Villa Allotment	12.5 x 30m	375m²	18	18	13	16	—	—	14	12	21	20	19	15	8	—	—	—	—	—	—	33.0%
Courtyard Allotment	14 x 30m	420m²	18	14	19	17	—	—	23	11	21	14	8	11	4	—	—	—	—	—	—	30.3%
Traditional Allotment	20 x 30m	600m²	5	4	6	6	—	—	—	—	1	1	—	2	1	—	—	—	—	—	—	4.9%
Premium Traditional Allotment	25 x 30m	720m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	1	—	—	4	—	—	—	—	—	—	0.9%
Subtotal			42	42	47	53	—	—	45	30	54	51	40	42	30	—	—	—	—	—	—	90.2%
Total Residential Allotments			48	44	53	54	—	—	45	30	57	58	54	49	36	—	—	—	—	—	—	100%
Residential Net Density			17.2 dw/ha	18.1 dw/ha	17.8 dw/ha	16.4 dw/ha	—	—	13.9 dw/ha	14.9 dw/ha	16.5 dw/ha	17.7 dw/ha	17.6 dw/ha	18.0 dw/ha	14.6 dw/ha	—	—	—	—	—	—	15.6 dw/ha
Super Lots																						
Commercial Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	—	1
Community Facility	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	—	1
Balance Super Allotments	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	1
Cultural Heritage Allotment	—	—	—	—	—	1	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1
Sub Total			—	—	—	1	—	—	—	—	—	—	—	—	—	—	—	—	2	1	—	4
Total Allotments			48	44	53	54	1	—	45	30	57	58	54	49	36	—	—	—	2	1	—	532
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			48	44	53	54	—	—	45	30	57	60	54	49	41	—	—	—	—	—	—	535
Maximum Potential Net Residential Density			17.2 dw/ha	18.1 dw/ha	17.8 dw/ha	16.4 dw/ha	—	—	13.9 dw/ha	14.9 dw/ha	16.5 dw/ha	18.3 dw/ha	17.6 dw/ha	18.0 dw/ha	16.7 dw/ha	—	—	—	—	—	—	15.8 dw/ha

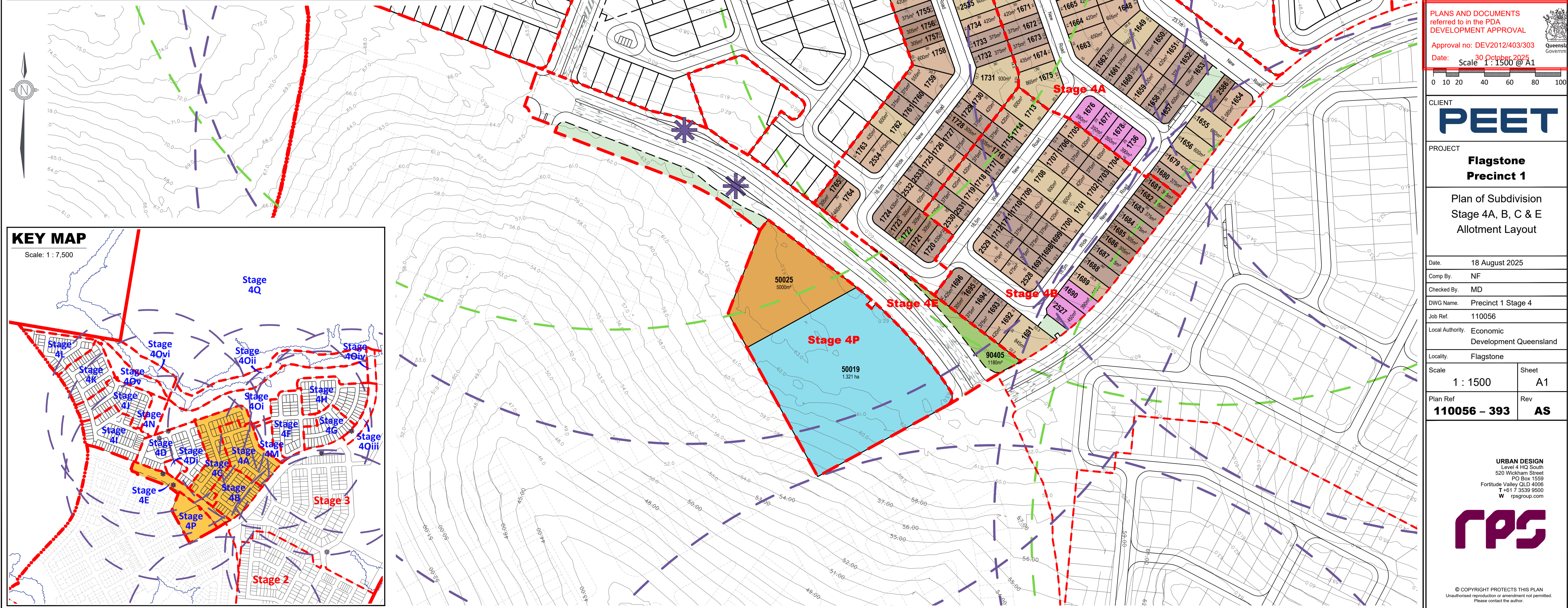
Land Budget Stage 4

Land Use	Stage 4A	Stage 4B	Stage 4C	Stage 4D	Stage 4Di	Stage 4E	Stage 4F	Stage 4G	Stage 4H	Stage 4I	Stage 4J	Stage 4K	Stage 4L	Stage 4M	Stage 4N	Stage 4O	Stage 4P	Stage 4Q	Overall							
	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%					
Area of Subject Site	3.301 ha	2.426 ha	3.583 ha	4.013 ha	0.401 ha	1.719 ha	3.227 ha	2.013 ha	3.452 ha	3.280 ha	3.075 ha	2.957 ha	2.458 ha	0.887 ha	0.914 ha	6.171 ha	4.538 ha	0.864 ha	0.436 ha	2.183 ha	1.819 ha	1.821 ha	246.443 ha	301.981 ha	100.0%	
Saleable Area																										
Residential Allotments	2.097 ha	1.811 ha	2.222 ha	2.300 ha	—	—	1.862 ha	1.397 ha	2.470 ha	2.222 ha	2.072 ha	2.003 ha	1.633 ha	—	—	—	—	—	—	—	—	—	—	22.089 ha	7.3%	
Commercial Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1.321 ha	—	1.321 ha	0.4%	
Balance Super Allotments	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	246.443 ha	246.443 ha	81.6%	
Community Facility	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.500 ha	—	0.500 ha	0.2%	
Cultural Heritage Allotment	—	—	—	—	0.353 ha	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.353 ha	0.1%	
Total Area of Allotments	2.097 ha	1.811 ha	2.222 ha	2.300 ha	0.353 ha	—	1.862 ha	1.397 ha	2.470 ha	2.222 ha	2.072 ha	2.003 ha	1.633 ha	—	—	—	—	—	—	—	—	1.821 ha	246.443 ha	270.706 ha	89.6%	
Road																										
Collector Road	0.516 ha	—	0.600 ha	0.719 ha	—	1.436 ha	—	—	—	—	—	0.233 ha	—	—	—	—	—	0.864 ha	0.436 ha	—	—	—	—	4.804 ha	1.6%	
Local Road	0.652 ha	0.615 ha	0.761 ha	0.929 ha	—	—	1.365 ha	0.549 ha	0.982 ha	0.974 ha	1.003 ha	0.685 ha	0.825 ha	—	—	—	—	—	—	—	—	—	—	9.340 ha	3.1%	
Linear Connections	0.036 ha	—	—	0.065 ha	0.048 ha	0.165 ha	—	0.067 ha	—	0.084 ha	—	0.036 ha	—	—	—	—	—	—	—	—	—	—	—	—	0.501 ha	0.2%
Entry Statements	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	1.204 ha	0.615 ha	1.361 ha	1.713 ha	0.048 ha	1.601 ha	1.365 ha	0.616 ha	0.982 ha	1.058 ha	1.003 ha	0.954 ha	0.825 ha	—	—	—	—	0.864 ha	0.436 ha	—	—	—	—	14.645 ha	4.8%	
Open Space																										
Corridor Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	6.171 ha	4.538 ha	—	—	—	2.183 ha	1.819 ha	—	—	14.711 ha	4.9%	
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	6.357 ha	—
District Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	0.887 ha	0.914 ha	—	—	—	—	—	—	—	—	—	1.801 ha	0.6%
Local Recreation Park	—	—	—	—	—	0.118 ha	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.118 ha	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	0.118 ha	—	—	—	—	—	—	—	0.887 ha	0.914 ha	6.171 ha	4.538 ha	—	—	2.183 ha	1.819 ha	—	—	—	16.630 ha	5.5%

REVISION
 AH: 25/04/2023 Stage 4 Layout Changes
 AI: 08/08/2023 Stage 5 Basin Change
 AJ: 12/02/2024 Stage 5R Layout Change
 AK: 15/08/2024 Stage 4 Layout Change
 AL: 23/08/2024 Stage 4 Layout Change
 AM: 2

Yield Breakdown Stage 4								
Residential Allotments	Typical Size	Typical Area	Stage	Stage	Stage	Stage	Overall	
			4A	4B	4C	4E		4P
Urban & Nano Allotments Product								
Urban Loft	4.7 x 11.5m	50m ²	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	—	—	0.0%
Subtotal								0.0%
16m Deep Product								
Squat Allotment	14 x 16m	220m ²	—	—	4	—	—	2.8%
Subtotal					4			2.8%
25m Deep Product								
Villa Allotment	10 x 25m	250m ²	—	—	—	—	—	0.0%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	6	2	2	—	—	6.9%
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	—	—	—	0.0%
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment								0.0%
Subtotal			6	2	2			6.9%
28m Deep Product								
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	—	0.0%
Subtotal								0.0%
30m Deep Product								
Villa Allotment	10 x 30m	300m ²	1	6	9	—	—	16.0%
Premium Villa Allotment	12.5 x 30m	375m ²	18	18	13	—	—	33.8%
Courtyard Allotment	14 x 30m	420m ²	18	14	19	—	—	35.2%
Traditional Allotment	20 x 30m	600m ²	5	4	6	—	—	10.3%
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment								0.0%
Subtotal			42	42	47			90.3%
Total Residential Allotments			48	44	53			145
Residential Net Density			17.2 dw/ha	18.1 dw/ha	17.8 dw/ha			
Super Lots			Lots	Lots	Lots	Lots	Lots	Lots
Commercial Allotment	—	—	—	—	—	1	—	1
Community Facility	—	—	—	—	—	1	—	1
Balance Super Allotments	—	—	—	—	—	—	—	—
Sub Total						2		2
Total Allotments			48	44	53		2	147
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			48	44	53			145

Land Budget Stage 4						
Land Use	Stage 4A	Stage 4B	Stage 4C	Stage 4E	Stage 4P	Overall
Area of Subject Site	Area	Area	Area	Area	Area	Area %
Saleable Area	3.301 ha	2.426 ha	3.583 ha	1.719 ha	1.821 ha	112.0%
Residential Allotments	2.097 ha	1.811 ha	2.222 ha	—	—	6.130 ha 55.6%
Commercial Allotment	—	—	—	1.321 ha	—	1.321 ha 12.0%
Balance Super Allotments	—	—	—	—	—	— 0.0%
Community Facility	—	—	—	0.500 ha	—	0.500 ha 4.5%
Total Area of Allotments	2.097 ha	1.811 ha	2.222 ha	1.321 ha	—	7.451 ha 67.6%
Road						
Collector Road	0.516 ha	—	0.600 ha	1.436 ha	—	2.552 ha 23.1%
Local Road	0.652 ha	0.615 ha	0.761 ha	—	—	2.028 ha 18.4%
Linear Connections	0.036 ha	—	—	0.165 ha	—	0.201 ha 1.8%
Entry Statements	—	—	—	—	—	— 0.0%
Total Area of New Road	1.204 ha	0.615 ha	1.361 ha	1.601 ha	—	4.781 ha 43.3%
Open Space						
Corridor Park	—	—	—	—	—	— 0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	— 0.0%
District Recreation Park	—	—	—	—	—	— 0.0%
Neighbourhood Recreation Park	—	—	—	—	—	— 0.0%
Local Recreation Park	—	—	—	0.118 ha	—	0.118 ha 1.1%
Local Linear Recreation Park	—	—	—	—	—	— 0.0%
Stormwater Detention	—	—	—	—	—	— 0.0%
Total Open Space	—	—	—	0.118 ha	—	0.118 ha 1.1%



REVISION
 AH: 25/04/2023 Stage 4 Layout Changes
 AJ: 08/08/2023 Stage 5 Basin Change
 AJ: 12/02/2024 Stage 5R Layout Change
 AK: 15/08/2024 Stage 4 Layout Change
 AL: 23/08/2024 Stage 4 Layout Change
 AM: 27/09/2024 Stage 4 Layout Change
 AN: 29/11/2024 Stage 4 Layout Change
 AO: 07/02/2025 Site Cover Definition Included
 AO: 04/07/2025 Stage 4 Layout Change
 AR: 25/07/2025 Incorporation of Stage 4 PMTs
 AS: 18/08/2025 Stage 4 Updates

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval.
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 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.
 Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
 Site boundaries: Registered Survey Plans / Veris
 Adjoining information: DCDB.
 Contours: Bradlees.

- Legend**
- Site Boundary
 - Proposed Stage Boundary
 - - - Proposed Sub Stage Boundary
 - Existing Q100
 - ⊙ Possible Multiple Residential Allotment (Max. no. of dwellings)
 - ⊙ Indicative Indented Bus Stop Location
 - ⊙ Indicative Temporary In-Line Bus Stop Location
 - Bus Stop Catchment (400m)
 - Neighbourhood Park Catchment (400m)

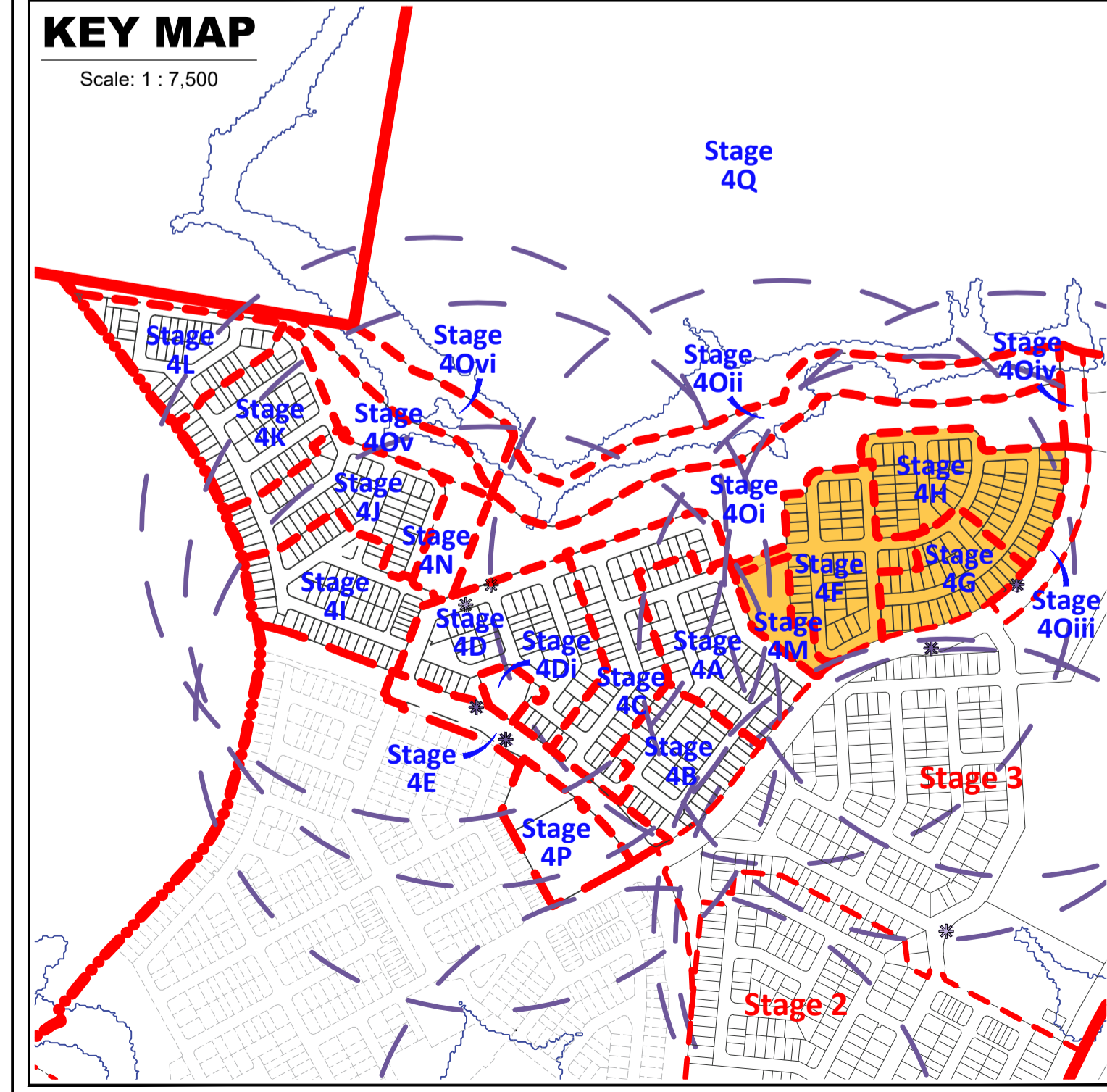
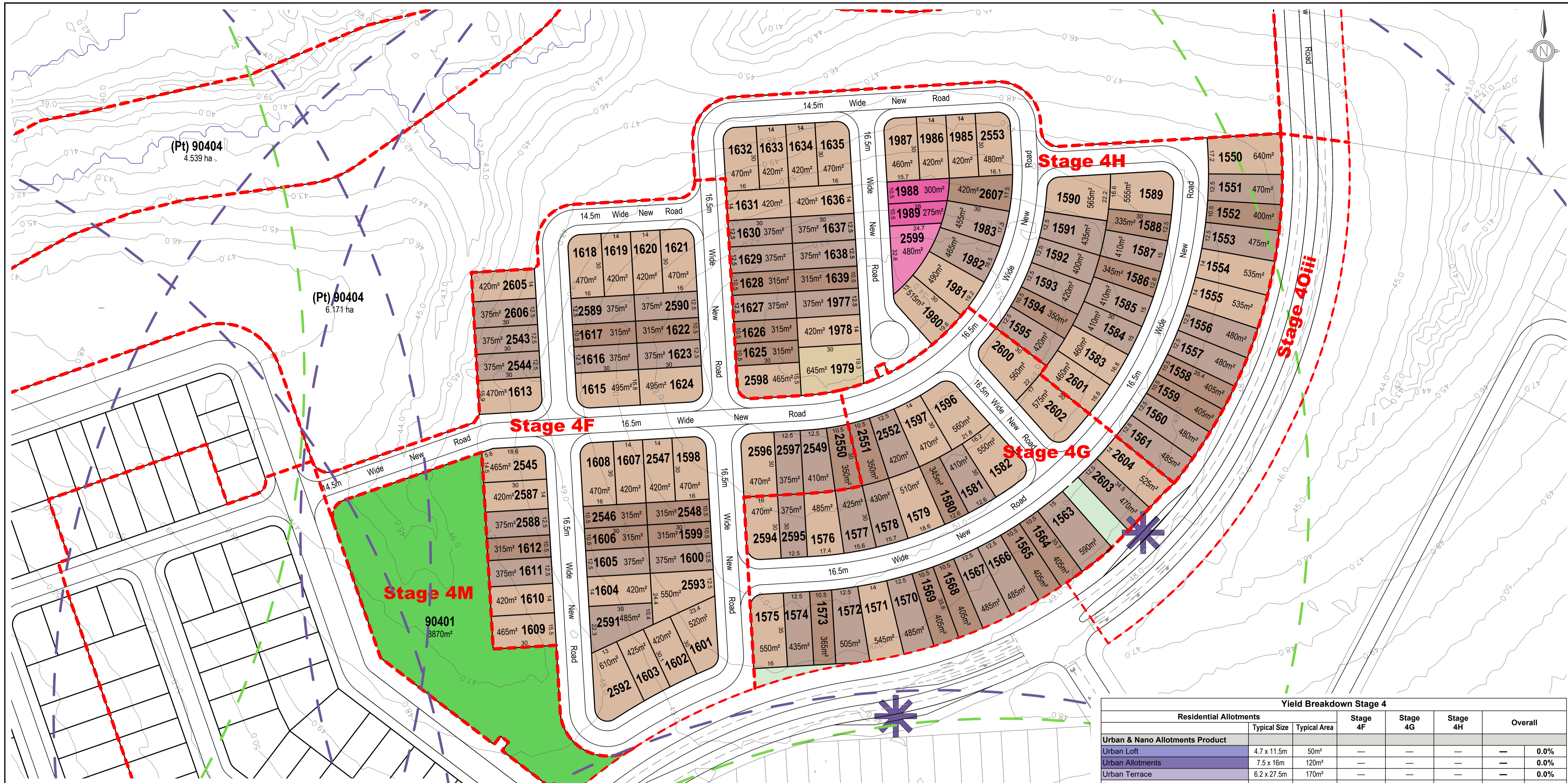
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
 Approval no: DEV2012/403/303
 Date: 30 October 2025
 Scale: 1:1500 @ A1

CLIENT	PEET	
PROJECT	Flagstone Precinct 1	
	Plan of Subdivision Stage 4A, B, C & E Allotment Layout	
Date:	18 August 2025	
Comp By:	NF	
Checked By:	MD	
DWG Name:	Precinct 1 Stage 4	
Job Ref:	110056	
Local Authority:	Economic Development Queensland	
Locality:	Flagstone	
Scale	1:1500	Sheet A1
Plan Ref	110056 - 393	Rev AS

URBAN DESIGN
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REVISION

AH: 25/04/2023 Stage 4 Layout Changes
AI: 08/08/2023 Stage 5 Basin Change
AJ: 12/02/2024 Stage 5R Layout Change
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AR: 25/07/2025 Incorporation of Stage 4 PMTs
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Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris
Adjoining information: DCDB.
Contours: Bradlees.

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025
Scale: 1 : 1000 @ A1



CLIENT
PEET

PROJECT
Flagstone Precinct 1
Plan of Subdivision
Stage 4F - H & M Allotment Layout

Date:	18 August 2025
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1 : 1000
Sheet:	A1
Plan Ref:	110056 - 394
Rev:	AS

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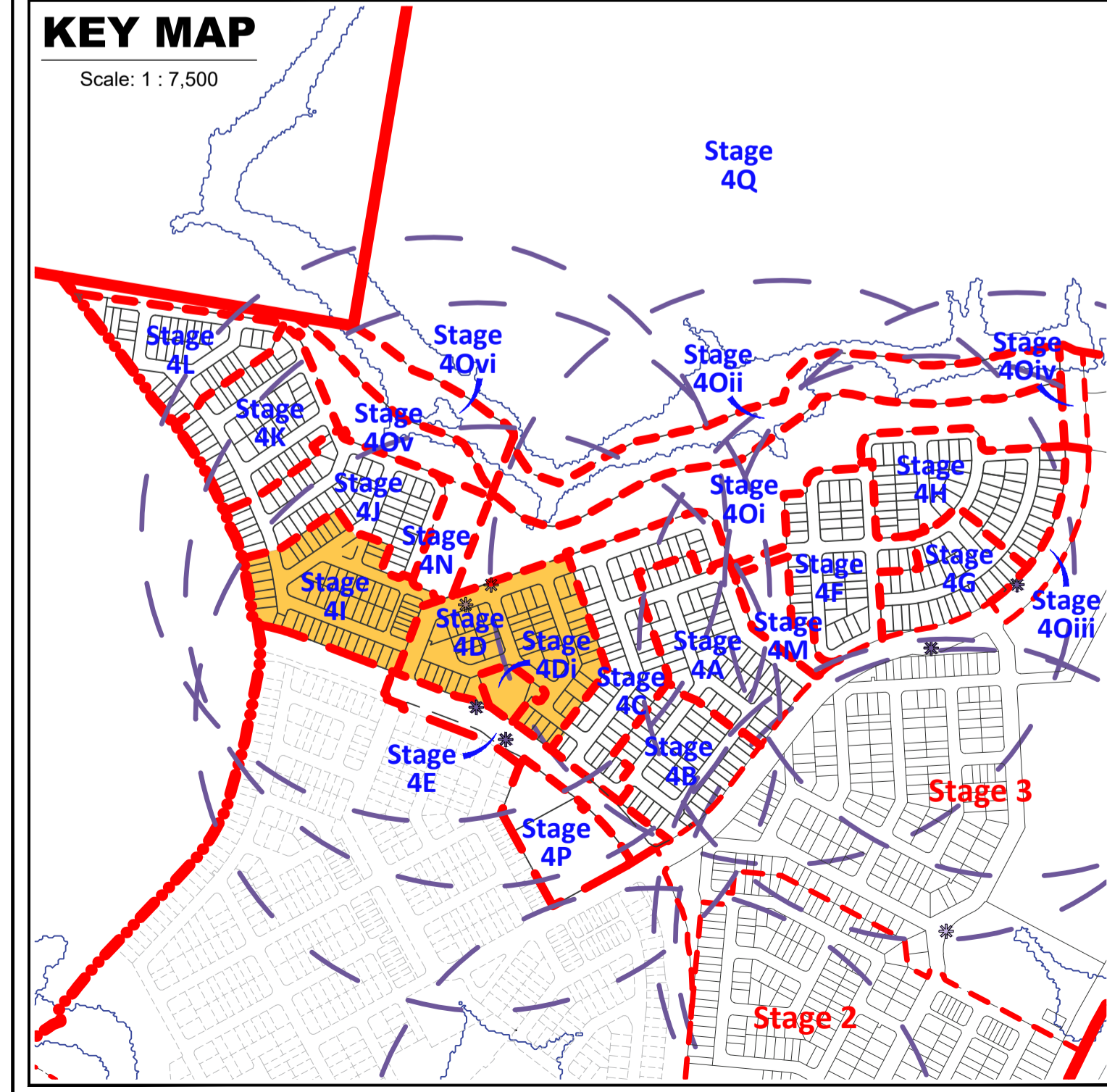
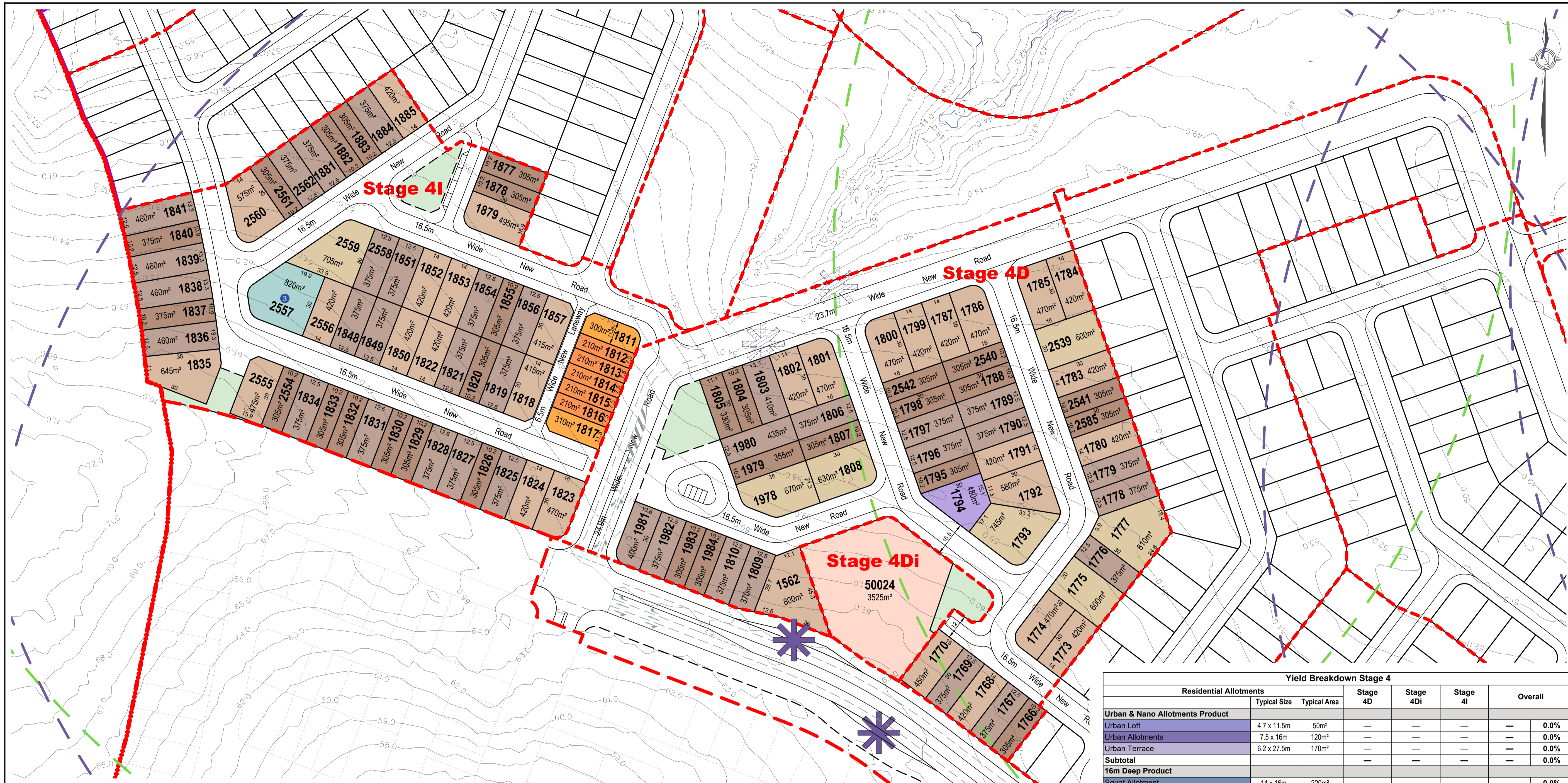
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Yield Breakdown Stage 4

Residential Allotments	Typical Size	Typical Area	Stage 4F	Stage 4G	Stage 4H	Overall	
Urban & Nano Allotments Product							
Urban Loft	4.7 x 11.5m	50m ²	—	—	—	0.0%	
Urban Allotments	7.5 x 16m	120m ²	—	—	—	0.0%	
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	0.0%	
Subtotal						0.0%	
16m Deep Product							
Squat Allotment	14 x 16m	220m ²	—	—	—	0.0%	
Subtotal						0.0%	
25m Deep Product							
Villa Allotment	10 x 25m	250m ²	—	—	2	1.5%	
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	1	0.8%	
Courtyard Allotment	14 x 25m	350m ²	—	—	—	0.0%	
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	—	0.0%	
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	0.0%	
Possible Multiple Residential Allotment						0.0%	
Subtotal					3	0.8%	
28m Deep Product							
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	0.0%	
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	0.0%	
Subtotal						0.0%	
30m Deep Product							
Villa Allotment	10 x 30m	300m ²	8	7	11	26	19.7%
Premium Villa Allotment	12.5 x 30m	375m ²	14	12	21	47	35.6%
Courtyard Allotment	14 x 30m	420m ²	23	11	21	55	41.7%
Traditional Allotment	20 x 30m	600m ²	—	—	1	1	0.8%
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	0.0%
Possible Multiple Residential Allotment							0.0%
Subtotal			45	30	54	129	97.7%
Total Residential Allotments			45	30	57	132	98%
Residential Net Density			13.9 dw/ha	14.9 dw/ha	16.5 dw/ha		
Super Lots			Lots	Lots	Lots	Lots	
Commercial Allotment			—	—	—	—	—
Community Facility			—	—	—	—	—
Balance Super Allotments			—	—	—	—	—
Sub Total			—	—	—	—	—
Total Allotments			45	30	57	132	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			45	30	57	132	

Land Budget Stage 4

Land Use	Stage 4F	Stage 4G	Stage 4H	Stage 4M	Overall	
	Area	Area	Area	Area	Area	%
Area of Subject Site	3.227 ha	2.013 ha	3.452 ha	0.887 ha	9.579 ha	100.0%
Saleable Area						
Residential Allotments	1.862 ha	1.397 ha	2.470 ha	—	5.729 ha	59.8%
Commercial Allotment	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	0.0%
Community Facility	—	—	—	—	—	0.0%
Total Area of Allotments	1.862 ha	1.397 ha	2.470 ha	—	5.729 ha	59.8%
Road						
Collector Road	—	—	—	—	—	0.0%
Local Road	1.365 ha	0.549 ha	0.982 ha	—	2.896 ha	30.2%
Linear Connections	—	0.067 ha	—	—	0.067 ha	0.7%
Entry Statements	—	—	—	—	—	0.0%
Total Area of New Road	1.365 ha	0.616 ha	0.982 ha	—	2.963 ha	30.9%
Open Space						
Corridor Park	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.887 ha	0.887 ha	9.3%
Local Recreation Park	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	0.0%
Total Open Space	—	—	—	0.887 ha	0.887 ha	9.3%



Land Budget Stage 4				
Land Use	Stage 4D	Stage 4Di	Stage 4I	Overall
	Area	Area	Area	Area
Area of Subject Site	4.013 ha	0.401 ha	3.280 ha	7.694 ha
Saleable Area				
Residential Allotments	2.300 ha	—	2.222 ha	4.522 ha
Commercial Allotment	—	—	—	0.0%
Balance Super Allotments	—	—	—	0.0%
Community Facility	—	—	—	0.0%
Cultural Heritage Allotment	—	0.353 ha	—	0.353 ha
Total Area of Allotments	2.300 ha	0.353 ha	2.222 ha	4.875 ha
Road				
Collector Road	0.719 ha	—	—	0.719 ha
Local Road	0.929 ha	—	0.974 ha	1.903 ha
Linear Connections	0.065 ha	0.048 ha	0.084 ha	0.197 ha
Entry Statements	—	—	—	0.0%
Total Area of New Road	1.713 ha	0.048 ha	1.058 ha	2.819 ha
Open Space				
Corridor Park	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	0.0%
District Recreation Park	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.0%
Local Recreation Park	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	0.0%
Stormwater Detention	—	—	—	0.0%
Total Open Space	—	—	—	0.0%

Yield Breakdown Stage 4						
Residential Allotments	Typical Size	Typical Area	Stage 4D	Stage 4Di	Stage 4I	Overall
Urban & Nano Allotments Product						
Urban Loft	4.7 x 11.5m	50m ²	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	0.0%
Subtotal						0.0%
16m Deep Product						
Squat Allotment	14 x 16m	220m ²	—	—	—	0.0%
Subtotal						0.0%
25m Deep Product						
Villa Allotment	10 x 25m	250m ²	—	—	—	0.0%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	—	—	—	0.0%
Premium Courtyard Allotment	16 x 25m	400m ²	1	—	—	0.9%
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	0.0%
Subtotal			1			0.9%
28m Deep Product						
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	5	4.5%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	2	1.8%
Subtotal					7	6.3%
30m Deep Product						
Villa Allotment	10 x 30m	300m ²	14	—	15	25.9%
Premium Villa Allotment	12.5 x 30m	375m ²	16	—	20	32.1%
Courtyard Allotment	14 x 30m	420m ²	17	—	14	27.7%
Traditional Allotment	20 x 30m	600m ²	6	—	1	6.3%
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	1	0.9%
Subtotal			53		51	92.9%
Total Residential Allotments			54		58	112
Residential Net Density			16.4 dw/ha		17.7 dw/ha	
Super Lots						
Commercial Allotment	—	—	—	—	—	—
Community Facility	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	—
Cultural Heritage Allotment	—	—	—	—	—	—
Sub Total			—		1	1
Total Allotments			54	1	58	113
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			54		60	114
Maximum Potential Net Residential Density			16.4 dw/ha		18.3 dw/ha	

REVISION	
AH: 25/04/2023	Stage 4 Layout Changes
AI: 08/08/2023	Stage 5 Basin Change
AJ: 12/02/2024	Stage 5R Layout Change
AK: 15/08/2024	Stage 4 Layout Change
AL: 23/08/2024	Stage 4 Layout Change
AM: 27/09/2024	Stage 4 Layout Change
AN: 29/11/2024	Stage 4 Layout Change
AO: 07/02/2025	Site Cover Definition Included
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AS: 18/08/2025	Stage 4 Updates

Note:
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Areas have been rounded down to the nearest 5m².
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Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris
Adjoining information: DCDB.
Contours: Bradlees.

Legend	
	Site Boundary
	Proposed Stage Boundary
	Proposed Sub Stage Boundary
	Existing Q100
	Possible Multiple Residential Allotment (Max. no. of dwellings)
	Indicative Indented Bus Stop Location
	Indicative Temporary In-Line Bus Stop Location
	Bus Stop Catchment (400m)
	Neighbourhood Park Catchment (400m)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025
Scale: 1:1000 @ A1

CLIENT
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PROJECT
Flagstone Precinct 1

Plan of Subdivision
Stage 4D & I
Allotment Layout

Date: 18 August 2025
Comp By: JC
Checked By: MD
DWG Name: Precinct 1 Stage 4
Job Ref: 110056

Local Authority: Economic Development Queensland
Locality: Flagstone

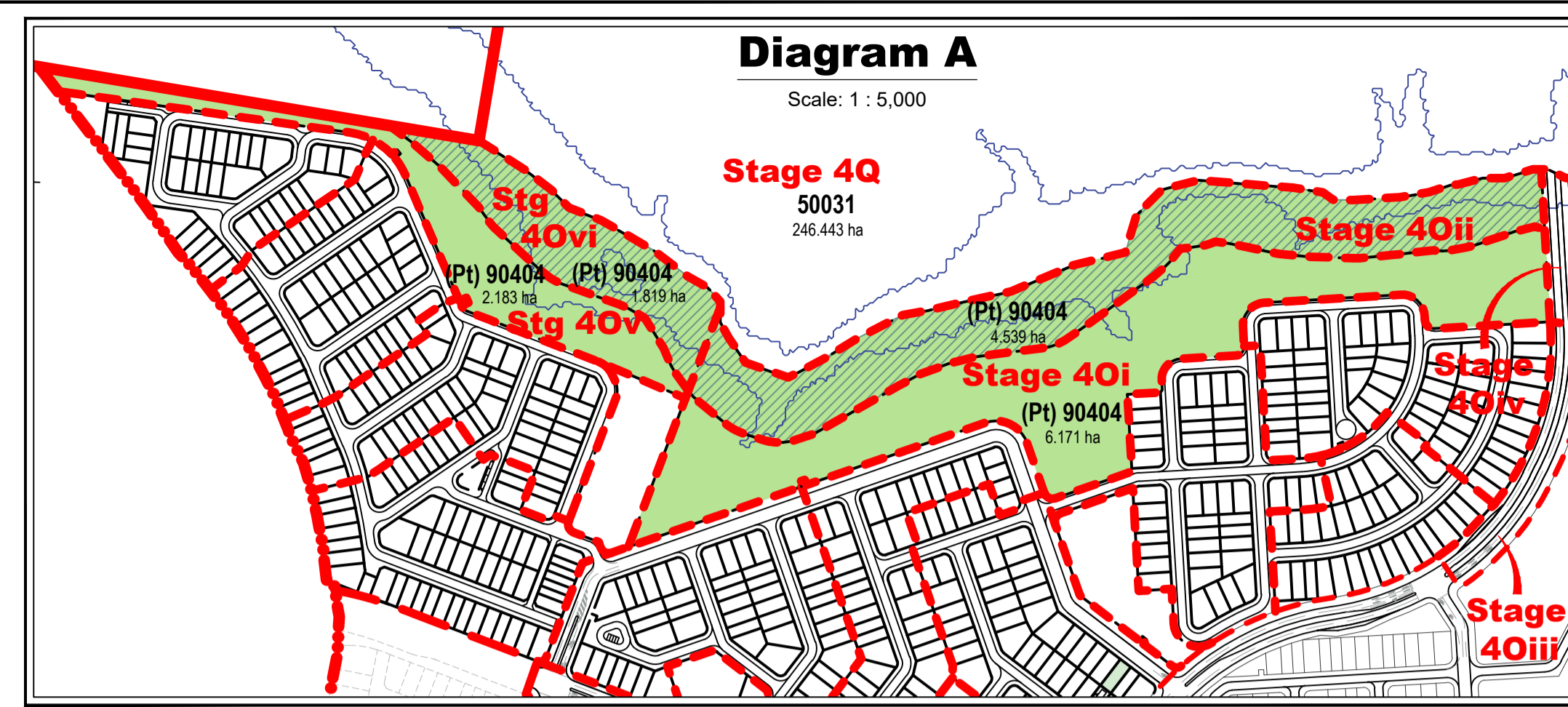
Scale: 1:1000
Sheet: A1

Plan Ref: 110056 - 395
Rev: AS

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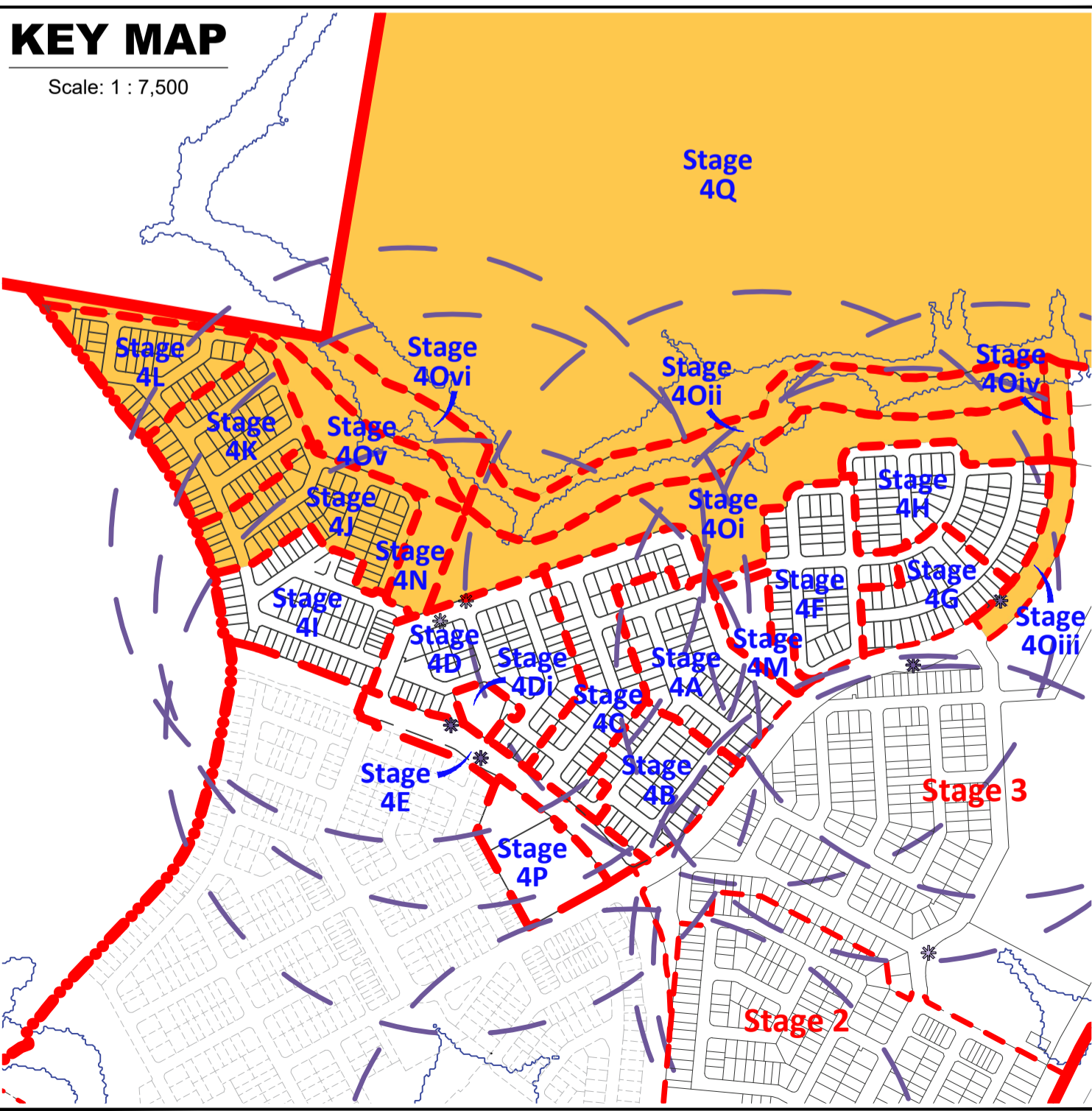
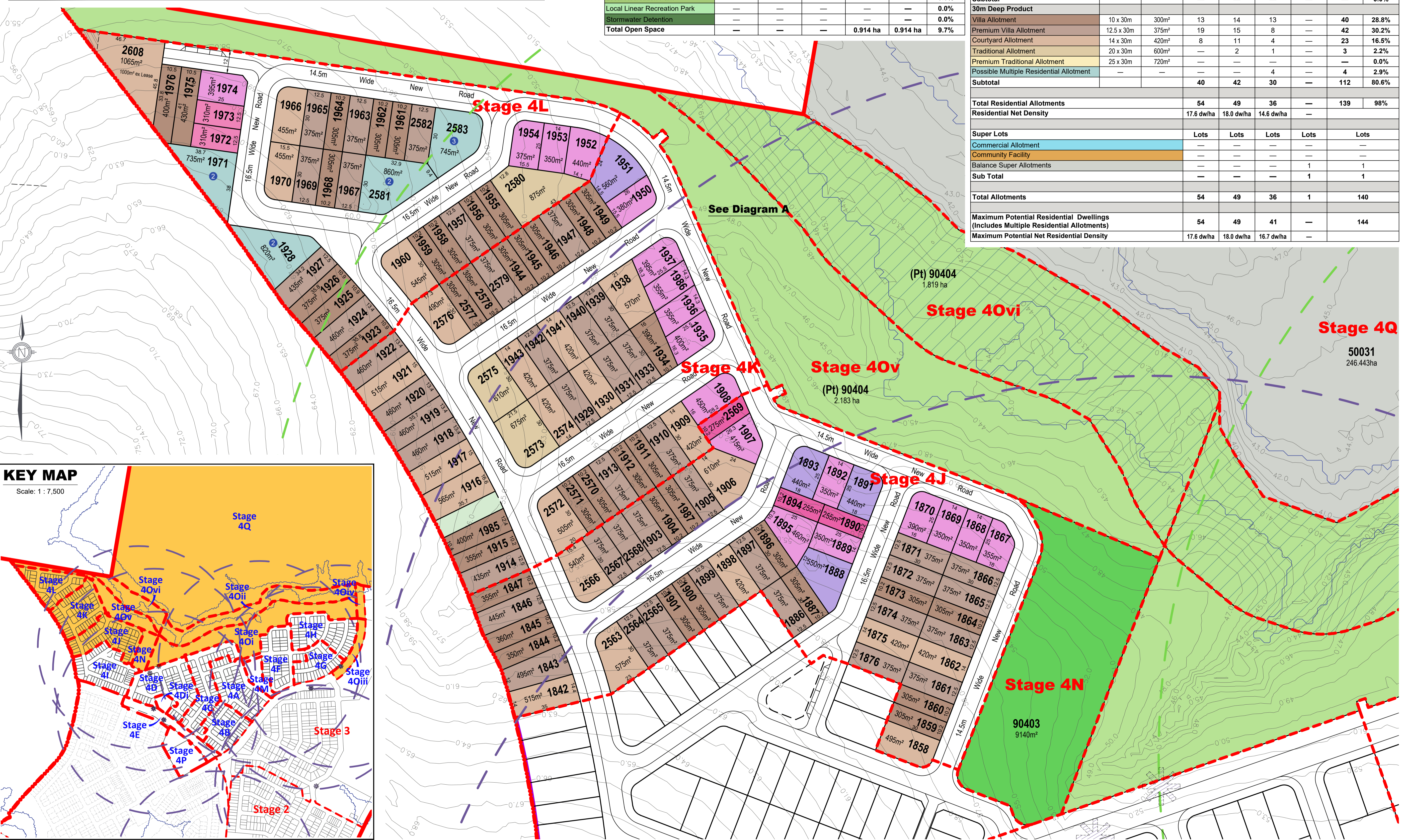


Land Budget Stage 4

Land Use	Stage 4J	Stage 4K	Stage 4L	Stage 4N	Overall	
	Area	Area	Area	Area	Area	%
Area of Subject Site	3.075 ha	2.957 ha	2.458 ha	0.914 ha	9.404 ha	100.0%
Saleable Area						
Residential Allotments	2.072 ha	2.003 ha	1.633 ha	—	5.708 ha	60.7%
Commercial Allotment	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	0.0%
Community Facility	—	—	—	—	—	0.0%
Total Area of Allotments	2.072 ha	2.003 ha	1.633 ha	—	5.708 ha	60.7%
Road						
Collector Road	—	0.233 ha	—	—	0.233 ha	2.5%
Local Road	1.003 ha	0.685 ha	0.825 ha	—	2.513 ha	26.7%
Linear Connections	—	0.036 ha	—	—	0.036 ha	0.4%
Entry Statements	—	—	—	—	—	0.0%
Total Area of New Road	1.003 ha	0.954 ha	0.825 ha	—	2.782 ha	29.6%
Open Space						
Corridor Park	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.914 ha	0.914 ha	9.7%
Local Recreation Park	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	0.0%
Total Open Space	—	—	—	0.914 ha	0.914 ha	9.7%

Yield Breakdown Stage 4

Residential Allotments	Typical Size	Typical Area	Stage 4J	Stage 4K	Stage 4L	Stage 4Q	Overall
Urban & Nano Allotments Product							
Urban Loft	4.7 x 11.5m	50m ²	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	—	0.0%
Subtotal							0.0%
16m Deep Product							
Squat Allotment	14 x 16m	220m ²	—	—	—	—	0.0%
Subtotal							0.0%
25m Deep Product							
Villa Allotment	10 x 25m	250m ²	3	—	—	—	3
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	2	—	2
Courtyard Allotment	14 x 25m	350m ²	8	6	4	—	18
Premium Courtyard Allotment	16 x 25m	400m ²	3	1	—	—	4
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—
Possible Multiple Residential Allotment	—	—	—	—	—	—	—
Subtotal			14	7	6	—	27
28m Deep Product							
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	—
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	—
Subtotal							0.0%
30m Deep Product							
Villa Allotment	10 x 30m	300m ²	13	14	13	—	40
Premium Villa Allotment	12.5 x 30m	375m ²	19	15	8	—	42
Courtyard Allotment	14 x 30m	420m ²	8	11	4	—	23
Traditional Allotment	20 x 30m	600m ²	—	2	1	—	3
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	—
Possible Multiple Residential Allotment	—	—	—	—	—	4	4
Subtotal			40	42	30	—	112
Total Residential Allotments			54	49	36	—	139
Residential Net Density			17.6 dw/ha	18.0 dw/ha	14.6 dw/ha	—	—
Super Lots							
Commercial Allotment			Lots	Lots	Lots	Lots	Lots
Community Facility			—	—	—	—	—
Balance Super Allotments			—	—	—	1	1
Sub Total			—	—	—	1	1
Total Allotments			54	49	36	1	140
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			54	49	41	—	144
Maximum Potential Net Residential Density			17.6 dw/ha	18.0 dw/ha	16.7 dw/ha	—	—



REVISION

AH: 25/04/2023 Stage 4 Layout Changes
 AI: 08/08/2023 Stage 5 Basin Change
 AJ: 12/02/2024 Stage 5R Layout Change
 AK: 15/08/2024 Stage 4 Layout Change
 AL: 23/08/2024 Stage 4 Layout Change
 AM: 27/09/2024 Stage 4 Layout Change
 AN: 29/11/2024 Stage 4 Layout Change
 AO: 07/02/2025 Site Cover Definition Included
 AQ: 04/07/2025 Stage 4 Layout Change
 AR: 25/07/2025 Incorporation of Stage 4 PMTs
 AS: 18/08/2025 Stage 4 Updates

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.
 Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB.
 Contours: Bradlees.

Legend

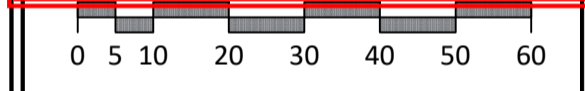
- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)
- Entry Statements - Lease

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303

Date: 30 October 2025

Scale: 1 : 1000 @ A1



CLIENT

PEET

PROJECT

Flagstone Precinct 1

Plan of Subdivision
 Stage 4J, K, L, N, O & Q
 Allotment Layout

Date: 18 August 2025

Comp By: NF

Checked By: MD

DWG Name: Precinct 1 Stage 4

Job Ref: 110056

Local Authority: Economic Development Queensland

Locality: Flagstone

Scale: 1 : 1000

Sheet: A1

Plan Ref: 110056 - 396

Rev: AS

URBAN DESIGN
 Level 4 HD South
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RPS

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Legend

General

- Site Boundary
- - - Proposed Precinct Boundary
- · - · - Proposed Stage Boundary
- · - · - Proposed Sub Stage Boundary
- ① Possible Multiple Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease

Open Space

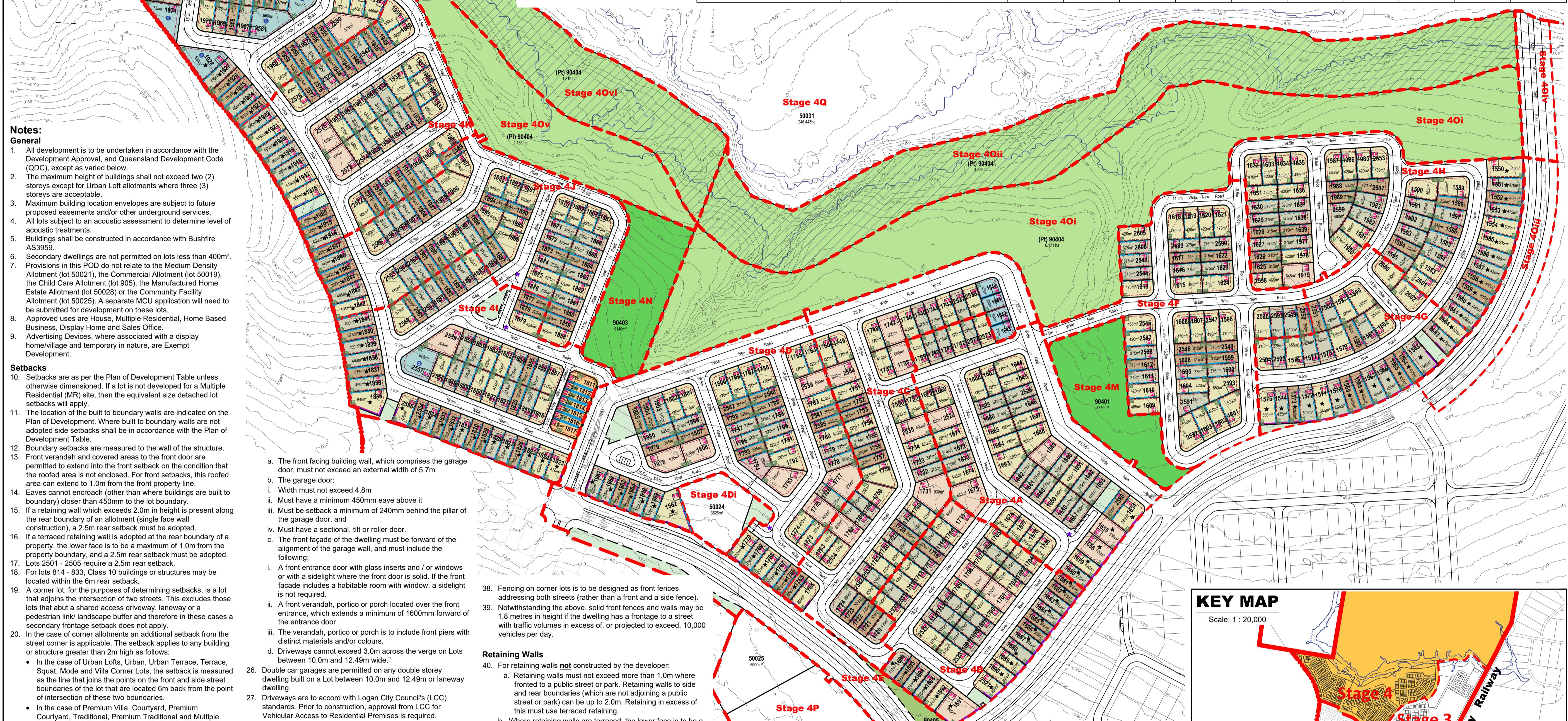
- District Recreation Park
- Corridor Park
- Conservation Within Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

Plan of Development Table

	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	1.5m*	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		75%



- #### Notes:
- ##### General
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m². Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
 - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- ##### Setbacks
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

- ##### Private Open Space
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension on 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.
- ##### On-site car parking and driveways
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
 - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.

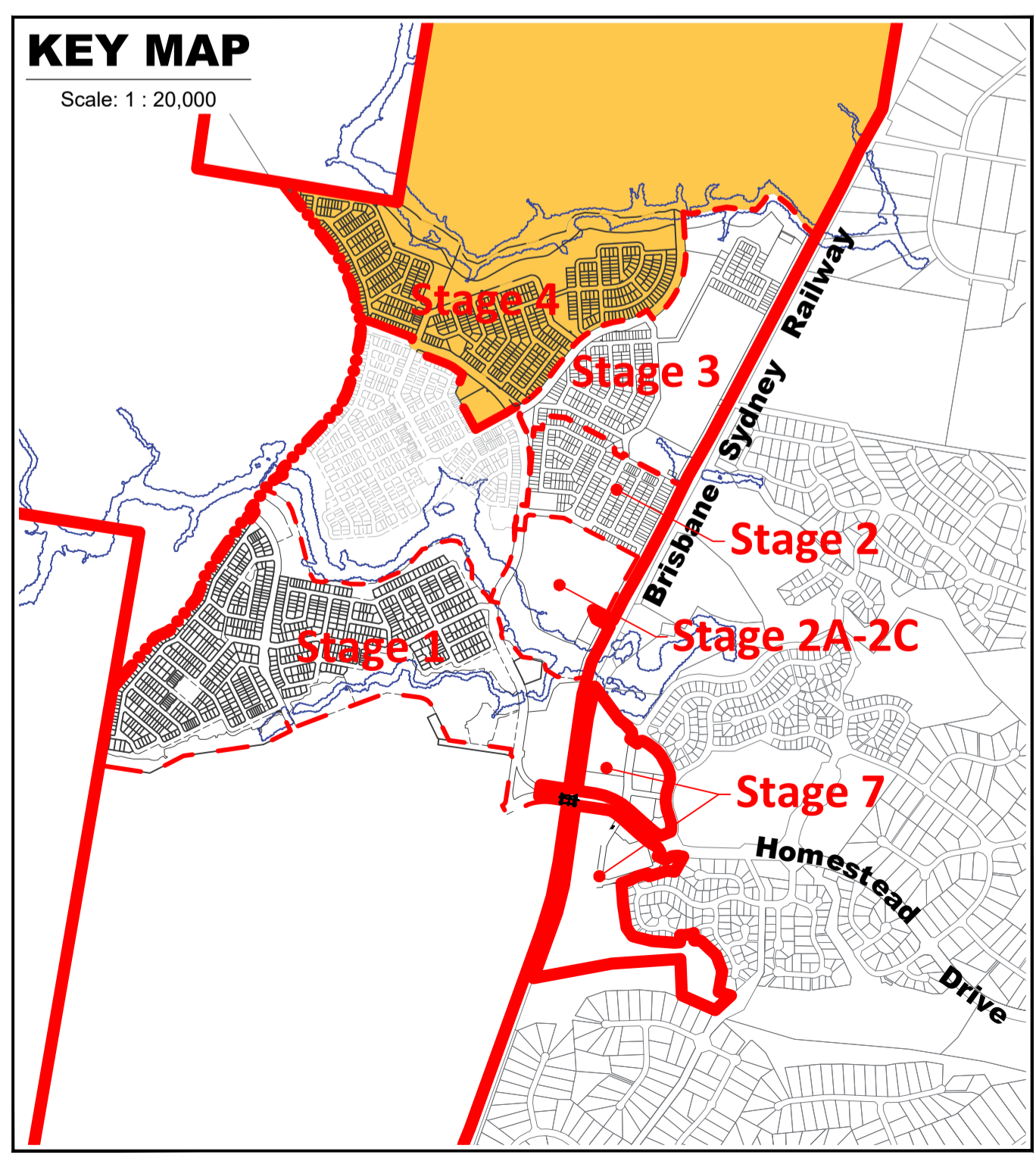
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 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.

- ##### Retaining Walls
- For retaining walls **not** constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

- ##### Building Articulation
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.

- ##### Slope and Building Footings
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- ##### Additional Criteria for Secondary Dwellings
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- ##### Definitions
- Laneway Allotment - Allotments serviced by a laneway.

- ##### Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.



REVISION

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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
 Date: 30 October 2025
 Scale: 1 : 2000 @ A1

CLIENT
PEET

PROJECT
Flagstone Precinct 1

Plan of Development
 Stage 4 Overall
 Residential Allotments

Date: 18 August 2025
 Comp By: NF
 Checked By: MD
 DWG Name: Precinct 1 Stage 4
 Job Ref: 110056
 Local Authority: Economic Development Queensland
 Locality: Flagstone
 Scale: 1 : 2000
 Sheet: A1
 Plan Ref: 110056 - 397
 Rev: AS

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 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
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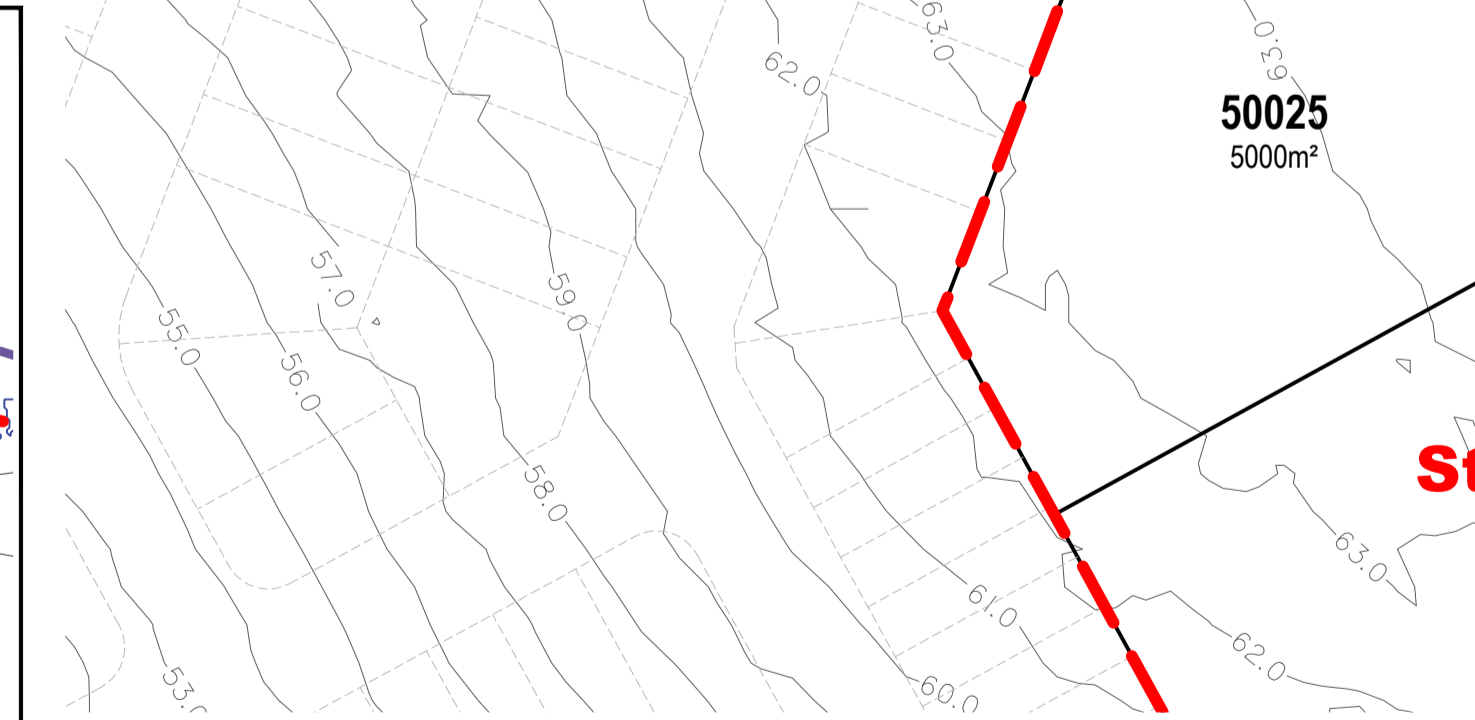
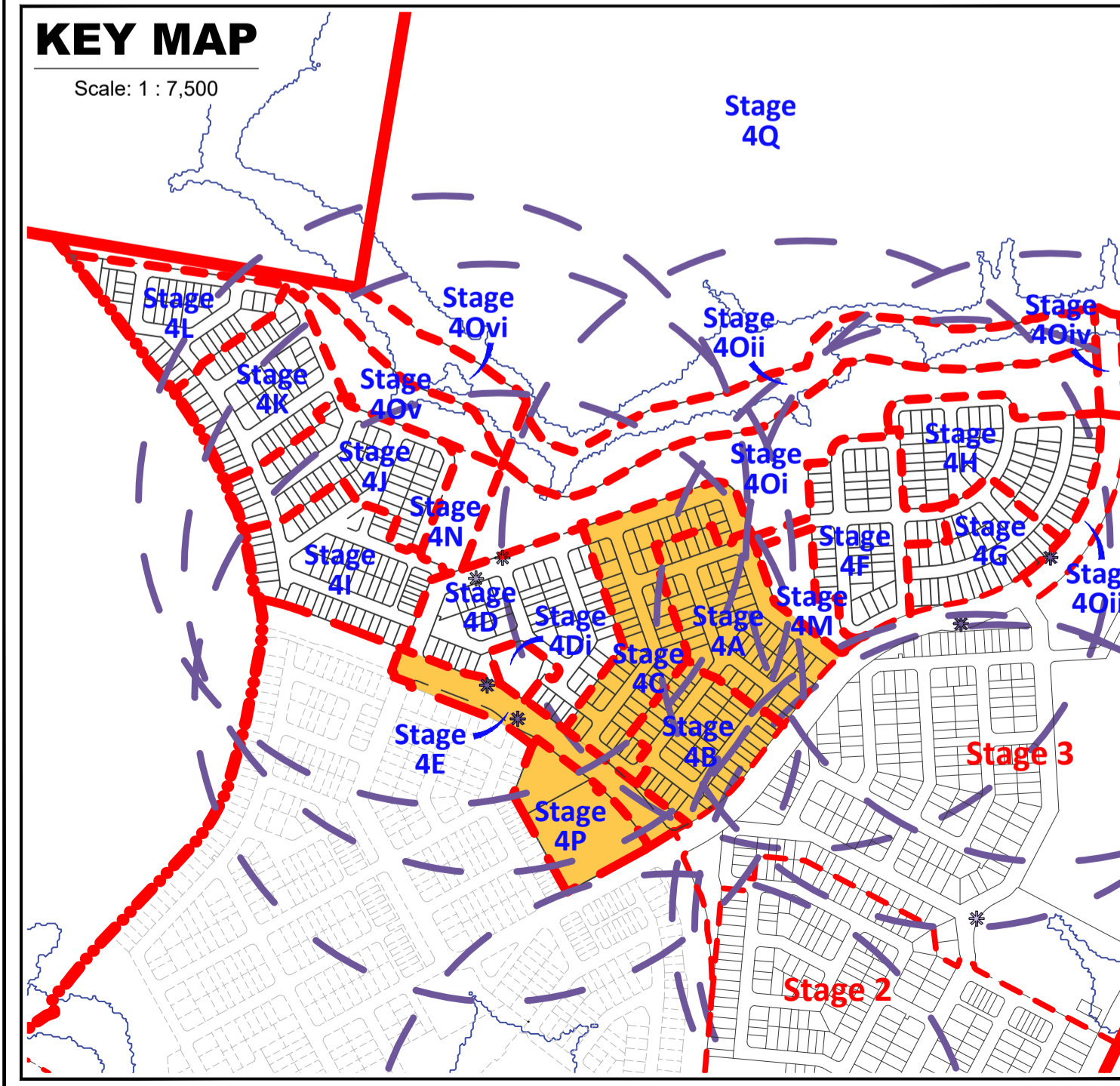
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
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 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension on 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.

- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
 - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front friers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.*
 - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
 - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
 - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
 - Maximum of one driveway per dwelling unless it is a MR lot.

- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
 - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
 - Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls **not** constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the level as the constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions
Laneway Allotment - Allotments serviced by a laneway.



Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		75%

Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease

Open Space

- Corridor Park
- Neighbourhood Recreation Park
- Local Linear Recreation Park
- Linear Connections

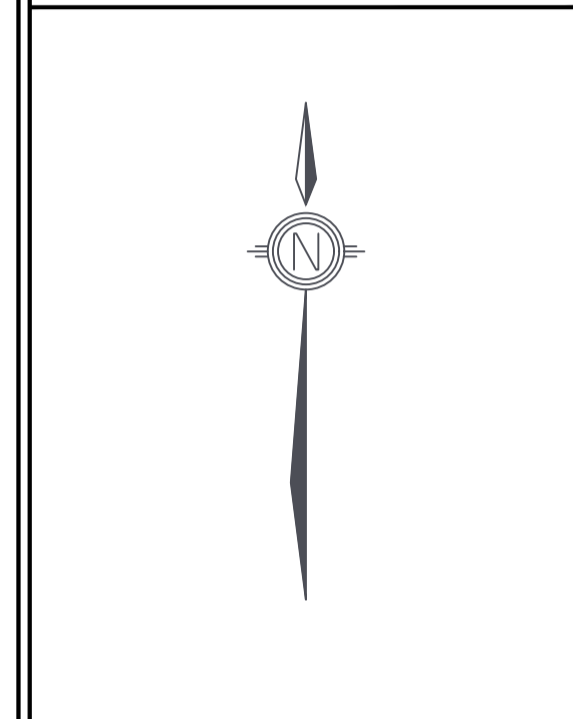
Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

REVISION

AH: 25/04/2023 Stage 4 Layout Change
AI: 08/08/2023 Stage 5 Basin Change
AJ: 12/02/2024 Stage 5R Layout Change
AK: 15/08/2024 Stage 4 Layout Change
AL: 23/08/2024 Stage 4 Layout Change
AM: 27/09/2024 Stage 4 Layout Change
AN: 29/11/2024 Stage 4 Layout Change
AO: 07/02/2025 Site Cover Definition Included
AQ: 04/07/2025 Stage 4 Layout Change
AR: 25/07/2025 Incorporation of Stage 4 PMTs
AS: 18/08/2025 Stage 4 Updates

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025
Scale: 1:1000 @ A1

CLIENT
PEET

PROJECT
Flagstone Precinct 1

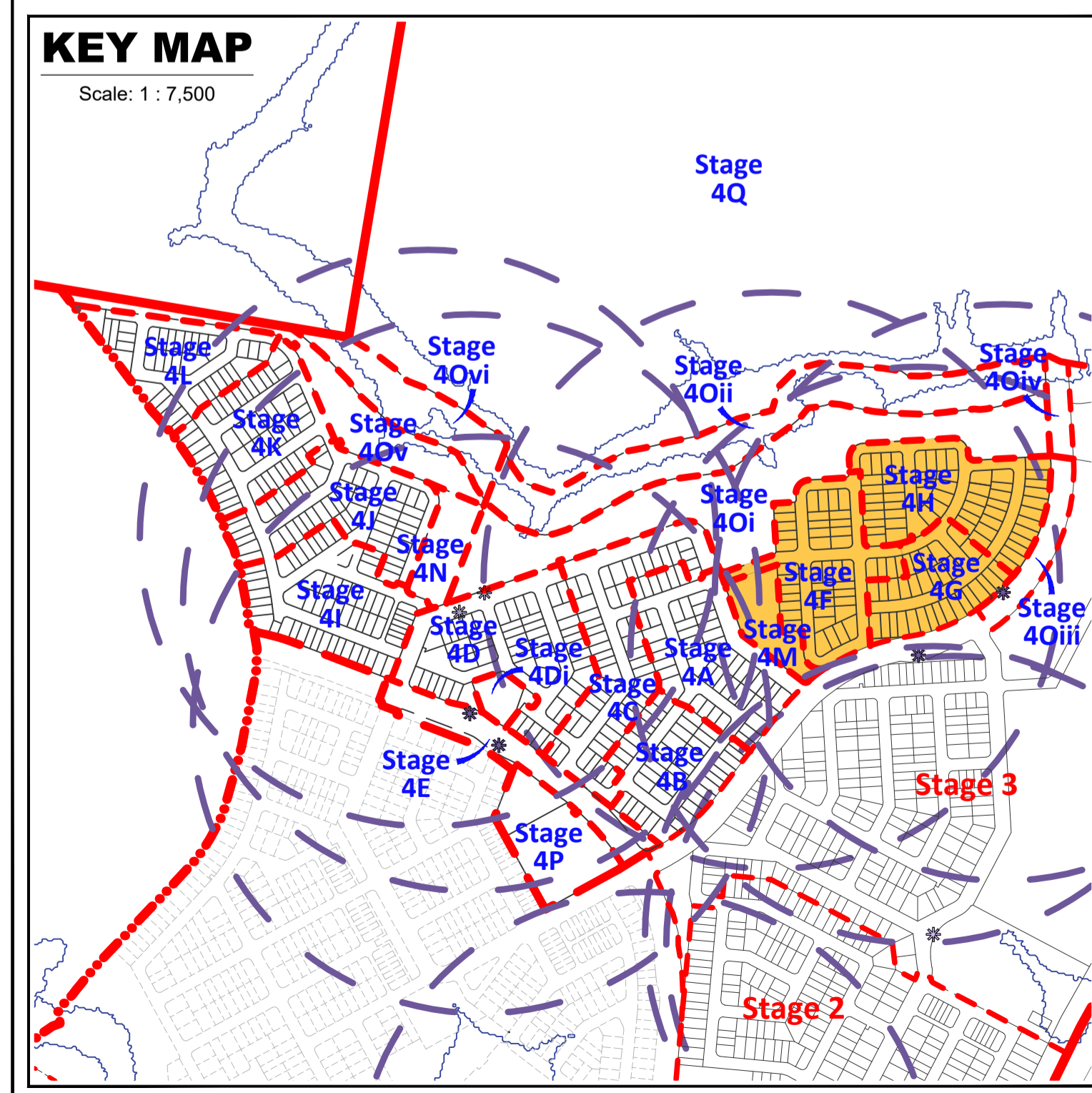
Plan of Development
Stage 4A, B & C
Residential Allotments

Date:	18 August 2025
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1:1000
Sheet:	A1
Plan Ref:	110056 - 398
Rev:	AS

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rps

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Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- District Recreation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Bin Pad

Notes:

- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
 - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.

- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension on 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.

- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
 - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.*
 - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
 - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
 - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/Egress must be achieved for a B99 Vehicle.
 - Maximum of one driveway per dwelling unless it is a MR lot.

Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotments (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		75%		

- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
 - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
 - Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on lanes can be service fencing at 1.8m high where along private open space, carparking and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls **not** constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
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 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
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 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
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 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

REVISION

AH: 25/04/2023 Stage 4 Layout Changes
 AJ: 08/08/2023 Stage 5 Basin Change
 AJ: 12/02/2024 Stage 5R Layout Change
 AK: 15/08/2024 Stage 4 Layout Change
 AL: 23/08/2024 Stage 4 Layout Change
 AM: 27/09/2024 Stage 4 Layout Change
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Source Information:
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 Adjoining information: DCDB
 Contours: Bradlees.

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Approval no: DEV2012/403/303
 Date: 30 October 2025
 Scale: 1:1000 @ A1

CLIENT
PEET

PROJECT
Flagstone Precinct 1
 Plan of Development Stage 4F - H Residential Allotments

Date: 18 August 2025
 Comp By: NF
 Checked By: MD
 DWG Name: Precinct 1 Stage 4
 Job Ref: 110056
 Local Authority: Economic Development Queensland
 Locality: Flagstone
 Scale: 1:1000 Sheet A1
 Plan Ref: 110056 - 399 Rev AS

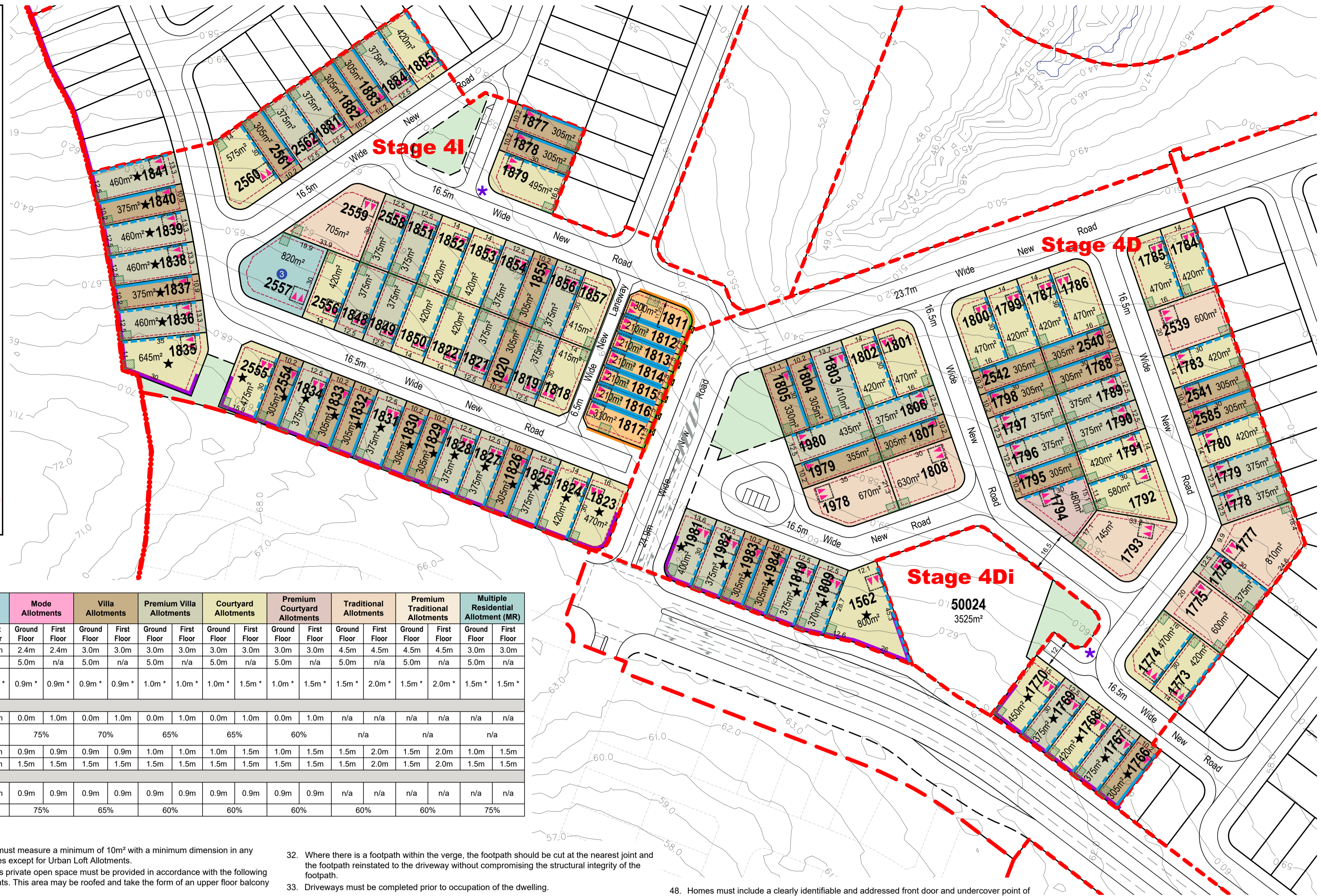
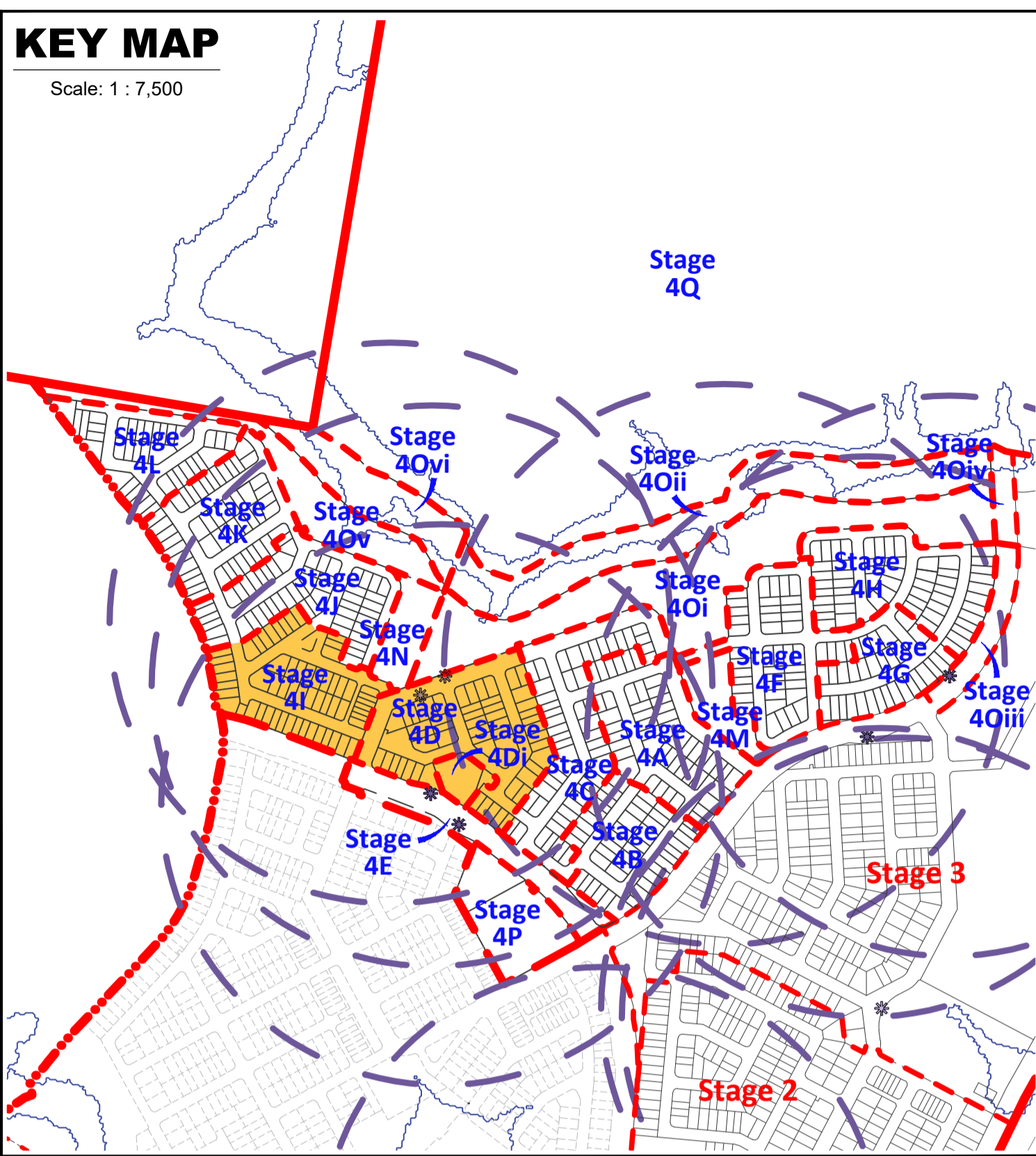
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KEY MAP

Scale: 1 : 7,500



Plan of Development Table	Urban Loft Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Traditional Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	0.9m	0.9m	1.0m	1.5m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
Side - General Lots	Built to Boundary																							
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		n/a		n/a		n/a	
Non Built to Boundary	0.9m		0.9m		0.9m		0.9m		1.0m		1.0m		0.9m		0.9m		1.0m		1.0m		1.5m		1.5m	
Corner Lots - Secondary Frontage	1.5m		1.5m		1.5m		1.5m		1.5m		1.5m		1.5m		1.5m		1.5m		1.5m		1.5m		1.5m	
Laneway Lots	Rear of Lot (from laneway boundary including garage)																							
Site Cover	90%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		75%	

Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
 - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension on 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.

- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

Fencing

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

Retaining Walls

- For retaining walls **not** constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.

- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

Legend

- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - Entry Statements - Lease
- Open Space**
- District Recreation Park
 - Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- Allotment Details**
- Preferred Private Open Space Location
 - Maximum Building Location Envelope
 - Mandatory Built to Boundary Wall
 - Nominal Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - 2m High Solid Timber Fence
 - Preferred Garage Location
 - Preferred Single Garage Location
 - Letterbox Location for Primary Dwelling (on a laneway)
 - Lot Impacted by Potential Acoustic Requirements
 - Bin Pad



REVISION	
AH: 25/04/2023	Stage 4 Layout Change
AI: 08/08/2023	Stage 5 Basin Change
AJ: 12/02/2024	Stage 5R Layout Change
AK: 15/08/2024	Stage 4 Layout Change
AL: 23/08/2024	Stage 4 Layout Change
AM: 27/09/2024	Stage 4 Layout Change
AN: 29/11/2024	Stage 4 Layout Change
AO: 07/02/2025	Site Cover Definition Included
AP: 04/07/2025	Stage 4 Layout Change
AR: 25/07/2025	Incorporation of Stage 4 PMTs
AS: 18/08/2025	Stage 4 Updates

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans 1 Varis
Adjoining Information: DCDB.
Contours: Bradlees.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303

Date: 30 October 2025

Scale: 1 : 1000 @ A1

CLIENT

PEET

PROJECT

Flagstone Precinct 1

Plan of Development Stage 4D & I Residential Allotments

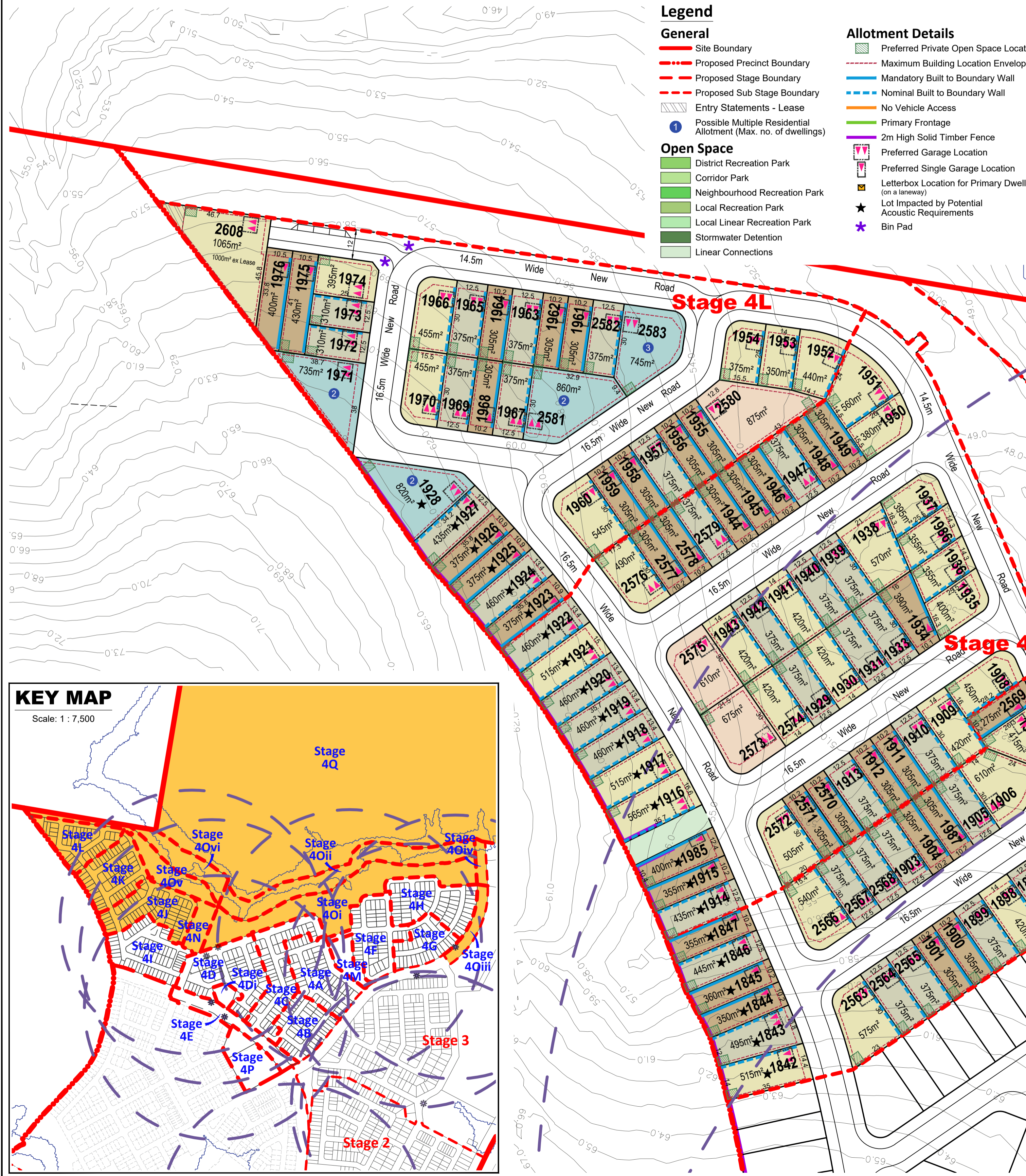
Date:	18 August 2025
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1 : 1000
Sheet:	A1
Plan Ref:	110056 - 400
Rev:	AS

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Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*		
* Additional setback required on some allotments - refer POD Notes 14-16.																											
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a	n/a	n/a	n/a	n/a	n/a	
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		75%		



Notes:

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- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
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- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension on 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
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 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
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 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
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 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.

- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

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- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
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- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

Retaining Walls

- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Over and rubbish bins areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

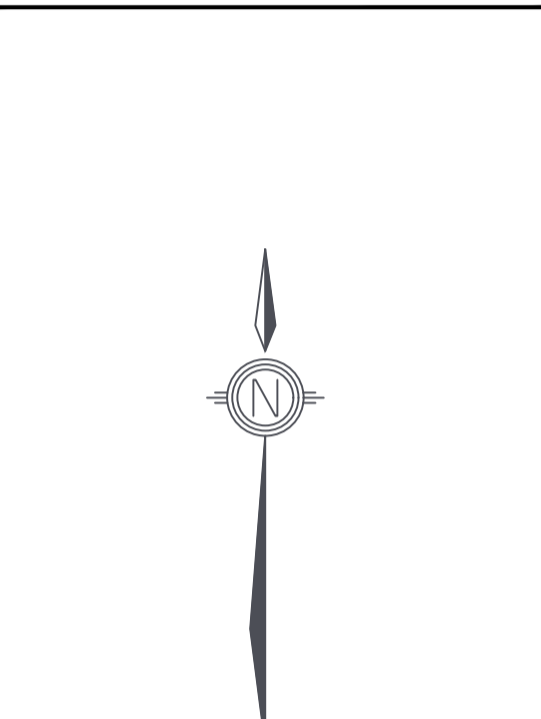
Definitions

Laneway Allotment - Allotments serviced by a laneway.

REVISION	
AH: 25/04/2023 Stage 4 Layout Changes	
AI: 08/08/2023 Stage 5 Basin Change	
AJ: 12/02/2024 Stage 5R Layout Change	
AK: 15/08/2024 Stage 4 Layout Change	
AL: 27/09/2024 Stage 4 Layout Change	
AM: 29/11/2024 Stage 4 Layout Change	
AN: 07/02/2025 Site Cover Definition Included	
AO: 04/07/2025 Stage 4 Layout Change	
AR: 25/07/2025 Incorporation of Stage 4 PMTs	
AS: 18/08/2025 Stage 4 Updates	

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris
Adjoining Information: DCDB
Contours: Bradlees.



PLANS AND DOCUMENTS referred to in the **PDA DEVELOPMENT APPROVAL**

Approval no: DEV2012/403/303
Date: 30 October 2025
Scale: 1:1000 @ A1

CLIENT: **PEET**

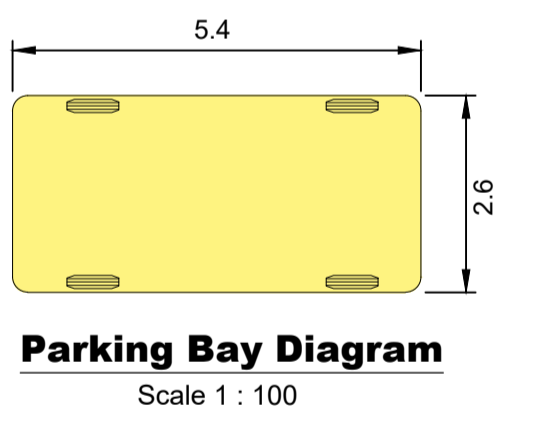
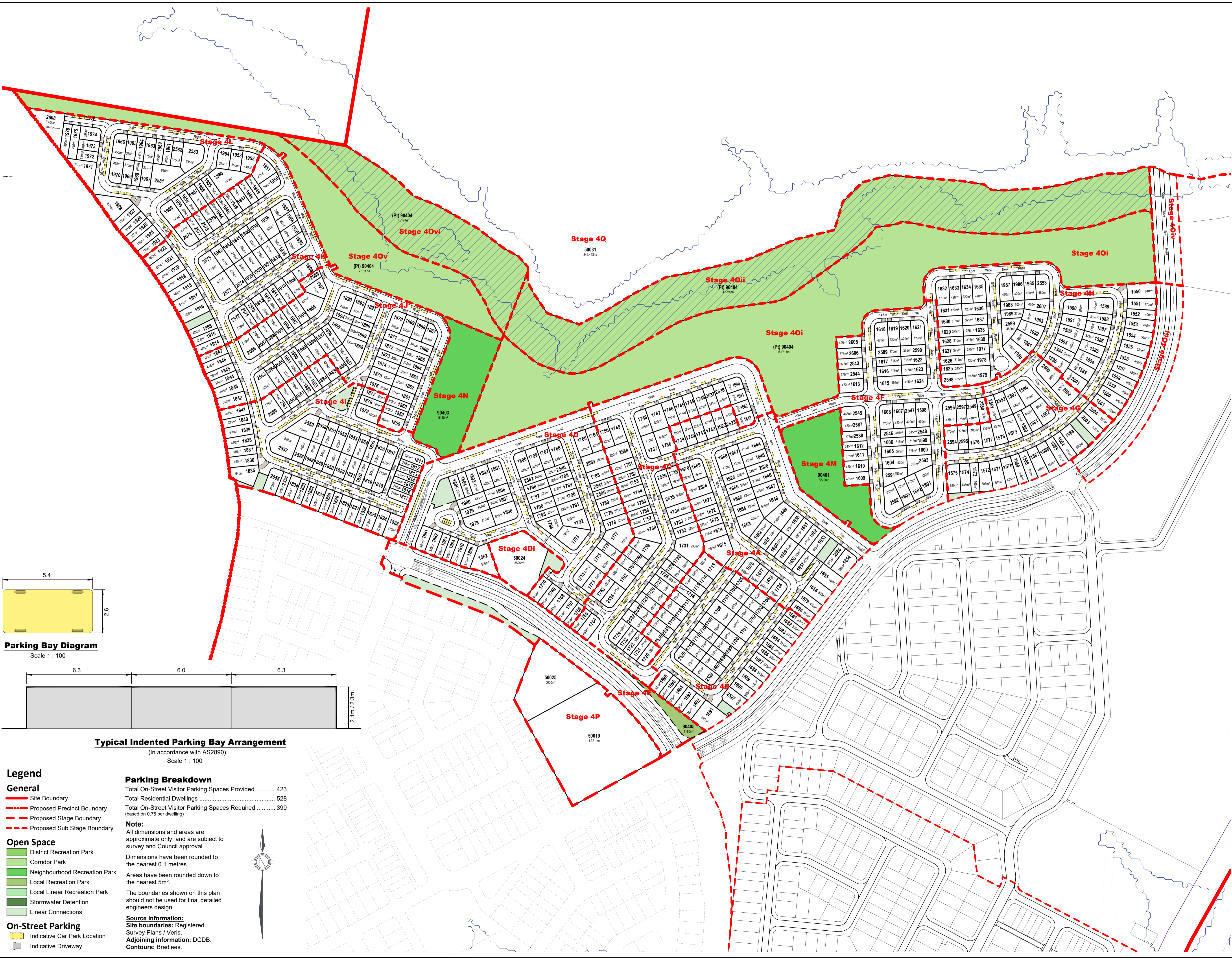
PROJECT: **Flagstone Precinct 1**

Plan of Development Stage 4J, K & L Residential Allotments

Date:	18 August 2025
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1:1000
Sheet:	A1
Plan Ref:	110056 - 401
Rev:	AS

URBAN DESIGN
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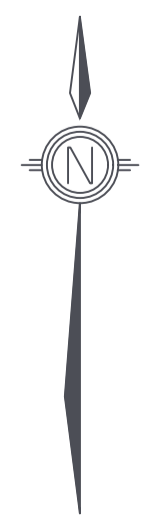
- Legend**
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
- Open Space**
- District Recreation Park
 - Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- On-Street Parking**
- Indicative Car Park Location
 - Indicative Driveway

Parking Breakdown

Total On-Street Visitor Parking Spaces Provided 423
 Total Residential Dwellings 528
 Total On-Street Visitor Parking Spaces Required 399
 (based on 0.75 per dwelling)

Note:
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Source Information:
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 Adjoining information: DCDB.
 Contours: Bradlees.



REVISION

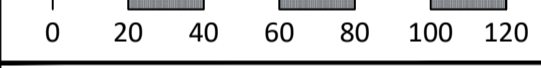
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AJ:	12/02/2024	Stage 5R Layout Change
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Source Information:
 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB.
 Contours: Bradlees.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
 Date: 30 October 2025
 Scale: 1 : 2000 @ A1



CLIENT

PEET

PROJECT

Flagstone Precinct 1

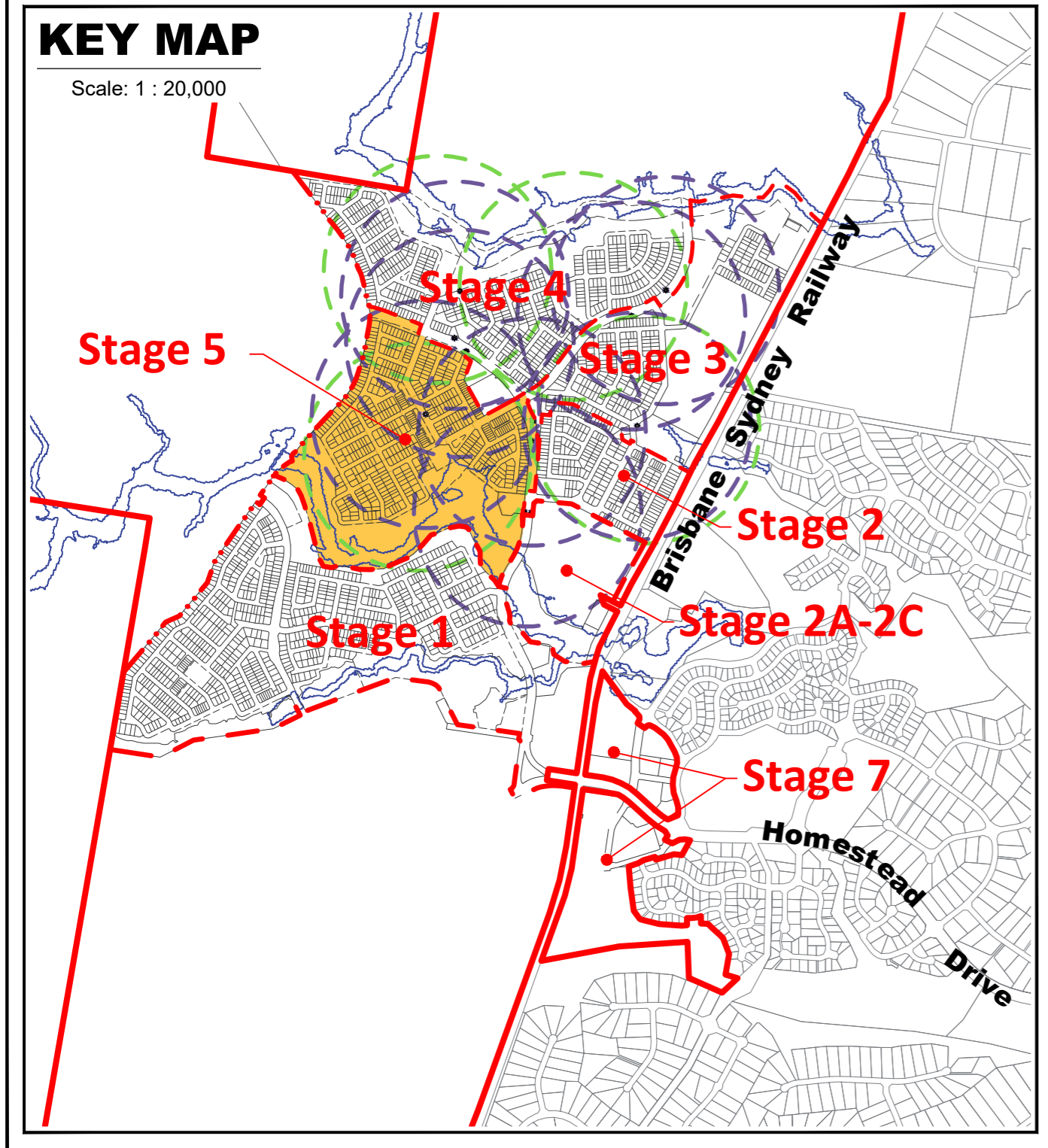
Plan of Subdivision
 Stage 4 Overall
 Parking Management Plan

Date:	18 August 2025
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1 : 2000
Sheet:	A1
Plan Ref:	110056 - 402
Rev:	AS

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rps

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- Legend**
- Site Boundary
 - - - Proposed Stage Boundary
 - - - Proposed Sub Stage Boundary
 - Existing Q100
 - Residential Allotment (Max. no. of dwellings)
 - ▨ Entry Statements - Lease
 - ⊗ Indicative Indented Bus Stop Location
 - ⊕ Indicative In-Line Bus Stop Location
 - Bus Stop Catchment (400m)
 - Neighbourhood Park Catchment (400m)

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
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Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Meinhardt.

Land Use	Overall	
	Area	Area
Area of Subject Site	52,188 ha	100.0%
Saleable Area		
Residential Allotments	19,984 ha	38.3%
Medium Density Allotment	0.666 ha	1.3%
Balance Super Allotments	—	0.0%
Total Area of Allotments	20,650 ha	39.6%
Road		
Collector Road	3,532 ha	6.8%
Local Road	8,671 ha	16.6%
Linear Connections	0,442 ha	0.8%
Entry Statements	—	0.0%
Total Area of New Road	12,645 ha	24.2%
Open Space		
Corridor Park	17,812 ha	34.1%
Conservation (Within Corridor Park)	10,710 ha	—
District Recreation Park	—	0.0%
Neighbourhood Recreation Park	0,627 ha	1.2%
Local Recreation Park	0,088 ha	0.2%
Local Linear Recreation Park	0,366 ha	0.7%
Stormwater Detention	—	0.0%
Total Open Space	18,893 ha	36.2%

Yield Breakdown Stage 5				
Residential Allotments				Overall
Urban & Nano Allotments Product	Typical Size	Typical Area		
Urban Loft	4.7 x 12.5m	50m ²	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	0.0%
Urban Terrace	7.5 x 27.5m	205m ²	16	3.2%
Subtotal			16	3.2%
16m Deep Product				
Squat Allotment	14 x 16m	220m ²	10	2.0%
Subtotal			10	2.0%
25m Deep Product				
Villa Allotment	10 x 25m	250m ²	21	4.2%
Premium Villa Allotment	12.5 x 25m	313m ²	3	0.6%
Courtyard Allotment	14 x 25m	350m ²	25	5.0%
Premium Courtyard Allotment	16 x 25m	400m ²	10	2.0%
Premium Traditional Allotment	20 x 25m	500m ²	1	0.2%
Possible Multiple Residential Allotment	—	—	3	0.6%
Subtotal			63	12.7%
28m - 30m Deep Product				
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m ²	33	6.6%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	12	2.4%
Subtotal			45	9.0%
30m Deep Product				
Villa Allotment	10 x 30m	300m ²	72	14.5%
Premium Villa Allotment	12.5 x 30m	375m ²	123	24.7%
Courtyard Allotment	14 x 30m	420m ²	124	24.9%
Traditional Allotment	20 x 30m	600m ²	43	8.6%
Premium Traditional Allotment	25 x 30m	720m ²	2	0.4%
Possible Multiple Residential Allotment	—	—	—	0.0%
Subtotal			364	73.1%
Total Residential Allotments			498	100%
Residential Net Density				16.5 dw/ha
Super Lots				Lots
Medium Density Allotment			1	
Balance Super Allotments			—	
Sub Total			1	
Total Allotments			499	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)				501
Maximum Potential Net Residential Density				16.6 dw/ha

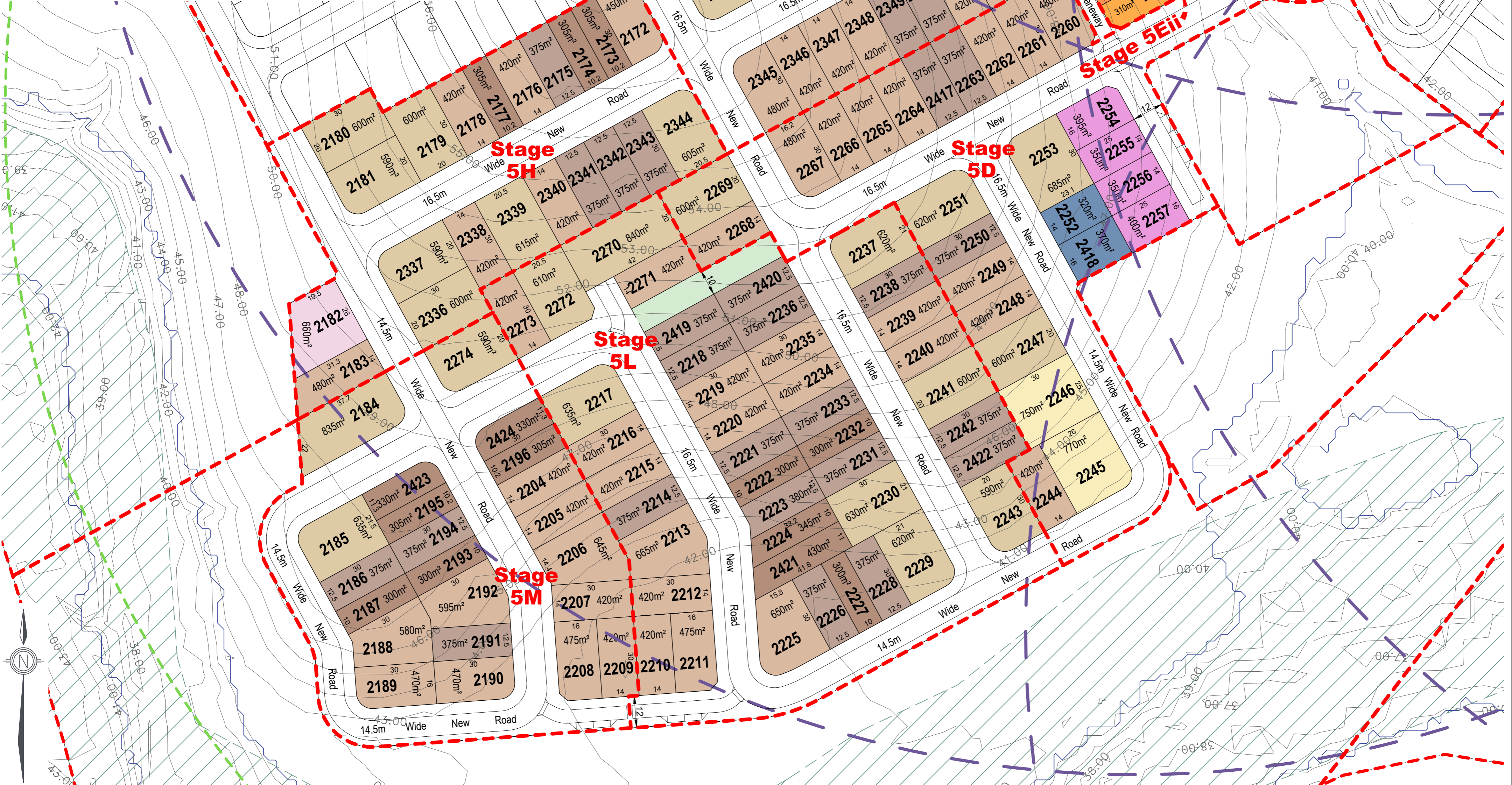
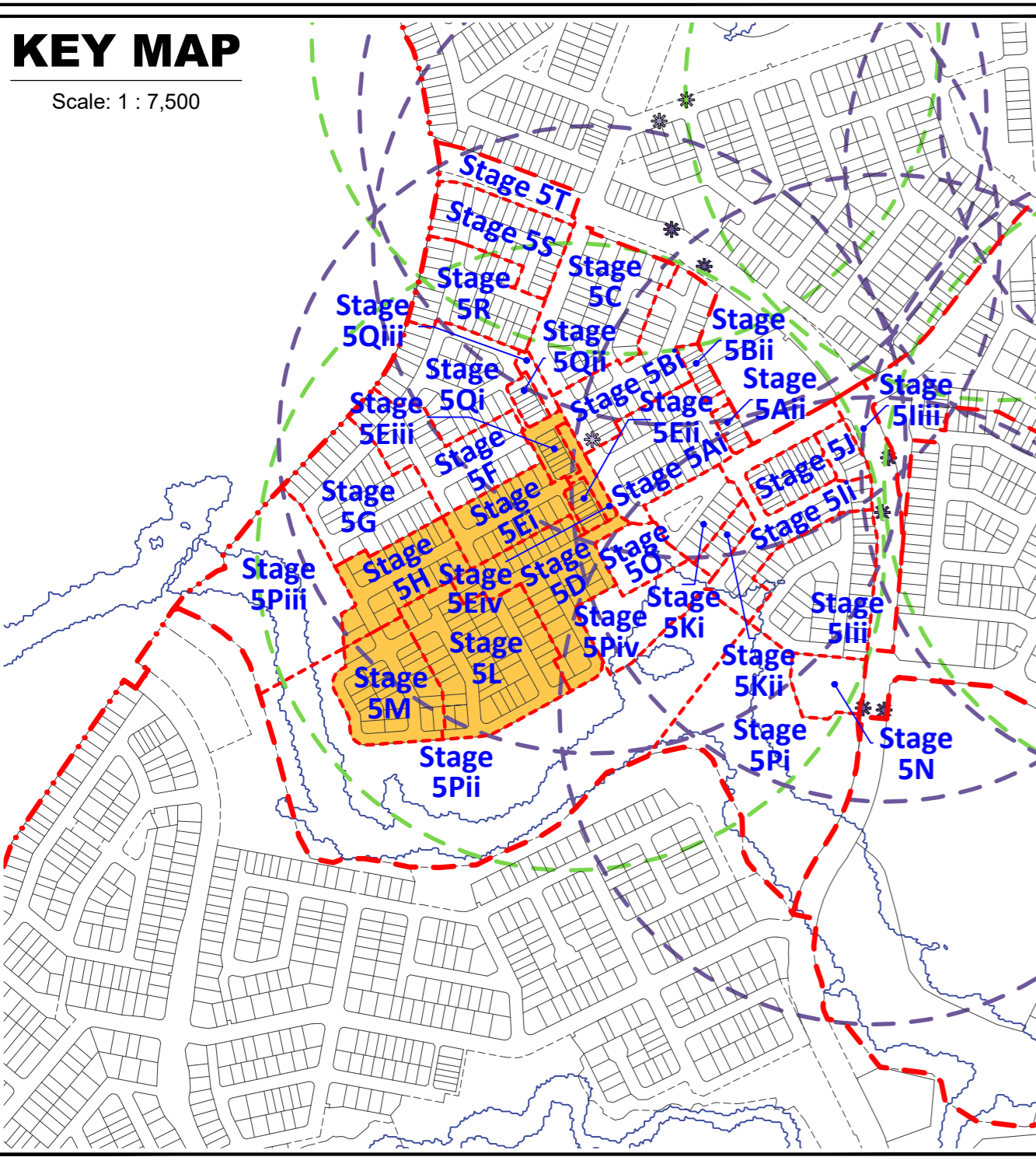


TO BE READ IN CONJUNCTION WITH 110056 - 404

REVISION AH: 25/04/2023 Stage 4 Layout Changes AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change AK: 15/08/2024 Stage 4 Layout Change AL: 23/08/2024 Stage 4 Layout Change AM: 27/09/2024 Stage 4 Layout Change AN: 29/11/2024 Stage 4 Layout Change AO: 07/02/2025 Site Cover Definition Included AP: 14/05/2025 Stage 3 and 4 Layout Change AQ: 04/07/2025 Stage 4 Layout Change AR: 25/07/2025 Incorporation of Stage 4 PMTs AS: 18/08/2025 Stage 4 Updates	PROJECT Flagstone Precinct 1	CLIENT PEET	PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DEV2012/403/303 Date: 30 October 2025			URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com	
	Job Ref. 110056	Date. 18 August 2025					Plan of Subdivision Stage 5 Overall Allotment Layout
	Comp By. NF	DWG Name. Precinct 1 Stage 5					Scale 1 : 2000
	Chk'd By. MD	Locality. Flagstone					Sheet A1
Local Authority. Economic Development Queensland			Plan Ref 110056 - 403	Rev AS			

KEY MAP

Scale: 1 : 7,500



Yield Breakdown											
Residential Allotments		Typical Size	Typical Area	Stage 5D	Stage 5Ei	Stage 5Eii	Stage 5Eiii	Stage 5H	Stage 5L	Stage 5M	Overall
Urban & Nano Allotments Product											
Urban Loft	4.7 x 12.5m	50m ²	—	—	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	—	—	—	—	0.0%
Urban Terrace	7.5 x 27.5m	205m ²	—	—	—	—	—	—	—	—	0.0%
Subtotal											0.0%
16m Deep Product											
Squat Allotment	14 x 16m	220m ²	2	—	—	—	—	—	—	—	1.4%
Subtotal			2								1.4%
25m Deep Product											
Villa Allotment	10 x 25m	250m ²	—	—	—	—	—	—	—	—	0.0%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	4	—	—	—	—	—	—	—	2.8%
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	—	—	—	—	—	—	0.0%
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—	1	—	—	0.7%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			4					1			3.5%
28m - 30m Deep Product											
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	—	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	—	—	—	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	5	5	—	—	—	—	10.0%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	2	2	—	—	—	—	2.8%
Subtotal					7	7					14.8%
30m Deep Product											
Villa Allotment	10 x 30m	300m ²	—	2	—	—	—	3	5	6	11.2%
Premium Villa Allotment	12.5 x 30m	375m ²	3	5	—	—	4	14	3	29	20.3%
Courtyard Allotment	14 x 30m	420m ²	11	9	—	—	6	15	10	51	35.7%
Traditional Allotment	20 x 30m	600m ²	4	2	—	—	7	8	3	24	16.8%
Premium Traditional Allotment	25 x 30m	720m ²	2	—	—	—	—	—	—	2	1.4%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			20	18	—	—	20	42	22	122	85.3%
Total Residential Allotments			26	18	7	7	21	42	22	143	100.0%
Residential Net Density			13.3 dw/ha	15.4 dw/ha	35.2 dw/ha	21.0 dw/ha	15.4 dw/ha	15.3 dw/ha	13.3 dw/ha		
Super Lots											
Medium Density Allotment			Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	
Balance Super Allotments			—	—	—	—	—	—	—	—	
Sub Total											
Total Allotments			26	18	7	7	21	42	22	143	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			26	18	7	7	21	42	22	143	
Maximum Potential Net Residential Density			13.3 dw/ha	15.4 dw/ha	35.2 dw/ha	21.0 dw/ha	15.4 dw/ha	15.3 dw/ha	13.3 dw/ha		

Legend

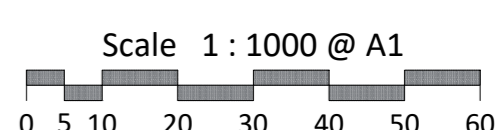
- Site Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing Q100
- ① Residential Allotment (Max. no. of dwellings)
- ▨ Entry Statements - Lease
- ⊛ Indicative Indented Bus Stop Location
- ⊛ Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Note:

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Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Meinhardt.



Land Use	Land Budget								Overall	%
	Stage 5D	Stage 5Ei	Stage 5Eii	Stage 5Eiii	Stage 5Eiv	Stage 5H	Stage 5L	Stage 5M		
Area of Subject Site	1.949 ha	1.171 ha	0.199 ha	0.334 ha	0.220 ha	1.366 ha	2.740 ha	1.648 ha	9.627 ha	100.0%
Saleable Area	—	—	—	—	—	—	—	—	—	—
Residential Allotments	1.208 ha	0.762 ha	0.167 ha	0.167 ha	—	0.990 ha	1.892 ha	0.999 ha	6.185 ha	64.2%
Medium Density Allotment	—	—	—	—	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	—	—	—	—	0.0%
Total Area of Allotments	1.208 ha	0.762 ha	0.167 ha	0.167 ha	—	0.990 ha	1.892 ha	0.999 ha	6.185 ha	64.2%
Road	—	—	—	—	—	—	—	—	—	0.0%
Collector Road	—	—	—	—	—	—	—	—	—	0.0%
Local Road	0.741 ha	0.409 ha	0.032 ha	0.167 ha	—	0.376 ha	0.788 ha	0.649 ha	3.162 ha	32.8%
Linear Connections	—	—	—	—	—	—	0.060 ha	—	0.060 ha	0.6%
Entry Statements	—	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	0.741 ha	0.409 ha	0.032 ha	0.167 ha	—	0.376 ha	0.848 ha	0.649 ha	3.222 ha	33.5%
Open Space	—	—	—	—	—	—	—	—	—	0.0%
Corridor Park	—	—	—	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	0.220 ha	—	—	—	0.220 ha	2.3%
Stormwater Detention	—	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	0.220 ha	—	—	—	0.220 ha	2.3%

REVISION

AH: 25/04/2023 Stage 4 Layout Changes
AI: 08/08/2023 Stage 5 Basin Change
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AS: 18/08/2025 Stage 4 Updates

PROJECT

Flagstone Precinct 1

Job Ref. 110056	Date. 18 August 2025
Comp By. NF	DWG Name. Precinct 1 Stage 5
Chk'd By. MD	Locality. Flagstone
Local Authority. Economic Development Queensland	

CLIENT

PEET

Plan of Subdivision
Stage 5D, Ei, Eii, Eiii, Eiv, H, L & M
Allotment Layout

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DE/2012/403/303
Date: 30 October 2025

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Fortitude Valley QLD 4006
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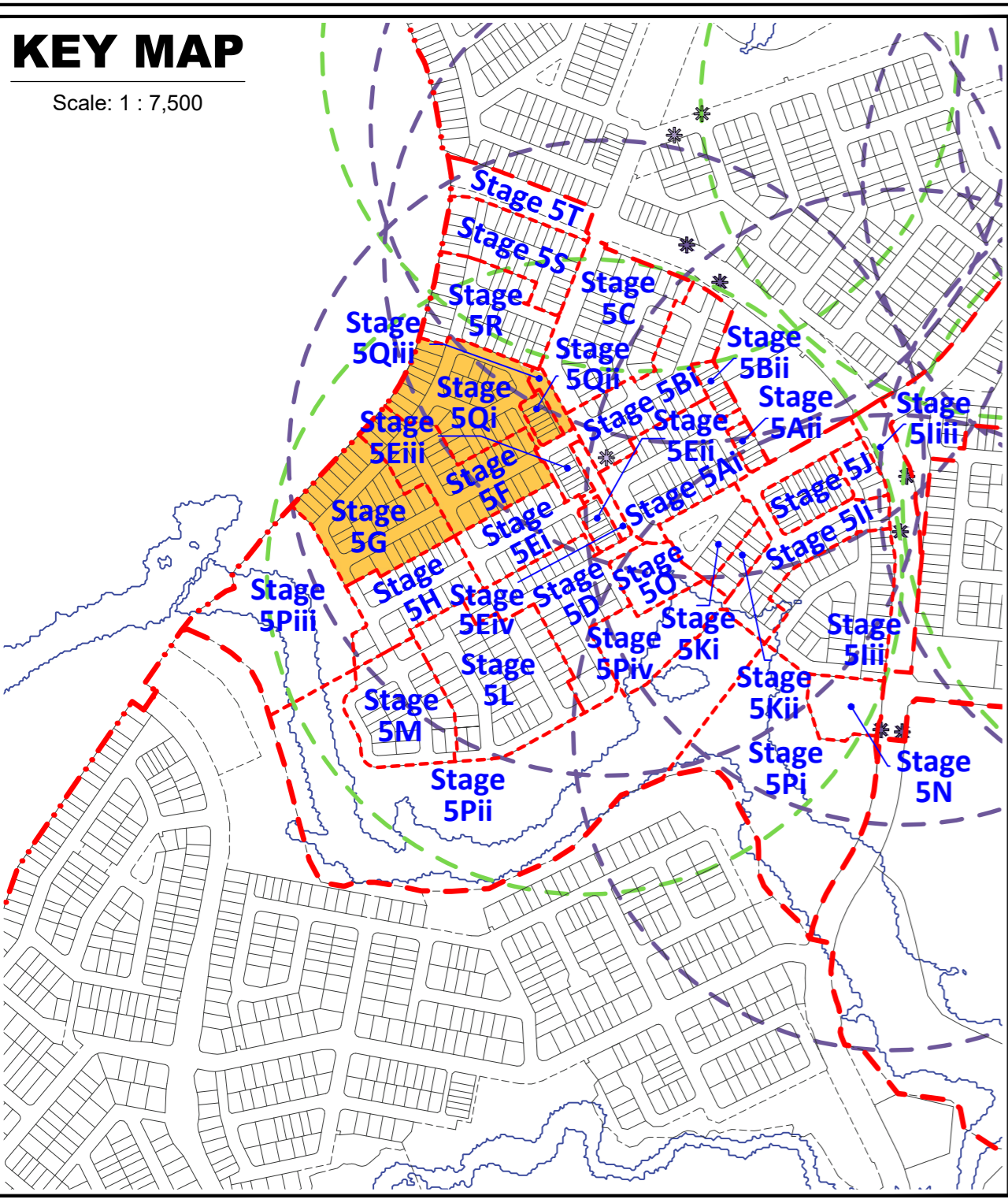
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Scale 1 : 1000	Sheet A1	Plan Ref 110056 - 405	Rev AS
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KEY MAP

Scale: 1 : 7,500



Scale: 1 : 750 @ A1

Scale: 1 : 750 @ A1

Scale: 1 : 750 @ A1

Scale: 1 : 750 @ A1

Scale: 1 : 750 @ A1

Scale: 1 : 750 @ A1

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Scale: 1 : 750 @ A1

Scale: 1 : 750 @ A1

Scale: 1 : 750 @ A1

Scale: 1 : 750 @ A1

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Meinhardt.

Legend

- Site Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- ⊛ Indicative Indented Bus Stop Location
- ⊛ Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Scale: 1 : 750 @ A1

Scale: 1 : 750 @ A1

Scale: 1 : 750 @ A1

Scale: 1 : 750 @ A1

Scale: 1 : 750 @ A1

Land Use	Land Budget					Overall Area	%
	Stage 5F	Stage 5G	Stage 5Qi	Stage 5Qii	Stage 5Qiii		
Area of Subject Site	1.800 ha	2.042 ha	1.863 ha	0.194 ha	0.146 ha	6.045 ha	100.0%
Saleable Area							
Residential Allotments	1.198 ha	1.500 ha	1.137 ha	0.167 ha	—	4.002 ha	66.2%
Medium Density Allotment	—	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	—	0.0%
Total Area of Allotments	1.198 ha	1.500 ha	1.137 ha	0.167 ha	—	4.002 ha	66.2%
Road							
Collector Road	—	—	—	—	—	—	0.0%
Local Road	0.528 ha	0.542 ha	0.726 ha	0.027 ha	—	1.823 ha	30.2%
Linear Connections	0.074 ha	—	—	—	—	0.074 ha	1.2%
Entry Statements	—	—	—	—	—	—	0.0%
Total Area of New Road	0.602 ha	0.542 ha	0.726 ha	0.027 ha	—	1.897 ha	31.4%
Open Space							
Corridor Park	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	0.146 ha	0.146 ha	2.4%
Stormwater Detention	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	0.146 ha	0.146 ha	2.4%

Yield Breakdown								
Residential Allotments		Typical Size	Typical Area	Stage 5F	Stage 5G	Stage 5Qi	Stage 5Qii	Overall
Urban & Nano Allotments Product								
Urban Loft	4.7 x 12.5m	50m ²	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	—	0.0%
Urban Terrace	7.5 x 27.5m	205m ²	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	0.0%
16m Deep Product								
Squat Allotment	14 x 16m	220m ²	2	—	—	—	—	2.1%
Subtotal			2	—	—	—	—	2.1%
25m Deep Product								
Villa Allotment	10 x 25m	250m ²	—	—	2	—	—	2.1%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	—	1	4	—	—	5.3%
Premium Courtyard Allotment	16 x 25m	400m ²	—	1	1	—	—	2.1%
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	1	—	—	1.1%
Subtotal			—	2	8	—	—	10.5%
28m - 30m Deep Product								
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	5	—	5.3%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	2	2	2.1%
Subtotal			—	—	—	7	7	7.4%
30m Deep Product								
Villa Allotment	10 x 30m	300m ²	7	4	5	—	—	16.8%
Premium Villa Allotment	12.5 x 30m	375m ²	9	11	5	—	—	25.3%
Courtyard Allotment	14 x 30m	420m ²	7	12	7	—	—	27.4%
Traditional Allotment	20 x 30m	600m ²	4	4	1	—	—	9.5%
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	0.0%
Subtotal			27	31	18	—	—	76.0%
Total Residential Allotments			29	33	26	7	95	100.0%
Residential Net Density			16.1 dw/ha	16.2 dw/ha	14.0 dw/ha	36.1 dw/ha		
Super Lots								
Medium Density Allotment	—	—	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	—	—	—
Sub Total			—	—	—	—	—	—
Total Allotments			29	33	26	7	95	
Maximum Potential Residential Dwellings (includes Multiple Residential Allotments)			29	33	27	7	96	
Maximum Potential Net Residential Density			16.1 dw/ha	16.2 dw/ha	14.5 dw/ha	36.1 dw/ha		

REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes AJ: 08/08/2023 Stage 5 Basin Change AK: 12/02/2024 Stage 5R Layout Change AL: 15/08/2024 Stage 4 Layout Change AM: 23/08/2024 Stage 4 Layout Change AN: 27/09/2024 Stage 4 Layout Change AO: 29/11/2024 Stage 4 Layout Change AP: 07/02/2025 Site Cover Definition Included AQ: 14/05/2025 Stage 3 and 4 Layout Change AR: 04/07/2025 Stage 4 Layout Change AS: 25/07/2025 Incorporation of Stage 4 PMTs AT: 18/08/2025 Stage 4 Updates	Flagstone Precinct 1	PEET
Job Ref. 110056	Date. 18 August 2025	
Comp By. NF	DWG Name. Precinct 1 Stage 5	
Chk'd By. MD	Locality. Flagstone	
Local Authority. Economic Development Queensland		

PEET

Plan of Subdivision
Stage 5F, G, Qi, Qii & Qiii
Allotment Layout

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

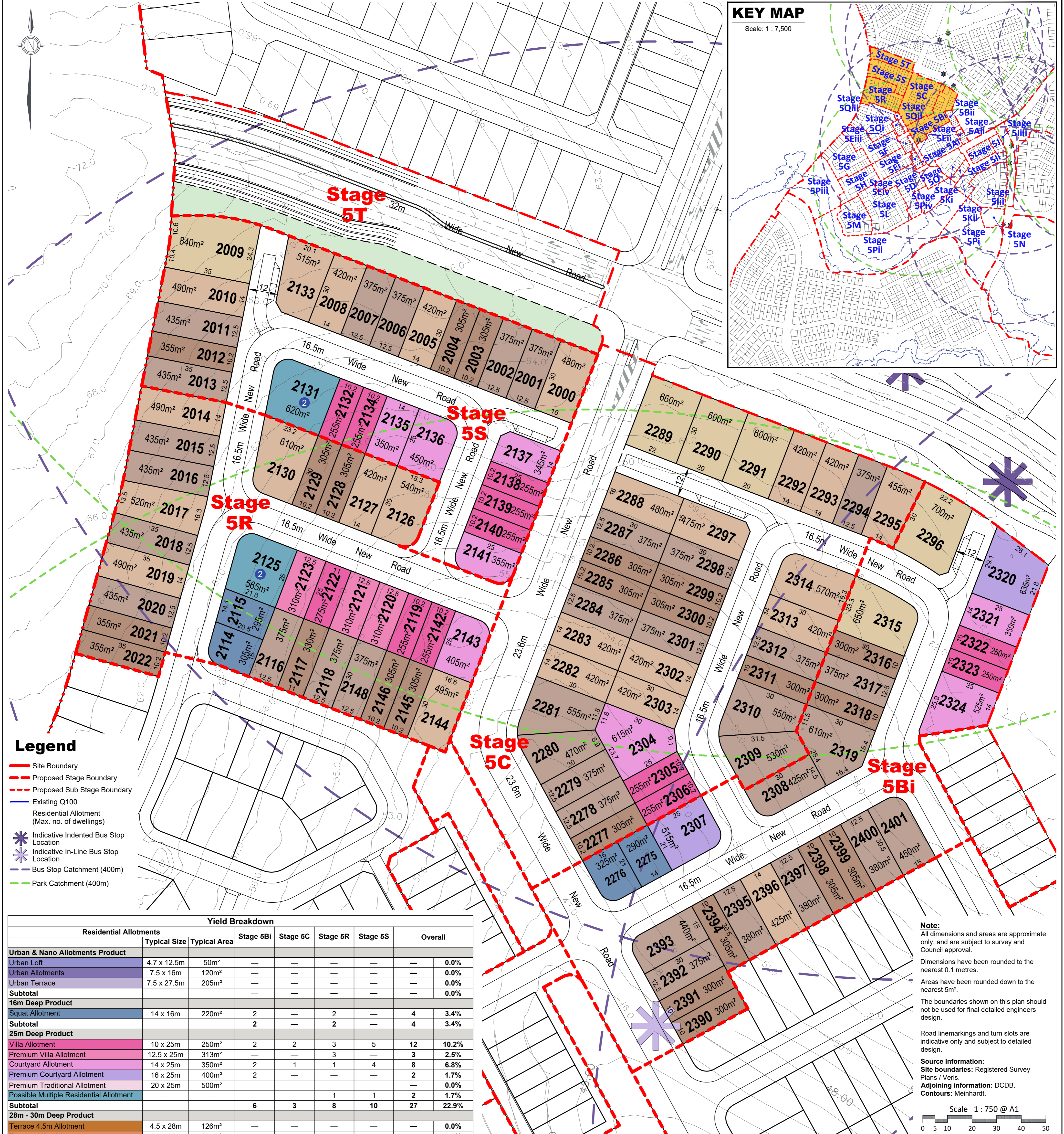
Approval no: DEV2012/403/303
Date: 30 October 2025

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Scale: 1 : 750	Sheet: A1	Plan Ref: 110056 - 406	Rev: AS
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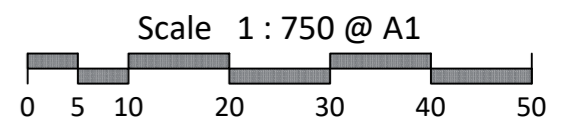


- Legend**
- Site Boundary
 - - - Proposed Stage Boundary
 - - - Proposed Sub Stage Boundary
 - Existing Q100
 - Residential Allotment (Max. no. of dwellings)
 - ★ Indicative Indented Bus Stop Location
 - ★ Indicative In-Line Bus Stop Location
 - Bus Stop Catchment (400m)
 - Park Catchment (400m)

Yield Breakdown							
Residential Allotments	Typical Size	Typical Area	Stage				Overall
			5Bi	5C	5R	5S	
Urban & Nano Allotments Product							
Urban Loft	4.7 x 12.5m	50m ²	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	0.0%
Urban Terrace	7.5 x 27.5m	205m ²	—	—	—	—	0.0%
Subtotal							0.0%
16m Deep Product							
Squat Allotment	14 x 16m	220m ²	2	—	2	—	3.4%
Subtotal			2		2		3.4%
25m Deep Product							
Villa Allotment	10 x 25m	250m ²	2	2	3	5	10.2%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	3	—	2.5%
Courtyard Allotment	14 x 25m	350m ²	2	1	1	4	6.8%
Premium Courtyard Allotment	16 x 25m	400m ²	2	—	—	—	1.7%
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	1	—	1	1.7%
Subtotal			6	3	8	10	22.9%
28m - 30m Deep Product							
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	0.0%
Subtotal							0.0%
30m Deep Product							
Villa Allotment	10 x 30m	300m ²	7	6	7	3	19.5%
Premium Villa Allotment	12.5 x 30m	375m ²	9	12	7	6	28.8%
Courtyard Allotment	14 x 30m	420m ²	1	11	7	5	20.3%
Traditional Allotment	20 x 30m	600m ²	2	3	—	1	5.1%
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%
Subtotal			19	32	21	15	73.7%
Total Residential Allotments			27	35	31	25	100.0%
Residential Net Density			16.7 dw/ha	19.3 dw/ha	19.9 dw/ha	18.1 dw/ha	
Super Lots			—	—	—	—	—
Medium Density Allotment			—	—	—	—	—
Balance Super Allotments			—	—	—	—	—
Sub Total			—	—	—	—	—
Total Allotments			27	35	31	25	118
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			27	35	32	26	120
Maximum Potential Net Residential Density			16.7 dw/ha	19.3 dw/ha	20.5 dw/ha	18.8 dw/ha	

Land Budget							
Land Use	Stage					Overall	
	5Bi	5C	5R	5S	5T	Area	%
Area of Subject Site	1.821 ha	2.354 ha	1.559 ha	1.385 ha	0.802 ha	7.921 ha	100.0%
Saleable Area							
Residential Allotments	1.088 ha	1.484 ha	1.201 ha	0.991 ha	—	4.764 ha	60.1%
Medium Density Allotment	—	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	—	0.0%
Total Area of Allotments	1.088 ha	1.484 ha	1.201 ha	0.991 ha	—	4.764 ha	60.1%
Road							
Collector Road	0.201 ha	0.544 ha	—	—	0.625 ha	1.370 ha	17.3%
Local Road	0.532 ha	0.326 ha	0.358 ha	0.394 ha	—	1.610 ha	20.3%
Linear Connections	—	—	—	—	0.177 ha	0.177 ha	2.2%
Entry Statements							
Total Area of New Road	0.733 ha	0.870 ha	0.358 ha	0.394 ha	0.802 ha	3.157 ha	39.9%
Open Space							
Corridor Park	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	0.0%

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.
 Road line markings and turn slots are indicative only and subject to detailed design.
Source Information:
 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB.
 Contours: Meinhardt.



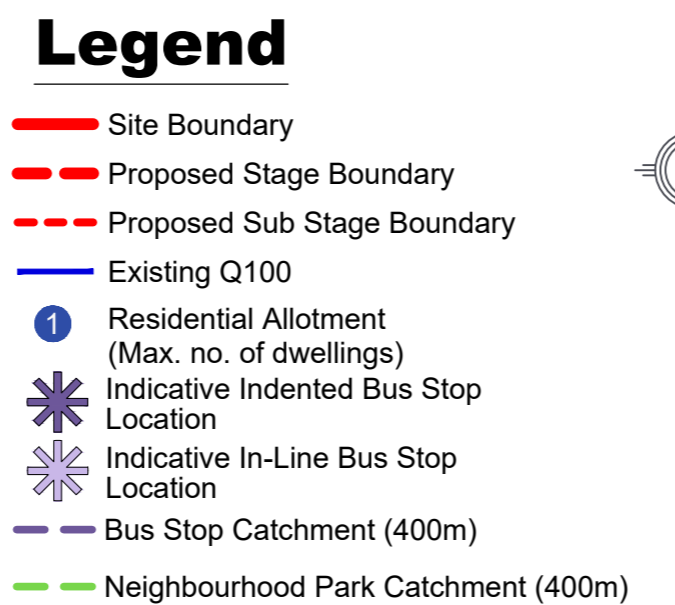
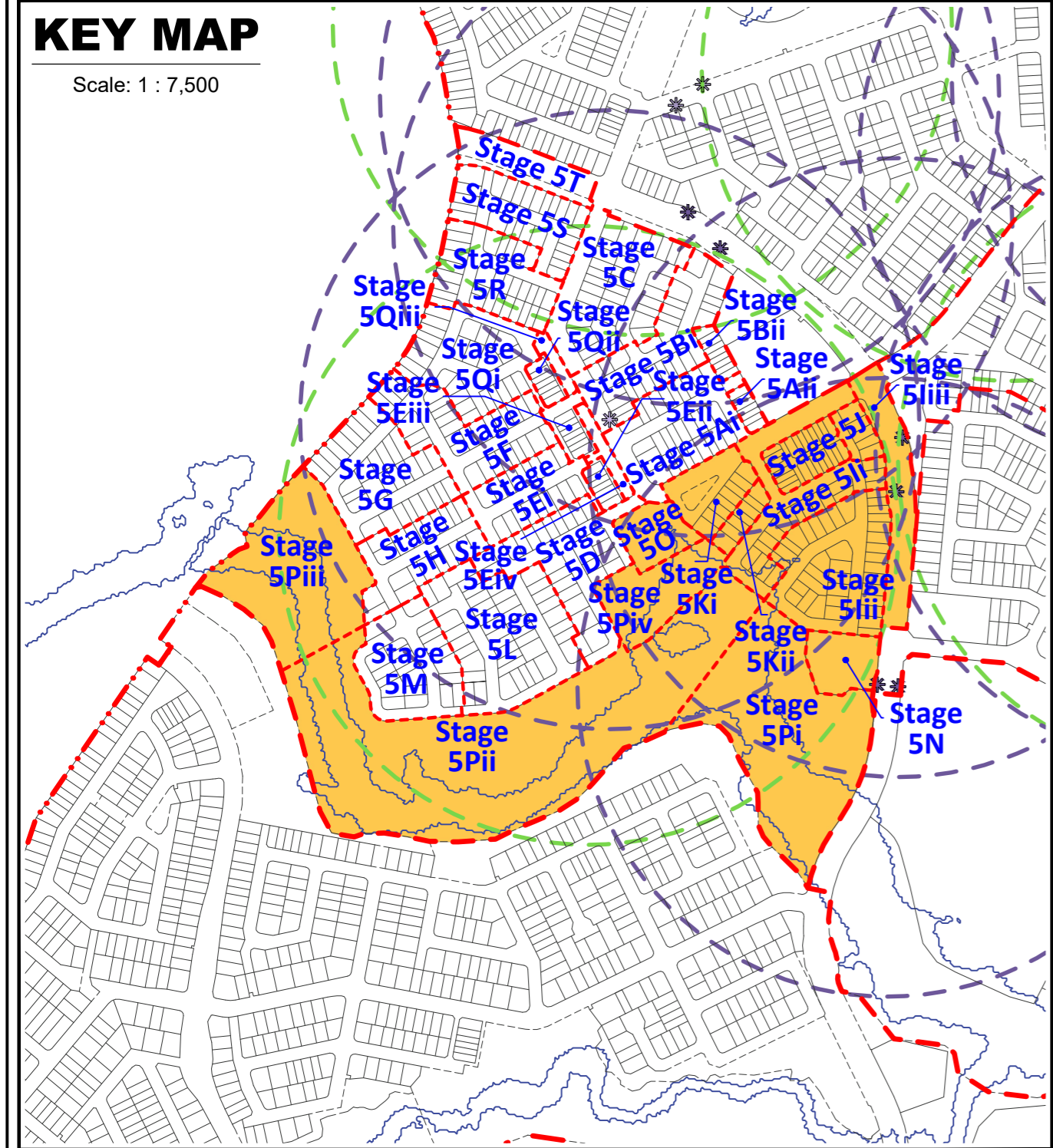
REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change AK: 15/08/2024 Stage 4 Layout Change AL: 23/08/2024 Stage 4 Layout Change AM: 27/09/2024 Stage 4 Layout Change AN: 29/11/2024 Stage 4 Layout Change AO: 07/02/2025 Site Cover Definition Included AP: 14/05/2025 Stage 3 and 4 Layout Change AQ: 04/07/2025 Stage 4 Layout Change AR: 25/07/2025 Incorporation of Stage 4 PMTs AS: 18/08/2025 Stage 4 Updates	Flagstone Precinct 1	
Job Ref. 110056	Date. 18 August 2025	PEET
Comp By. NF	DWG Name. Precinct 1 Stage 5	PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Chk'd By. MD	Locality. Flagstone	Approval no: DEV2012/403/303
Local Authority. Economic Development Queensland		Date: 30 October 2025

Scale	Sheet	Plan Ref	Rev
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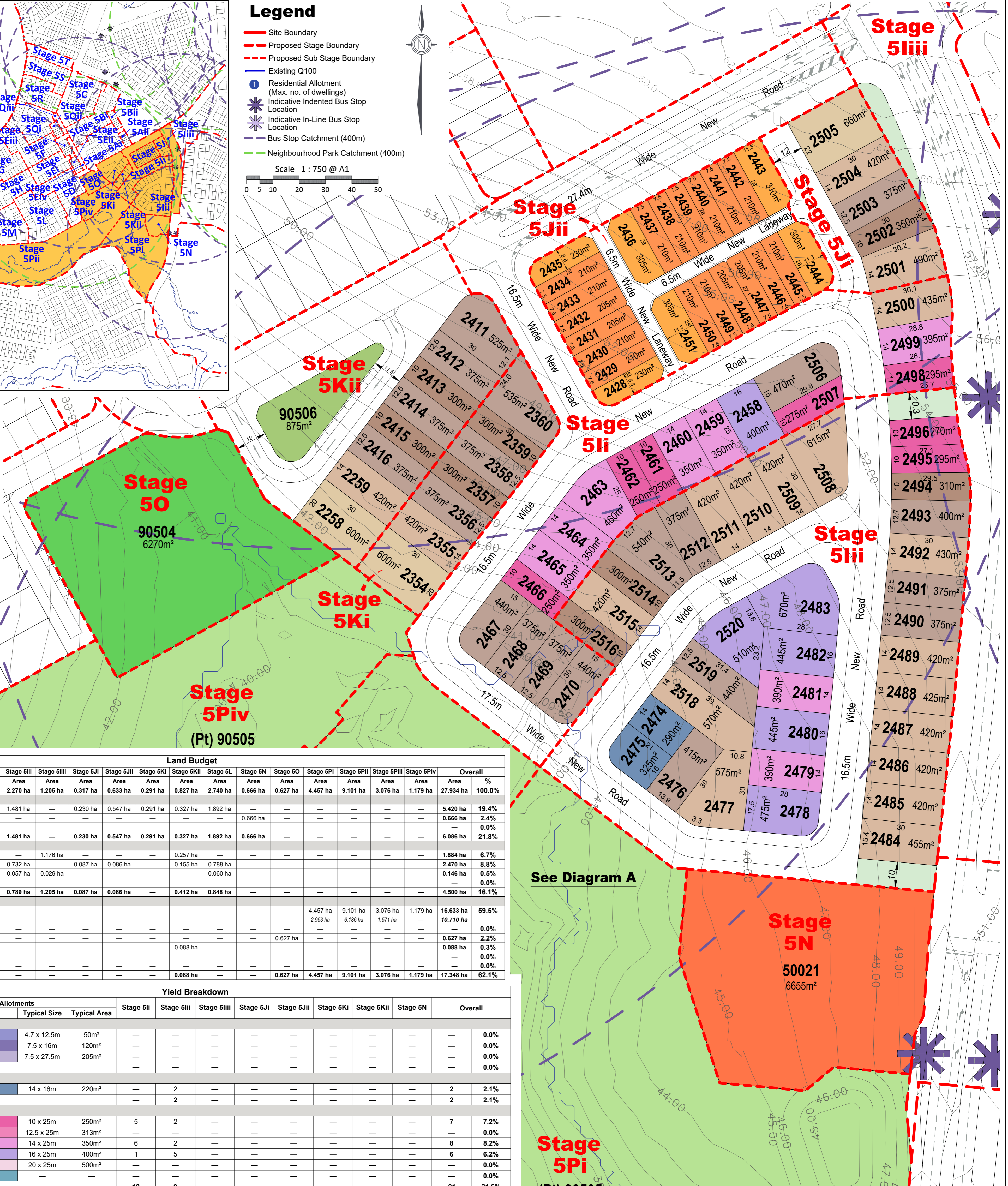
PEET
 Plan of Subdivision
 Stage 5Bi, C, R, S & T
 Allotment Layout

Queensland Government
 Scale 1 : 750

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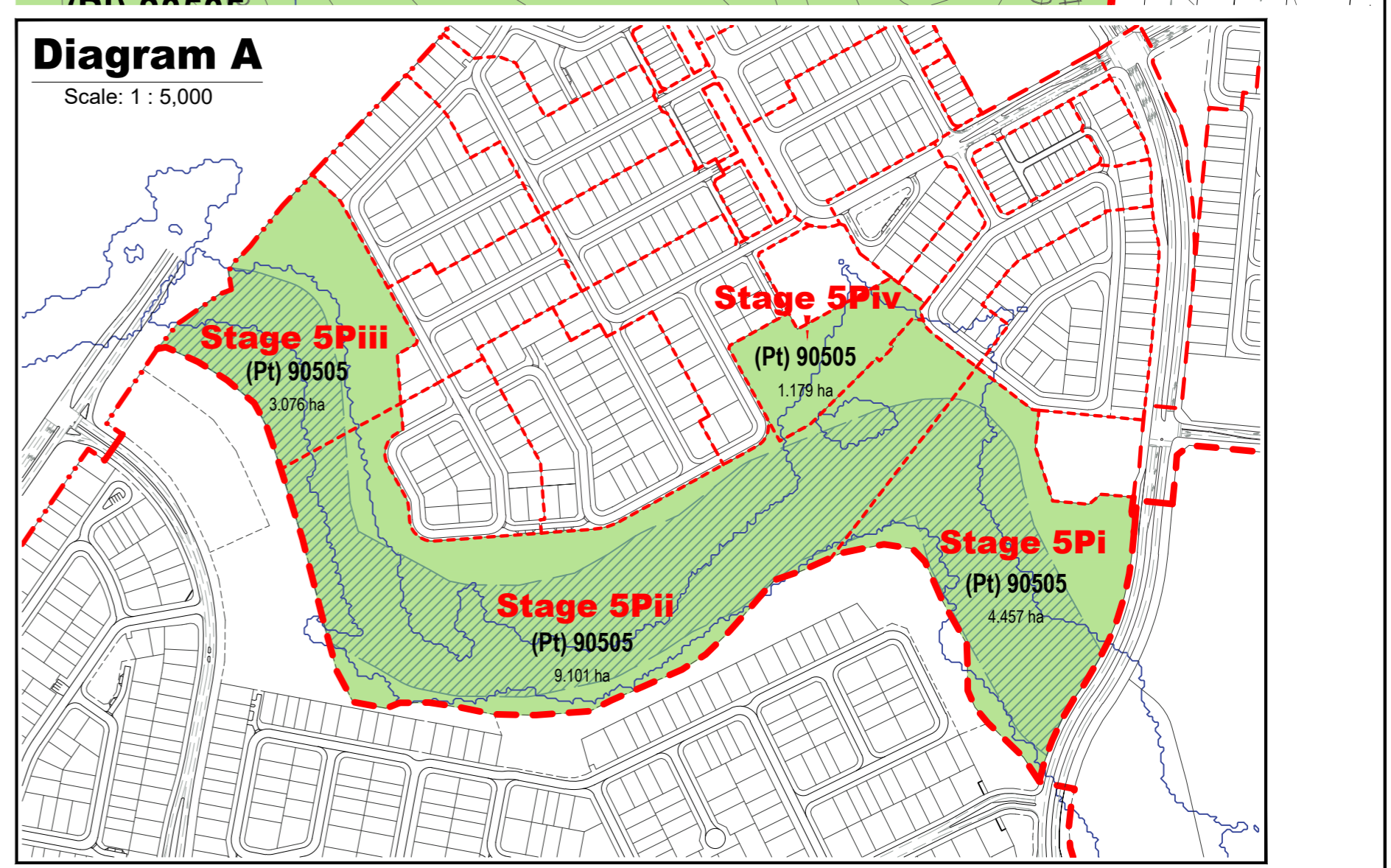


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 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.
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 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB.
 Contours: Meinhardt.

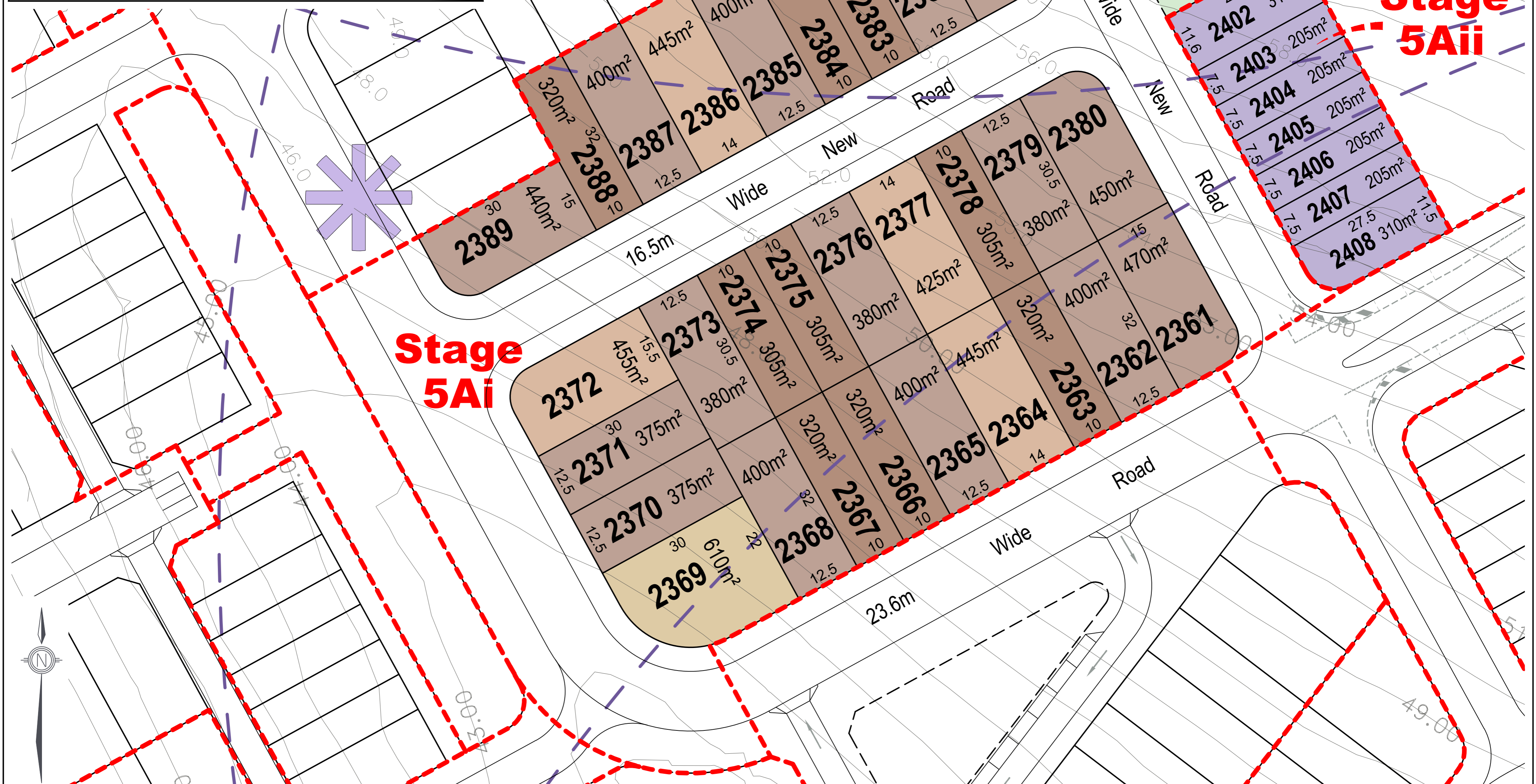
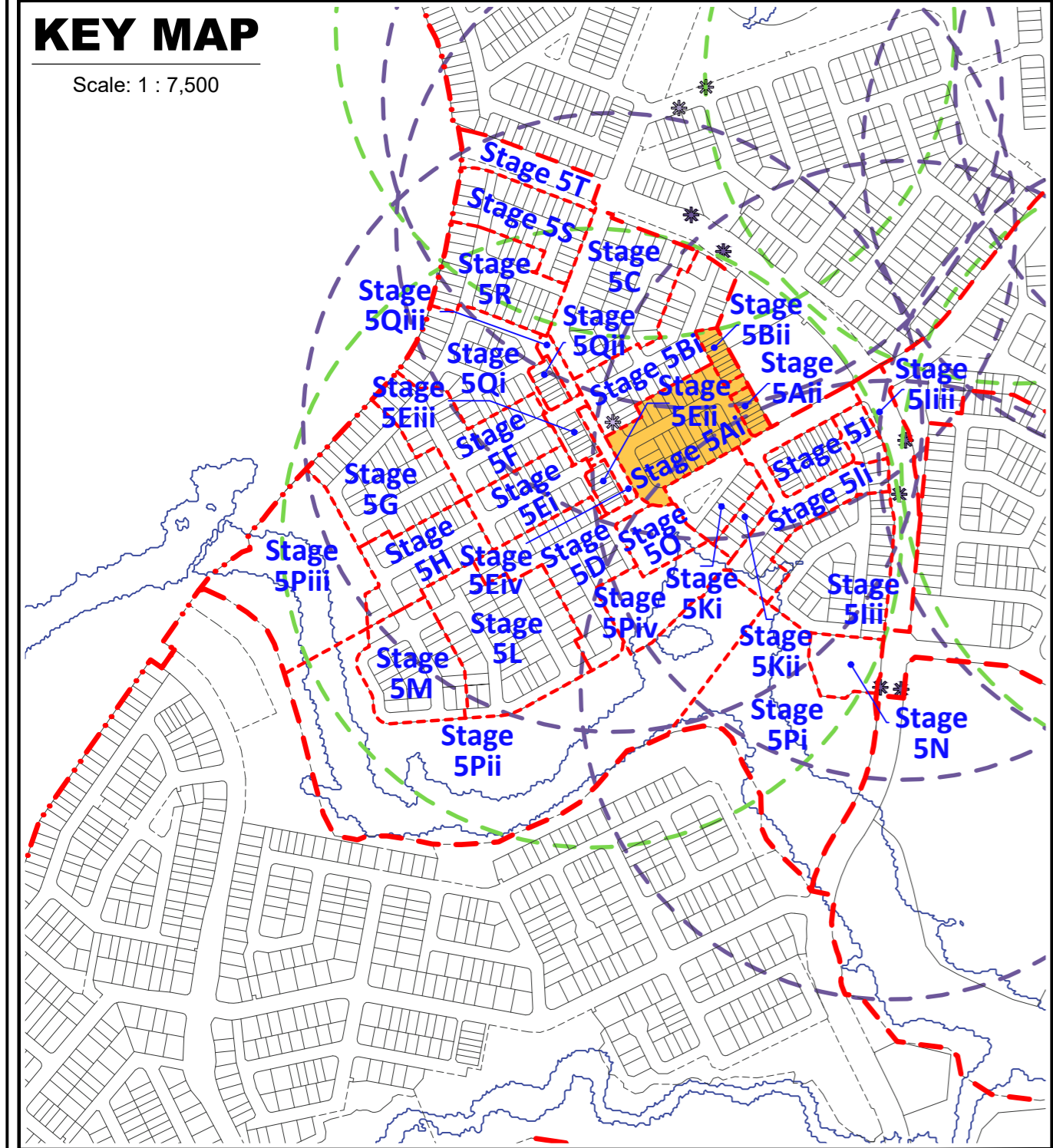


Land Budget																
Land Use	Stage 5Ii	Stage 5Iii	Stage 5Iiii	Stage 5Ji	Stage 5Jii	Stage 5Ki	Stage 5Kii	Stage 5L	Stage 5N	Stage 5O	Stage 5Pi	Stage 5Pii	Stage 5Piii	Stage 5Piv	Overall	
Area of Subject Site	1.725 ha	2.270 ha	1.205 ha	0.633 ha	0.291 ha	0.827 ha	2.740 ha	0.666 ha	0.627 ha	4.457 ha	9.101 ha	3.076 ha	1.179 ha	27.934 ha	100.0%	
Saleable Area																
Residential Allotments	0.652 ha	1.481 ha	—	0.230 ha	0.547 ha	0.291 ha	0.327 ha	1.892 ha	—	—	—	—	—	—	5.420 ha	19.4%
Medium Density Allotment	—	—	—	—	—	—	—	—	0.666 ha	—	—	—	—	—	0.666 ha	2.4%
Balance Super Allotments	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Area of Allotments	0.652 ha	1.481 ha	—	0.230 ha	0.547 ha	0.291 ha	0.327 ha	1.892 ha	0.666 ha	—	—	—	—	—	6.086 ha	21.8%
Road																
Collector Road	0.451 ha	—	1.176 ha	—	—	—	0.257 ha	—	—	—	—	—	—	—	1.884 ha	6.7%
Local Road	0.622 ha	0.732 ha	—	0.087 ha	0.086 ha	—	0.155 ha	0.788 ha	—	—	—	—	—	—	2.470 ha	8.8%
Linear Connections	—	0.057 ha	0.029 ha	—	—	—	—	0.060 ha	—	—	—	—	—	—	0.146 ha	0.5%
Entry Statements	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	1.073 ha	0.789 ha	1.205 ha	0.087 ha	0.086 ha	—	0.412 ha	0.848 ha	—	—	—	—	—	—	4.500 ha	16.1%
Open Space																
Corridor Park	—	—	—	—	—	—	—	—	—	4.457 ha	9.101 ha	3.076 ha	1.179 ha	16.633 ha	59.5%	
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—	—	2.953 ha	6.186 ha	1.571 ha	—	10.710 ha	38.3%	
District Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	0.627 ha	—	—	—	—	0.627 ha	2.2%	
Local Recreation Park	—	—	—	—	—	—	—	—	—	0.088 ha	—	—	—	0.088 ha	0.3%	
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Stormwater Detention	—	—	—	—	—	—	—	—	—	0.627 ha	4.457 ha	9.101 ha	3.076 ha	1.179 ha	17.348 ha	62.1%
Total Open Space	—	—	—	—	—	—	—	—	—	0.627 ha	4.457 ha	9.101 ha	3.076 ha	1.179 ha	17.348 ha	62.1%

Yield Breakdown																			
Residential Allotments			Stage 5Ii	Stage 5Iii	Stage 5Iiii	Stage 5Ji	Stage 5Jii	Stage 5Ki	Stage 5Kii	Stage 5N	Overall								
Urban & Nano Allotments Product	Typical Size	Typical Area																	
Urban Loft	4.7 x 12.5m	50m ²	—	—	—	—	—	—	—	—	0.0%								
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	—	—	—	—	0.0%								
Urban Terrace	7.5 x 27.5m	205m ²	—	—	—	—	—	—	—	—	0.0%								
Subtotal											0.0%								
16m Deep Product																			
Squat Allotment	14 x 16m	220m ²	—	2	—	—	—	—	—	—	2	2.1%							
Subtotal											2	2.1%							
25m Deep Product																			
Villa Allotment	10 x 25m	250m ²	5	2	—	—	—	—	—	—	7	7.2%							
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	—	—	—	—	—	—	0.0%							
Courtyard Allotment	14 x 25m	350m ²	6	2	—	—	—	—	—	—	8	8.2%							
Premium Courtyard Allotment	16 x 25m	400m ²	1	5	—	—	—	—	—	—	6	6.2%							
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—	—	—	—	—	0.0%							
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	0.0%							
Subtotal											21	21.6%							
28m - 30m Deep Product																			
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	—	—	—	—	—	—	0.0%							
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	—	—	—	—	—	—	—	—	0.0%							
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	—	—	—	—	18	18.6%							
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	—	—	—	—	6	6.2%							
Subtotal											24	24.7%							
30m Deep Product																			
Villa Allotment	10 x 30m	300m ²	—	3	—	1	—	2	2	—	8	8.2%							
Premium Villa Allotment	12.5 x 30m	375m ²	5	7	—	1	—	3	4	—	20	20.6%							
Courtyard Allotment	14 x 30m	420m ²	1	14	—	2	—	1	1	—	19	19.6%							
Traditional Allotment	20 x 30m	600m ²	—	—	—	1	—	1	1	—	3	3.1%							
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	—	—	—	—	—	0.0%							
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	0.0%							
Subtotal											50	51.5%							
Total Residential Allotments											97	100.0%							
Residential Net Density											14.1 dw/ha	15.4 dw/ha	—	15.8 dw/ha	37.9 dw/ha	24.1 dw/ha	14.0 dw/ha	—	
Super Lots																			
Medium Density Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—
Sub Total																			
Total Allotments																			
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)																			
Maximum Potential Net Residential Density																			



REVISION AH: 25/04/2023 Stage 4 Layout Changes AJ: 08/08/2023 Stage 5 Basin Change AK: 12/02/2024 Stage 5R Layout Change AL: 15/08/2024 Stage 4 Layout Change AM: 23/08/2024 Stage 4 Layout Change AN: 27/09/2024 Stage 4 Layout Change AO: 29/11/2024 Stage 4 Layout Change AP: 07/02/2025 Site Cover Definition Included AQ: 14/05/2025 Stage 3 and 4 Layout Change AR: 04/07/2025 Stage 4 Layout Change AS: 25/07/2025 Incorporation of Stage 4 PMTs AT: 18/08/2025 Stage 4 Updates	PROJECT Flagstone Precinct 1	CLIENT PEET	PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DE/2012/403/303 Date: 30 October 2025		URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com	
	Job Ref. 110056	Date. 18 August 2025				Plan of Subdivision Stage 5Ii, Iii, Jii, Jii, K, N, O & P Allotment Layout
	Comp By. NF	DWG Name. Precinct 1 Stage 5				Scale 1 : 750
	Chk'd By. MD	Locality. Flagstone				Sheet A1
Local Authority. Economic Development Queensland	Date. 18 August 2025	Plan Ref 110056 - 408	Rev AS			



Yield Breakdown								
Residential Allotments		Typical Size	Typical Area	Stage 5Ai	Stage 5Aii	Stage 5Bii	Overall	
Urban & Nano Allotments Product								
Urban Loft	4.7 x 12.5m	50m ²	—	—	—	—	0.0%	
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	0.0%	
Urban Terrace	7.5 x 27.5m	205m ²	—	7	9	16	35.6%	
Subtotal					7	9	16	35.6%
16m Deep Product								
Squat Allotment	14 x 16m	220m ²	—	—	—	—	0.0%	
Subtotal							0.0%	
25m Deep Product								
Villa Allotment	10 x 25m	250m ²	—	—	—	—	0.0%	
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	—	0.0%	
Courtyard Allotment	14 x 25m	350m ²	—	—	—	—	0.0%	
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	—	—	0.0%	
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%	
Subtotal							0.0%	
28m - 30m Deep Product								
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	—	0.0%	
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	—	—	—	0.0%	
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	0.0%	
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	0.0%	
Subtotal							0.0%	
30m Deep Product								
Villa Allotment	10 x 30m	300m ²	9	—	—	9	20.0%	
Premium Villa Allotment	12.5 x 30m	375m ²	15	—	—	15	33.3%	
Courtyard Allotment	14 x 30m	420m ²	4	—	—	4	8.9%	
Traditional Allotment	20 x 30m	600m ²	1	—	—	1	2.2%	
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%	
Subtotal			29	—	—	29	64.4%	
Total Residential Allotments			29	7	9	45	100.0%	
Residential Net Density			18.4 dw/ha	42.2 dw/ha	44.3 dw/ha			
Super Lots								
Medium Density Allotment	—	—	—	—	—	—	—	
Balance Super Allotments	—	—	—	—	—	—	—	
Sub Total			—	—	—	—	—	
Total Allotments			29	7	9	45		
Maximum Potential Residential Dwellings (Includes Potential Residential Allotments)			29	7	9	45		
Maximum Potential Net Residential Density			18.4 dw/ha	42.2 dw/ha	44.3 dw/ha			

Land Budget				
Land Use	Stage 5Ai	Stage 5Aii	Stage 5Bii	Overall
Area of Subject Site	1.853 ha	0.166 ha	0.203 ha	2.222 ha
Saleable Area	—	—	—	—
Residential Allotments	1.136 ha	0.166 ha	0.203 ha	1.505 ha
Medium Density Allotment	—	—	—	—
Balance Super Allotments	—	—	—	—
Total Area of Allotments	1.136 ha	0.166 ha	0.203 ha	1.505 ha
Road				
Collector Road	0.278 ha	—	—	0.278 ha
Local Road	0.394 ha	—	—	0.394 ha
Linear Connections	0.045 ha	—	—	0.045 ha
Entry Statements				
Total Area of New Road	0.717 ha	—	—	0.717 ha
Open Space				
Corridor Park	—	—	—	—
Conservation (Within Corridor Park)	—	—	—	—
District Recreation Park	—	—	—	—
Neighbourhood Recreation Park	—	—	—	—
Local Recreation Park	—	—	—	—
Local Linear Recreation Park	—	—	—	—
Stormwater Detention	—	—	—	—
Total Open Space	—	—	—	—

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information: Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Meinhardt.

Scale 1 : 500 @ A1

REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change		
AK: 15/08/2024 Stage 4 Layout Change		
AL: 23/08/2024 Stage 4 Layout Change		
AM: 27/09/2024 Stage 4 Layout Change		
AN: 29/11/2024 Stage 4 Layout Change		
AO: 07/02/2025 Site Cover Definition Included		
AP: 14/05/2025 Stage 3 and 4 Layout Change		
AQ: 04/07/2025 Stage 4 Layout Change		
AR: 25/07/2025 Incorporation of Stage 4 PMTs		
AS: 18/08/2025 Stage 4 Updates		

Job Ref.	110056	Date.	18 August 2025
Comp By.	NF	DWG Name.	Precinct 1 Stage 5
Chk'd By.	MD	Locality.	Flagstone
Local Authority.	Economic Development Queensland		

CLIENT

PEET

Plan of Subdivision
Stage 5Ai, Aii & Bii
Allotment Layout

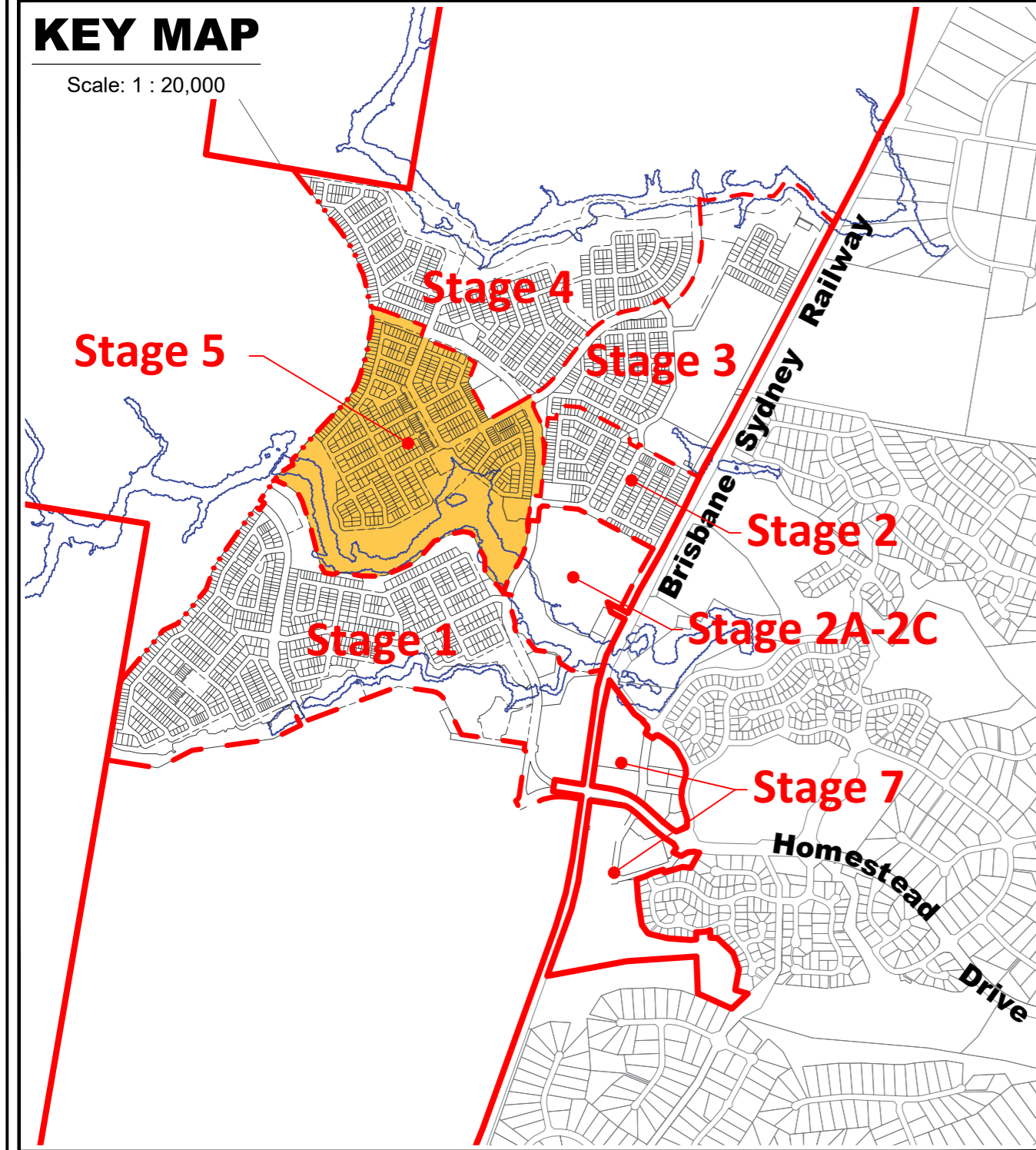
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025

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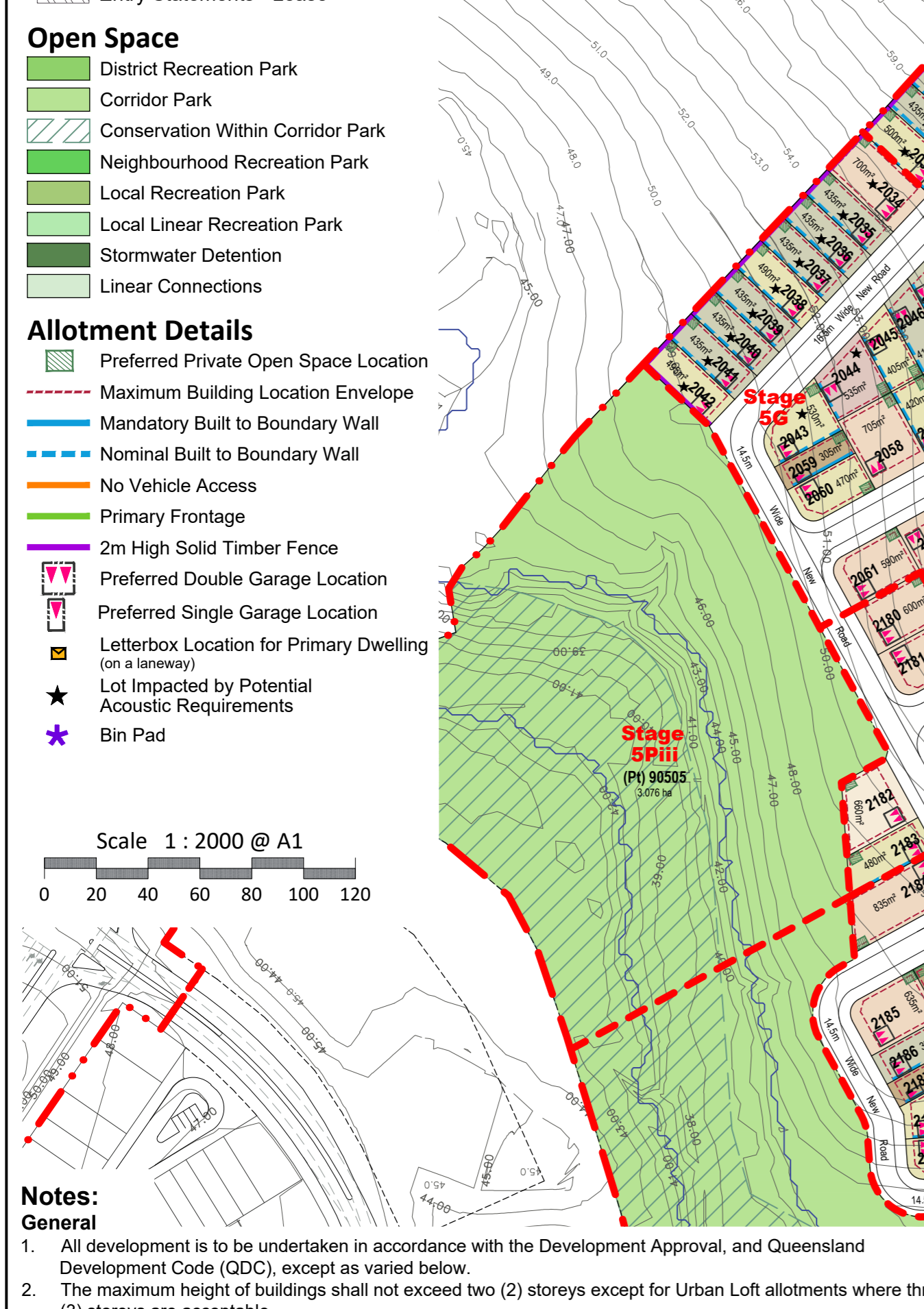
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Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courttyard Allotments		Premium Courttyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	n/a
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		75%

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 Areas have been rounded down to the nearest 5m².
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 Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB.
 Contours: Meinhardt.

- Legend**
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - Entry Statements - Lease
- Open Space**
- District Recreation Park
 - Corridor Park
 - Conservation Within Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- Allotment Details**
- Preferred Private Open Space Location
 - Maximum Building Location Envelope
 - Mandatory Built to Boundary Wall
 - Nominal Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - 2m High Solid Timber Fence
 - Preferred Double Garage Location
 - Preferred Single Garage Location
 - Letterbox Location for Primary Dwelling (on a laneway)
 - Lot Impacted by Potential Acoustic Requirements
 - Bin Pad



- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
 - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courttyard, Premium Courttyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).

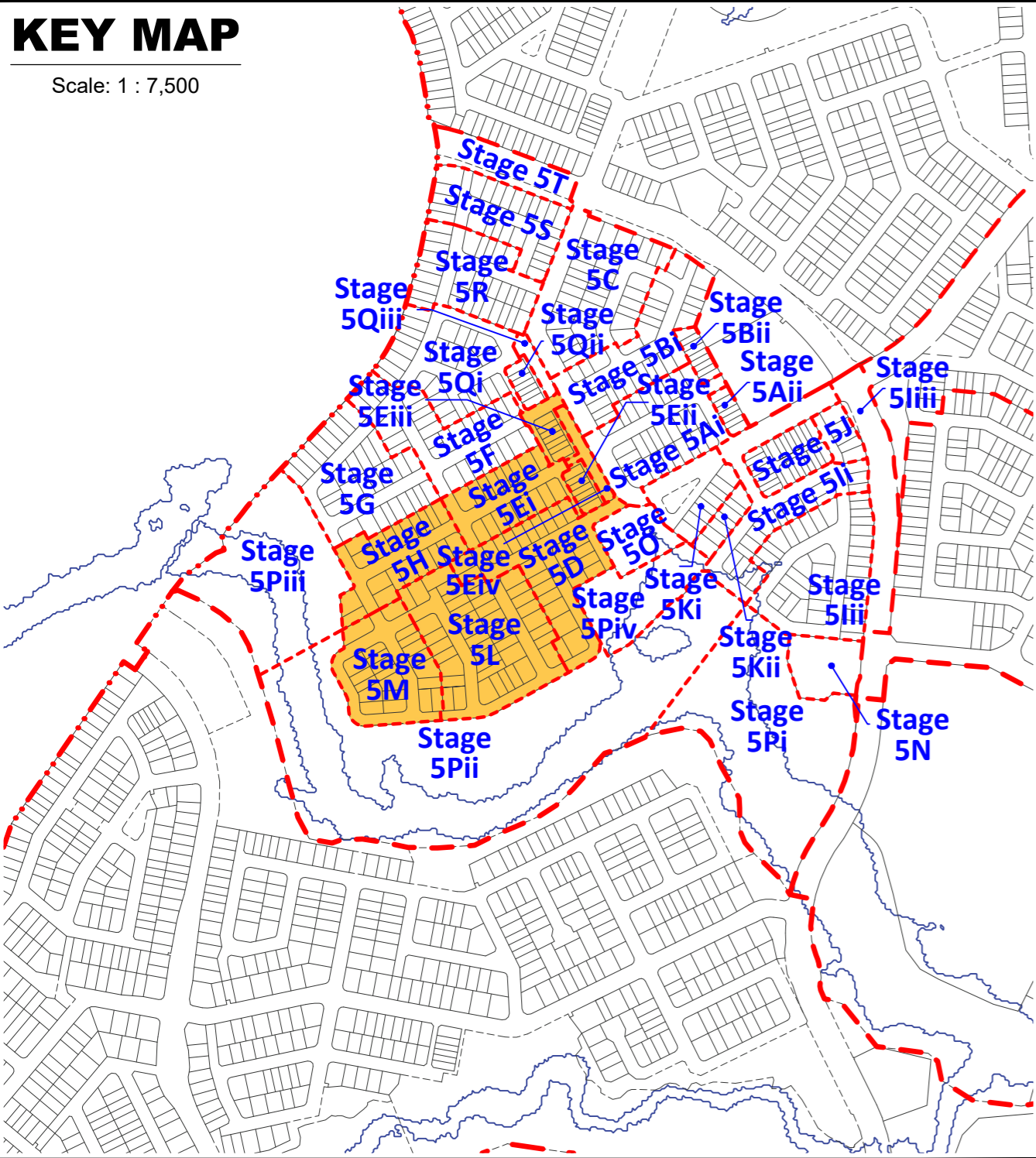
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
 - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
 - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
 - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
 - Maximum of one driveway per dwelling unless it is a MR lot.
 - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
 - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
 - Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.

- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) hACiACle room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

REVISION AH: 25/04/2023 Stage 4 Layout Changes AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5 SR Layout Change AK: 15/08/2024 Stage 4 Layout Change AL: 23/08/2024 Stage 4 Layout Change AM: 27/09/2024 Stage 4 Layout Change AN: 29/11/2024 Stage 4 Layout Change AO: 07/02/2025 Site Cover Definition Included AP: 14/05/2025 Stage 3 and 4 Layout Change AQ: 04/07/2025 Stage 4 Layout Change AR: 25/07/2025 Incorporation of Stage 4 PMTs AS: 18/08/2025 Stage 4 Updates	PROJECT <h2 style="text-align: center;">Flagstone Precinct 1</h2>		CLIENT <h1 style="text-align: center;">PEET</h1>		PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DEV2012/403/303 Date: 30 October 2025			URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com				
	Job Ref. 110056	Date. 18 August 2025	Plan of Development Stage 5 Overall Residential Allotments						Scale 1 : 2000	Sheet A1	Plan Ref 110056 - 410	Rev AS
	Comp By. NF	DWG Name. Precinct 1 Stage 5										
	Chk'd By. MD	Locality. Flagstone										
Local Authority. Economic Development Queensland												

KEY MAP

Scale: 1 : 7,500



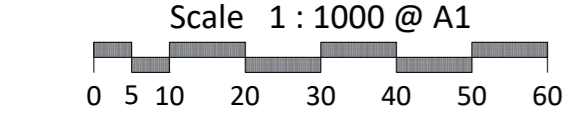
Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	2.0m*	2.0m*	1.5m*	1.5m*	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		

Legend

- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - Entry Statements - Lease
- Open Space**
- Local Linear Recreation Park
 - Linear Connections
- Allotment Details**
- Preferred Private Open Space Location
 - Maximum Building Location Envelope
 - Mandatory Built to Boundary Wall
 - Nominal Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - 2m High Solid Timber Fence
 - Preferred Double Garage Location
 - Preferred Single Garage Location
 - Letterbox Location for Primary Dwelling (on a laneway)
 - Lot Impacted by Potential Acoustic Requirements

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Meinhardt.



Notes:

- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
 - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Leaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.



On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved by a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

Fencing

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill railings or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

Retaining Walls

- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) hACiACiCe room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change		
AK: 15/08/2024 Stage 4 Layout Change		
AL: 23/08/2024 Stage 4 Layout Change		
AM: 27/09/2024 Stage 4 Layout Change		
AN: 29/11/2024 Stage 4 Layout Change		
AO: 07/02/2025 Site Cover Definition Included		
AP: 14/05/2025 Stage 3 and 4 Layout Change		
AQ: 04/07/2025 Stage 4 Layout Change		
AR: 25/07/2025 Incorporation of Stage 4 PMTs		
AS: 18/08/2025 Stage 4 Updates		

Job Ref.	110056	Date.	18 August 2025
Comp By.	NF	DWG Name.	Precinct 1 Stage 5
Chk'd By.	MD	Locality.	Flagstone
Local Authority.	Economic Development Queensland		

PEET

Plan of Development
Stage 5D, Ei, Eii, Eiii, H, L & M
Residential Allotments

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DE/2012/403/303

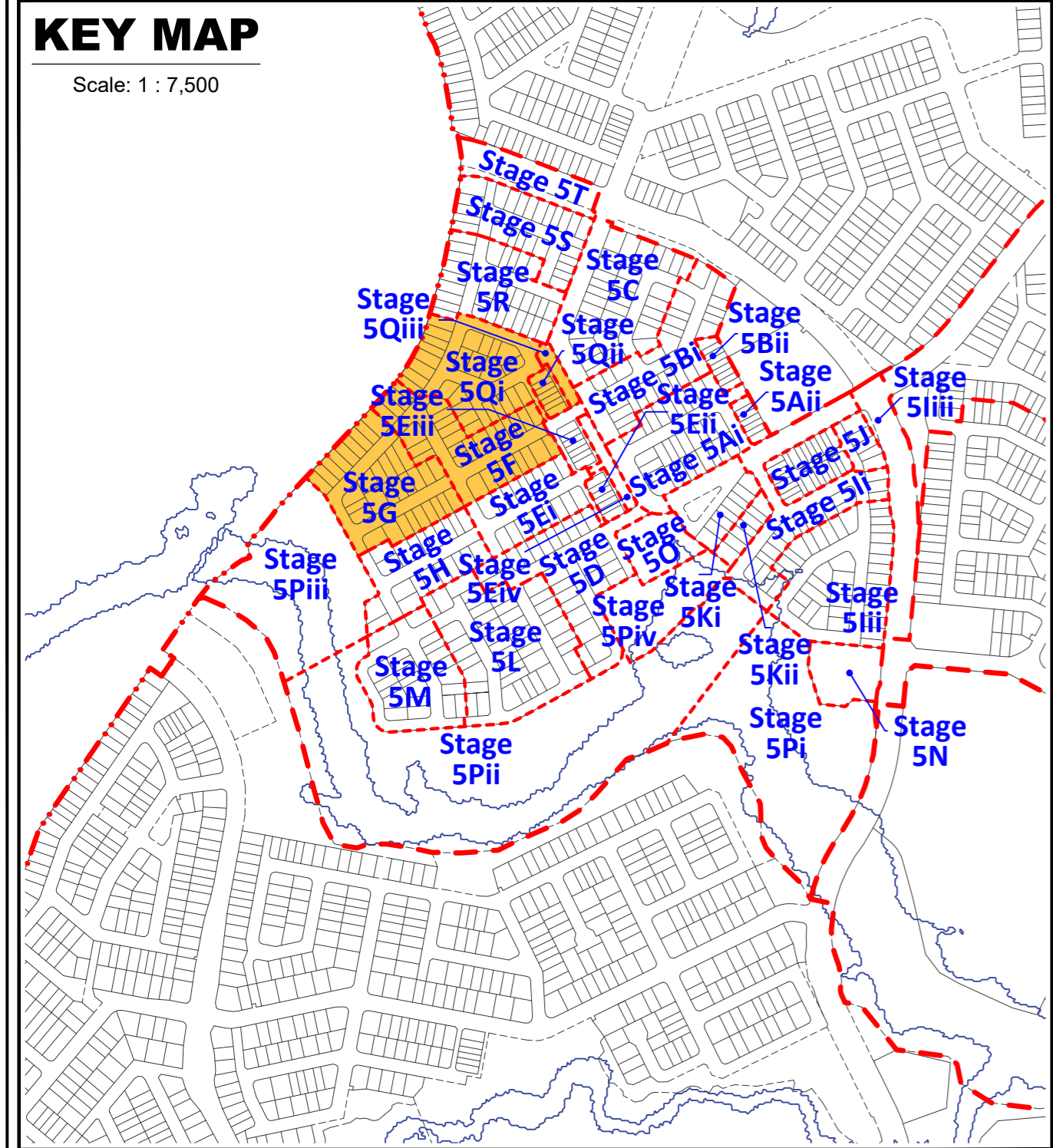
Date: 30 October 2025

RPS

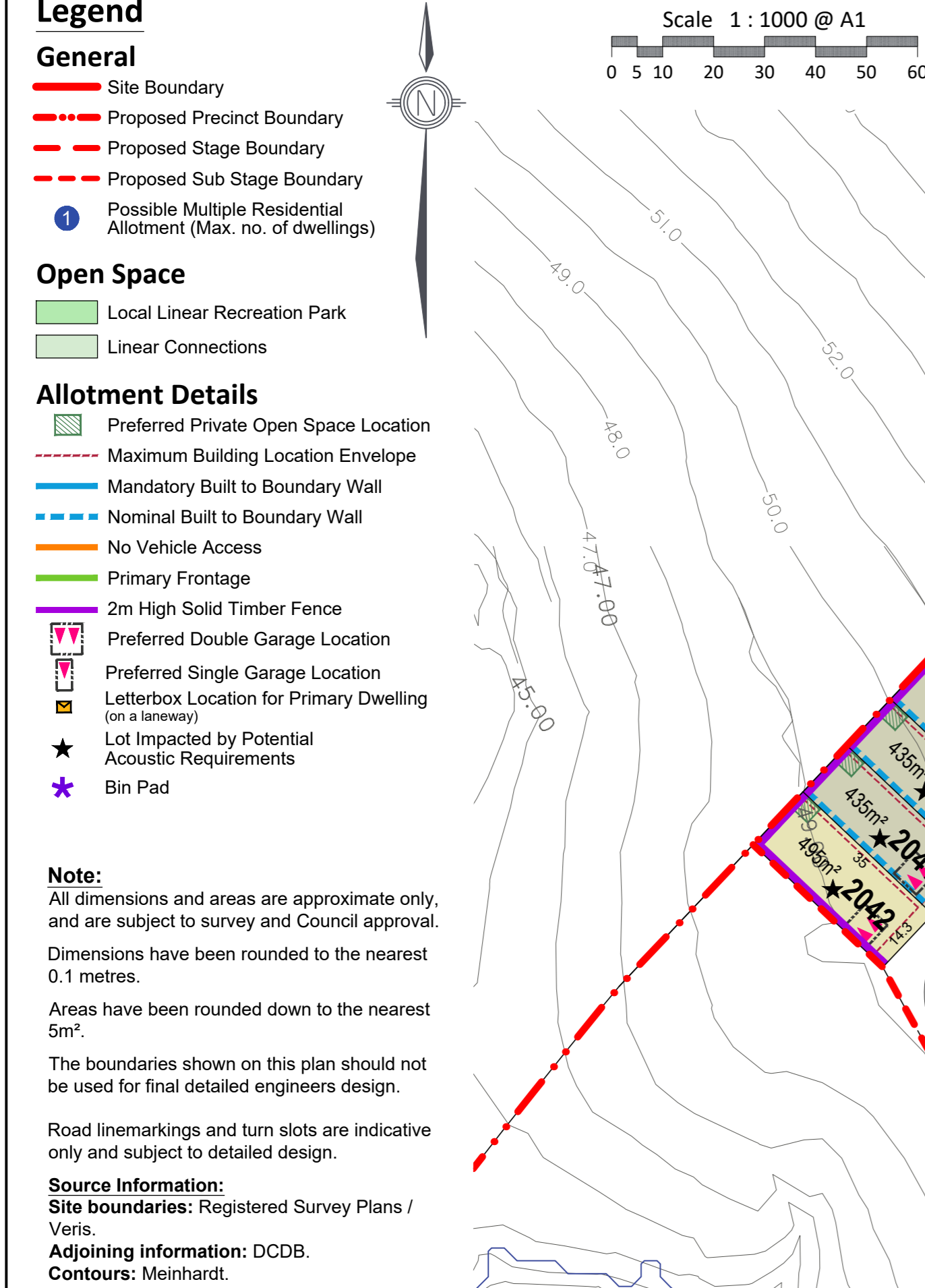
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Scale	1 : 1000	Sheet	A1	Plan Ref	110056 - 411	Rev	AS
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Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courttyard Allotments		Premium Courttyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	n/a
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		75%



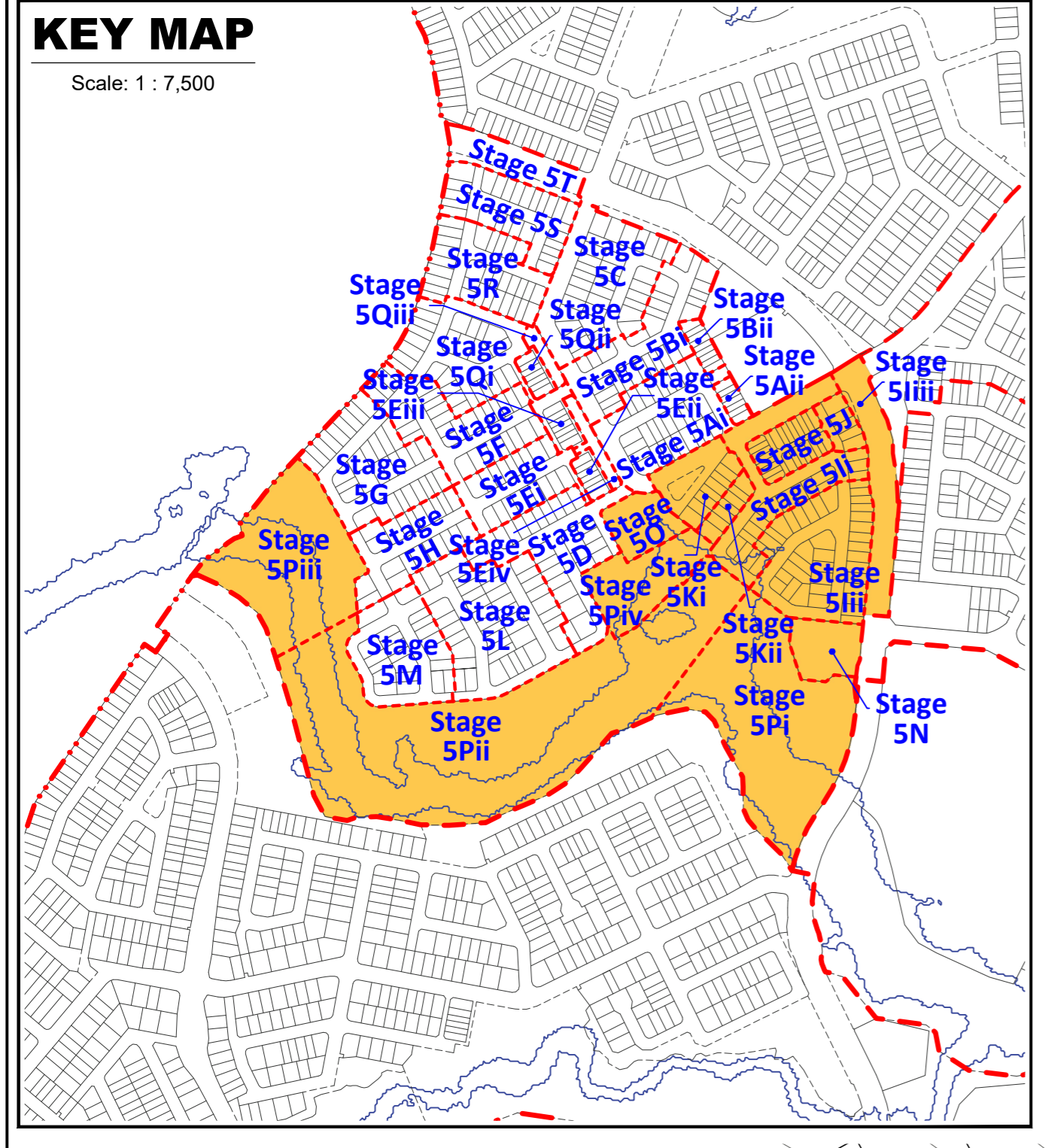
- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
 - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courttyard, Premium Courttyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
 - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m



- The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.*
 - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
 - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
 - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
 - Maximum of one driveway per dwelling unless it is a MR lot.
 - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
 - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
 - Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPQC certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) hACitACie room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bins areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

REVISION AH: 25/04/2023 Stage 4 Layout Changes AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change AK: 15/08/2024 Stage 4 Layout Change AL: 23/08/2024 Stage 4 Layout Change AM: 27/09/2024 Stage 4 Layout Change AN: 29/11/2024 Stage 4 Layout Change AO: 07/02/2025 Site Cover Definition Included AP: 14/05/2025 Stage 3 and 4 Layout Change AQ: 04/07/2025 Stage 4 Layout Change AR: 25/07/2025 Incorporation of Stage 4 PMTs AS: 18/08/2025 Stage 4 Updates	PROJECT <h2 style="text-align: center;">Flagstone Precinct 1</h2>	CLIENT <h1 style="text-align: center;">PEET</h1>	<div style="border: 2px solid red; padding: 5px;"> <p style="text-align: center; color: red; font-weight: bold;">PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL</p> <p style="text-align: center; color: red;">Approval no: DEV2012/403/303</p> <p style="text-align: center; color: red;">Date: 30 October 2025</p> </div>			
Job Ref. 110056 Comp By. NF Chk'd By. MD Local Authority. Economic Development Queensland	Date. 18 August 2025 DWG Name. Precinct 1 Stage 5 Locality. Flagstone	Plan of Development Stage 5F, G, Qi & Qii Residential Allotments	Scale 1 : 1000	Sheet A1	Plan Ref 110056 - 412	Rev AS

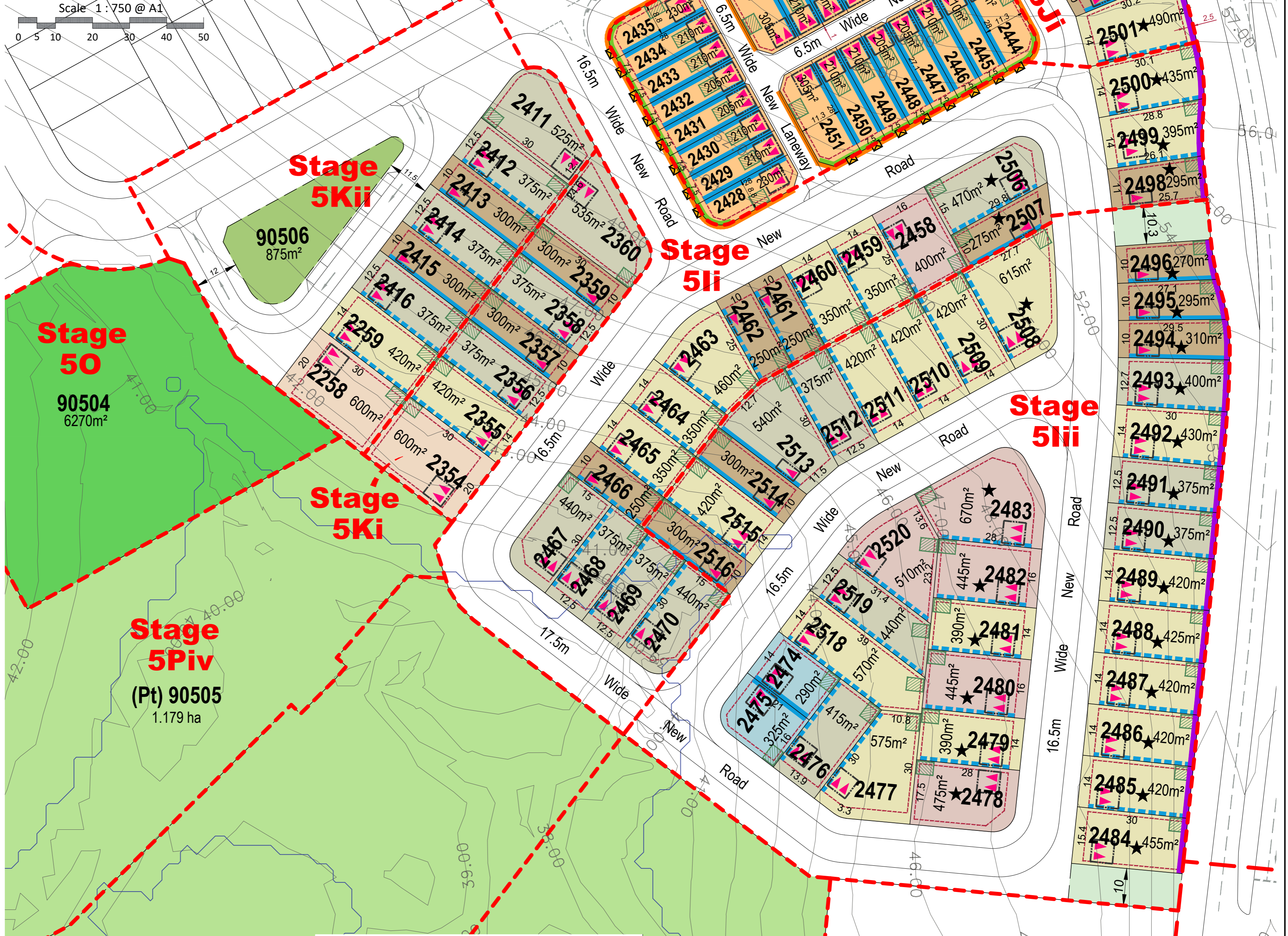
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Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courttyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%	75%	90%	90%	90%	90%	90%	90%	75%	75%	70%	65%	65%	60%	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%	75%	75%	75%	75%	75%	75%	75%	75%	75%	65%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	75%	

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.
 Road line markings and turn slots are indicative only and subject to detailed design.
Source Information:
 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB.
 Contours: Meinhardt.

- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
 - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension on 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
 - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.*
 - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
 - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
 - Walls over 1.0m require RPEQ certification.



- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) hACIACIE room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
 Laneway Allotment - Allotments serviced by a laneway.

Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- Conservation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change		
AK: 15/08/2024 Stage 4 Layout Change	Job Ref. 110056	Date. 18 August 2025
AL: 23/08/2024 Stage 4 Layout Change	Comp By. NF	DWG Name. Precinct 1 Stage 5
AM: 27/09/2024 Stage 4 Layout Change	Chk'd By. MD	Locality. Flagstone
AN: 29/11/2024 Stage 4 Layout Change	Local Authority. Economic Development Queensland	
AO: 07/02/2025 Site Cover Definition Included		
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PEET

Plan of Development
 Stage 5Li, 5Lii, 5Ji, 5Jii, 5Ki, 5N, 5O & P
 Residential Allotments

Scale: 1:750

Sheet: A1

Plan Ref: 110056 - 414

Rev: AS

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DE/2012/403/303

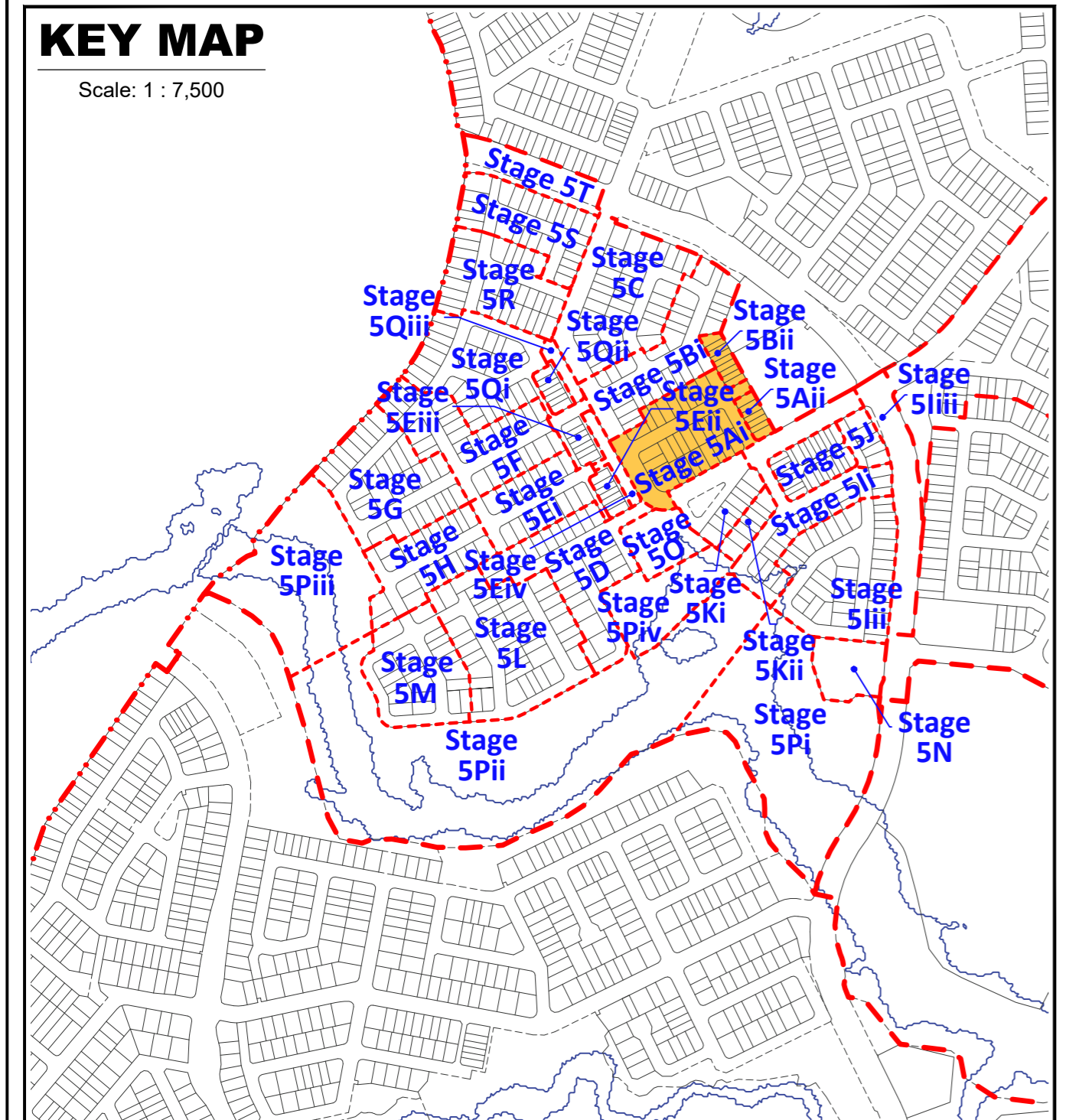
Date: 30 October 2025

Queensland Government

RPS

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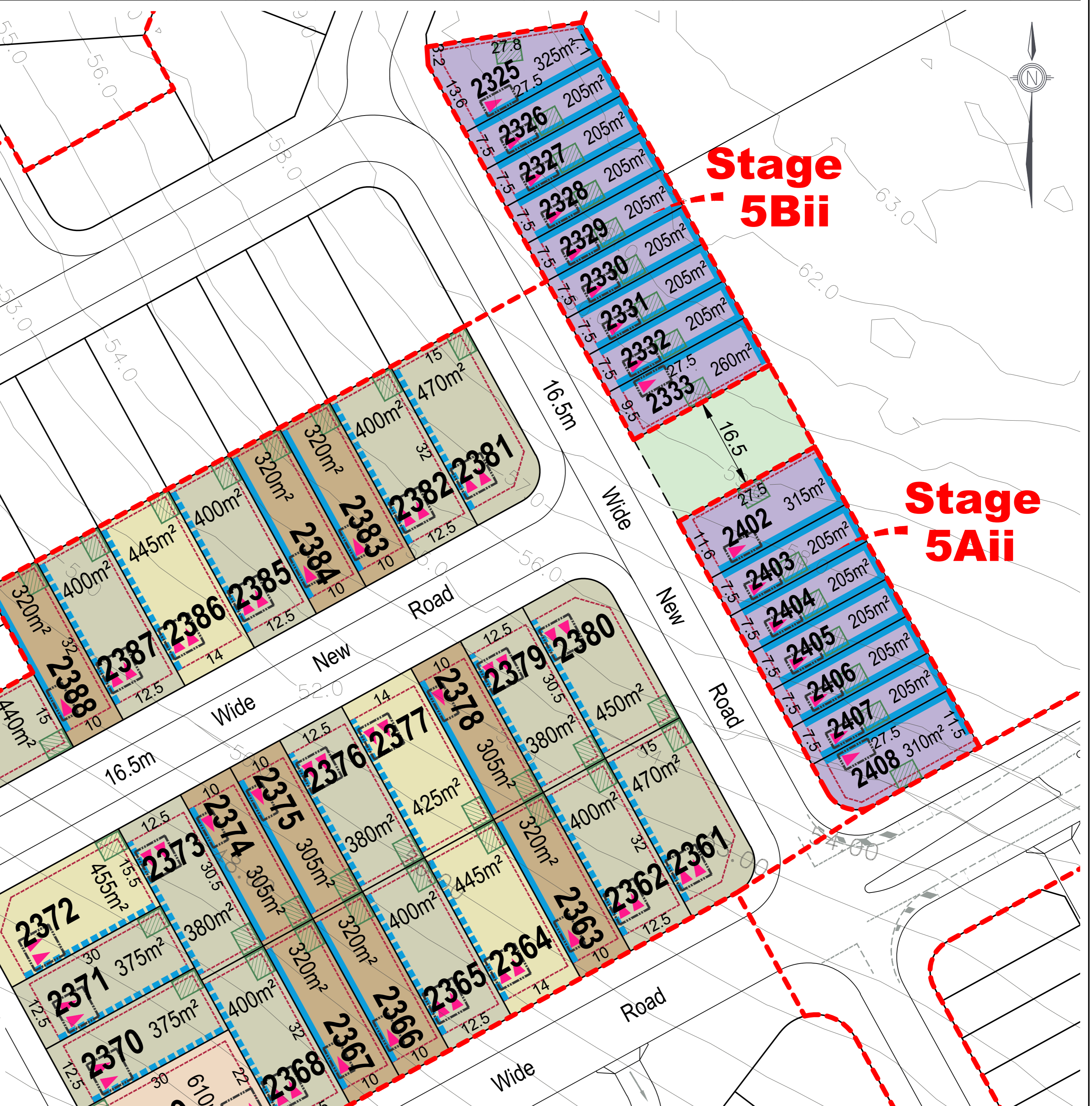
Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m
Rear	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	0.9m	0.9m	1.0m	1.5m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	1.5m	2.0m	2.0m	1.5m	1.5m	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		75%

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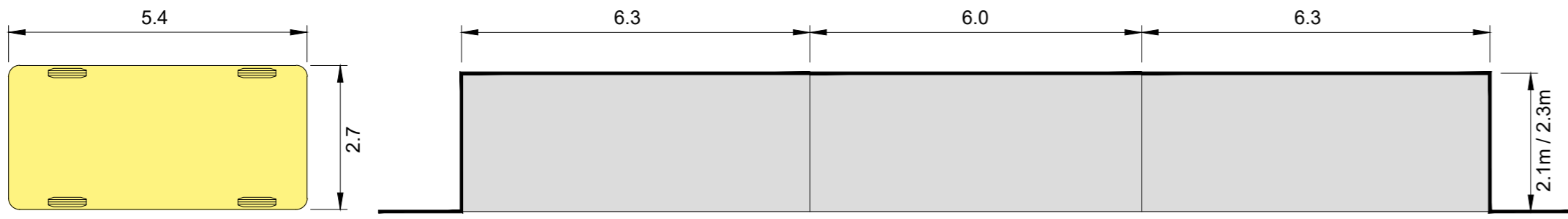
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- General**
- Site Boundary
 - Proposed Precinct Boundary
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 - Possible Multiple Residential Allotment (Max. no. of dwellings)
- Open Space**
- Linear Connections
- Allotment Details**
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 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
 - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and



- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) hACIACle room orientated towards the open space.
 - Carparks and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bins areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

REVISION	PROJECT	CLIENT	<p>Plan of Development Stage 5Ai, Aii & Bii Residential Allotments</p>	<p>PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL</p> <p>Approval no: DEV2012/403/303 Date: 30 October 2025</p>	<p>URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com</p>	
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET				
AI: 08/08/2023 Stage 5 Basin Change	Job Ref. 110056	Date. 18 August 2025				
AJ: 12/02/2024 Stage 5R Layout Change	Comp By. JC	DWG Name. Precinct 1 Stage 5				
AK: 15/08/2024 Stage 4 Layout Change	Chk'd By. MD	Locality. Flagstone				
AL: 23/08/2024 Stage 4 Layout Change	Local Authority. Economic Development Queensland		Scale 1:500	Sheet A1	Plan Ref 110056 - 415	Rev AS



Parking Bay Diagram
Scale 1 : 100

Typical Indented Parking Bay Arrangement
(In accordance with AS2890)
Scale 1 : 100

Legend

- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
- Open Space**
- District Recreation Park
 - Corridor Park
 - Conservation Within Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- On-Street Parking**
- Indicative Car Park Location
 - Indicative Driveway

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

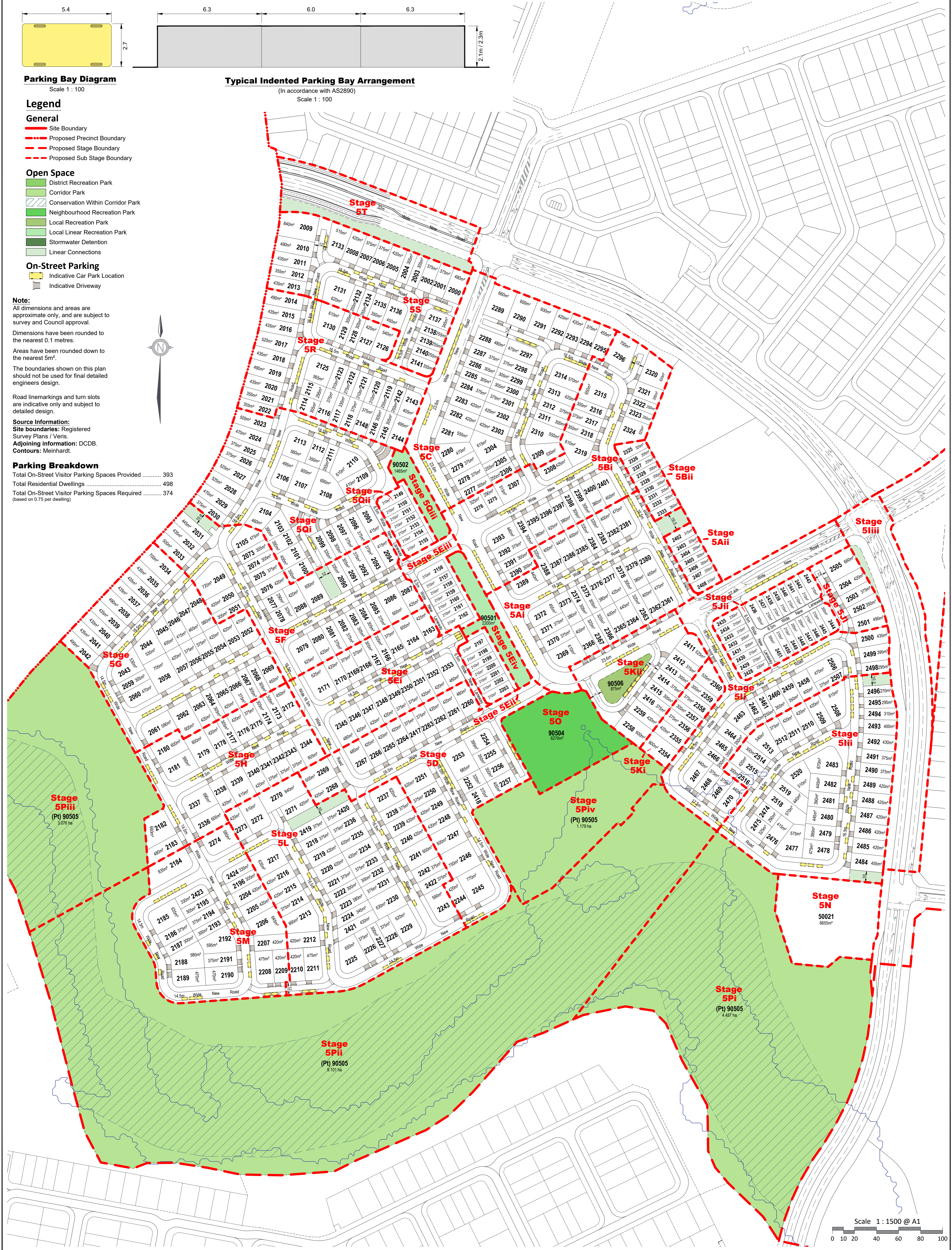
The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Meinhardt.

Parking Breakdown

Total On-Street Visitor Parking Spaces Provided 393
Total Residential Dwellings 498
Total On-Street Visitor Parking Spaces Required 374
(based on 0.75 per dwelling)



Scale 1 : 1500 @ A1
0 10 20 40 60 80 100

REVISION	PROJECT	CLIENT
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AM: 27/09/2024 Stage 4 Layout Change	Local Authority. Economic Development Queensland	
AN: 29/11/2024 Stage 4 Layout Change		
AO: 07/02/2025 Site Cover Definition Included		
AP: 14/05/2025 Stage 3 and 4 Layout Change		
AQ: 04/07/2025 Stage 4 Layout Change		
AR: 25/07/2025 Incorporation of Stage 4 PMTs		
AS: 18/08/2025 Stage 4 Updates		

REVISION	PROJECT	CLIENT
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AQ: 04/07/2025 Stage 4 Layout Change		
AR: 25/07/2025 Incorporation of Stage 4 PMTs		
AS: 18/08/2025 Stage 4 Updates		

CLIENT

PEET

Plan of Development
Stage 5 Overall
Parking Management Plan

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025

rps

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Scale 1 : 1500	Sheet A1	Plan Ref 110056 - 416	Rev AS
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See RPS Plan
Ref: 110056-391

Stage 4

Stage 3

Stage 2

Stage 5

Stage 2A-2C
(Approved)

Stage 1A-1AF
(Approved)

- Legend**
- Site Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Existing Q100
 - Residential Allotment (Max. no. of dwellings)
 - Entry Statements - Lease
 - Indicative Indented Bus Stop Location
 - Indicative In-Line Bus Stop Location
 - Indicative Temporary In-Line Bus Stop Location
 - Bus Stop Catchment (400m)
 - Neighbourhood Park Catchment (400m)
 - 10m Wide Existing Sewer Easement
 - SPS Access EMT
 - Temporary Sewage Tankering Facility

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Scale 1 : 3000 @ A1
0 15 30 60 90 120 150 180
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining Information: DCDB, Contours: Bradlees.

REVISION
AG: 13/04/2023 Stage 3 & 5 Layout Changes
AJ: 08/08/2023 Stage 5 Basin Change
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AK: 15/08/2024 Stage 4 Layout Change
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PROJECT

Job Ref.	110056	Date.	18 August 2025
Comp. By.	NF	DWG Name.	Precinct 1 Stages 2-5
Chk'd By.	MD	Locality.	Flagstone
Local Authority: Economic Development Queensland			

CLIENT

PEET

Plan of Subdivision
Stages 2 – 5
Overall Allotment Layout

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012403/303
Date: 30 October 2025

Queensland Government

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Scale	1 : 3000	Sheet	A1	Plan Ref	110056 – 374	Rev	AS
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Land Budget Stages 2 – 5

Land Use	Stage 2	Stage 3	Stage 4	Stage 5	Overall	
	Area	Area	Area	Area	Area	%
Area of Subject Site	16.883 ha	45.912 ha	301.981 ha	52.188 ha	416.964 ha	100.0%
Saleable Area						
Residential Allotments	9.636 ha	10.219 ha	22.089 ha	19.984 ha	61.928 ha	14.9%
Medium Density Allotment	—	—	—	0.666 ha	0.666 ha	0.2%
Commercial Allotment	—	—	1.321 ha	—	1.321 ha	0.3%
Community Facility Allotment	—	—	0.500 ha	—	0.500 ha	0.1%
Potential Child Care Allotment	0.628 ha	—	—	—	0.628 ha	0.2%
Manufactured Home Estate Allotment	—	12.038 ha	—	—	12.038 ha	2.9%
Cultural Heritage Allotment	—	—	0.353 ha	—	0.353 ha	0.1%
Balance Super Allotments	1.581 ha	2.919 ha	246.443 ha	—	250.943 ha	60.2%
Total Area of Allotments	11.845 ha	25.176 ha	270.706 ha	20.650 ha	328.377 ha	78.8%
Utilities						
Sewer Pump Station	—	0.162 ha	—	—	0.162 ha	0.0%
Total Area of Utilities	—	0.162 ha	—	—	0.162 ha	0.0%
Road						
Collector Road	1.502 ha	3.065 ha	4.804 ha	3.532 ha	12.903 ha	3.1%
Local Road	3.465 ha	4.511 ha	9.340 ha	8.671 ha	25.987 ha	6.2%
Linear Connections	0.071 ha	0.412 ha	0.501 ha	0.442 ha	1.426 ha	0.3%
Existing Road	—	0.063 ha	—	—	0.063 ha	0.0%
Entry Statements	—	—	—	—	—	0.0%
Total Area of New Road	5.038 ha	8.051 ha	14.645 ha	12.645 ha	40.379 ha	9.7%
Open Space						
Corridor Park	—	4.006 ha	14.711 ha	17.812 ha	36.529 ha	8.8%
Conservation Park (Within Corridor Park)	—	2.650 ha	6.357 ha	10.710 ha	19.717 ha	—
District Recreation Park	—	5.648 ha	—	—	5.648 ha	1.4%
Neighbourhood Recreation Park	—	2.346 ha	1.801 ha	0.627 ha	4.774 ha	1.1%
Local Recreation Park	—	0.523 ha	0.118 ha	0.088 ha	0.729 ha	0.2%
Local Linear Recreation Park	—	—	—	0.366 ha	0.366 ha	0.1%
Stormwater Detention	—	—	—	—	—	0.0%
Total Open Space	—	12.523 ha	16.630 ha	18.893 ha	48.046 ha	11.5%

Yield Breakdown Stages 2 – 5

Residential Allotments	Typical Size	Typical Area	Stage 2	Stage 3	Stage 4	Stage 5	Overall	
Urban & Nano Allotments Product								
Urban Loft	4.7 x 11.5m	50m ²	—	—	—	—	—	0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	—	0%
Urban Terrace	7.5 x 27.5m	170m ²	—	—	—	16	16	1%
Subtotal						16	16	1%
16m Deep Product								
Squat Allotment	14 x 16m	220m ²	—	4	4	10	18	1%
Subtotal				4	4	10	18	1%
25m Deep Product								
Villa Allotment	10 x 25m	250m ²	29	10	5	21	65	4%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	3	3	6	0%
Courtyard Allotment	14 x 25m	350m ²	41	16	28	25	110	7%
Premium Courtyard Allotment	16 x 25m	400m ²	17	6	5	10	38	3%
Premium Traditional Allotment	20 x 25m	500m ²	—	4	—	1	5	0%
Possible Multiple Residential Allotment	—	—	2	3	—	3	8	1%
Subtotal			89	39	41	63	232	16%
28m - 30m Deep Product								
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	—	—	0%
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	—	—	—	—	0%
Terrace 7.5m Allotment	7.5 x 28m	210m ²	8	—	5	33	46	3%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	4	—	2	12	18	1%
Subtotal			12	—	7	45	64	4%
30m Deep Product								
Villa Allotment	10 x 30m	300m ²	32	35	111	72	250	17%
Premium Villa Allotment	12.5 x 30m	375m ²	33	66	174	123	396	26%
Courtyard Allotment	14 x 30m	420m ²	51	53	160	124	388	26%
Traditional Allotment	20 x 30m	600m ²	19	27	26	43	115	8%
Premium Traditional Allotment	25 x 30m	720m ²	—	7	—	2	9	1%
Possible Multiple Residential Allotment	—	—	1	2	5	—	8	1%
Subtotal			136	190	476	364	1166	78%
Total Residential Allotments			237	233	528	498	1496	100%
Residential Net Density			18.0 dw/ha	12.9 dw/ha	15.6 dw/ha	16.5 dw/ha	15.7 dw/ha	
Super Lots								
Medium Density Allotment			—	—	—	1	1	
Commercial Allotment			—	—	1	—	1	
Community Facility Allotment			—	—	1	—	1	
Potential Child Care Allotment			1	—	—	—	1	
Manufactured Home Estate Allotment			—	1	—	—	1	
Cultural Heritage Allotment			—	—	1	—	1	
Balance Super Allotments			1	2	1	—	4	
Sub Total			2	3	4	1	10	
Utilities								
Sewer Pump Station			—	2	—	—	2	
Sub Total			—	2	—	—	2	
Total Allotments			239	238	532	499	1508	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			240	242	535	501	1518	
Maximum Potential Net Residential Density			18.2 dw/ha	13.4 dw/ha	15.8 dw/ha	16.6 dw/ha	15.9 dw/ha	



See RPS Plan
Ref: 110056-391

Land Budget Stages 2 - 5

Land Use	Stage 2	Stage 3	Stage 4	Stage 5	Overall	
Area of Subject Site	16.883 ha	45.912 ha	301.981 ha	52.188 ha	416.964 ha	100.0%
Saleable Area						
Residential Allotments	9.636 ha	10.219 ha	22.089 ha	19.984 ha	61.928 ha	14.9%
Medium Density Allotment	—	—	—	0.666 ha	0.666 ha	0.2%
Commercial Allotment	—	—	1.321 ha	—	1.321 ha	0.3%
Community Facility Allotment	—	—	0.500 ha	—	0.500 ha	0.1%
Potential Child Care Allotment	0.628 ha	—	—	—	0.628 ha	0.2%
Manufactured Home Estate Allotment	—	12.038 ha	—	—	12.038 ha	2.9%
Cultural Heritage Allotment	—	—	0.353 ha	—	0.353 ha	0.1%
Balance Super Allotments	1.581 ha	2.919 ha	246.443 ha	—	250.943 ha	60.2%
Total Area of Allotments	11.845 ha	25.176 ha	270.706 ha	20.650 ha	328.377 ha	78.8%
Utilities						
Sewer Pump Station	—	0.162 ha	—	—	0.162 ha	0.0%
Total Area of Utilities	—	0.162 ha	—	—	0.162 ha	0.0%
Road						
Collector Road	1.502 ha	3.065 ha	4.804 ha	3.532 ha	12.903 ha	3.1%
Local Road	3.465 ha	4.511 ha	9.340 ha	8.671 ha	25.987 ha	6.2%
Linear Connections	0.071 ha	0.412 ha	0.501 ha	0.442 ha	1.426 ha	0.3%
Existing Road	—	0.063 ha	—	—	0.063 ha	0.0%
Entry Statements	—	—	—	—	—	0.0%
Total Area of New Road	5.038 ha	8.051 ha	14.645 ha	12.645 ha	40.379 ha	9.7%
Open Space						
Corridor Park	—	4.006 ha	14.711 ha	17.812 ha	36.529 ha	8.8%
Conservation Park (Within Corridor Park)	—	2.650 ha	6.357 ha	10.710 ha	19.717 ha	—
District Recreation Park	—	5.648 ha	—	—	5.648 ha	1.4%
Neighbourhood Recreation Park	—	2.346 ha	1.801 ha	0.627 ha	4.774 ha	1.1%
Local Recreation Park	—	0.523 ha	0.118 ha	0.088 ha	0.729 ha	0.2%
Local Linear Recreation Park	—	—	—	0.366 ha	0.366 ha	0.1%
Stormwater Detention	—	—	—	—	—	0.0%
Total Open Space	—	12.523 ha	16.630 ha	18.893 ha	48.046 ha	11.5%

Yield Breakdown Stages 2 - 5

Residential Allotments	Typical Size	Typical Area	Stage 2	Stage 3	Stage 4	Stage 5	Overall	
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Urban Loft	4.7 x 11.5m	50m ²	—	—	—	—	0%	
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	0%	
Urban Terrace	7.5 x 27.5m	170m ²	—	—	—	16	1%	
Subtotal						16	1%	
16m Deep Product								
Squat Allotment	14 x 16m	220m ²	—	4	4	10	18	1%
Subtotal				4	4	10	18	1%
25m Deep Product								
Villa Allotment	10 x 25m	250m ²	29	10	5	21	65	4%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	3	3	6	0%
Courtyard Allotment	14 x 25m	350m ²	41	16	28	25	110	7%
Premium Courtyard Allotment	16 x 25m	400m ²	17	6	5	10	38	3%
Premium Traditional Allotment	20 x 25m	500m ²	—	4	—	1	5	0%
Possible Multiple Residential Allotment	—	—	2	3	—	3	8	1%
Subtotal			89	39	41	63	232	16%
28m - 30m Deep Product								
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	—	—	0%
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	—	—	—	—	0%
Terrace 7.5m Allotment	7.5 x 28m	210m ²	8	—	5	33	46	3%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	4	—	2	12	18	1%
Subtotal			12	—	7	45	64	4%
30m Deep Product								
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Premium Villa Allotment	12.5 x 30m	375m ²	33	66	174	123	396	26%
Courtyard Allotment	14 x 30m	420m ²	51	53	160	124	388	26%
Traditional Allotment	20 x 30m	600m ²	19	27	26	43	115	8%
Premium Traditional Allotment	25 x 30m	720m ²	—	7	—	2	9	1%
Possible Multiple Residential Allotment	—	—	1	2	5	—	8	1%
Subtotal			136	190	476	364	1166	78%
Total Residential Allotments			237	233	528	498	1496	100%
Residential Net Density			18.0 dw/ha	12.9 dw/ha	15.6 dw/ha	16.5 dw/ha	15.7 dw/ha	
Super Lots			Lots	Lots	Lots	Lots	Lots	
Medium Density Allotment	—	—	—	—	1	—	1	
Commercial Allotment	—	—	—	1	—	—	1	
Community Facility Allotment	—	—	—	—	1	—	1	
Potential Child Care Allotment	1	—	—	—	—	—	1	
Manufactured Home Estate Allotment	—	1	—	—	—	—	1	
Cultural Heritage Allotment	—	—	—	1	—	—	1	
Balance Super Allotments	1	2	1	—	—	—	4	
Sub Total			2	3	4	1	10	
Utilities								
Sewer Pump Station	—	2	—	—	—	—	2	
Sub Total			—	2	—	—	2	
Total Allotments			239	238	532	499	1508	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			240	242	535	501	1518	
Maximum Potential Net Residential Density			18.2 dw/ha	13.4 dw/ha	15.8 dw/ha	16.6 dw/ha	15.9 dw/ha	

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- ⓘ Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease
- 10m Wide Existing Sewer Easement
- SPS Access EMT
- Temporary Sewage Tankering Facility

Stage 1A-1AF (Approved)

Scale 1:3000 @ A1

0 15 30 60 90 120 150 180

Note:
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Source Information:
Site boundaries: Registered Survey Plans / Veris.

Adjoining Information: DCDB, Contours: Bradlees.

REVISION

AG: 13/04/2023 Stage 3 & 5 Layout Changes
AI: 08/08/2023 Stage 5 Basin Change
AJ: 12/02/2024 Stage 5R Layout Change
AK: 15/08/2024 Stage 4 Layout Change
AL: 15/08/2024 Stage 4 Layout Change
AM: 27/09/2024 Stage 4 Layout Change
AN: 29/11/2024 Stage 4 Layout Change
AO: 07/02/2025 Site Cover Definition Included
AP: 07/02/2025 Site Cover Definition Included
AQ: 04/07/2025 Stage 4 Layout Change
AR: 25/07/2025 Incorporation of Stage 4 PMTs
AS: 18/08/2025 Stage 4 Updates

PROJECT

Flagstone Precinct 1

Job Ref.	110056	Date.	18 August 2025
Comp. By.	NF	DWG Name.	Precinct 1 Stages 2-5
Chk'd By.	MD	Locality.	Flagstone
Local Authority.	Economic Development Queensland		

CLIENT

PEET

Plan of Subdivision
Stages 2 - 5
Overall Allotment Layout - Sub - Staging

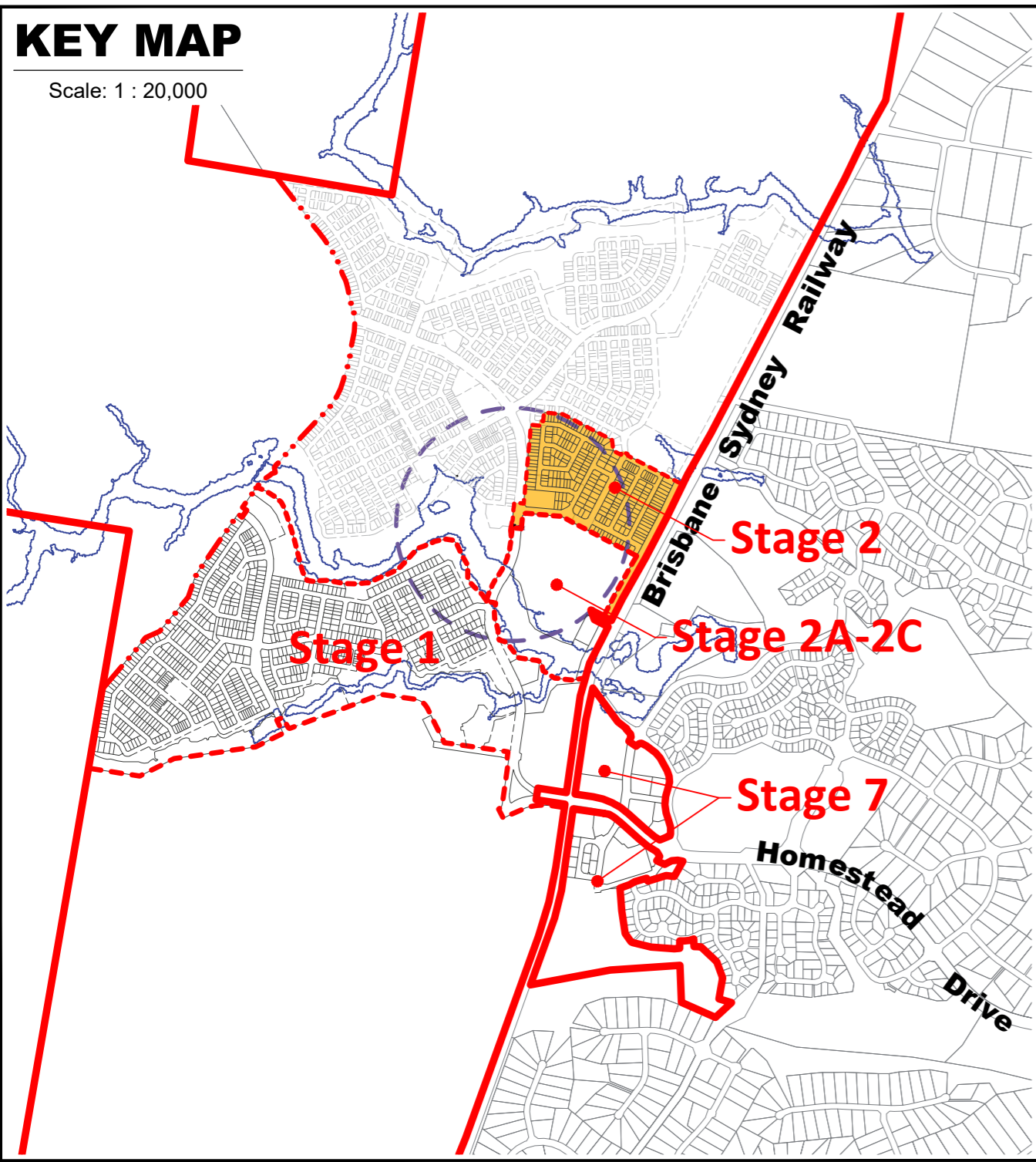
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025

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W rpsgroup.com

Scale 1:3000
Sheet A1
Plan Ref 110056 - 481
Rev AS



Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- ⊕ Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement
- ✳ Indicative Indented Bus Stop Location
- Bus Stop Catchment (400m)

Note:
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Dimensions have been rounded to the nearest 0.1 metres.
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Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris
Adjoining information: DCDB.
Contours: Bradlees.

Land Use	Land Budget Stage 2										Overall	
	Stage 2Di	Stage 2Dii	Stage 2E	Stage 2F	Stage 2G	Stage 2H	Stage 2I	Stage 2J	Stage 2K	Overall		
Area of Subject Site	1.167 ha	1.556 ha	1.936 ha	2.838 ha	2.914 ha	2.212 ha	1.620 ha	1.059 ha	1.581 ha	1.683 ha	16.883 ha	100.0%
Saleable Area											9.636 ha	57.1%
Residential Allotments	—	0.868 ha	1.356 ha	1.775 ha	2.214 ha	1.430 ha	0.934 ha	1.059 ha	—	—	9.636 ha	57.1%
Balance Super Allotments	—	—	—	—	—	—	—	—	—	1.581 ha	1.581 ha	9.4%
Potential Child Care Allotment	0.628 ha	—	—	—	—	—	—	—	—	—	0.628 ha	3.7%
Total Area of Allotments	0.628 ha	0.868 ha	1.356 ha	1.775 ha	2.214 ha	1.430 ha	0.934 ha	1.059 ha	1.581 ha	11.845 ha	70.2%	
Road												
Collector Road	0.539 ha	0.178 ha	—	0.785 ha	—	—	—	—	—	—	1.502 ha	8.9%
Local Road	—	0.475 ha	0.580 ha	0.278 ha	0.664 ha	0.782 ha	0.686 ha	—	—	—	3.465 ha	20.5%
Linear Connections	—	0.035 ha	—	—	0.036 ha	—	—	—	—	—	0.071 ha	0.4%
Entry Statements	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	0.539 ha	0.688 ha	0.580 ha	1.063 ha	0.700 ha	0.782 ha	0.686 ha	—	—	—	5.038 ha	29.8%
Open Space												
Corridor Park	—	—	—	—	—	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	—	—	—	—	—	0.0%

Yield Breakdown Stage 2												
Residential Allotments			Stage 2Di	Stage 2Dii	Stage 2E	Stage 2F	Stage 2G	Stage 2H	Stage 2I	Stage 2J	Stage 2K	Overall
Typical Size	Typical Area	Typical Area										
Urban & Nano Allotments Product												
Urban Loft	4.7 x 11.5m	54m ²	—	—	—	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	—	—	—	0.0%
16m Deep Product												
Squat Allotment	14 x 16m	220m ²	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	—	—	—	0.0%
25m Deep Product												
Villa Allotment	10 x 25m	250m ²	—	2	5	—	8	10	4	—	—	29
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	—	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	—	1	10	—	11	12	7	—	—	41
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	4	—	3	9	1	—	—	17
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	2	—	—	2
Subtotal			—	3	19	—	22	33	12	—	—	89
28m Deep Product												
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	—	—	8	—	—	8
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	—	—	4	—	—	4
Subtotal			—	—	—	—	—	—	12	—	—	12
30m Deep Product												
Villa Allotment	10 x 30m	300m ²	—	2	5	—	16	1	1	7	—	32
Premium Villa Allotment	12.5 x 30m	375m ²	—	9	6	2	5	2	9	—	—	33
Courtyard Allotment	14 x 30m	420m ²	—	7	4	17	14	1	5	3	—	51
Traditional Allotment	20 x 30m	600m ²	—	—	—	15	1	2	—	1	—	19
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	1	—	—	1
Subtotal			—	18	15	35	36	6	6	20	—	136
Total Residential Allotments			—	21	34	35	58	39	30	20	—	237
Residential Net Density			—	10.8 dw/ha	17.6 dw/ha	17.0 dw/ha	19.9 dw/ha	17.6 dw/ha	18.5 dw/ha	12.3 dw/ha	—	18.0 dw/ha
Super Lots												
Balance Super Allotments												1
Potential Child Care Allotment												1
Sub Total												2
Total Allotments			1	21	34	35	58	39	30	20	1	239
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			—	21	34	36	58	41	30	20	—	240
Maximum Potential Net Residential Density			—	10.8 dw/ha	17.6 dw/ha	17.5 dw/ha	19.9 dw/ha	18.5 dw/ha	18.5 dw/ha	12.3 dw/ha	—	18.2 dw/ha

Stage 2A-2C
(Approved)

Scale 1 : 1500 @ A1

REVISION	
AH: 25/04/2023 Stage 4 Layout Changes	
AI: 08/08/2023 Stage 5 Basin Change	
AJ: 12/02/2024 Stage 5R Layout Change	
AK: 15/08/2024 Stage 4 Layout Change	
AL: 23/08/2024 Stage 4 Layout Change	
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AQ: 04/07/2025 Stage 4 Layout Change	
AR: 25/07/2025 Incorporation of Stage 4 PMTs	
AS: 18/08/2025 Stage 4 Updates	

PROJECT		CLIENT	
Flagstone Precinct 1		PEET	
Job Ref. 110056	Date. 18 August 2025	Plan of Subdivision Stage 2 Overall Allotment Layout	
Comp By. NF	DWG Name. Precinct 1 Stage 2	Scale 1 : 1500	
Chk'd By. MD	Locality. Flagstone	Sheet A1	
Local Authority. Economic Development Queensland		Plan Ref 110056 - 375	

Plan of Subdivision
Stage 2 Overall
Allotment Layout

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/403/303
Date: 30 October 2025

Scale 1 : 1500

Scale 1 : 1500

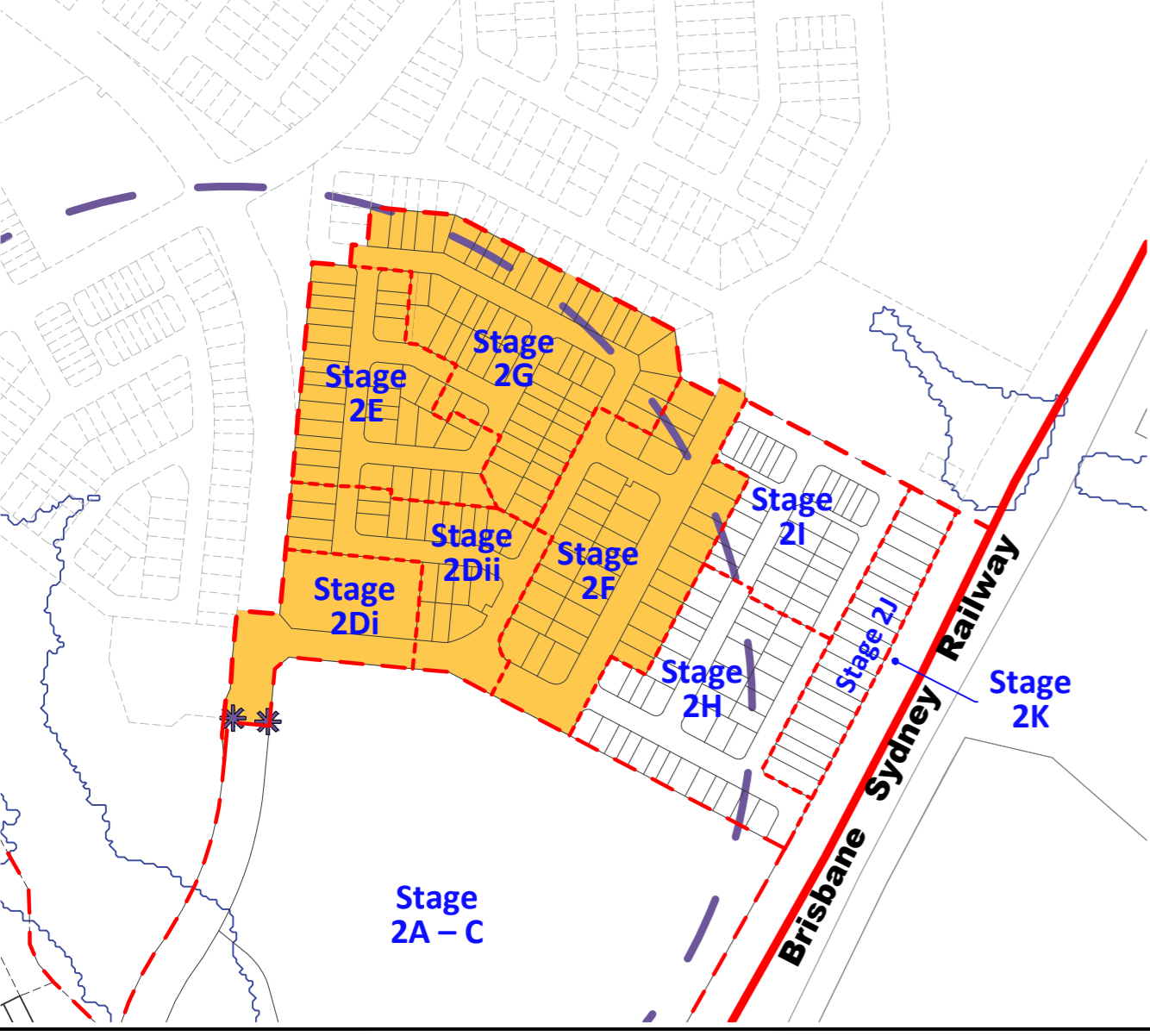
 Scale 1 : 1500	 Sheet A1	Plan Ref 110056 - 375	Rev AS
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KEY MAP

Scale: 1 : 5,000



Note:
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Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

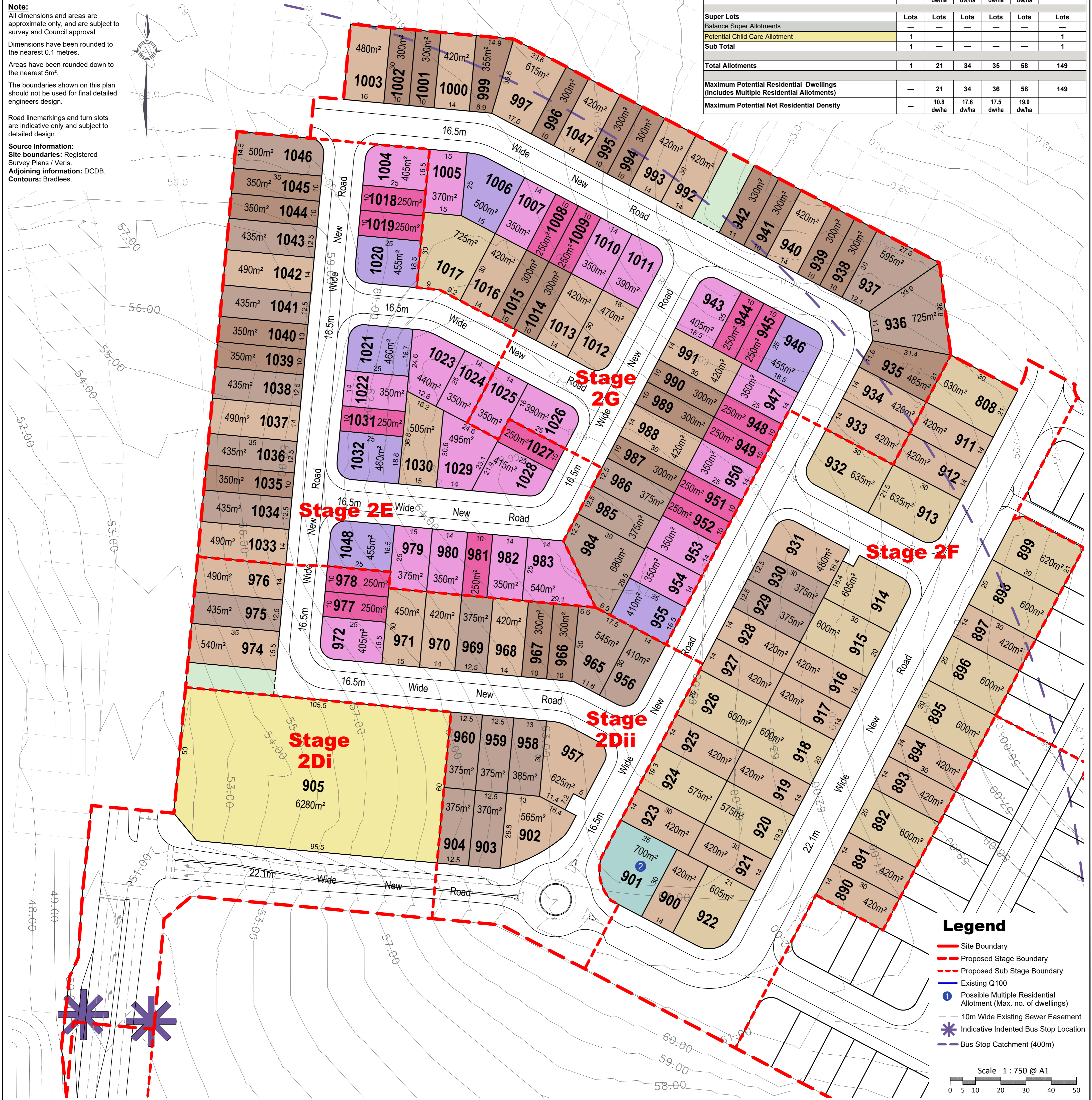
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Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

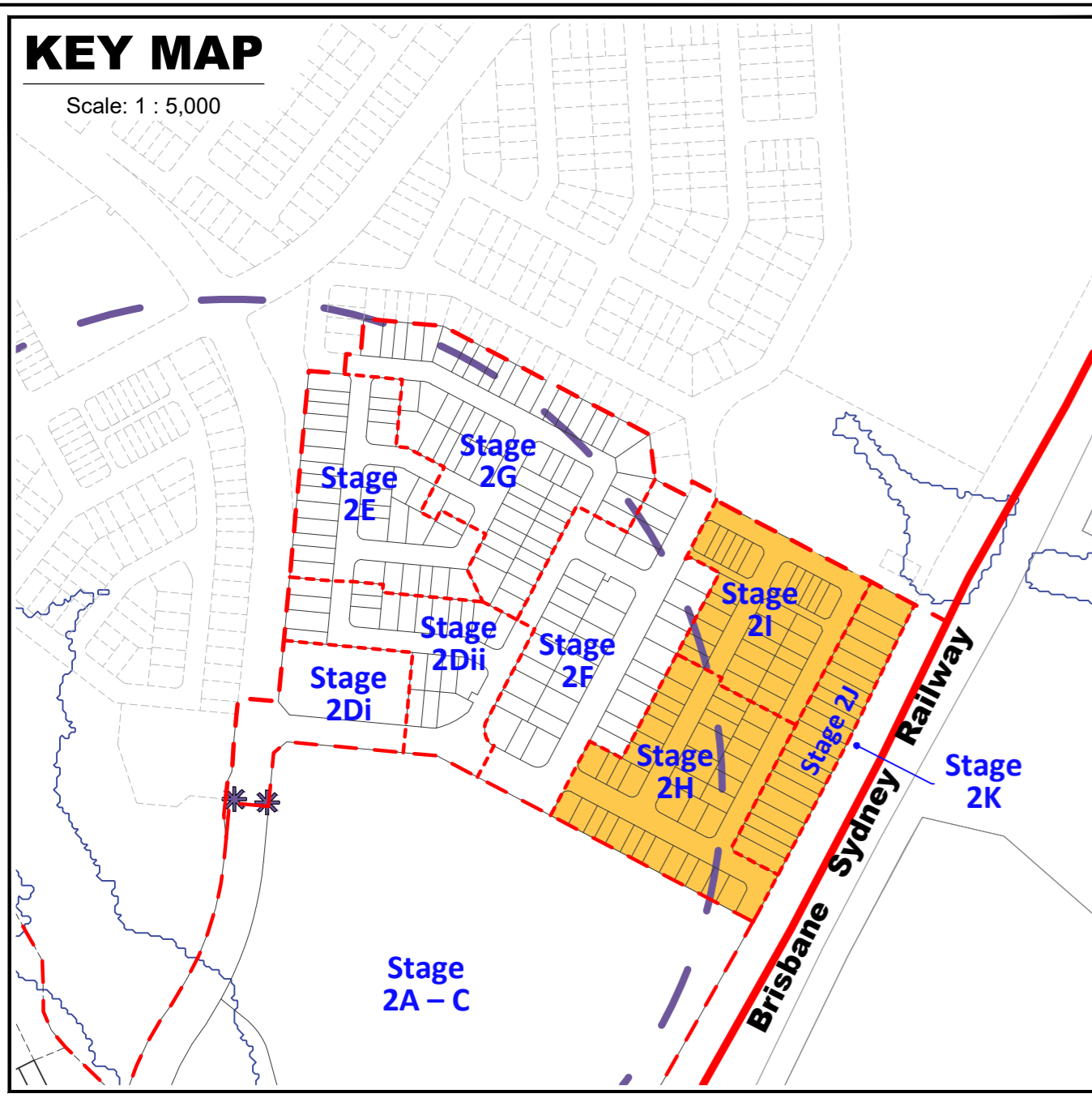
Land Budget Stage 2							
Land Use	Stage 2Di	Stage 2Dii	Stage 2E	Stage 2F	Stage 2G	Overall	
	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	1.167 ha	1.556 ha	1.936 ha	2.838 ha	2.914 ha	10.411 ha	100.0%
Saleable Area							
Residential Allotments	—	0.868 ha	1.356 ha	1.775 ha	2.214 ha	6.213 ha	59.7%
Balance Super Allotments	—	—	—	—	—	—	0.0%
Potential Child Care Allotment	0.628 ha	—	—	—	—	0.628 ha	6.0%
Total Area of Allotments	0.628 ha	0.868 ha	1.356 ha	1.775 ha	2.214 ha	6.841 ha	65.7%
Road							
Collector Road	0.539 ha	0.178 ha	—	0.785 ha	—	1.502 ha	14.4%
Local Road	—	0.475 ha	0.580 ha	0.278 ha	0.664 ha	1.997 ha	19.2%
Linear Connections	—	0.035 ha	—	—	0.036 ha	0.071 ha	0.7%
Entry Statements	—	—	—	—	—	—	0.0%
Total Area of New Road	0.539 ha	0.688 ha	0.580 ha	1.063 ha	0.700 ha	3.570 ha	34.3%
Open Space							
Corridor Park	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	0.0%

Yield Breakdown Stage 2											
Residential Allotments Product	Typical Size	Typical Area	Stage 2Di	Stage 2Dii	Stage 2E	Stage 2F	Stage 2G	Overall			
			Units	Units	Units	Units	Units	Units	Density	Density	Density
Urban & Nano Allotments Product											
Urban Loft	4.7 x 11.5m	54m ²	—	—	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	—	—	—	—	—	0.0%
Subtotal											
16m Deep Product											
Squat Allotment	14 x 16m	220m ²	—	—	—	—	—	—	—	—	0.0%
Subtotal											
25m Deep Product											
Villa Allotment	10 x 25m	250m ²	—	2	5	—	8	15	10.1%		
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	—	—	—	0.0%		
Courtyard Allotment	14 x 25m	350m ²	—	1	10	—	11	22	14.9%		
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	4	—	3	7	4.7%		
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—	—	0.0%		
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	0.0%		
Subtotal				3	19		22	44	29.7%		
28m Deep Product											
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	—	—	0.0%		
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	—	—	0.0%		
Subtotal											
30m Deep Product											
Villa Allotment	10 x 30m	300m ²	—	2	5	—	16	23	15.5%		
Premium Villa Allotment	12.5 x 30m	375m ²	—	9	6	2	5	22	14.9%		
Courtyard Allotment	14 x 30m	420m ²	—	7	4	17	14	42	28.4%		
Traditional Allotment	20 x 30m	600m ²	—	—	—	15	1	16	10.8%		
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	—	—	0.0%		
Possible Multiple Residential Allotment	—	—	—	—	—	—	1	1	0.7%		
Subtotal				18	15	35	36	104	70.3%		
Total Residential Allotments				21	34	35	58	148	100%		
Residential Net Density				10.8 dw/ha	17.6 dw/ha	17.0 dw/ha	19.9 dw/ha	19.9 dw/ha			
Super Lots											
Balance Super Allotments											
Potential Child Care Allotment											
Sub Total											
Total Allotments				1	21	34	35	58	149		
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)				21	34	36	58	149			
Maximum Potential Net Residential Density				10.8 dw/ha	17.6 dw/ha	17.5 dw/ha	19.9 dw/ha	19.9 dw/ha			



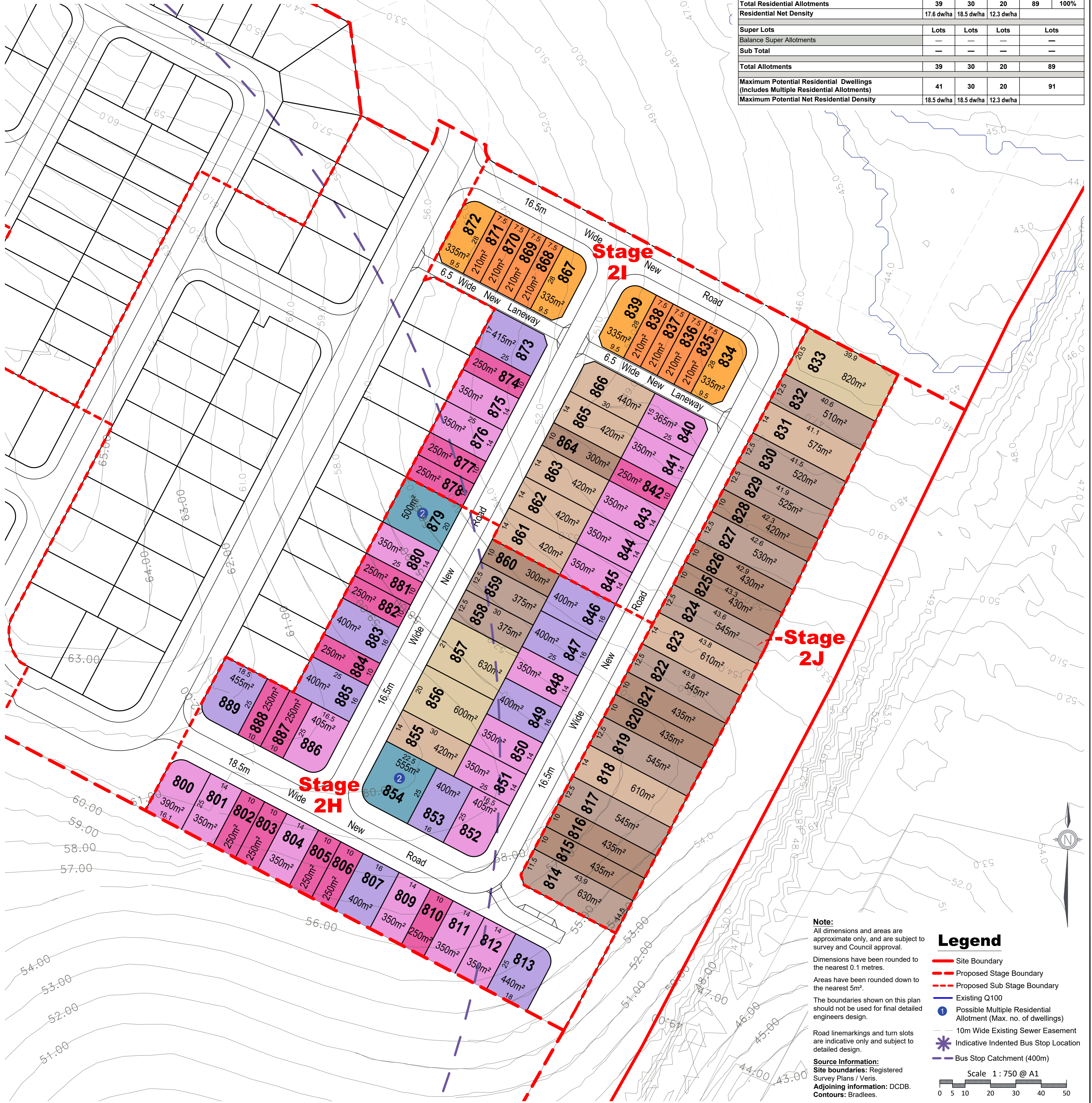
KEY MAP

Scale: 1 : 5,000



Land Use	Land Budget Stage 2				Overall
	Stage 2H	Stage 2I	Stage 2J	Overall	
Area	Area	Area	Area	Area	%
Area of Subject Site	2.212 ha	1.620 ha	1.059 ha	4.891 ha	100.0%
Saleable Area					
Residential Allotments	1.430 ha	0.934 ha	1.059 ha	3.423 ha	70.0%
Balance Super Allotments	—	—	—	—	0.0%
Total Area of Allotments	1.430 ha	0.934 ha	1.059 ha	3.423 ha	70.0%
Road					
Collector Road	—	—	—	—	0.0%
Local Road	0.782 ha	0.686 ha	—	1.468 ha	30.0%
Linear Connections	—	—	—	—	0.0%
Entry Statements	—	—	—	—	0.0%
Total Area of New Road	0.782 ha	0.686 ha	—	1.468 ha	30.0%
Open Space					
Corridor Park	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	0.0%
Total Open Space	—	—	—	—	0.0%

Yield Breakdown Stage 2						
Residential Allotments	Typical Size	Typical Area	Stage 2H	Stage 2I	Stage 2J	Overall
Urban & Nano Allotments Product						
Urban Loft	4.7 x 11.5m	54m ²	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	0.0%
Subtotal						0.0%
16m Deep Product						
Squat Allotment	14 x 16m	220m ²	—	—	—	0.0%
Subtotal						0.0%
25m Deep Product						
Villa Allotment	10 x 25m	250m ²	10	4	—	14
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	12	7	—	19
Premium Courtyard Allotment	16 x 25m	400m ²	9	1	—	10
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	2	—	—	2
Subtotal			33	12		45
28m Deep Product						
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	8	—	8
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	4	—	4
Subtotal				12		12
30m Deep Product						
Villa Allotment	10 x 30m	300m ²	1	1	7	9
Premium Villa Allotment	12.5 x 30m	375m ²	2	—	9	11
Courtyard Allotment	14 x 30m	420m ²	1	5	3	9
Traditional Allotment	20 x 30m	600m ²	2	—	1	3
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	0.0%
Subtotal			6	6	20	32
Total Residential Allotments			39	30	20	89
Residential Net Density			17.6 dw/ha	18.5 dw/ha	12.3 dw/ha	
Super Lots						
Balance Super Allotments						
Sub Total						
Total Allotments			39	30	20	89
Maximum Potential Residential Dwellings (includes Multiple Residential Allotments)			41	30	20	91
Maximum Potential Net Residential Density			18.5 dw/ha	18.5 dw/ha	12.3 dw/ha	



Note:
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Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement
- Indicative Indented Bus Stop Location
- Bus Stop Catchment (400m)

Scale 1 : 750 @ A1

REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage SR Layout Change		
AK: 15/08/2024 Stage 4 Layout Change		
AL: 23/08/2024 Stage 4 Layout Change		
AM: 27/09/2024 Stage 4 Layout Change	Job Ref. 110056	Date. 18 August 2025
AN: 29/11/2024 Stage 4 Layout Change	Comp By. NF	DWG Name. Precinct 1 Stage 2
AO: 07/02/2025 Site Cover Definition Included	Chk'd By. MD	Locality. Flagstone
AP: 14/05/2025 Stage 3 and 4 Layout Change	Local Authority. Economic Development Queensland	
AQ: 04/07/2025 Stage 4 Layout Change		
AR: 25/07/2025 Incorporation of Stage 4 PMTs		
AS: 18/08/2025 Stage 4 Updates		

REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage SR Layout Change		
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AL: 23/08/2024 Stage 4 Layout Change		
AM: 27/09/2024 Stage 4 Layout Change	Job Ref. 110056	Date. 18 August 2025
AN: 29/11/2024 Stage 4 Layout Change	Comp By. NF	DWG Name. Precinct 1 Stage 2
AO: 07/02/2025 Site Cover Definition Included	Chk'd By. MD	Locality. Flagstone
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AQ: 04/07/2025 Stage 4 Layout Change		
AR: 25/07/2025 Incorporation of Stage 4 PMTs		
AS: 18/08/2025 Stage 4 Updates		

CLIENT

PEET

Plan of Subdivision
Stage 2H – 2J
Allotment Layout

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303

Date: 30 October 2025

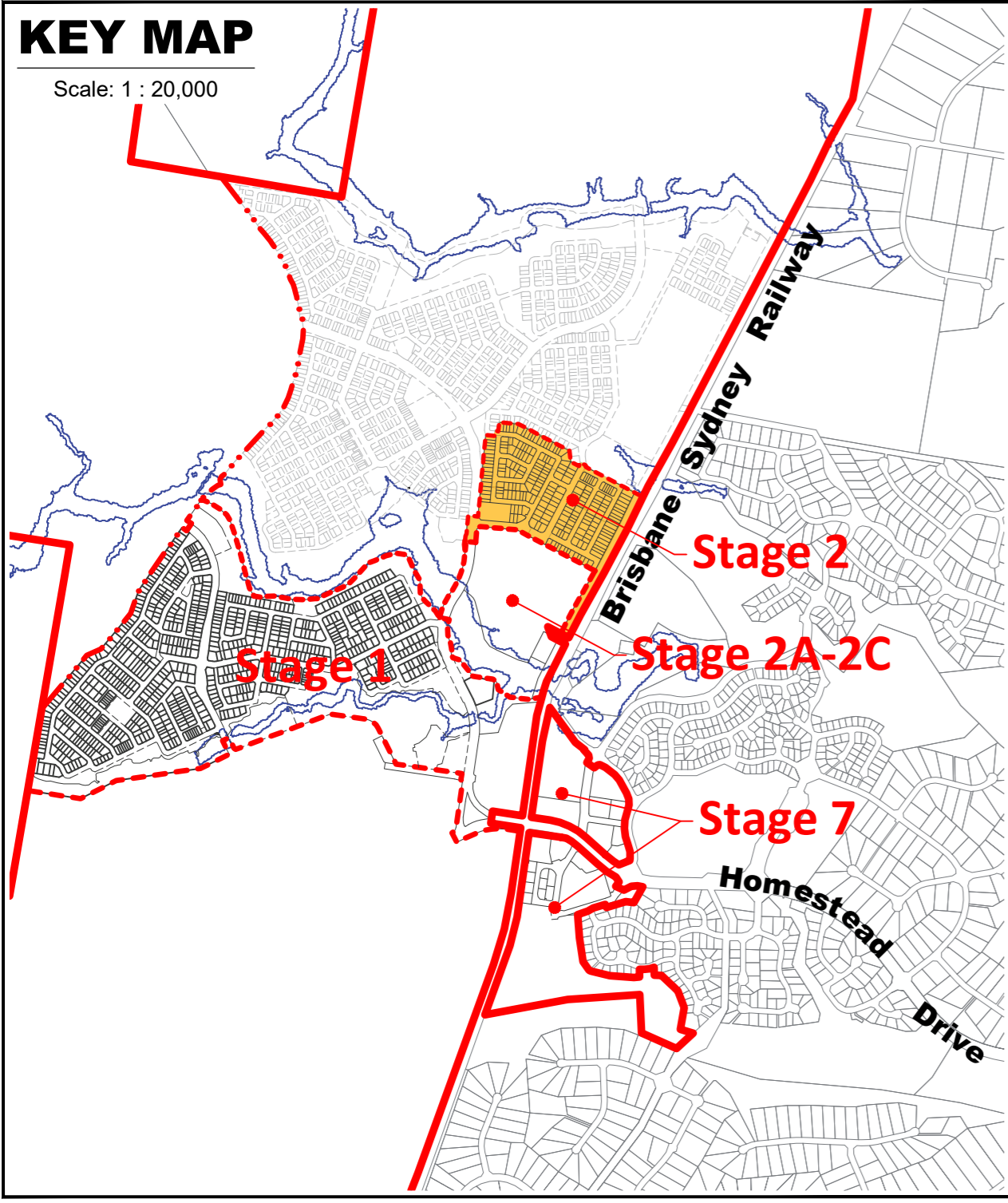
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KEY MAP

Scale: 1 : 20,000



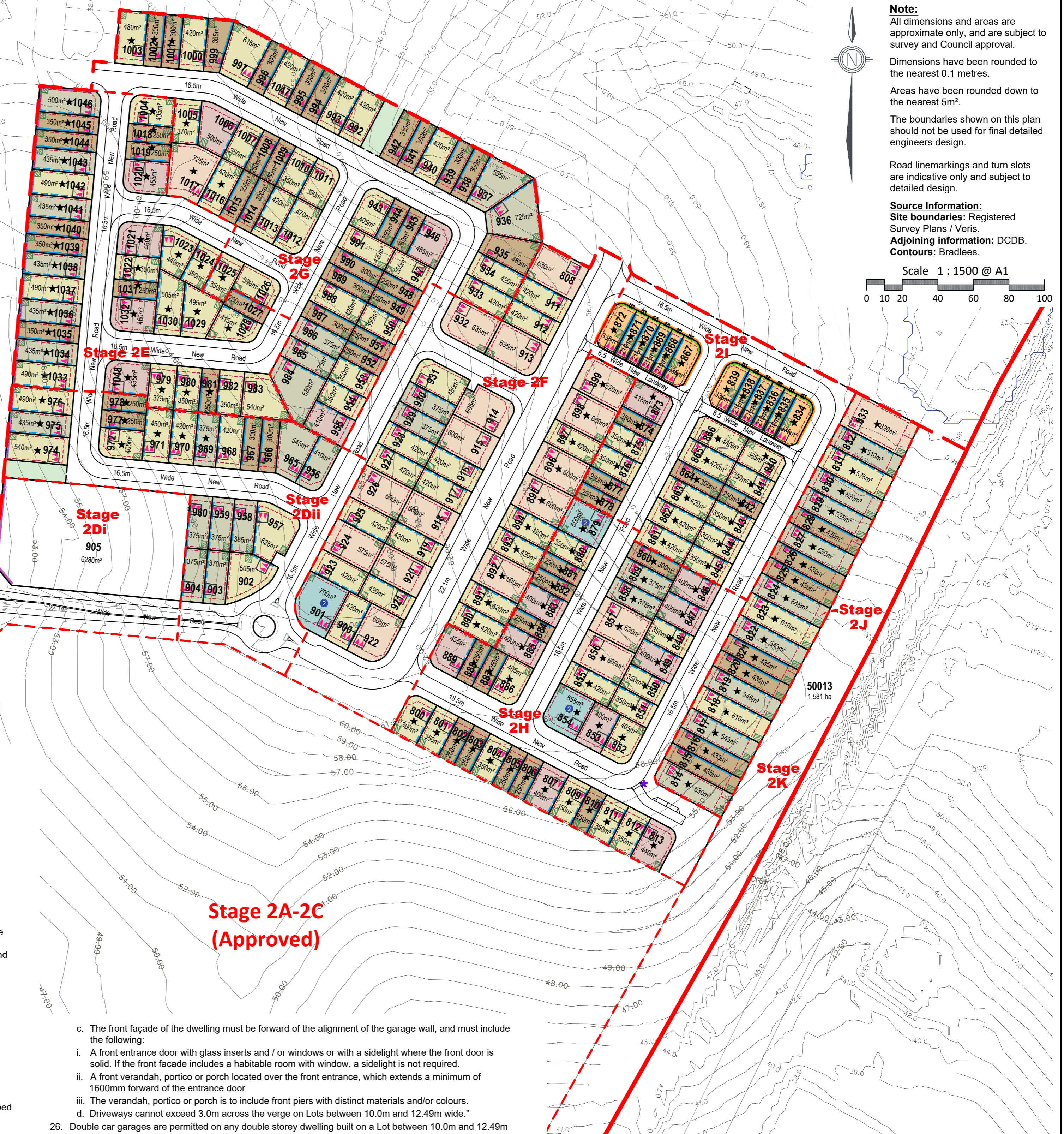
Legend

- General
- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement
Open Space
- District Recreation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections
Allotment Details
- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 1.8m High Solid Timber Fence
- 1.5m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

Notes:

- General
1. All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
2. The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.
4. All lots subject to an acoustic assessment to determine level of acoustic treatments.
5. Buildings shall be constructed in accordance with Bushfire AS3959.
6. Secondary dwellings are not permitted on lots less than 400m².
7. Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
8. Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
9. Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
Setbacks
10. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
11. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
12. Boundary setbacks are measured to the wall of the structure.
13. Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
14. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
15. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
16. If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
17. Lots 2501 - 2505 require a 2.5m rear setback.
18. For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
19. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
20. In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
- In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
- In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
Private Open Space
21. Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
22. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
- 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
- 2 Bedroom - 9m² (minimum dimension of 2.4m);
- 3+ Bedroom - 12m² (minimum dimension of 2.4m)
23. Private open space must be directly accessible from a living space.
On-site car parking and driveways
24. On-site car parking is to be provided in accordance with the following minimum requirements:
- For lots up to 12.4 metres wide - 1 covered space per dwelling;
- For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
- For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
25. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
b. The garage door:
i. Width must not exceed 4.8m
ii. Must have a minimum 450mm eave above it
iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
iv. Must have a sectional, tilt or roller door.

Plan of Development Table with columns for various allotment types (Urban Loft, Urban Terrace, Rear Loaded Terrace, Squat, Mode, Villa, Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional, Multiple Residential Allotment) and rows for Front/Primary Frontage, Garage, Rear, Side - General Lots, Laneway Lots, and Site Cover.



- 30. Maximum of one driveway per dwelling unless it is a MR lot.
31. Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
32. Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
33. Driveways must be completed prior to occupation of the dwelling.
Fencing
34. Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
35. Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
36. Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
37. Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
38. Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
39. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
Retaining Walls
40. For retaining walls not constructed by the developer:
a. Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
b. Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
41. No timber retaining walls over 1.0m or adjoining parks or public streets.
42. Walls over 1.0m require RPEQ certification.
Building Articulation
43. All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
- Windows recessed into the facade or bay windows;
- Balconies, porches or verandahs;
- Articulation of roof lines
- Window hoods; and/or
- Use of multiple cladding materials
44. Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
45. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
46. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
47. Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
48. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
49. Screened drying and rubbish bins area must be behind the main face of the dwelling.
50. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
Slope and Building Footings
51. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
52. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
53. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)
54. Buildings must address all street frontages with driveways, pedestrian entries or both.
55. All dwellings must have a clearly identifiable front door, which is undercover.
56. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
57. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
Additional Criteria for Secondary Dwellings
58. Floor area must be between a minimum of 30m² and 75m².
59. Materials, detailing, colours and roof form are consistent with those of the primary house.
60. Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
61. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
62. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
63. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
64. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
65. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
66. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
Definitions
Laneway Allotment - Allotments serviced by a laneway.

REVISION table with columns for revision number, date, and description of changes.

PROJECT information table including Job Ref (110056), Date (18 August 2025), DWG Name (Precinct 1 Stage 2), and Local Authority (Economic Development Queensland).

CLIENT information for PEET, including the Plan of Development Stage 2 Overall Residential Allotments title and logo.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL, including approval number (DEV2012/403/303) and date (30 October 2025).

Scale (1:1500), Sheet (A1), Plan Ref (110056 - 378), Rev (AS), and logos for RPS and URBAN DESIGN.



Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- District Recreation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 1.8m High Solid Timber Fence
- 1.5m High Solid Timber Fence
- Preferred Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Vens.
Adjoining information: DCDB.
Contours: Bradlees.

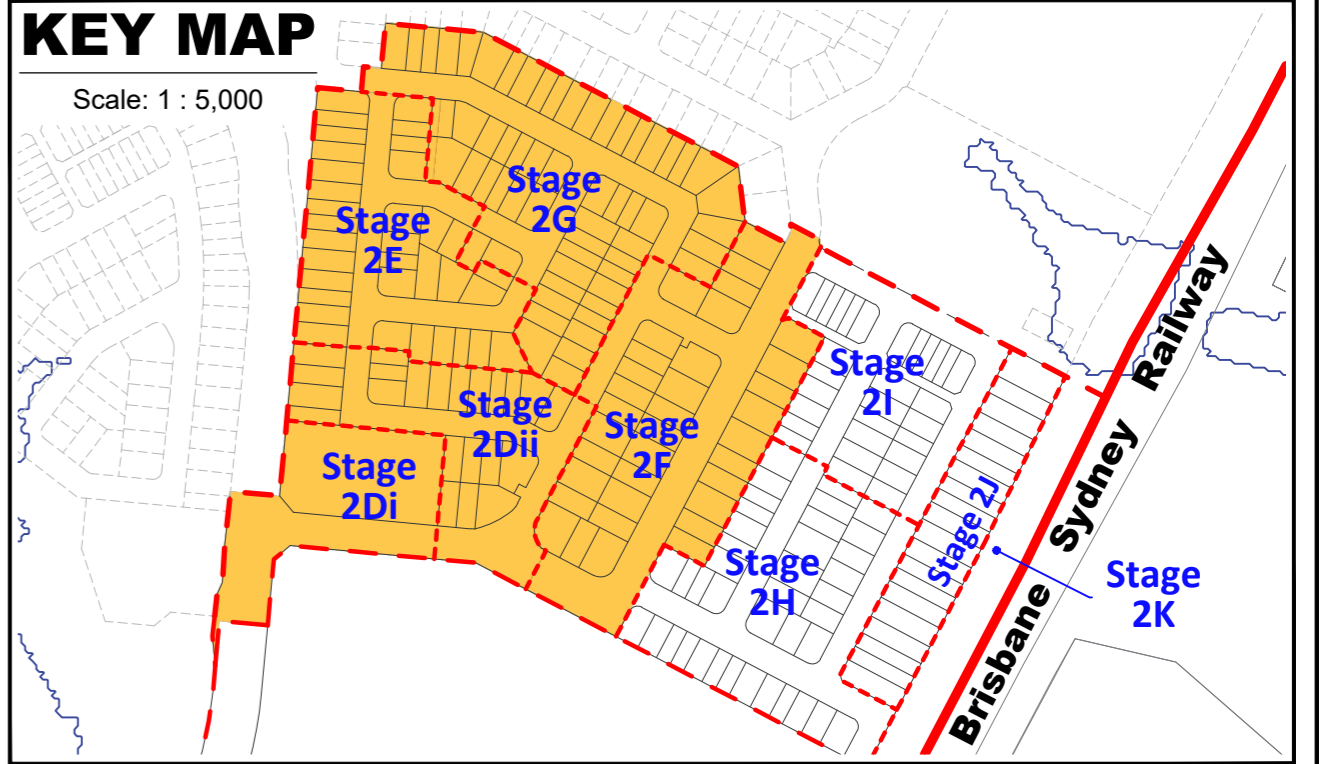
- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
 - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted site setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lots, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension on 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).

- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
Laneway Allotment - Allotments serviced by a laneway.

Plan of Development Table

	Urban Loft Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	
* Additional setback required on some allotments - refer POD Notes 14-16.																									
Side - General Lots																									
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		n/a		n/a		n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	1.5m	1.5m	1.5m	
Laneway Lots																									
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%	75%	



REVISION

AH: 25/04/2023 Stage 4 Layout Changes
 AP: 08/08/2023 Stage 5 Basin Change
 AJ: 12/02/2024 Stage 5R Layout Change
 AK: 15/08/2024 Stage 4 Layout Change
 AL: 23/08/2024 Stage 4 Layout Change
 AM: 27/09/2024 Stage 4 Layout Change
 AN: 29/11/2024 Stage 4 Layout Change
 AO: 07/02/2025 Site Cover Definition Included
 AP: 14/05/2025 Stage 3 and 4 Layout Change
 AQ: 04/07/2025 Stage 4 Layout Change
 AR: 25/07/2025 Incorporation of Stage 4 PMTs
 AS: 18/08/2025 Stage 4 Updates

PROJECT
Flagstone Precinct 1

CLIENT
PEET

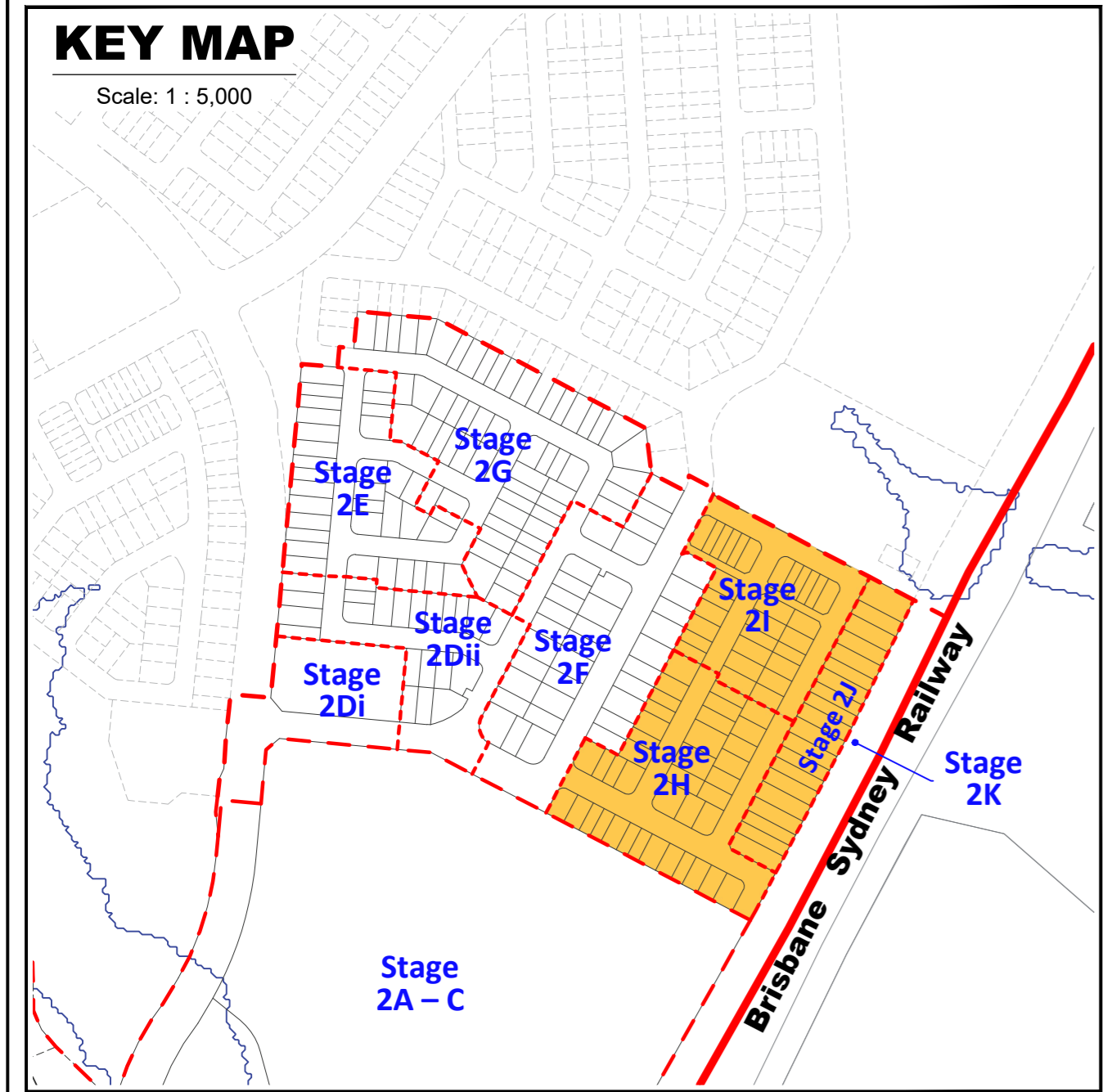
Plan of Development
Stage 2D – 2G
Residential Allotments

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
 Approval no: DE/2012/403/303
 Date: 30 October 2025

Scale: 1 : 750
 Sheet: A1
 Plan Ref: 110056 – 379
 Rev: AS

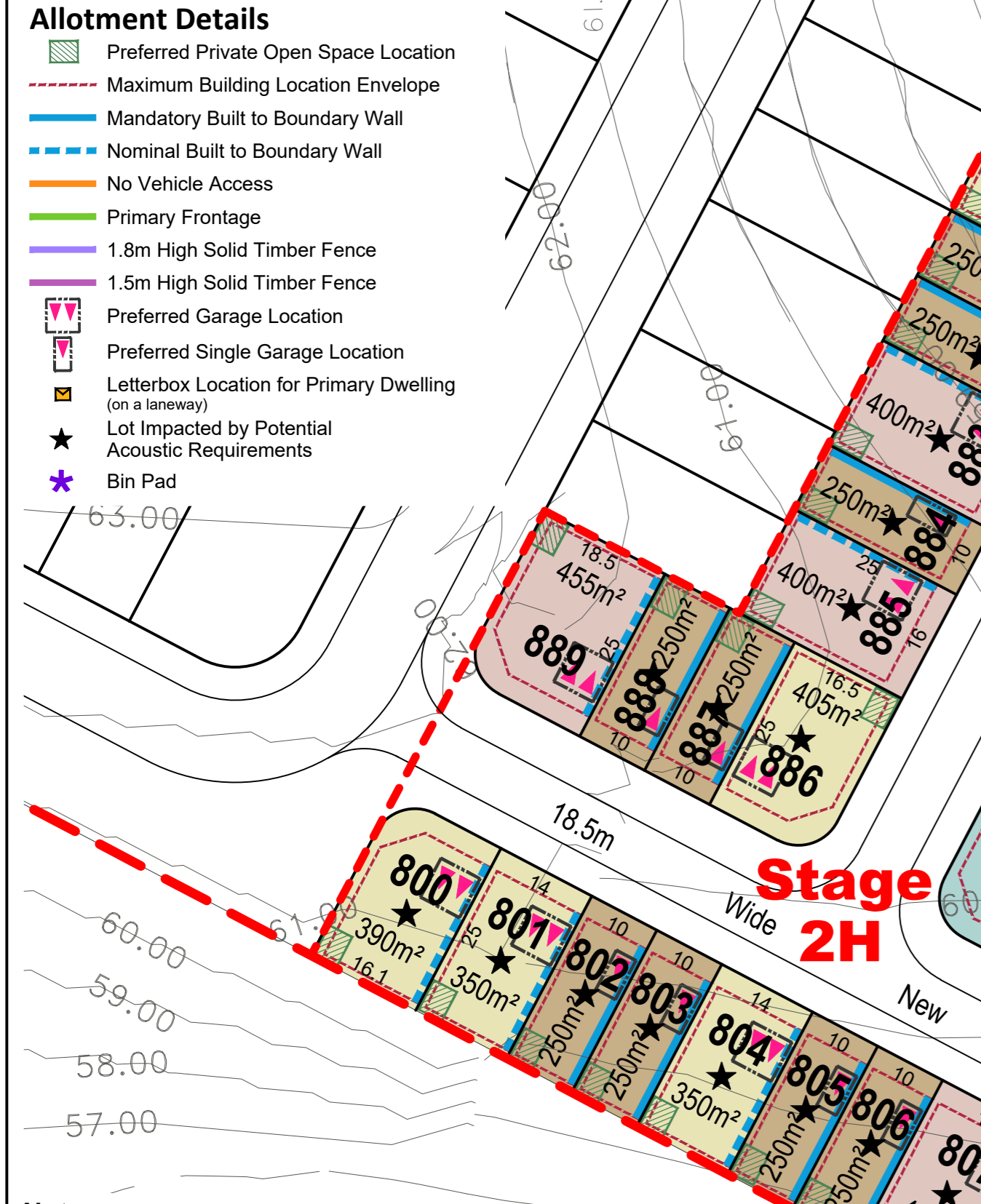
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rps
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Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear * Additional setback required on some allotments - refer POD Notes 14-16.	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*		
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m		
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m		
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a		
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		75%		

- Legend**
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - 10m Wide Existing Sewer Easement
- Open Space**
- District Recreation Park
 - Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- Allotment Details**
- Preferred Private Open Space Location
 - Maximum Building Location Envelope
 - Mandatory Built to Boundary Wall
 - Nominal Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - 1.8m High Solid Timber Fence
 - 1.5m High Solid Timber Fence
 - Preferred Garage Location
 - Preferred Single Garage Location
 - Letterbox Location for Primary Dwelling (on a laneway)
 - Lot Impacted by Potential Acoustic Requirements
 - Bin Pad



- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3599.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
 - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that share a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
 - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."

- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m of laneway dwelling.
 - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
 - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
 - Maximum of one driveway per dwelling unless it is a MR lot.
 - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
 - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
 - Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

- Retaining Walls**
- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

Note:

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Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

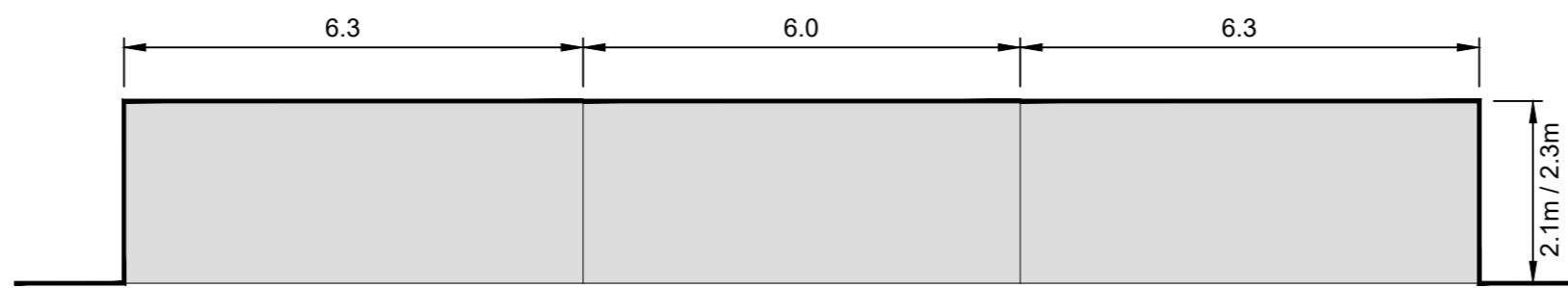
The boundaries shown on this plan should not be used for final detailed engineers design.

Road line markings and turn slots are indicative only and subject to detailed design.

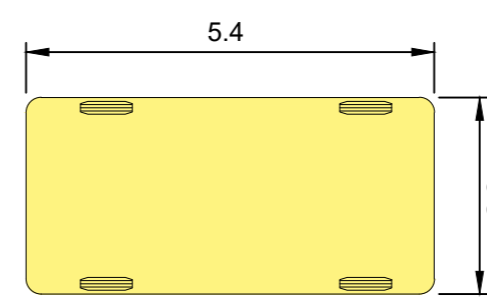
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 Adjoining information: DCDB.
 Contours: Bradlees.

Scale 1 : 750 @ A1

REVISION AH: 25/04/2023 Stage 4 Layout Change AJ: 08/08/2023 Stage 5 Basin Change AK: 12/02/2024 Stage SR Layout Change AL: 15/08/2024 Stage 4 Layout Change AM: 23/08/2024 Stage 4 Layout Change AN: 27/09/2024 Stage 4 Layout Change AO: 29/11/2024 Stage 4 Layout Change AP: 07/02/2025 Site Cover Definition Included AQ: 14/05/2025 Stage 3 and 4 Layout Change AR: 04/07/2025 Stage 4 Layout Change AS: 25/07/2025 Incorporation of Stage 4 PMTs AT: 18/08/2025 Stage 4 Updates	PROJECT Flagstone Precinct 1 Job Ref. 110056 Date. 18 August 2025 Comp By. JC DWG Name. Precinct 1 Stage 2 Chk'd By. MD Locality. Flagstone Local Authority. Economic Development Queensland	CLIENT PEET Plan of Development Stage 2H - 2J Residential Allotments	PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DEV2012/403/303 Date: 30 October 2025			URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com
Scale 1 : 750	Sheet A1	Plan Ref 110056 - 380	Rev AS			



Typical Indented Parking Bay Arrangement
(In accordance with AS2890)
Scale 1 : 100



Parking Bay Diagram
Scale 1 : 100

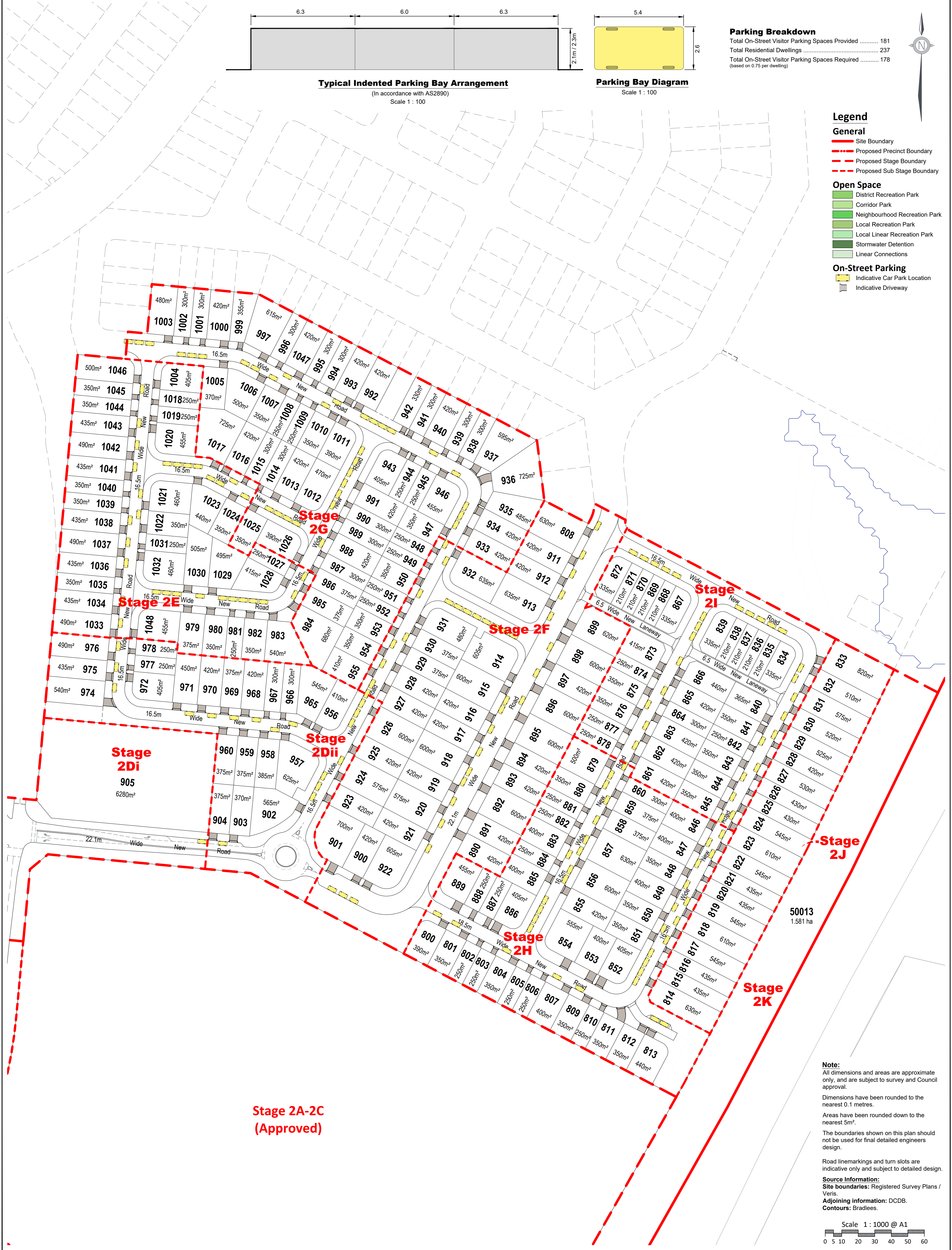
Parking Breakdown

Total On-Street Visitor Parking Spaces Provided 181
Total Residential Dwellings 237
Total On-Street Visitor Parking Spaces Required 178
(based on 0.75 per dwelling)



Legend

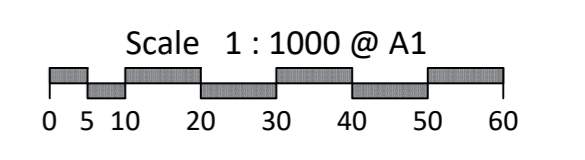
- General**
- Site Boundary
 - - - Proposed Precinct Boundary
 - - - Proposed Stage Boundary
 - - - Proposed Sub Stage Boundary
- Open Space**
- District Recreation Park
 - Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- On-Street Parking**
- Indicative Car Park Location
 - Indicative Driveway



**Stage 2A-2C
(Approved)**

Note:
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Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.



REVISION
AH: 25/04/2023 Stage 4 Layout Changes
AI: 08/08/2023 Stage 5 Basin Change
AJ: 12/02/2024 Stage 5R Layout Change
AK: 15/08/2024 Stage 4 Layout Change
AL: 23/08/2024 Stage 4 Layout Change
AM: 27/09/2024 Stage 4 Layout Change
AN: 29/11/2024 Stage 4 Layout Change
AO: 07/02/2025 Site Cover Definition Included
AP: 14/05/2025 Stage 3 and 4 Layout Change
AQ: 04/07/2025 Stage 4 Layout Change
AR: 25/07/2025 Incorporation of Stage 4 PMTs
AS: 18/08/2025 Stage 4 Updates

PROJECT		CLIENT	
Flagstone Precinct 1		PEET	
Job Ref. 110056	Date. 18 August 2025		
Comp By. NF	DWG Name. Precinct 1 Stage 2		
Chk'd By. MD	Locality. Flagstone		
Local Authority. Economic Development Queensland			

PEET

Plan of Development
Stage 2 Overall
Parking Management Plan

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

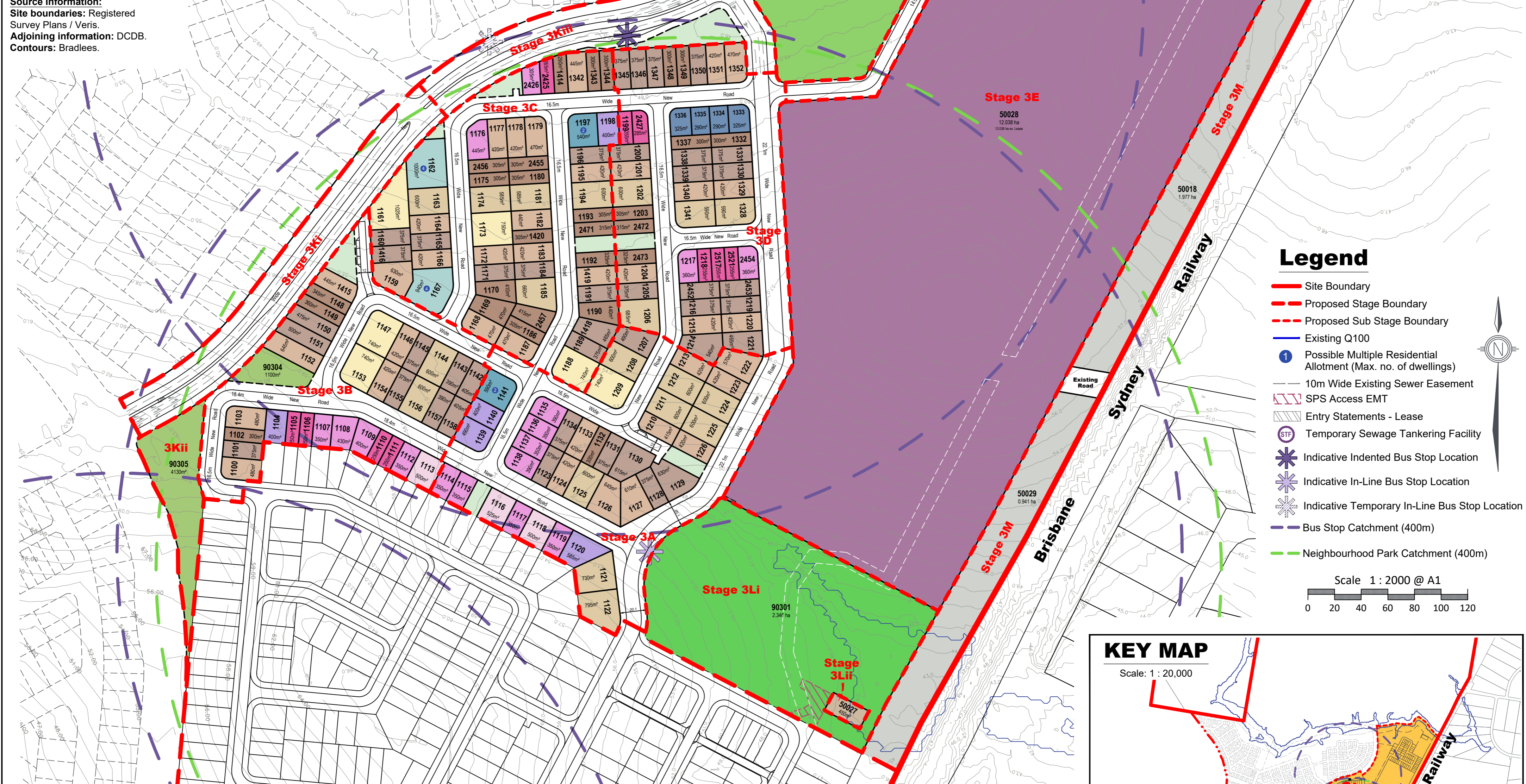
Approval no: DEV2012/403/303
Date: 30 October 2025

Scale 1 : 1000	Sheet A1	Plan Ref 110056 - 381	Rev AS
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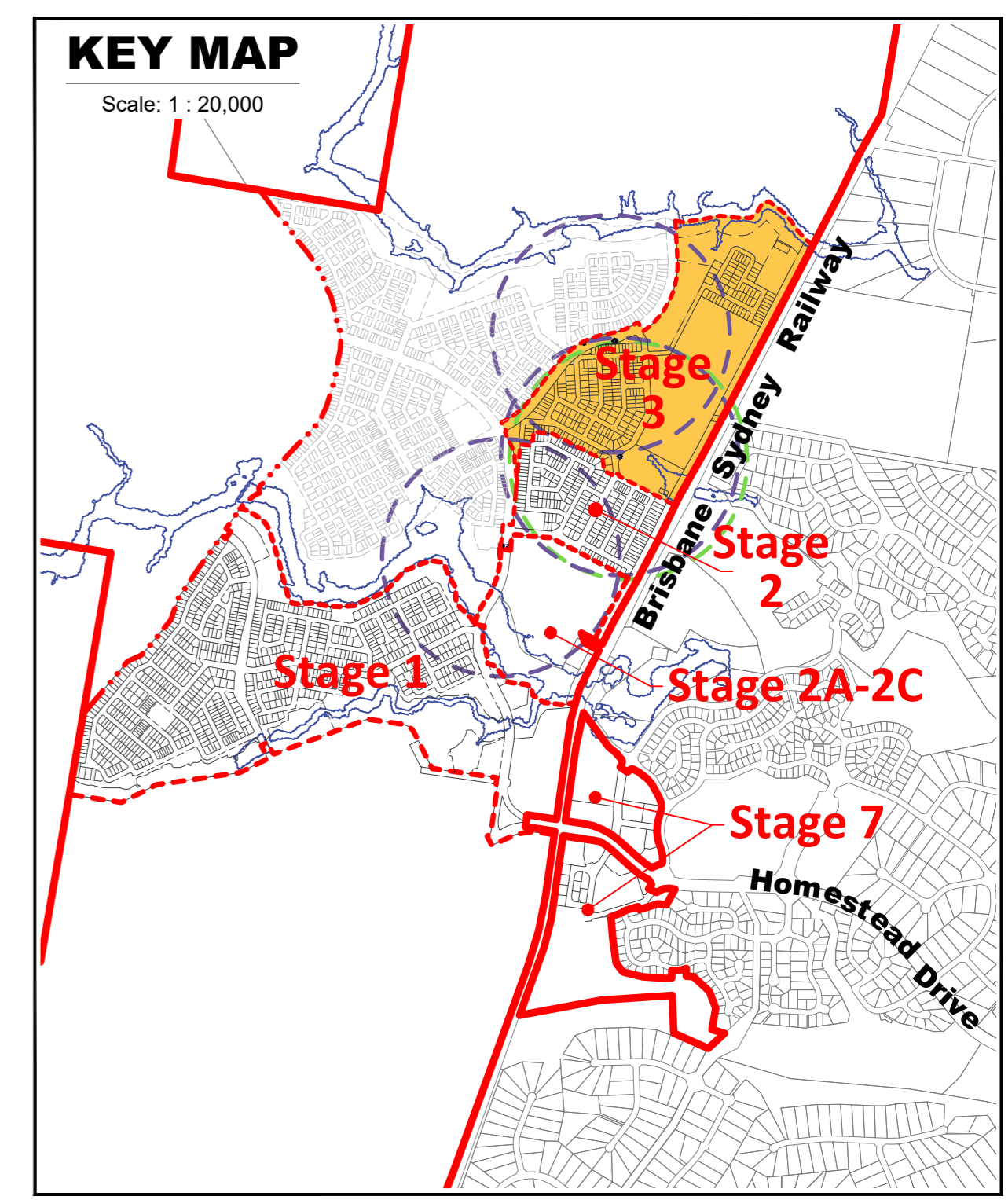
URBAN DESIGN
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520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
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Residential Allotments	Typical Size	Typical Area	Stage 3A	Stage 3B	Stage 3C	Stage 3D	Stage 3E	Stage 3FI	Stage 3FII	Stage 3G	Stage 3H	Stage 3I	Stage 3J	Stage 3K	Stage 3L	Stage 3M	Overall
Urban & Nano Allotments Product																	0.0%
Urban Loft	4.7 x 11.5m	50m²															0.0%
Urban Allotments	7.5 x 16m	120m²															0.0%
Urban Terrace	6.2 x 27.5m	170m²															0.0%
Subtotal																	0.0%
16m Deep Product																	
Squat Allotment	14 x 16m	220m²				4											1.7%
Subtotal						4											1.7%
25m Deep Product																	
Villa Allotment	10 x 25m	250m²		4	1	5											4.3%
Premium Villa Allotment	12.5 x 25m	313m²															0.0%
Courtyard Allotment	14 x 25m	350m²	8	4	2	2											6.9%
Premium Courtyard Allotment	16 x 25m	400m²	3	1	1												2.6%
Premium Traditional Allotment	20 x 25m	500m²	2	1					1								1.7%
Possible Multiple Residential Allotment				1	1				1								1.3%
Subtotal			14	10	5	7			3								16.7%
28m - 30m Deep Product																	
Terrace 7.5m Allotment	7.5 x 28m	210m²															0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m²															0.0%
Subtotal																	0.0%
30m Deep Product																	
Villa Allotment	10 x 30m	300m²	1	3	16	7			2	3	3						15.0%
Premium Villa Allotment	12.5 x 30m	375m²	7	9	9	16			14	6	5						28.3%
Courtyard Allotment	14 x 30m	420m²	9	6	14	8			8	6	2						22.7%
Traditional Allotment	20 x 30m	600m²	8	2	5	4			3	5							11.6%
Premium Traditional Allotment	25 x 30m	720m²	1	2	3					1							3.0%
Possible Multiple Residential Allotment					2												0.9%
Subtotal			26	22	49	35			27	21	10						81.5%
Total Residential Allotments			40	32	54	46			30	21	10						233
Residential Net Density			14.5 dwha	13.4 dwha	16.1 dwha	19.6 dwha			14.3 dwha	15.4 dwha	24.8 dwha						12.9 dwha
Super Lots																	
Balance Super Allotments																	2
Manufactured Home Estate Allotment																	1
Sub Total																	3
Utilities																	
Sewer Pump Station																	2
Sub Total																	2
Total Allotments			40	32	54	46	1		30	21	10				1	2	238
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			41	32	61	46			31	21	10						242
Maximum Potential Net Residential Density			14.9 dwha	13.4 dwha	18.2 dwha	19.6 dwha			14.8 dwha	15.4 dwha	24.8 dwha						13.4 dwha

Note:
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Areas have been rounded down to the nearest 5m².
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Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

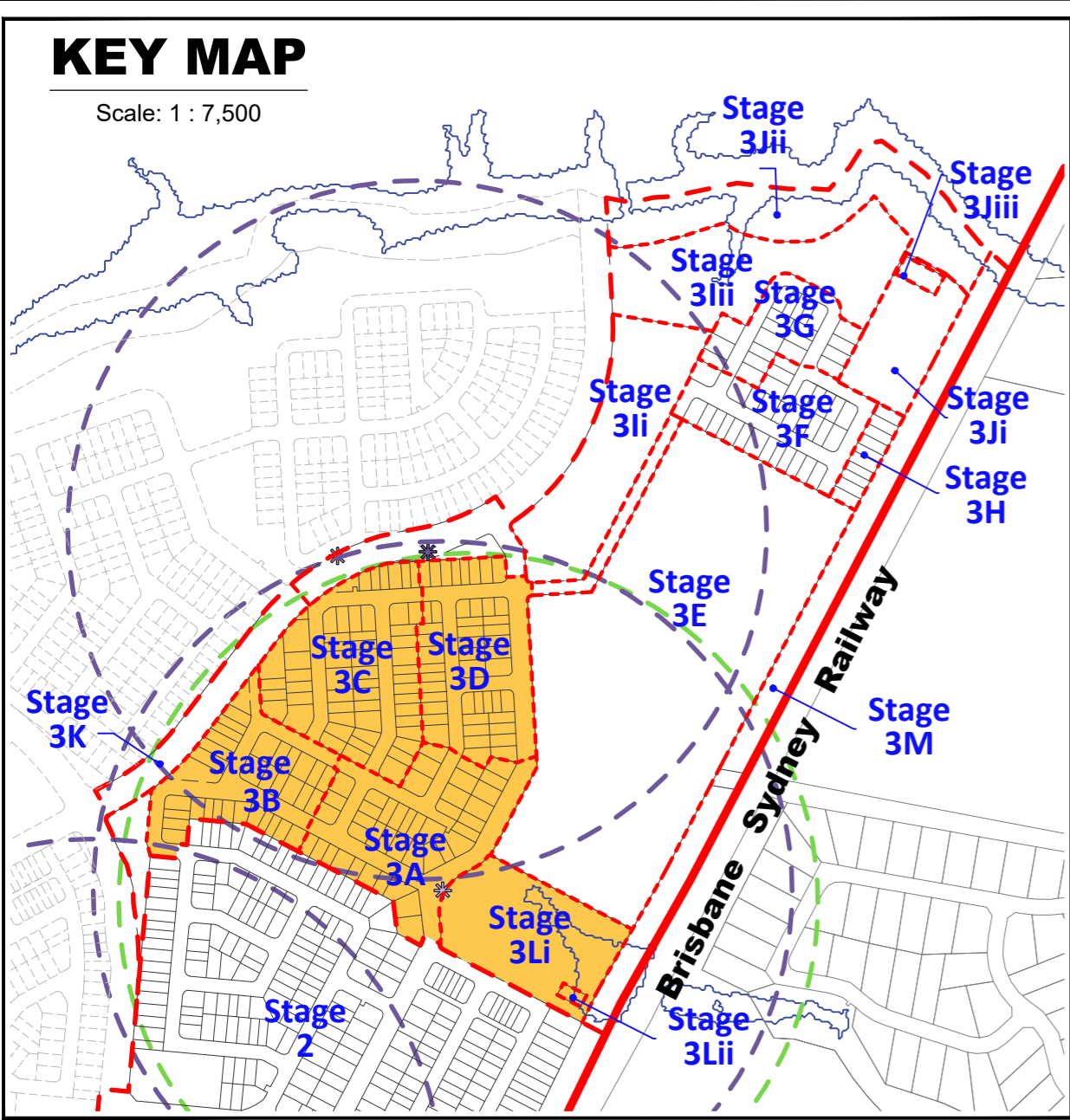


Land Use	Stage 3A	Stage 3B	Stage 3C	Stage 3D	Stage 3E	Stage 3FI	Stage 3FII	Stage 3G	Stage 3H	Stage 3I	Stage 3J	Stage 3K	Stage 3L	Stage 3M	Overall
Area of Subject Site	3.310 ha	2.393 ha	3.346 ha	2.820 ha	12.038 ha	0.410 ha	2.096 ha	1.365 ha	0.403 ha	2.740 ha	2.908 ha	1.312 ha	2.694 ha	0.117 ha	45.912 ha
Saleable Area															
Residential Allotments	1.973 ha	1.372 ha	2.465 ha	1.757 ha	12.038 ha		1.300 ha	0.949 ha	0.403 ha	2.740 ha	2.908 ha	1.312 ha	2.694 ha	0.117 ha	10.219 ha
Balance Super Allotments															2.919 ha
MHE Allotment															2.919 ha
Total Area of Allotments	1.973 ha	1.372 ha	2.465 ha	1.757 ha	12.038 ha		1.300 ha	0.949 ha	0.403 ha	2.740 ha	2.908 ha	1.312 ha	2.694 ha	0.117 ha	25.176 ha
Utilities															
Sewer Pump Station															0.162 ha
Total Area of Utilities															0.162 ha
Road															
Collector Road	0.552 ha			0.474 ha									1.065 ha		3.065 ha
Local Road	0.718 ha	0.857 ha	0.791 ha	0.563 ha		0.410 ha	0.766 ha	0.416 ha							4.511 ha
Linear Connections	0.067 ha	0.054 ha	0.090 ha	0.036 ha			0.030 ha						0.135 ha		0.412 ha
Existing Road															0.063 ha
Total Area of New Road	1.337 ha	0.911 ha	0.881 ha	1.063 ha		0.410 ha	0.796 ha	0.416 ha					1.065 ha		8.051 ha
Open Space															
Corridor Park										1.312 ha	2.694 ha				4.006 ha
Conservation (Within Corridor Park)															2.650 ha
District Recreation Park									2.740 ha	2.908 ha					5.648 ha
Neighbourhood Recreation Park														2.346 ha	2.346 ha
Local Recreation Park		0.110 ha											0.413 ha		0.523 ha
Local Linear Recreation Park															
Stormwater Detention															
Total Open Space		0.110 ha							2.740 ha	2.908 ha	1.312 ha	2.694 ha		0.413 ha	12.623 ha



KEY MAP

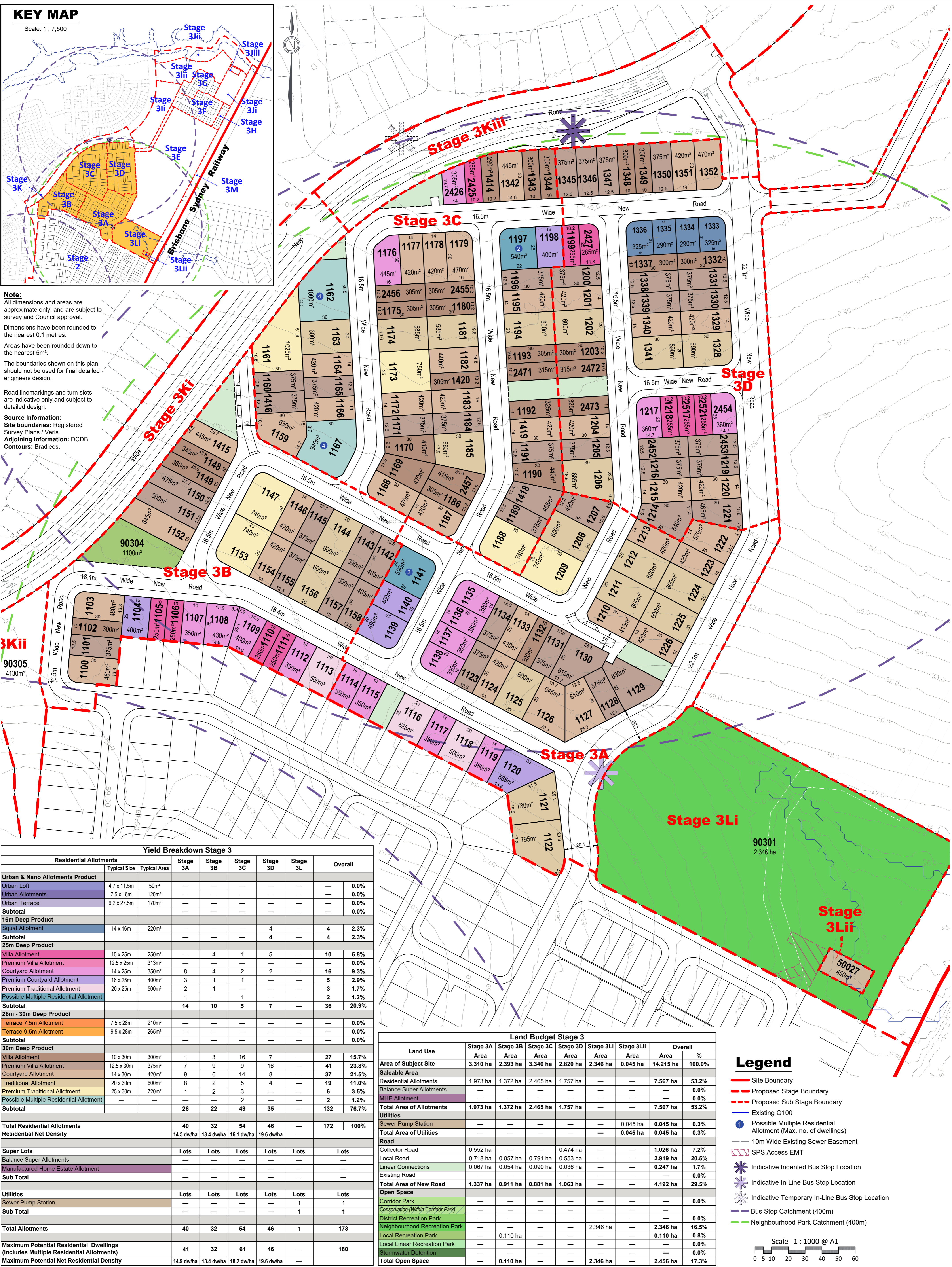
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Note: All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design. Road line markings and turn slots are indicative only and subject to detailed design.

Source Information: Site boundaries: Registered Survey Plans / Veris. Adjoining information: DCDB. Contours: Bradlees.



Yield Breakdown Stage 3

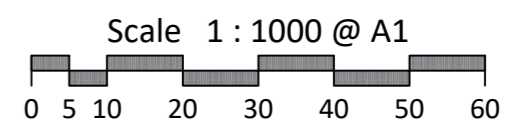
Table with columns for Residential Allotments (Typical Size, Typical Area) and Overall. Rows include Urban & Nano Allotments Product, 16m Deep Product, 25m Deep Product, 28m - 30m Deep Product, and Subtotal. Total Residential Allotments: 172, 100%.

Land Budget Stage 3

Table with columns for Land Use (Area) and Overall. Rows include Area of Subject Site, Residential Allotments, Balance Super Allotments, MHE Allotment, Utilities, Road, Open Space, and Total Open Space. Total Area of Allotments: 7,567 ha, 53.2%.

Legend

- Site Boundary
Proposed Stage Boundary
Proposed Sub Stage Boundary
Existing Q100
Possible Multiple Residential Allotment (Max. no. of dwellings)
10m Wide Existing Sewer Easement
SPS Access EMT
Indicative Indented Bus Stop Location
Indicative In-Line Bus Stop Location
Indicative Temporary In-Line Bus Stop Location
Bus Stop Catchment (400m)
Neighbourhood Park Catchment (400m)



REVISION table with columns for Revision, Date, and Description. Includes entries for Stage 4 Layout Changes and Site Cover Definition.

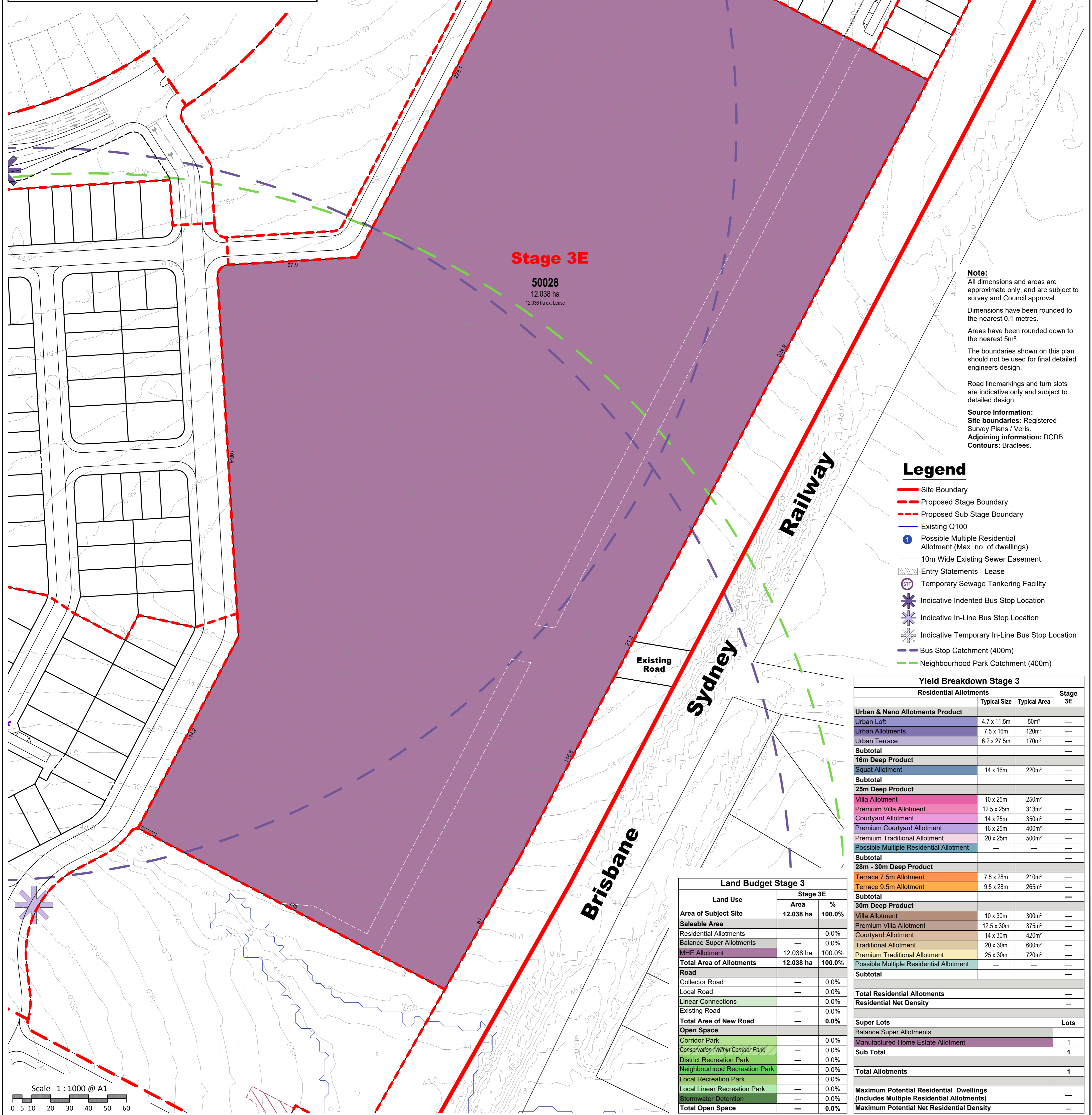
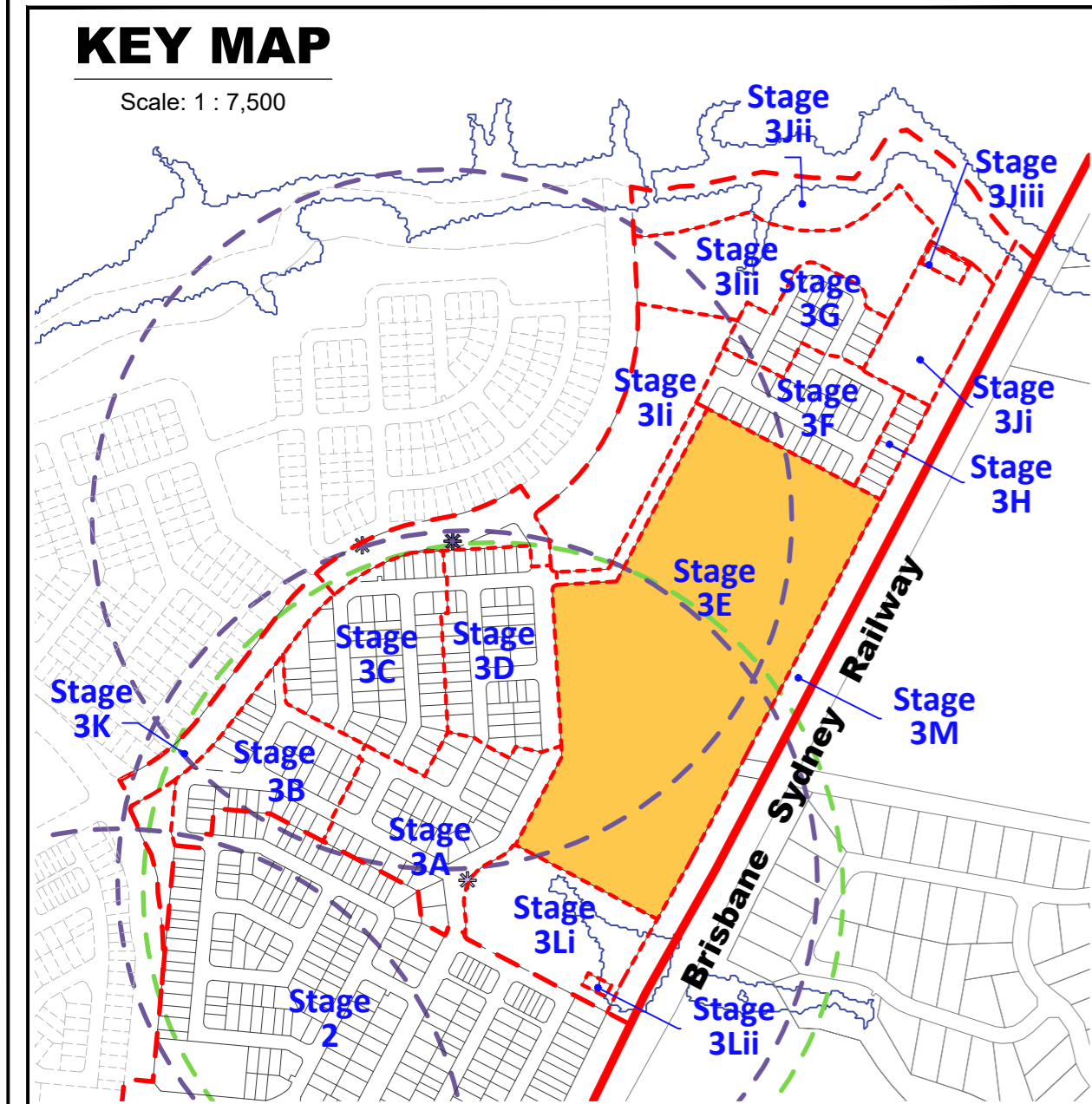
PROJECT and CLIENT information. PROJECT: Flagstone Precinct 1. CLIENT: PEET. Job Ref: 110056. Date: 18 August 2025. Comp By: NF. DWG Name: Precinct 1 Stage 3. Chk'd By: MD. Locality: Flagstone. Local Authority: Economic Development Queensland.

PEET logo and project title: Plan of Subdivision Stage 3A - 3D & 3L Allotment Layout.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL. Approval no: DEV2012/403/303. Date: 30 October 2025.

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Scale: 1 : 1000. Sheet: A1. Plan Ref: 110056 - 383. Rev: AS.

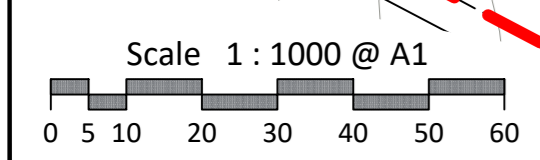


Note:
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 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.
 Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB.
 Contours: Bradlees.

- Legend**
- Site Boundary
 - - - Proposed Stage Boundary
 - - - Proposed Sub Stage Boundary
 - Existing Q100
 - ① Possible Multiple Residential Allotment (Max. no. of dwellings)
 - 10m Wide Existing Sewer Easement
 - Entry Statements - Lease
 - STF Temporary Sewage Tankering Facility
 - ⊗ Indicative Indented Bus Stop Location
 - ⊗ Indicative In-Line Bus Stop Location
 - ⊗ Indicative Temporary In-Line Bus Stop Location
 - Bus Stop Catchment (400m)
 - Neighbourhood Park Catchment (400m)

Yield Breakdown Stage 3			
Residential Allotments			Stage 3E
	Typical Size	Typical Area	
Urban & Nano Allotments Product			
Urban Loft	4.7 x 11.5m	50m ²	—
Urban Allotments	7.5 x 16m	120m ²	—
Urban Terrace	6.2 x 27.5m	170m ²	—
Subtotal			—
16m Deep Product			
Squat Allotment	14 x 16m	220m ²	—
Subtotal			—
25m Deep Product			
Villa Allotment	10 x 25m	250m ²	—
Premium Villa Allotment	12.5 x 25m	313m ²	—
Courtyard Allotment	14 x 25m	350m ²	—
Premium Courtyard Allotment	16 x 25m	400m ²	—
Premium Traditional Allotment	20 x 25m	500m ²	—
Possible Multiple Residential Allotment	—	—	—
Subtotal			—
28m - 30m Deep Product			
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—
Subtotal			—
30m Deep Product			
Villa Allotment	10 x 30m	300m ²	—
Premium Villa Allotment	12.5 x 30m	375m ²	—
Courtyard Allotment	14 x 30m	420m ²	—
Traditional Allotment	20 x 30m	600m ²	—
Premium Traditional Allotment	25 x 30m	720m ²	—
Possible Multiple Residential Allotment	—	—	—
Subtotal			—
Total Residential Allotments			—
Residential Net Density			—
Super Lots			Lots
Balance Super Allotments			—
Manufactured Home Estate Allotment			1
Sub Total			1
Total Allotments			1
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			—
Maximum Potential Net Residential Density			—

Land Budget Stage 3		
Land Use	Area	%
Area of Subject Site	12.038 ha	100.0%
Saleable Area		
Residential Allotments	—	0.0%
Balance Super Allotments	—	0.0%
MHE Allotment	12.038 ha	100.0%
Total Area of Allotments	12.038 ha	100.0%
Road		
Collector Road	—	0.0%
Local Road	—	0.0%
Linear Connections	—	0.0%
Existing Road	—	0.0%
Total Area of New Road	—	0.0%
Open Space		
Corridor Park	—	0.0%
Conservation (Within Corridor Park)	—	0.0%
District Recreation Park	—	0.0%
Neighbourhood Recreation Park	—	0.0%
Local Recreation Park	—	0.0%
Local Linear Recreation Park	—	0.0%
Stormwater Detention	—	0.0%
Total Open Space	—	0.0%



REVISION
AH: 25/04/2023 Stage 4 Layout Changes
AI: 08/08/2023 Stage 5 Basin Change
AJ: 12/02/2024 Stage 5R Layout Change
AK: 15/08/2024 Stage 4 Layout Change
AL: 23/08/2024 Stage 4 Layout Change
AM: 27/09/2024 Stage 4 Layout Change
AN: 29/11/2024 Stage 4 Layout Change
AO: 07/02/2025 Site Cover Definition Included
AP: 14/05/2025 Stage 3 and 4 Layout Change
AQ: 04/07/2025 Stage 4 Layout Change
AR: 25/07/2025 Incorporation of Stage 4 PMTs
AS: 18/08/2025 Stage 4 Updates

PROJECT	Flagstone Precinct 1	
Job Ref.	110056	Date. 18 August 2025
Comp By.	NF	DWG Name. Precinct 1 Stage 3
Chk'd By.	MD	Locality. Flagstone
Local Authority.		

CLIENT

Plan of Subdivision
 Stage 3E
 Allotment Layout

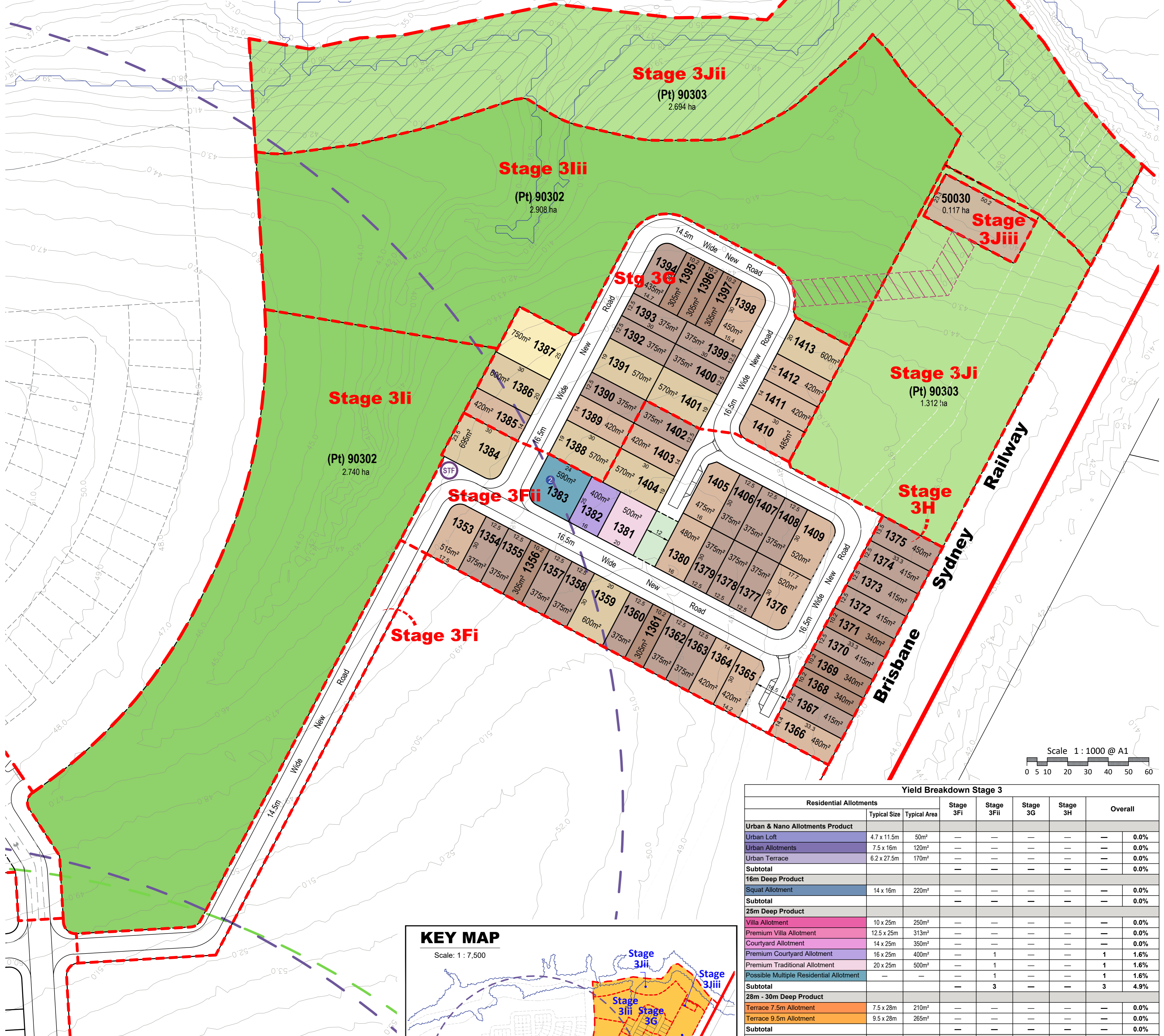
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
 Date: 30 October 2025

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Land Budget Stage 3											
Land Use	Stage									Overall	
	3Fi	3Fii	3G	3H	3Ii	3Iii	3Ji	3Jii	3Jiii	Area	%
Area of Subject Site	0.410 ha	2.096 ha	1.365 ha	0.403 ha	2.740 ha	2.908 ha	1.312 ha	2.694 ha	0.117 ha	14.045 ha	100.0%
Saleable Area											
Residential Allotments		1 300 ha	0 949 ha	0 403 ha						2 652 ha	18.9%
Balance Super Allotments											0.0%
MHE Allotment											0.0%
Total Area of Allotments		1 300 ha	0 949 ha	0 403 ha						2 652 ha	18.9%
Utilities											
Sewer Pump Station								0.117 ha	0.117 ha	0.117 ha	0.8%
Total Area of Utilities								0.117 ha	0.117 ha	0.117 ha	0.8%
Road											
Collector Road											0.0%
Local Road	0.410 ha	0.766 ha	0.416 ha							1.592 ha	11.3%
Linear Connections		0.030 ha								0.030 ha	0.2%
Existing Road											0.0%
Total Area of New Road	0.410 ha	0.796 ha	0.416 ha							1.622 ha	11.5%
Open Space											
Corridor Park							1.312 ha	2.694 ha		4.006 ha	28.5%
Conservation (Within Corridor Park)								2.650 ha		2.650 ha	18.9%
District Recreation Park					2.740 ha	2.908 ha				5.648 ha	40.2%
Neighbourhood Recreation Park											0.0%
Local Recreation Park											0.0%
Local Linear Recreation Park											0.0%
Stormwater Detention					2.740 ha	2.908 ha	1.312 ha	2.694 ha		9.654 ha	68.7%
Total Open Space					2.740 ha	2.908 ha	1.312 ha	2.694 ha		9.654 ha	68.7%



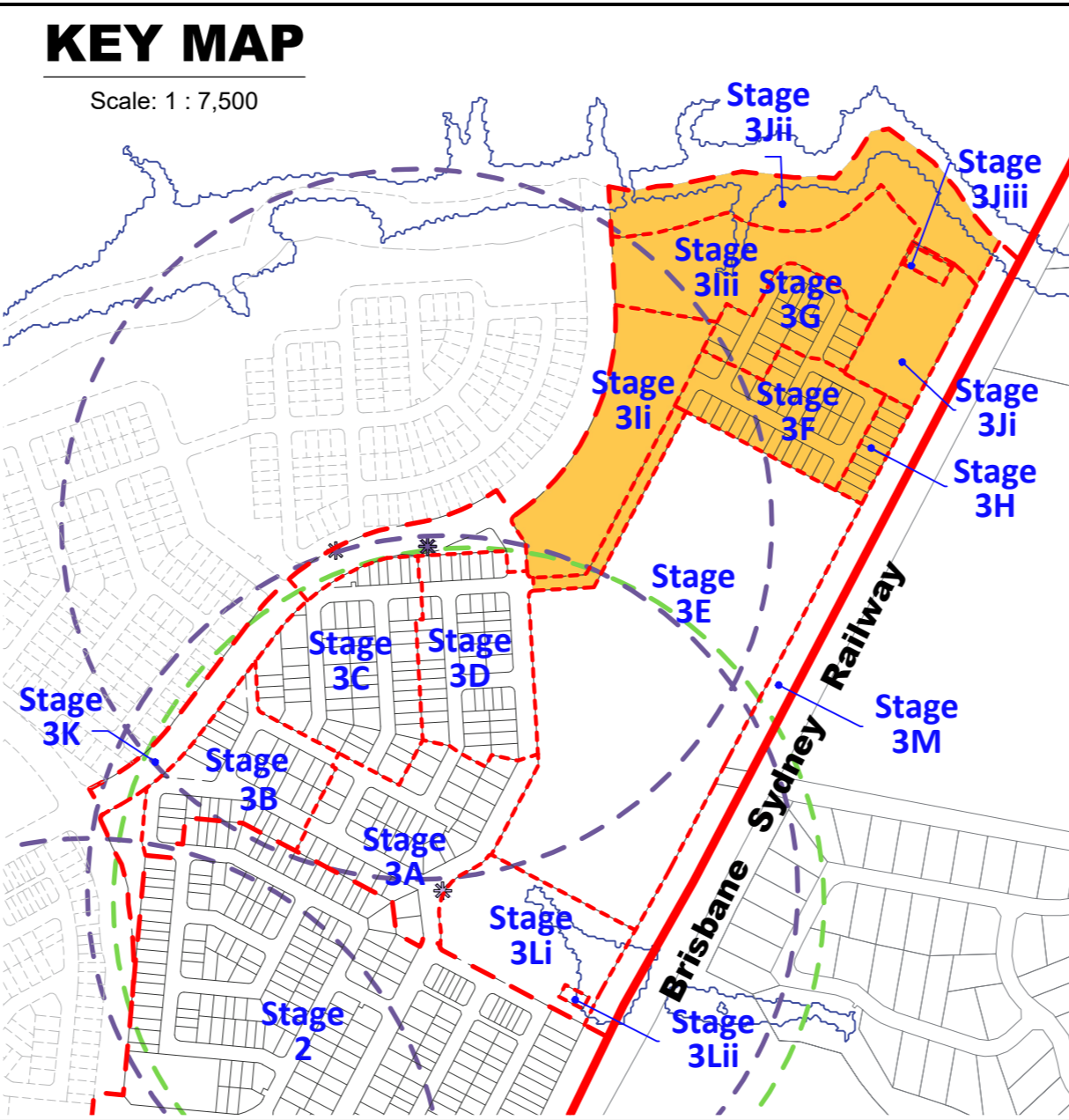
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0 5 10 20 30 40 50 60

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement
- SPS Access EMT
- Temporary Sewage Tankering Facility
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Note:
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Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
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Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining Information: DCDB.
Contours: Bradlees.



Yield Breakdown Stage 3								
Residential Allotments	Typical Size	Typical Area	Stage			Overall		
			3Fi	3Fii	3G			
Urban & Nano Allotments Product								
Urban Loft	4.7 x 11.5m	50m²				0.0%		
Urban Allotments	7.5 x 16m	120m²				0.0%		
Urban Terrace	6.2 x 27.5m	170m²				0.0%		
Subtotal						0.0%		
16m Deep Product								
Squat Allotment	14 x 16m	220m²				0.0%		
Subtotal						0.0%		
25m Deep Product								
Villa Allotment	10 x 25m	250m²				0.0%		
Premium Villa Allotment	12.5 x 25m	313m²				0.0%		
Courtyard Allotment	14 x 25m	350m²				0.0%		
Premium Courtyard Allotment	16 x 25m	400m²		1		1.6%		
Premium Traditional Allotment	20 x 25m	500m²		1		1.6%		
Possible Multiple Residential Allotment				1		1.6%		
Subtotal				3		4.9%		
28m - 30m Deep Product								
Terrace 7.5m Allotment	7.5 x 28m	210m²				0.0%		
Terrace 9.5m Allotment	9.5 x 28m	265m²				0.0%		
Subtotal						0.0%		
30m Deep Product								
Villa Allotment	10 x 30m	300m²		2	3	8	13.1%	
Premium Villa Allotment	12.5 x 30m	375m²		14	6	5	25	41.0%
Courtyard Allotment	14 x 30m	420m²		8	6	2	16	26.2%
Traditional Allotment	20 x 30m	600m²		3	5		8	13.1%
Premium Traditional Allotment	25 x 30m	720m²			1		1	1.6%
Possible Multiple Residential Allotment								0.0%
Subtotal				27	21	10	58	95.1%
Total Residential Allotments				30	21	10	61	100%
Residential Net Density				14.3 dw/ha	15.4 dw/ha	24.8 dw/ha		
Super Lots				Lots	Lots	Lots	Lots	Lots
Balance Super Allotments								
Manufactured Home Estate Allotment								
Sub Total								
Total Allotments				30	21	10	61	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)				31	21	10	62	
Maximum Potential Net Residential Density				14.8 dw/ha	15.4 dw/ha	24.8 dw/ha		

REVISION	
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AR: 25/07/2025 Incorporation of Stage 4 PMTs	
AS: 18/08/2025 Stage 4 Updates	

PROJECT		
Flagstone Precinct 1		
Job Ref.	110056	Date.
Comp By.	NF	DWG Name.
Chk'd By.	MD	Locality.
Local Authority. Economic Development Queensland		

CLIENT	
PEET	
Plan of Subdivision Stage 3F - 3J Allotment Layout	

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

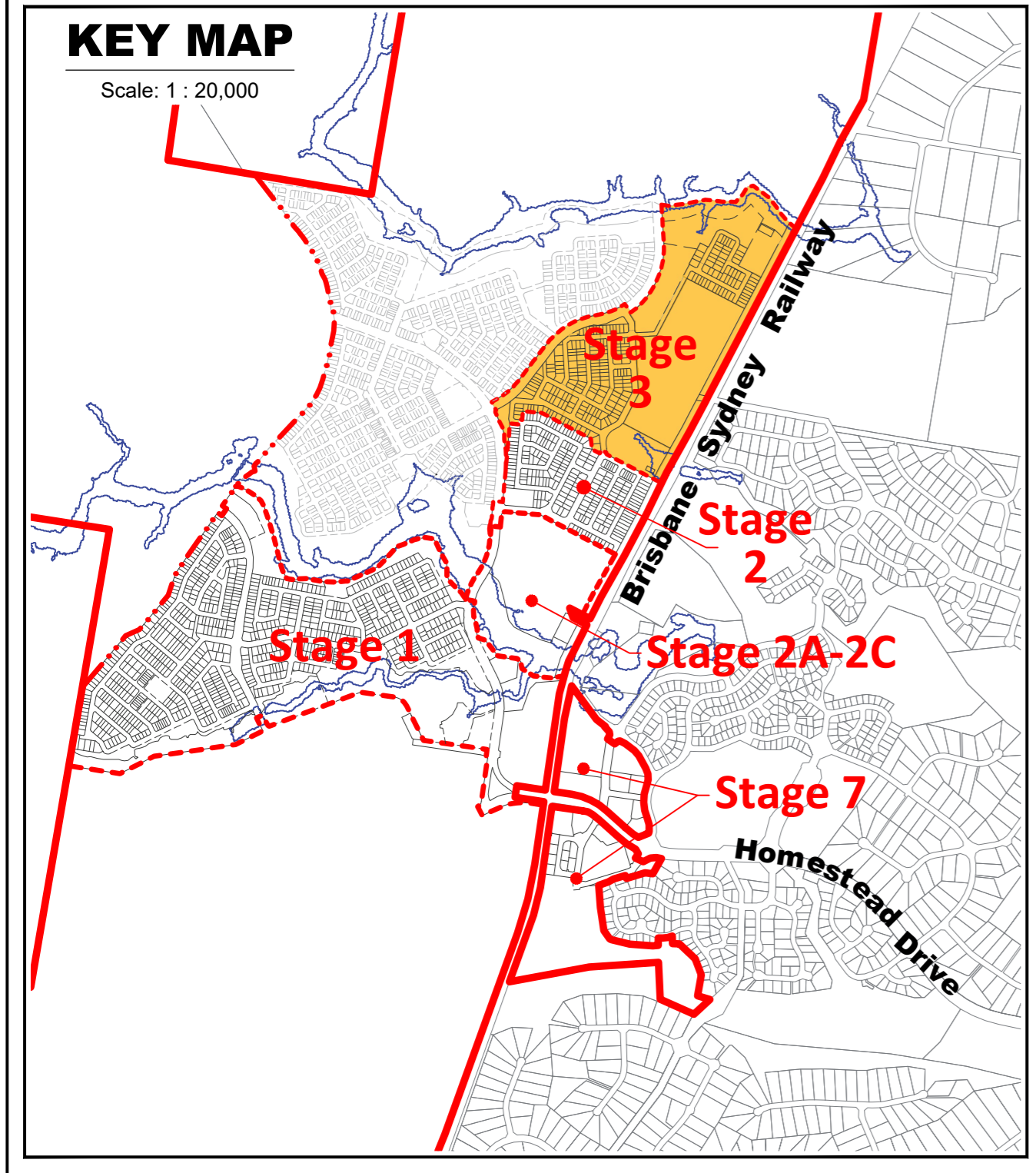
Approval no: DEV2012/403/303
Date: 30 October 2025

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Scale	Sheet	Plan Ref	Rev
1 : 1000	A1	110056 - 385	AS



Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courttyard Allotments		Premium Courttyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	1.5m	
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		75%

Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement
- Temporary Sewage Tankering Facility

Open Space

- District Recreation Park
- Corridor Park
- Conservation Within Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

Notes:

General

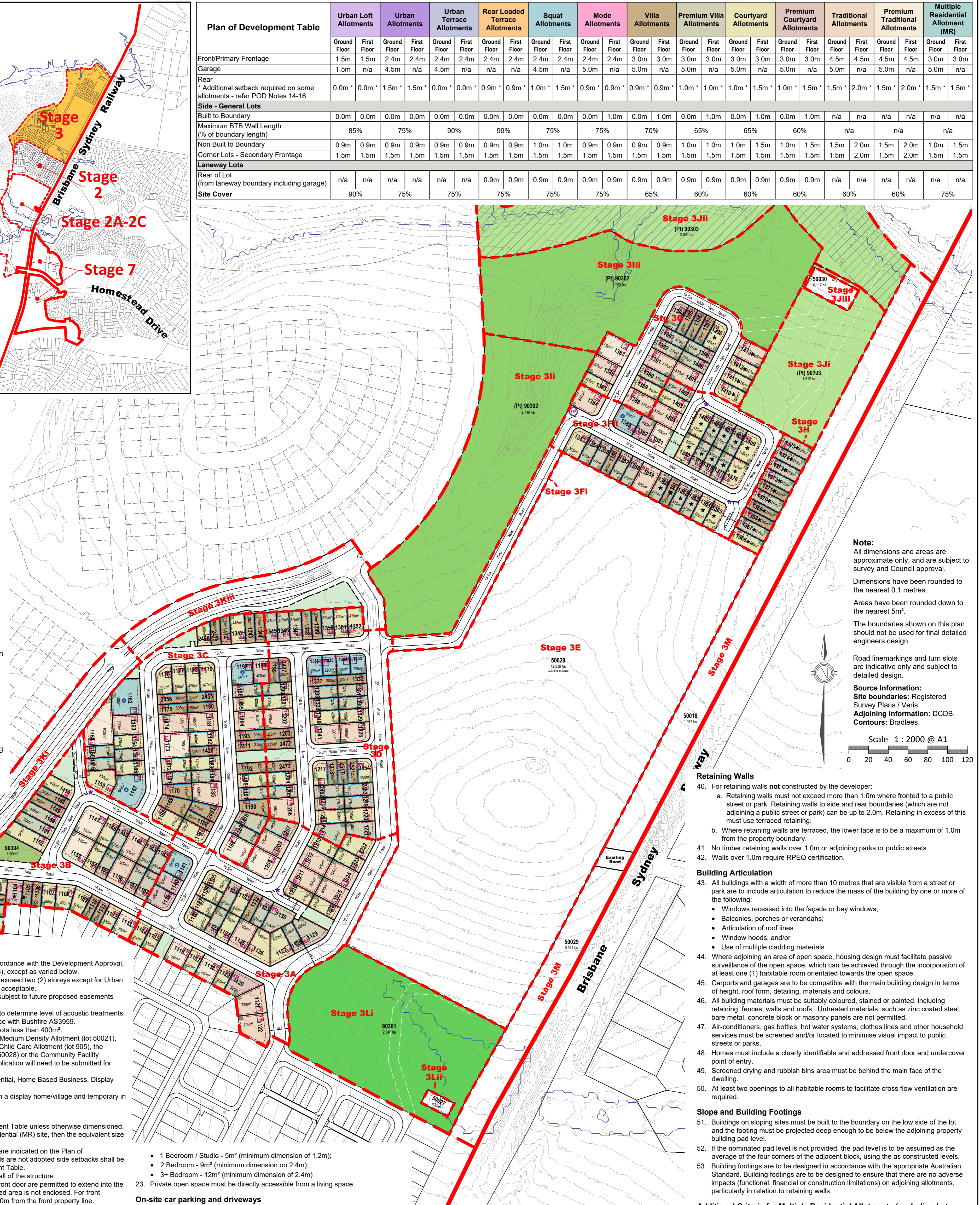
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
- Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courttyard, Premium Courttyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

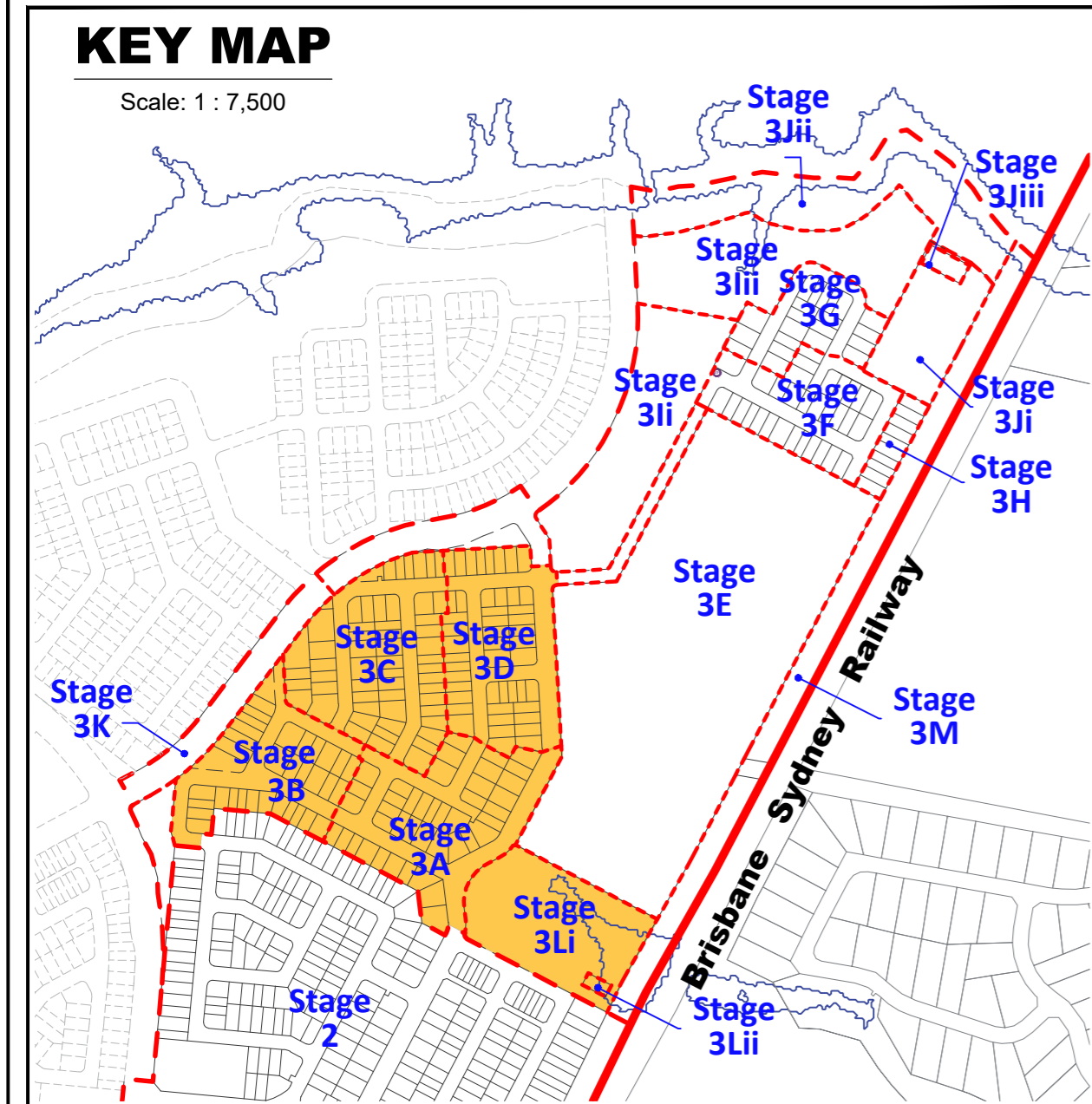
Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.



- Retaining Walls**
- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

REVISION AH: 25/04/2023 Stage 4 Layout Changes AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change AK: 15/08/2024 Stage 4 Layout Change AL: 23/08/2024 Stage 4 Layout Change AM: 27/09/2024 Stage 4 Layout Change AN: 29/11/2024 Stage 4 Layout Change AO: 07/02/2025 Site Cover Definition Included AP: 14/05/2025 Stage 3 and 4 Layout Change AQ: 04/07/2025 Stage 4 Layout Change AR: 25/07/2025 Incorporation of Stage 4 PMTs AS: 18/08/2025 Stage 4 Updates	PROJECT <h2>Flagstone Precinct 1</h2> Job Ref. 110056 Date. 18 August 2025 Comp By. NF DWG Name. Precinct 1 Stage 3 Chk'd By. MD Locality. Flagstone Local Authority. Economic Development Queensland	CLIENT <h1>PEET</h1> Plan of Development Stage 3 Overall Residential Allotments	PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DEV2012/403/303 Date: 30 October 2025	 Scale 1 : 2000	 Sheet A1	Plan Ref 110056 - 386	Rev AS
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- Legend**
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - 10m Wide Existing Sewer Easement
 - Temporary Sewage Tankering Facility
- Open Space**
- District Recreation Park
 - Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- Allotment Details**
- Preferred Private Open Space Location
 - Maximum Building Location Envelope
 - Mandatory Built to Boundary Wall
 - Nominal Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - Preferred Double Garage Location
 - Preferred Single Garage Location
 - Letterbox Location for Primary Dwelling (on a laneway)
 - Lot Impacted by Potential Acoustic Requirements
 - Bin Pad

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:

Site boundaries: Registered Survey Plans / Veris.

Adjoining information: DCDB.

Contours: Bradlees.

Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
- Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.

Setbacks

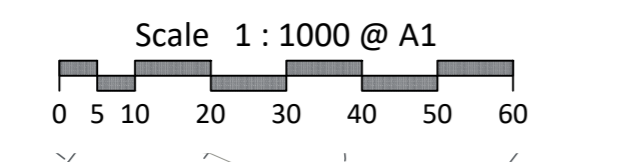
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that have a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Loft, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace:
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)

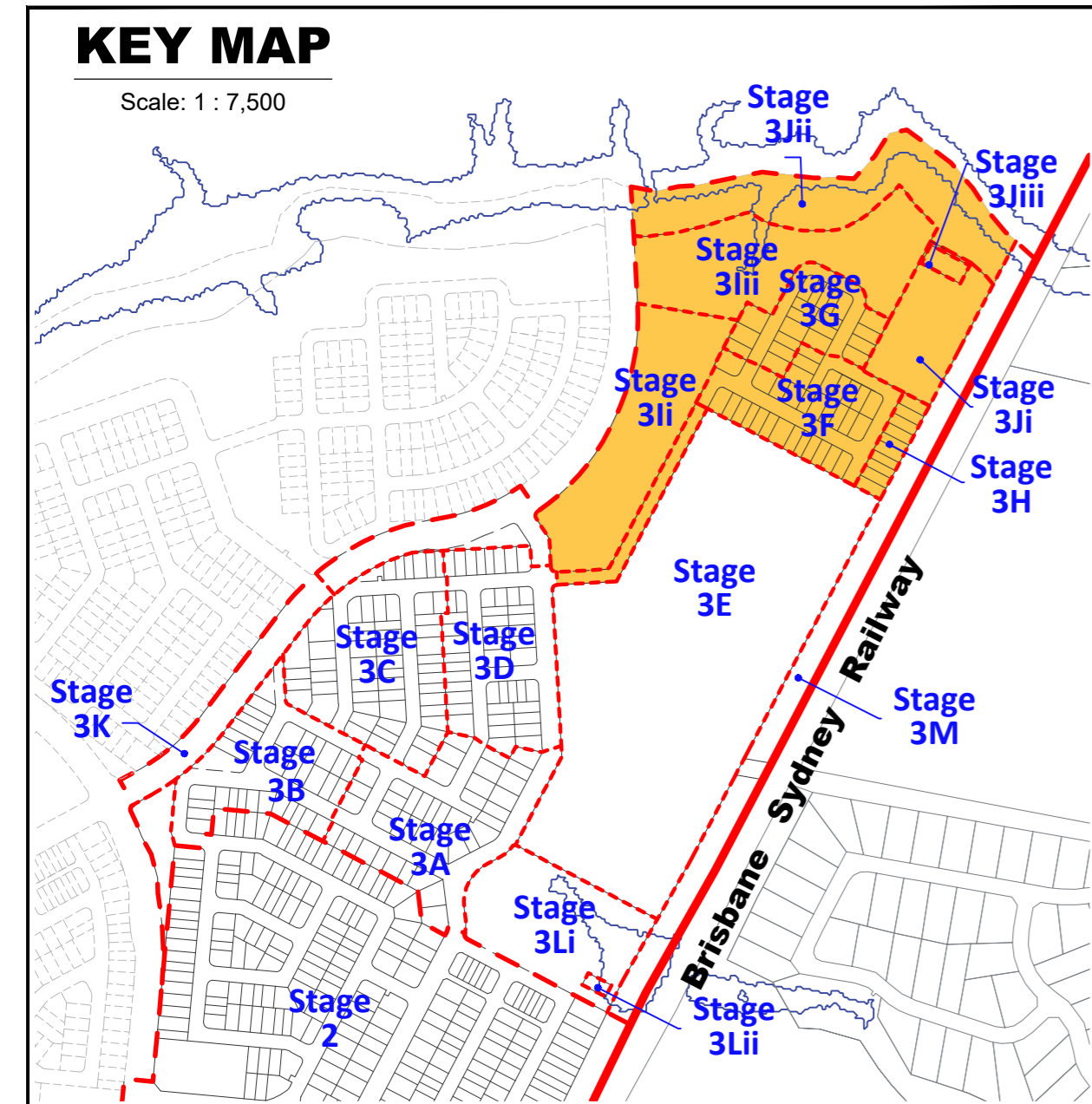
REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
AP: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change		
AK: 15/08/2024 Stage 4 Layout Change		
AL: 23/08/2024 Stage 4 Layout Change		
AM: 27/09/2024 Stage 4 Layout Change	Job Ref. 110056	Date. 18 August 2025
AN: 29/11/2024 Stage 4 Layout Change	Comp By. NF	DWG Name. Precinct 1 Stage 3
AO: 07/02/2025 Site Cover Definition Included	Chk'd By. MD	Locality. Flagstone
AP: 14/05/2025 Stage 3 and 4 Layout Change	Local Authority. Economic Development Queensland	
AQ: 04/07/2025 Stage 4 Layout Change		
AR: 25/07/2025 Incorporation of Stage 4 PMTs		
AS: 18/08/2025 Stage 4 Updates		

Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*		
* Additional setback required on some allotments - refer POD Notes 14-16.																											
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m		
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m		
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a		
Site Cover																											
	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		75%		



- Private open space must be directly accessible from a living space.
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.*
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development.
- Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEC certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

<p>PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL</p> <p>Approval no: DE/2012/403/303</p> <p>Date: 30 October 2025</p>				<p>URBAN DESIGN</p> <p>Level 4 HQ South</p> <p>520 Wickham Street</p> <p>PO Box 1559</p> <p>Fortitude Valley QLD 4006</p> <p>T +61 7 3539 6500</p> <p>W rpsgroup.com</p>
<p>Scale 1 : 1000</p>	<p>Sheet A1</p>			

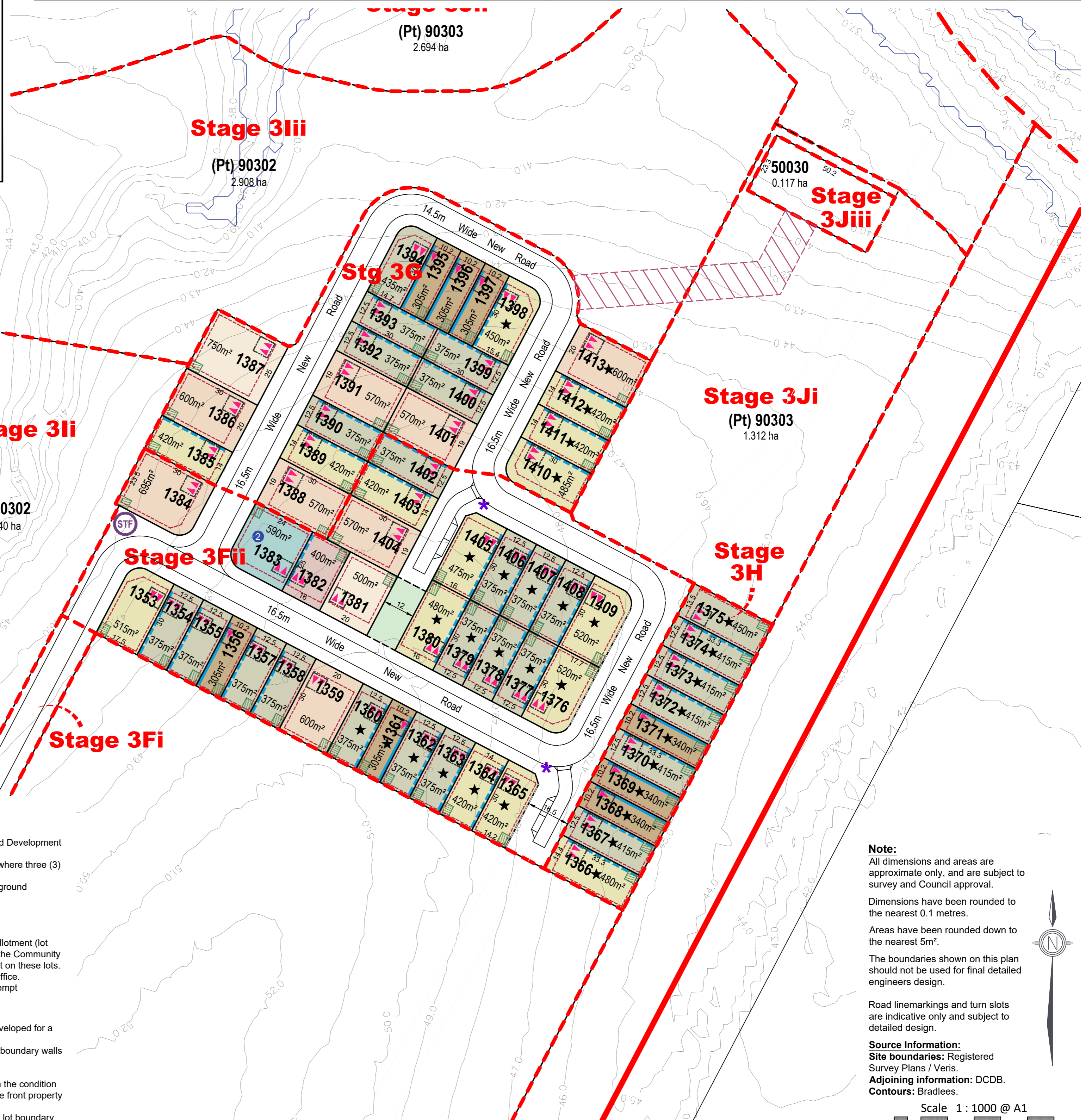


- Legend**
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - 10m Wide Existing Sewer Easement
 - Temporary Sewage Tankering Facility
- Open Space**
- District Recreation Park
 - Corridor Park
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 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
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- Allotment Details**
- Preferred Private Open Space Location
 - Maximum Building Location Envelope
 - Mandatory Built to Boundary Wall
 - Nominal Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - Preferred Double Garage Location
 - Preferred Single Garage Location
 - Letterbox Location for Primary Dwelling (on a laneway)
 - Lot Impacted by Potential Acoustic Requirements
 - Bin Pad

- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
 - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
 - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
 - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.

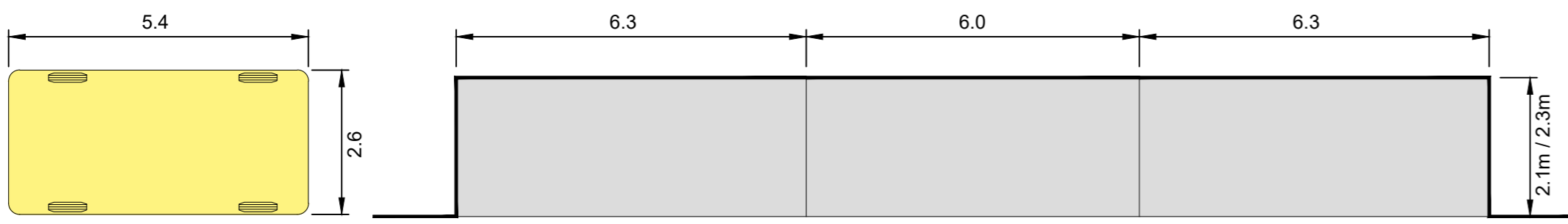
Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)			
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor		
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a		
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*			
* Additional setback required on some allotments - refer POD Notes 14-16.																												
Side - General Lots																												
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a		
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a			
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m		
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m		
Laneway Lots																												
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a		
Site Cover																												
	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		75%	



- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
 - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
 - Maximum of one driveway per dwelling unless it is a MR lot.
 - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
 - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
 - Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls **not** constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.

Note:
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Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road line markings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.
Scale 1 : 1000 @ A1
0 5 10 20 30 40 50 60

REVISION AH: 25/04/2023 Stage 4 Layout Changes AJ: 08/08/2023 Stage 5 Basin Change AK: 12/02/2024 Stage SR Layout Change AL: 15/08/2024 Stage 4 Layout Change AM: 23/08/2024 Stage 4 Layout Change AN: 27/09/2024 Stage 4 Layout Change AO: 29/11/2024 Stage 4 Layout Change AP: 07/02/2025 Site Cover Definition Included AQ: 14/05/2025 Stage 3 and 4 Layout Change AR: 04/07/2025 Stage 4 Layout Change AS: 25/07/2025 Incorporation of Stage 4 PMTs AT: 18/08/2025 Stage 4 Updates	PROJECT <h2 style="text-align: center;">Flagstone Precinct 1</h2>	CLIENT <h1 style="text-align: center;">PEET</h1>	<div style="border: 2px solid red; padding: 5px;"> <p style="text-align: center; margin: 0;">PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL</p> <p style="text-align: center; margin: 0;">Approval no: DEV2012/403/303</p> <p style="text-align: center; margin: 0;">Date: 30 October 2025</p> </div>		URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 1600 W rpsgroup.com
Job Ref. 110056 Comp By. MD Chk'd By. NF Local Authority. Economic Development Queensland	Date. 18 August 2025 DWG Name. Precinct 1 Stage 3 Locality. Flagstone	Plan of Development Stage 3F – 3H Residential Allotments	Scale 1 : 1000 Sheet A1	Plan Ref 110056 – 389 Rev AS	



Parking Bay Diagram
Scale 1 : 100

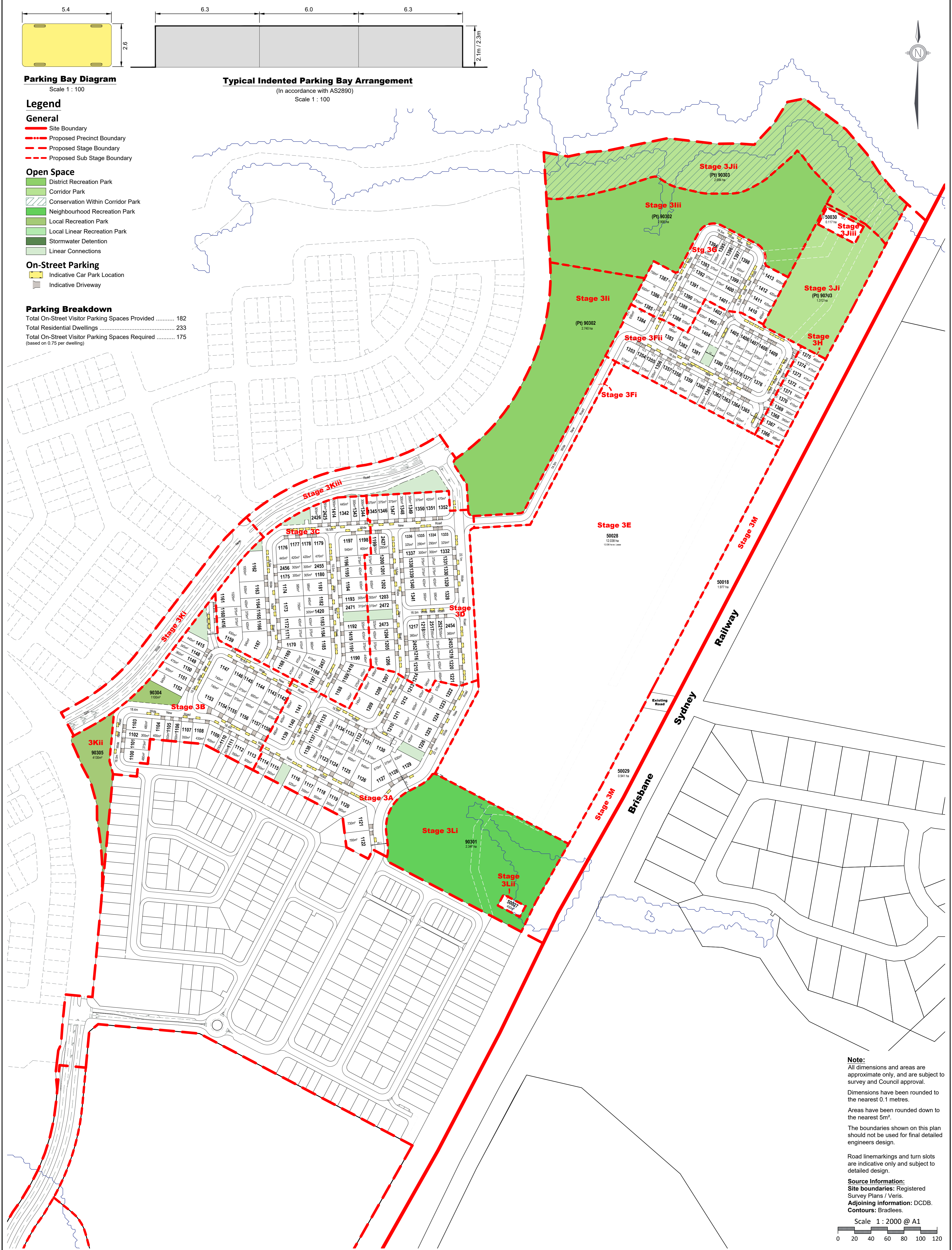
Typical Indented Parking Bay Arrangement
(In accordance with AS2890)
Scale 1 : 100

Legend

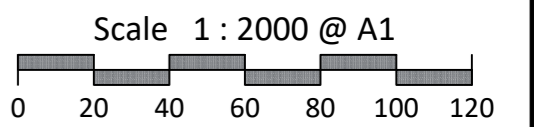
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
- Open Space**
- District Recreation Park
 - Corridor Park
 - Conservation Within Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- On-Street Parking**
- Indicative Car Park Location
 - Indicative Driveway

Parking Breakdown

Total On-Street Visitor Parking Spaces Provided 182
 Total Residential Dwellings 233
 Total On-Street Visitor Parking Spaces Required 175
 (based on 0.75 per dwelling)



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 Areas have been rounded down to the nearest 5m².
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 Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB.
 Contours: Bradlees.



REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change		
AK: 15/08/2024 Stage 4 Layout Change		
AL: 23/08/2024 Stage 4 Layout Change		
AM: 27/09/2024 Stage 4 Layout Change	Job Ref. 110056	Date. 18 August 2025
AN: 29/11/2024 Stage 4 Layout Change	Comp By. NF	DWG Name. Precinct 1 Stage 3
AO: 07/02/2025 Site Cover Definition Included	Chk'd By. MD	Locality. Flagstone
AP: 14/05/2025 Stage 3 and 4 Layout Change	Local Authority. Economic Development Queensland	
AQ: 04/07/2025 Stage 4 Layout Change		
AR: 25/07/2025 Incorporation of Stage 4 PMTs		
AS: 18/08/2025 Stage 4 Updates		

REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
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AS: 18/08/2025 Stage 4 Updates		

CLIENT

PEET

Plan of Development
 Stage 3 Overall
 Parking Management Plan

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
 Date: 30 October 2025

Queensland Government

Scale 1 : 2000

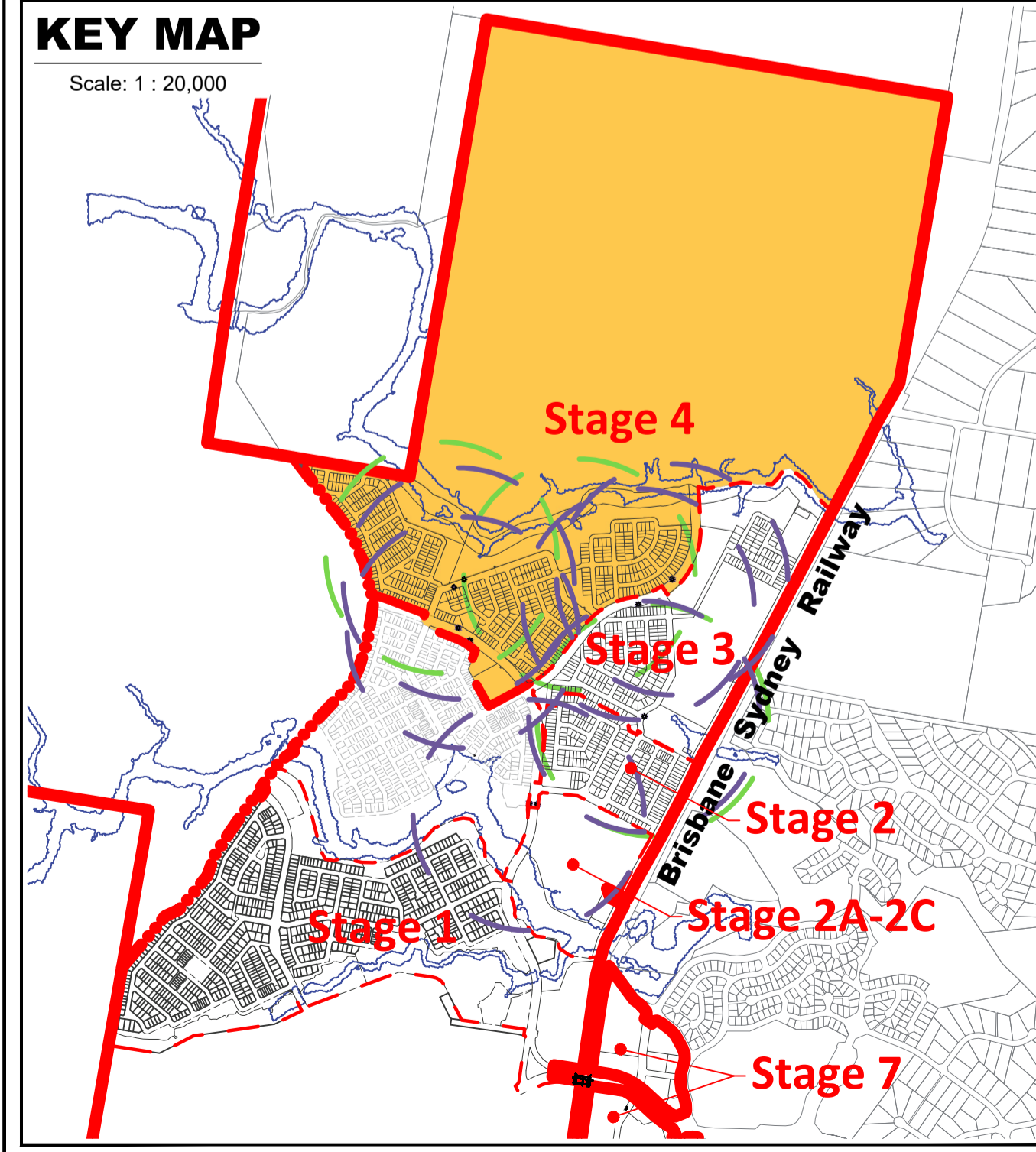
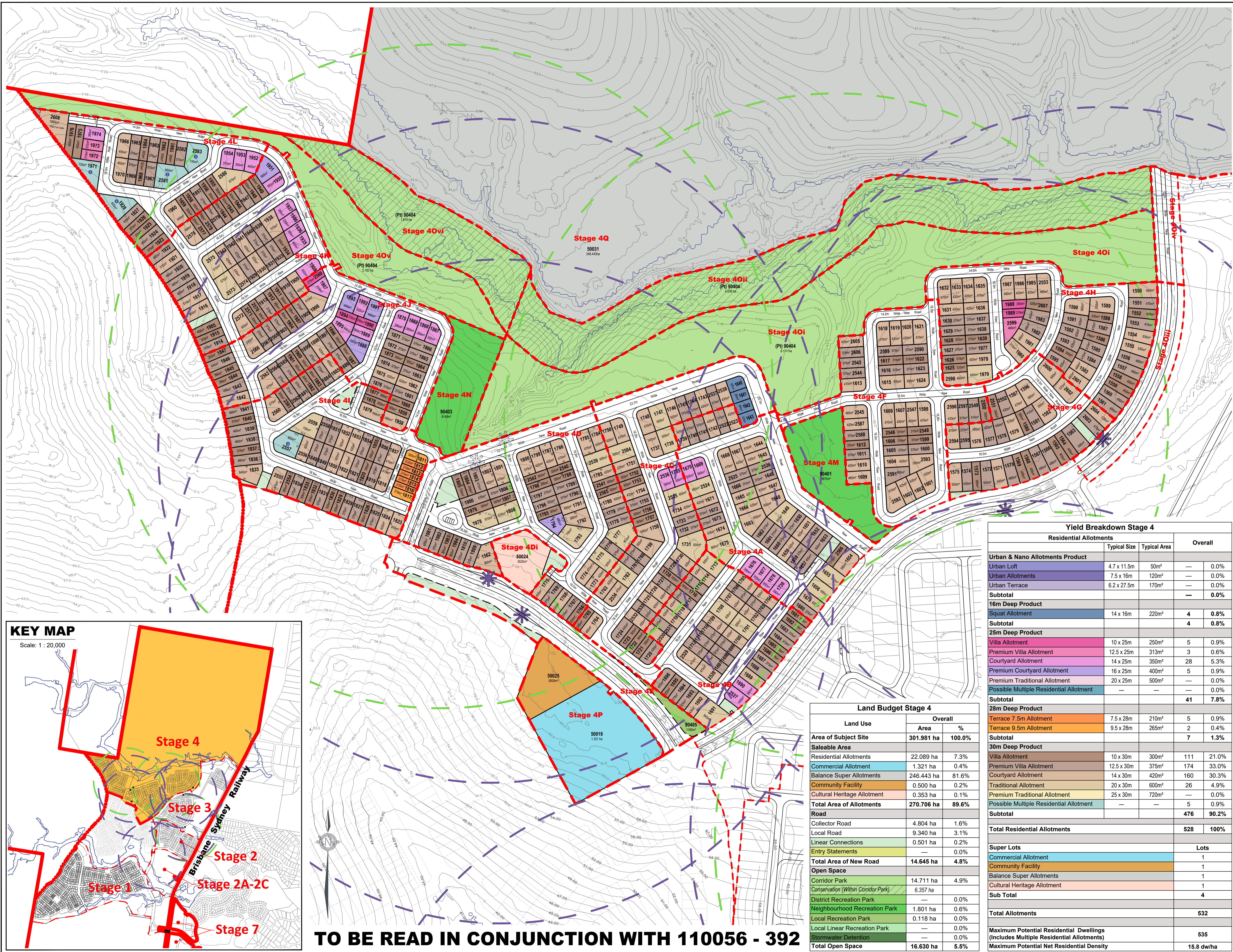
Sheet A1

Plan Ref 110056 - 390

Rev AS

URBAN DESIGN
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TO BE READ IN CONJUNCTION WITH 110056 - 392

REVISION

AH:	25/04/2023	Stage 4 Layout Changes
AI:	08/08/2023	Stage 5 Basin Change
AJ:	12/02/2024	Stage 5R Layout Change
AK:	15/08/2024	Stage 4 Layout Change
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AS:	18/08/2025	Stage 4 Updates

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Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease
- Indicative Indented Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303

Date: Scale 1:2000 20A1



PROJECT
Flagstone Precinct 1

Plan of Subdivision Stage 4 Overall Allotment Layout

Date:	18 August 2025
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056

Local Authority: Economic Development Queensland

Scale:	1 : 2000	Sheet:	A1
Plan Ref:	110056 - 391	Rev:	AS

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Yield Breakdown Stage 4

Residential Allotments	Typical Size	Typical Area	Overall	
			Count	%
Urban & Nano Allotments Product				
Urban Loft	4.7 x 11.5m	50m ²	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	0.0%
Subtotal			—	0.0%
16m Deep Product				
Squat Allotment	14 x 16m	220m ²	4	0.8%
Subtotal			4	0.8%
25m Deep Product				
Villa Allotment	10 x 25m	250m ²	5	0.9%
Premium Villa Allotment	12.5 x 25m	313m ²	3	0.6%
Courtyard Allotment	14 x 25m	350m ²	28	5.3%
Premium Courtyard Allotment	16 x 25m	400m ²	5	0.9%
Premium Traditional Allotment	20 x 25m	500m ²	—	0.0%
Possible Multiple Residential Allotment	—	—	—	0.0%
Subtotal			41	7.8%
28m Deep Product				
Terrace 7.5m Allotment	7.5 x 28m	210m ²	5	0.9%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	2	0.4%
Subtotal			7	1.3%
30m Deep Product				
Villa Allotment	10 x 30m	300m ²	111	21.0%
Premium Villa Allotment	12.5 x 30m	375m ²	174	33.0%
Courtyard Allotment	14 x 30m	420m ²	160	30.3%
Traditional Allotment	20 x 30m	600m ²	26	4.9%
Premium Traditional Allotment	25 x 30m	720m ²	—	0.0%
Possible Multiple Residential Allotment	—	—	5	0.9%
Subtotal			476	90.2%
Total Residential Allotments			528	100%
Super Lots			Lots	
Commercial Allotment			1	
Community Facility			1	
Balance Super Allotments			1	
Cultural Heritage Allotment			1	
Sub Total			4	
Total Allotments			532	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			535	
Maximum Potential Net Residential Density			15.8 dw/ha	

Land Budget Stage 4

Land Use	Overall	
	Area	%
Area of Subject Site	301.981 ha	100.0%
Saleable Area		
Residential Allotments	22.089 ha	7.3%
Commercial Allotment	1.321 ha	0.4%
Balance Super Allotments	246.443 ha	81.6%
Community Facility	0.500 ha	0.2%
Cultural Heritage Allotment	0.353 ha	0.1%
Total Area of Allotments	270.706 ha	89.6%
Road		
Collector Road	4.804 ha	1.6%
Local Road	9.340 ha	3.1%
Linear Connections	0.501 ha	0.2%
Entry Statements	—	0.0%
Total Area of New Road	14.645 ha	4.8%
Open Space		
Corridor Park	14.711 ha	4.9%
Conservation (Within Corridor Park)	6.357 ha	—
District Recreation Park	—	0.0%
Neighbourhood Recreation Park	1.801 ha	0.6%
Local Recreation Park	0.118 ha	0.0%
Local Linear Recreation Park	—	0.0%
Stormwater Detention	—	0.0%
Total Open Space	16.630 ha	5.5%

Yield Breakdown Stage 4

Residential Allotments			Stage 4A	Stage 4B	Stage 4C	Stage 4D	Stage 4Di	Stage 4E	Stage 4F	Stage 4G	Stage 4H	Stage 4I	Stage 4J	Stage 4K	Stage 4L	Stage 4M	Stage 4N	Stage 4O	Stage 4P	Stage 4Q	Overall		
	Typical Size	Typical Area																					
Urban & Nano Allotments Product																							
Urban Loft	4.7 x 11.5m	50m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Subtotal			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
16m Deep Product																							
Squat Allotment	14 x 16m	220m²	—	—	4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4	0.8%	
Subtotal			—	—	4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4	0.8%	
25m Deep Product																							
Villa Allotment	10 x 25m	250m²	—	—	—	—	—	—	—	—	2	—	3	—	—	—	—	—	—	—	5	0.9%	
Premium Villa Allotment	12.5 x 25m	313m²	—	—	—	—	—	—	—	—	1	—	—	—	2	—	—	—	—	—	3	0.6%	
Courtyard Allotment	14 x 25m	350m²	6	2	2	—	—	—	—	—	—	—	8	6	4	—	—	—	—	—	28	5.3%	
Premium Courtyard Allotment	16 x 25m	400m²	—	—	—	1	—	—	—	—	—	—	3	1	—	—	—	—	—	—	5	0.9%	
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Subtotal			6	2	2	1	—	—	—	—	3	—	14	7	6	—	—	—	—	—	41	7.8%	
28m Deep Product																							
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	—	—	—	—	—	—	5	—	—	—	—	—	—	—	—	5	0.9%	
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	—	—	—	—	—	—	2	—	—	—	—	—	—	—	—	2	0.4%	
Subtotal			—	—	—	—	—	—	—	—	—	7	—	—	—	—	—	—	—	—	7	1.3%	
30m Deep Product																							
Villa Allotment	10 x 30m	300m²	1	6	9	14	—	—	8	7	11	15	13	14	13	—	—	—	—	—	111	21.0%	
Premium Villa Allotment	12.5 x 30m	375m²	18	18	13	16	—	—	14	12	21	20	19	15	8	—	—	—	—	—	174	33.0%	
Courtyard Allotment	14 x 30m	420m²	18	14	19	17	—	—	23	11	21	14	8	11	4	—	—	—	—	—	160	30.3%	
Traditional Allotment	20 x 30m	600m²	5	4	6	6	—	—	—	—	1	1	—	2	1	—	—	—	—	—	26	4.9%	
Premium Traditional Allotment	25 x 30m	720m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	1	—	—	4	—	—	—	—	—	5	0.9%	
Subtotal			42	42	47	53	—	—	45	30	54	51	40	42	30	—	—	—	—	—	476	90.2%	
Total Residential Allotments			48	44	53	54	—	—	45	30	57	58	54	49	36	—	—	—	—	—	528	100%	
Residential Net Density			17.2 dw/ha	18.1 dw/ha	17.8 dw/ha	16.4 dw/ha	—	—	13.9 dw/ha	14.9 dw/ha	16.5 dw/ha	17.7 dw/ha	17.6 dw/ha	18.0 dw/ha	14.6 dw/ha	—	—	—	—	—	—	15.6 dw/ha	
Super Lots																							
Commercial Allotment			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	1	
Community Facility			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	1	
Balance Super Allotments			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	1	
Cultural Heritage Allotment			—	—	—	—	1	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	
Sub Total			—	—	—	—	1	—	—	—	—	—	—	—	—	—	—	—	—	2	1	4	
Total Allotments			48	44	53	54	1	—	45	30	57	58	54	49	36	—	—	—	—	2	1	532	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			48	44	53	54	—	—	45	30	57	60	54	49	41	—	—	—	—	—	—	535	
Maximum Potential Net Residential Density			17.2 dw/ha	18.1 dw/ha	17.8 dw/ha	16.4 dw/ha	—	—	13.9 dw/ha	14.9 dw/ha	16.5 dw/ha	18.3 dw/ha	17.6 dw/ha	18.0 dw/ha	16.7 dw/ha	—	—	—	—	—	—	15.8 dw/ha	

Land Budget Stage 4

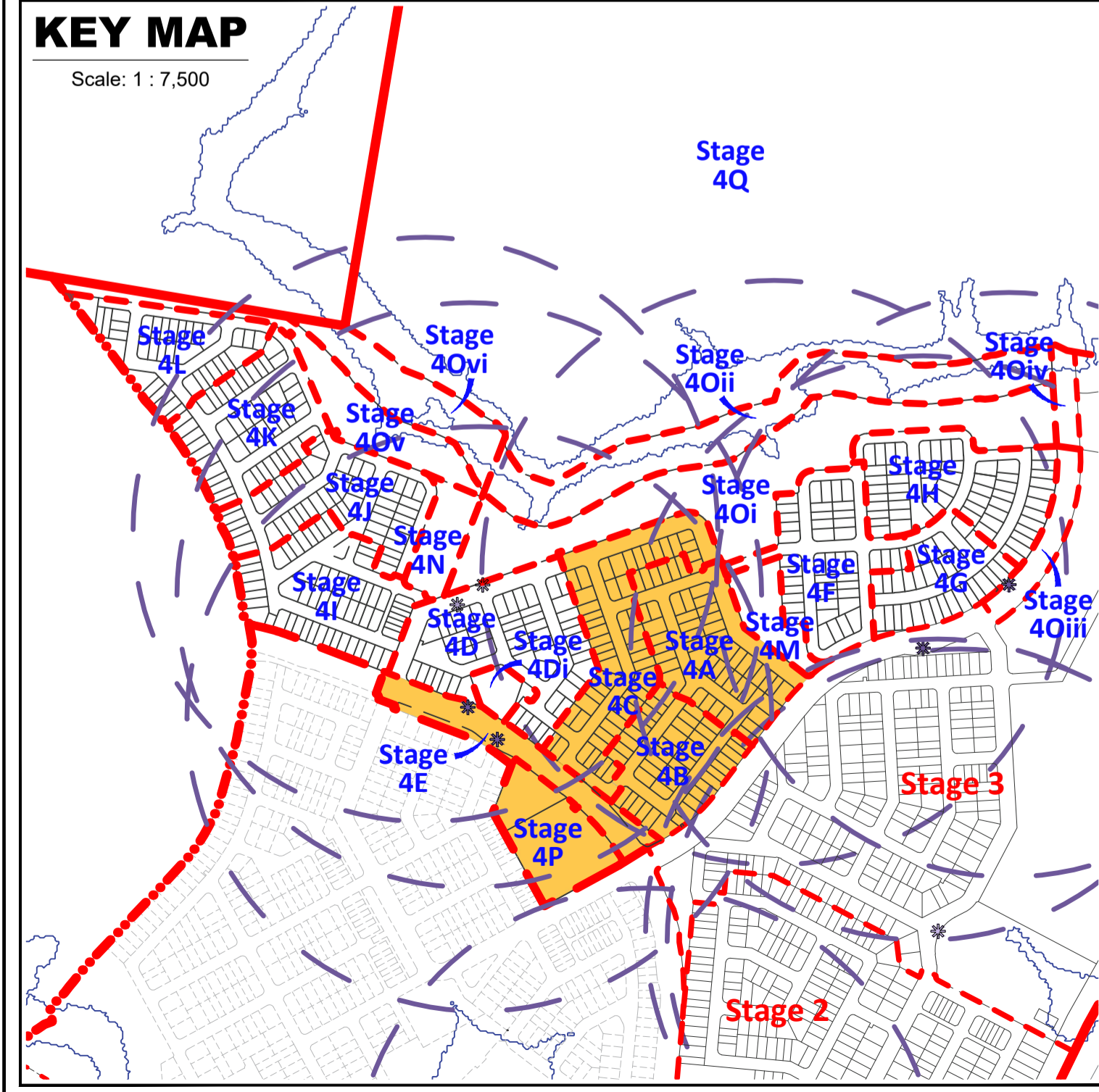
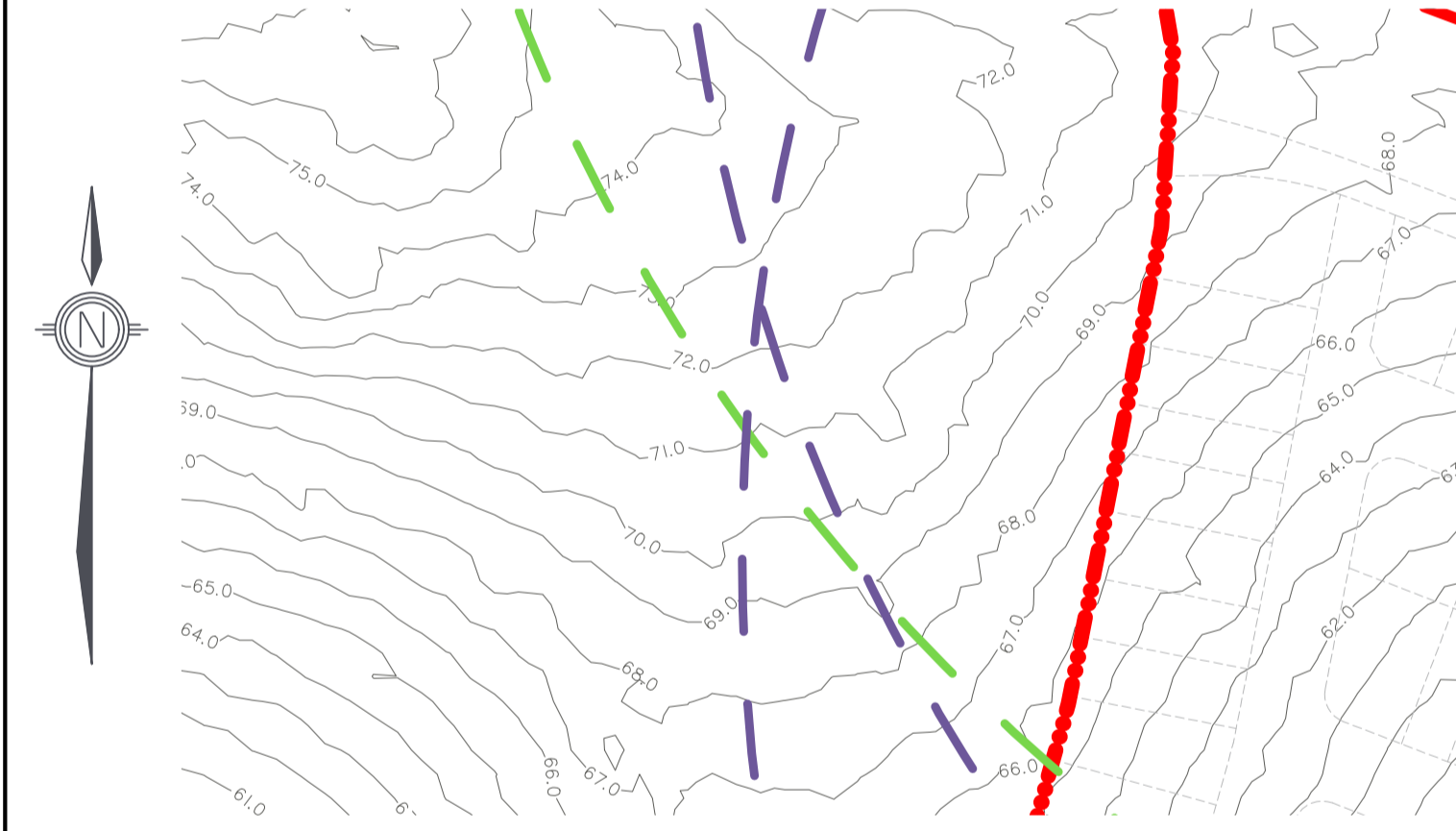
Land Use	Stage 4A	Stage 4B	Stage 4C	Stage 4D	Stage 4Di	Stage 4E	Stage 4F	Stage 4G	Stage 4H	Stage 4I	Stage 4J	Stage 4K	Stage 4L	Stage 4M	Stage 4N	Stage 4O	Stage 4P	Stage 4Q	Overall						
	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%				
Area of Subject Site	3.301 ha	2.426 ha	3.583 ha	4.013 ha	0.401 ha	1.719 ha	3.227 ha	2.013 ha	3.452 ha	3.280 ha	3.075 ha	2.957 ha	2.458 ha	0.887 ha	0.914 ha	6.171 ha	4.538 ha	0.864 ha	0.436 ha	2.183 ha	1.819 ha	1.821 ha	246.443 ha	301.981 ha	100.0%
Saleable Area																									
Residential Allotments	2.097 ha	1.811 ha	2.222 ha	2.300 ha	—	—	1.862 ha	1.397 ha	2.470 ha	2.222 ha	2.072 ha	2.003 ha	1.633 ha	—	—	—	—	—	—	—	—	—	22.089 ha	7.3%	
Commercial Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1.321 ha	—	1.321 ha	0.4%	
Balance Super Allotments	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	246.443 ha	246.443 ha	81.6%	
Community Facility	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.500 ha	—	0.500 ha	0.2%	
Cultural Heritage Allotment	—	—	—	—	0.353 ha	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.353 ha	0.1%	
Total Area of Allotments	2.097 ha	1.811 ha	2.222 ha	2.300 ha	0.353 ha	—	1.862 ha	1.397 ha	2.470 ha	2.222 ha	2.072 ha	2.003 ha	1.633 ha	—	—	—	—	—	—	—	1.821 ha	246.443 ha	270.706 ha	89.6%	
Road																									
Collector Road	0.516 ha	—	0.600 ha	0.719 ha	—	1.436 ha	—	—	—	—	—	0.233 ha	—	—	—	—	—	0.864 ha	0.436 ha	—	—	—	4.804 ha	1.6%	
Local Road	0.652 ha	0.615 ha	0.761 ha	0.929 ha	—	—	1.365 ha	0.549 ha	0.982 ha	0.974 ha	1.003 ha	0.685 ha	0.825 ha	—	—	—	—	—	—	—	—	—	9.340 ha	3.1%	
Linear Connections	0.036 ha	—	—	0.065 ha	0.048 ha	0.165 ha	—	0.067 ha	—	0.084 ha	—	0.036 ha	—	—	—	—	—	—	—	—	—	—	0.501 ha	0.2%	
Entry Statements	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Total Area of New Road	1.204 ha	0.615 ha	1.361 ha	1.713 ha	0.048 ha	1.601 ha	1.365 ha	0.616 ha	0.982 ha	1.058 ha	1.003 ha	0.954 ha	0.825 ha	—	—	—	—	0.864 ha	0.436 ha	—	—	—	14.645 ha	4.8%	
Open Space																									
Corridor Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	6.171 ha	4.538 ha	—	—	—	2.183 ha	1.819 ha	—	14.711 ha	4.9%	
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	6.357 ha	—	
District Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	0.887 ha	0.914 ha	—	—	—	—	—	—	—	1.801 ha	0.6%	
Local Recreation Park	—	—	—	—	—	0.118 ha	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.118 ha	0.0%	
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Stormwater Detention	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Total Open Space	—	—	—	—	—	0.118 ha	—	—	—	—	—	—	—	0.887 ha	0.914 ha	6.171 ha	4.538 ha	—	—	2.183 ha	1.819 ha	—	16.630 ha	5.5%	

REVISION
 AH: 25/04/2023 Stage 4 Layout Changes
 AI: 08/08/2023 Stage 5 Basin Change
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 AO: 07/02/2025 Site Cover Definition Included
 AP: 04/07/2025 Stage 4 Layout Change
 AR: 25/07/2025 Incorporation of Stage 4 PMTs
 AS: 18/08/2025 Stage 4 Updates

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0.1 metres

Yield Breakdown Stage 4								
Residential Allotments	Typical Size	Typical Area	Stage	Stage	Stage	Stage	Stage	Overall
			4A	4B	4C	4E	4P	
Urban & Nano Allotments Product								
Urban Loft	4.7 x 11.5m	50m ²	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	—	—	0.0%
Subtotal								0.0%
16m Deep Product								
Squat Allotment	14 x 16m	220m ²	—	—	4	—	—	2.8%
Subtotal					4			2.8%
25m Deep Product								
Villa Allotment	10 x 25m	250m ²	—	—	—	—	—	0.0%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	6	2	2	—	—	6.9%
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	—	—	—	0.0%
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	0.0%
Subtotal			6	2	2			6.9%
28m Deep Product								
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	—	0.0%
Subtotal								0.0%
30m Deep Product								
Villa Allotment	10 x 30m	300m ²	1	6	9	—	—	16.0%
Premium Villa Allotment	12.5 x 30m	375m ²	18	18	13	—	—	33.8%
Courtyard Allotment	14 x 30m	420m ²	18	14	19	—	—	35.2%
Traditional Allotment	20 x 30m	600m ²	5	4	6	—	—	10.3%
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	0.0%
Subtotal			42	42	47			90.3%
Total Residential Allotments			48	44	53			145
Residential Net Density			17.2 dw/ha	18.1 dw/ha	17.8 dw/ha			
Super Lots			Lots	Lots	Lots	Lots	Lots	Lots
Commercial Allotment	—	—	—	—	—	1	—	1
Community Facility	—	—	—	—	—	1	—	1
Balance Super Allotments	—	—	—	—	—	—	—	—
Sub Total						2		2
Total Allotments			48	44	53		2	147
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			48	44	53			145

Land Budget Stage 4						
Land Use	Stage 4A	Stage 4B	Stage 4C	Stage 4E	Stage 4P	Overall
Area of Subject Site	Area	Area	Area	Area	Area	Area %
Saleable Area	3.301 ha	2.426 ha	3.583 ha	1.719 ha	1.821 ha	112.0%
Residential Allotments	2.097 ha	1.811 ha	2.222 ha	—	—	6.130 ha 55.6%
Commercial Allotment	—	—	—	—	1.321 ha	1.321 ha 12.0%
Balance Super Allotments	—	—	—	—	—	— 0.0%
Community Facility	—	—	—	—	0.500 ha	0.500 ha 4.5%
Total Area of Allotments	2.097 ha	1.811 ha	2.222 ha	—	1.321 ha	7.451 ha 67.6%
Road						
Collector Road	0.516 ha	—	0.600 ha	1.436 ha	—	2.552 ha 23.1%
Local Road	0.652 ha	0.615 ha	0.761 ha	—	—	2.028 ha 18.4%
Linear Connections	0.036 ha	—	—	0.165 ha	—	0.201 ha 1.8%
Entry Statements	—	—	—	—	—	— 0.0%
Total Area of New Road	1.204 ha	0.615 ha	1.361 ha	1.601 ha	—	4.781 ha 43.3%
Open Space						
Corridor Park	—	—	—	—	—	— 0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	— 0.0%
District Recreation Park	—	—	—	—	—	— 0.0%
Neighbourhood Recreation Park	—	—	—	—	—	— 0.0%
Local Recreation Park	—	—	—	0.118 ha	—	0.118 ha 1.1%
Local Linear Recreation Park	—	—	—	—	—	— 0.0%
Stormwater Detention	—	—	—	—	—	— 0.0%
Total Open Space	—	—	—	0.118 ha	—	0.118 ha 1.1%



REVISION
 AH: 25/04/2023 Stage 4 Layout Changes
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 AQ: 04/07/2025 Stage 4 Layout Change
 AR: 25/07/2025 Incorporation of Stage 4 PMTs
 AS: 18/08/2025 Stage 4 Updates

Note:
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 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.
 Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
 Site boundaries: Registered Survey Plans / Veris
 Adjoining information: DCDB.
 Contours: Bradlees.

- Legend**
- Site Boundary
 - - - Proposed Stage Boundary
 - - - Proposed Sub Stage Boundary
 - Existing Q100
 - ⊙ Possible Multiple Residential Allotment (Max. no. of dwellings)
 - ⊙ Indicative Indented Bus Stop Location
 - ⊙ Indicative Temporary In-Line Bus Stop Location
 - Bus Stop Catchment (400m)
 - Neighbourhood Park Catchment (400m)

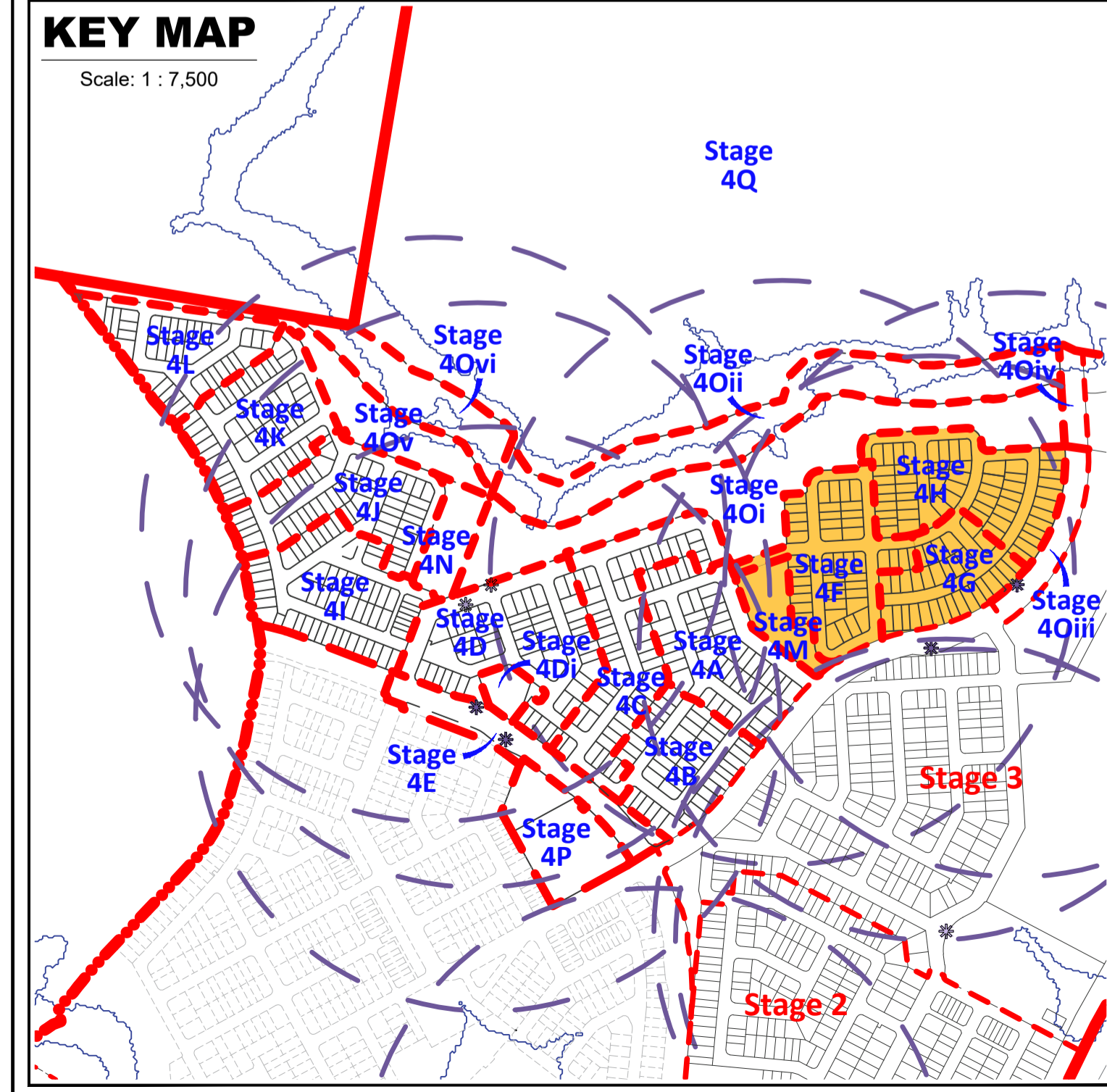
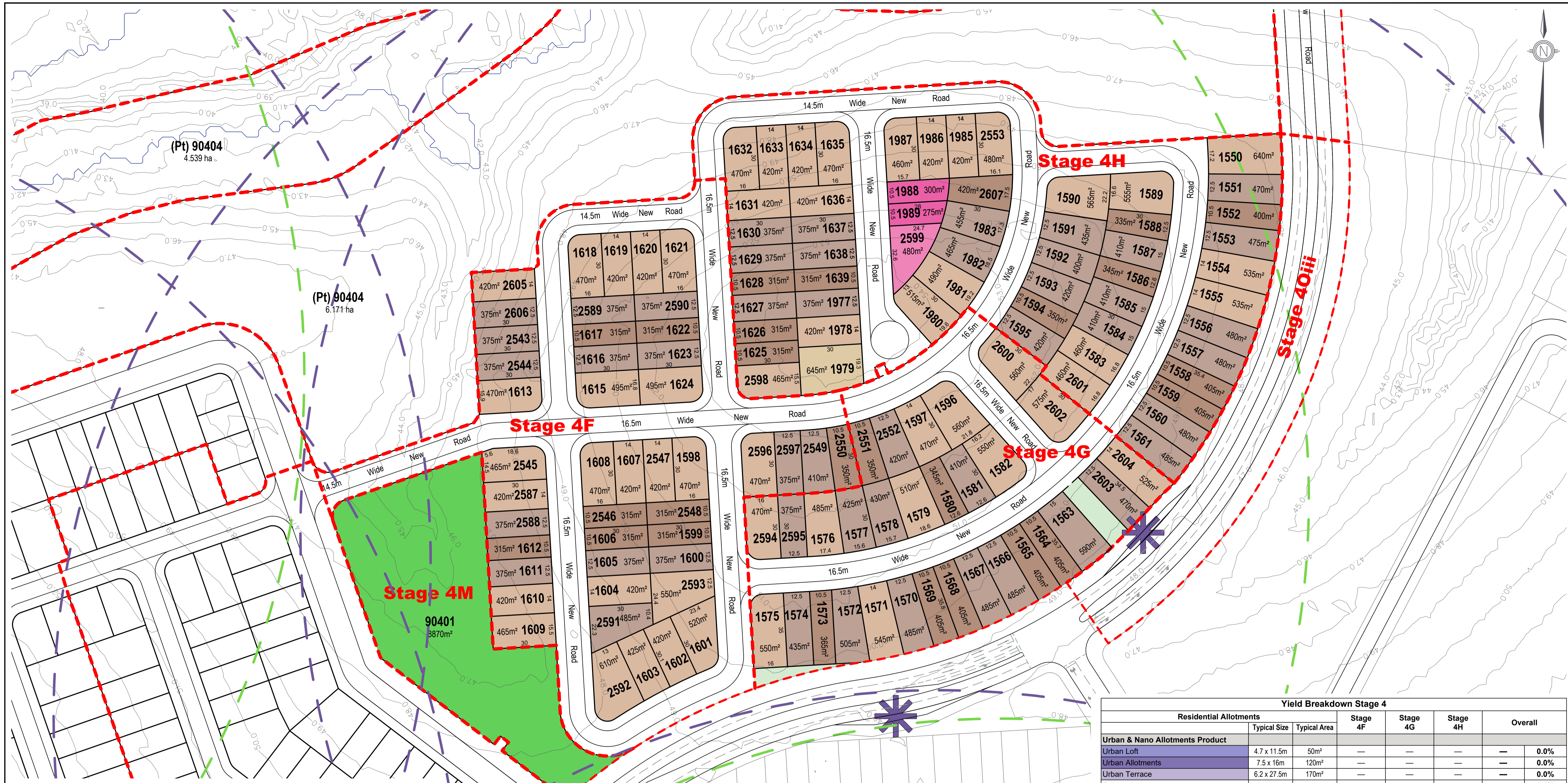
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
 Approval no: DEV2012/403/303
 Date: 30 October 2025
 Scale: 1:1500 @ A1

CLIENT	PEET
PROJECT	Flagstone Precinct 1
	Plan of Subdivision Stage 4A, B, C & E Allotment Layout
Date:	18 August 2025
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale	1:1500
Sheet	A1
Plan Ref	110056 - 393
Rev	AS

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REVISION

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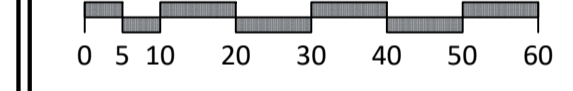
Source Information:
Site boundaries: Registered Survey Plans / Veris
Adjoining information: DCDB.
Contours: Bradlees.

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025
Scale: 1:1000 @ A1



CLIENT
PEET

PROJECT
Flagstone Precinct 1
Plan of Subdivision
Stage 4F - H & M Allotment Layout

Date:	18 August 2025
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1:1000
Sheet:	A1
Plan Ref:	110056 - 394
Rev:	AS

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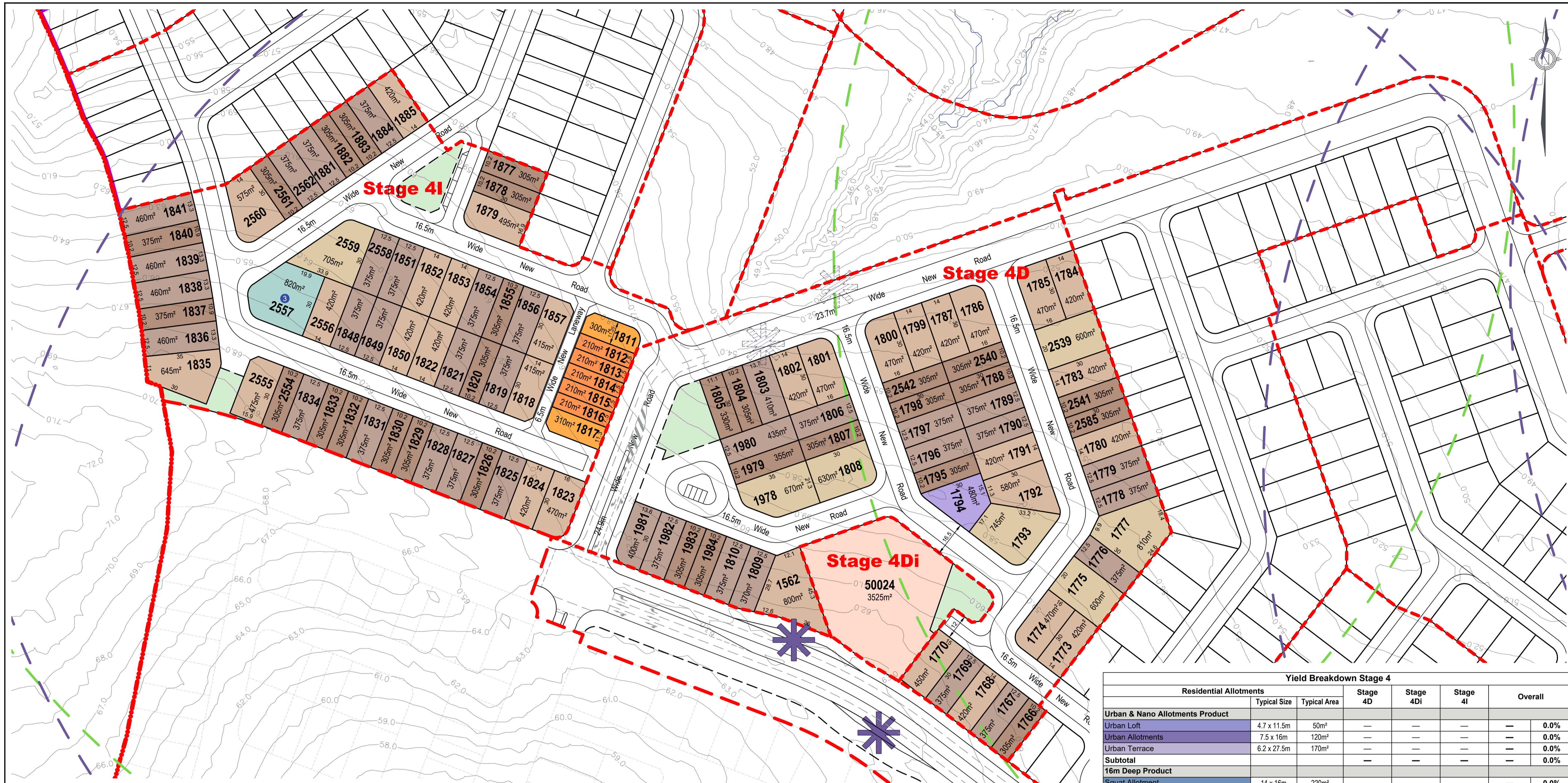
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Yield Breakdown Stage 4

Residential Allotments	Typical Size	Typical Area	Stage			Overall	
			4F	4G	4H		
Urban & Nano Allotments Product							
Urban Loft	4.7 x 11.5m	50m ²	—	—	—	0.0%	
Urban Allotments	7.5 x 16m	120m ²	—	—	—	0.0%	
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	0.0%	
Subtotal						0.0%	
16m Deep Product							
Squat Allotment	14 x 16m	220m ²	—	—	—	0.0%	
Subtotal						0.0%	
25m Deep Product							
Villa Allotment	10 x 25m	250m ²	—	—	2	1.5%	
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	1	0.8%	
Courtyard Allotment	14 x 25m	350m ²	—	—	—	0.0%	
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	—	0.0%	
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	0.0%	
Possible Multiple Residential Allotment						0.0%	
Subtotal					3	0.8%	
28m Deep Product							
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	0.0%	
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	0.0%	
Subtotal						0.0%	
30m Deep Product							
Villa Allotment	10 x 30m	300m ²	8	7	11	26	19.7%
Premium Villa Allotment	12.5 x 30m	375m ²	14	12	21	47	35.6%
Courtyard Allotment	14 x 30m	420m ²	23	11	21	55	41.7%
Traditional Allotment	20 x 30m	600m ²	—	—	1	1	0.8%
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	0.0%
Possible Multiple Residential Allotment							0.0%
Subtotal			45	30	54	129	97.7%
Total Residential Allotments			45	30	57	132	98%
Residential Net Density			13.9 dw/ha	14.9 dw/ha	16.5 dw/ha		
Super Lots			Lots	Lots	Lots	Lots	
Commercial Allotment			—	—	—	—	—
Community Facility			—	—	—	—	—
Balance Super Allotments			—	—	—	—	—
Sub Total			—	—	—	—	—
Total Allotments			45	30	57	132	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			45	30	57	132	

Land Budget Stage 4

Land Use	Stage				Overall	
	4F	4G	4H	4M	Area	%
Area of Subject Site	3.227 ha	2.013 ha	3.452 ha	0.887 ha	9.579 ha	100.0%
Saleable Area						
Residential Allotments	1.862 ha	1.397 ha	2.470 ha	—	5.729 ha	59.8%
Commercial Allotment	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	0.0%
Community Facility	—	—	—	—	—	0.0%
Total Area of Allotments	1.862 ha	1.397 ha	2.470 ha	—	5.729 ha	59.8%
Road						
Collector Road	—	—	—	—	—	0.0%
Local Road	1.365 ha	0.549 ha	0.982 ha	—	2.896 ha	30.2%
Linear Connections	—	0.067 ha	—	—	0.067 ha	0.7%
Entry Statements	—	—	—	—	—	0.0%
Total Area of New Road	1.365 ha	0.616 ha	0.982 ha	—	2.963 ha	30.9%
Open Space						
Corridor Park	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.887 ha	0.887 ha	9.3%
Local Recreation Park	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	0.0%
Total Open Space	—	—	—	0.887 ha	0.887 ha	9.3%



REVISION

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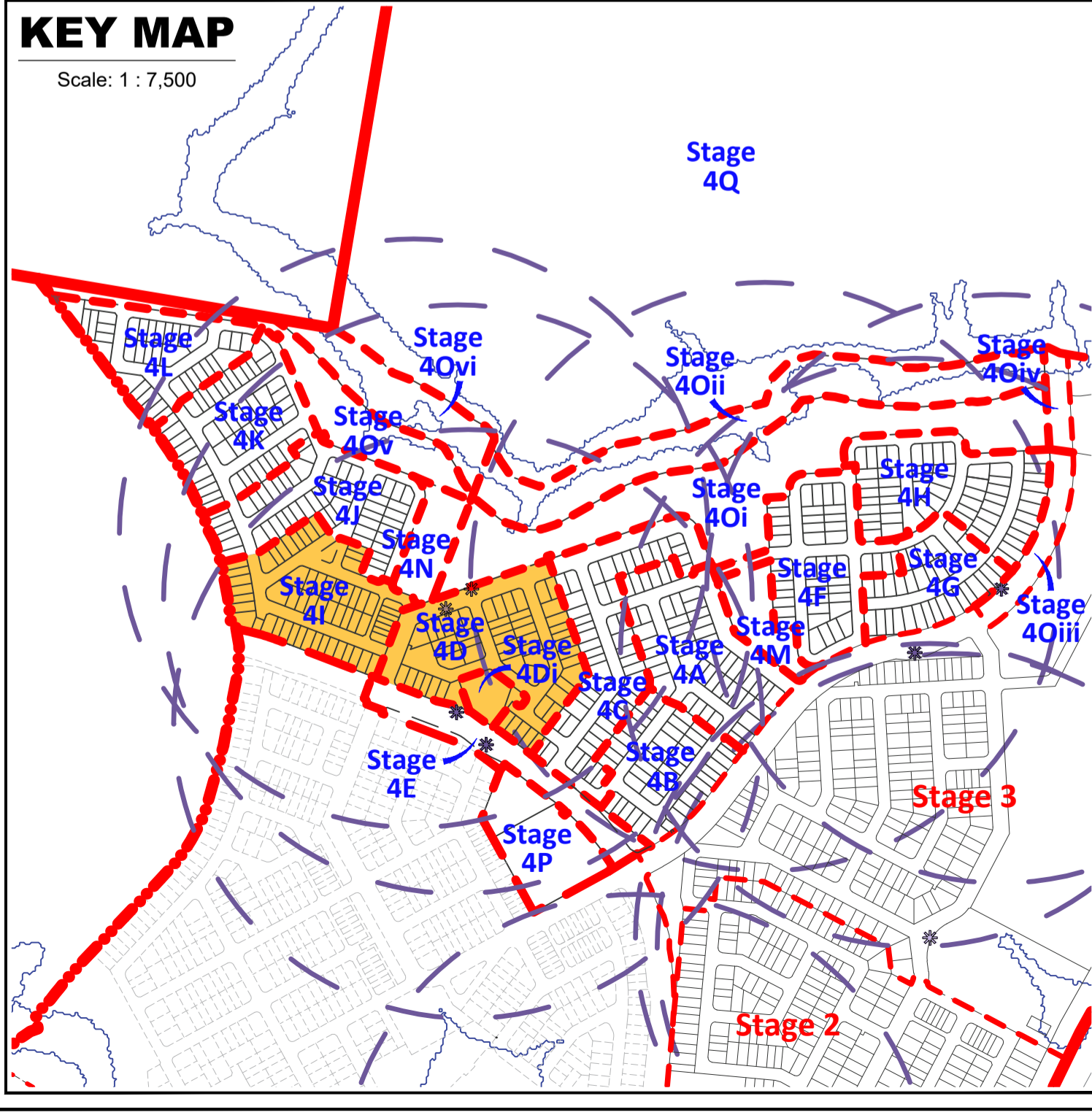
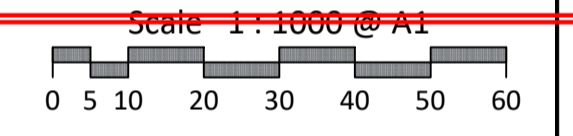
Source Information:
Site boundaries: Registered Survey Plans / Varis
Adjoining information: DCDB.
Contours: Bradlees.

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025



Land Budget Stage 4

Land Use	Stage 4D		Stage 4Di		Stage 4I		Overall	
	Area	%	Area	%	Area	%	Area	%
Area of Subject Site	4.013 ha		0.401 ha		3.280 ha		7.694 ha	100.0%
Saleable Area								
Residential Allotments	2.300 ha		—		2.222 ha		4.522 ha	58.8%
Commercial Allotment	—		—		—		—	0.0%
Balance Super Allotments	—		—		—		—	0.0%
Community Facility	—		—		—		—	0.0%
Cultural Heritage Allotment	—		0.353 ha		—		0.353 ha	4.6%
Total Area of Allotments	2.300 ha		0.353 ha		2.222 ha		4.875 ha	63.4%
Road								
Collector Road	0.719 ha		—		—		0.719 ha	9.3%
Local Road	0.929 ha		—		0.974 ha		1.903 ha	24.7%
Linear Connections	0.065 ha		0.048 ha		0.084 ha		0.197 ha	2.6%
Entry Statements	—		—		—		—	0.0%
Total Area of New Road	1.713 ha		0.048 ha		1.058 ha		2.819 ha	36.6%
Open Space								
Corridor Park	—		—		—		—	0.0%
Conservation (Within Corridor Park)	—		—		—		—	0.0%
District Recreation Park	—		—		—		—	0.0%
Neighbourhood Recreation Park	—		—		—		—	0.0%
Local Recreation Park	—		—		—		—	0.0%
Local Linear Recreation Park	—		—		—		—	0.0%
Stormwater Detention	—		—		—		—	0.0%
Total Open Space	—		—		—		—	0.0%

Yield Breakdown Stage 4

Residential Allotments	Typical Size	Typical Area	Stage 4D	Stage 4Di	Stage 4I	Overall
			Count	Count	Count	
Urban & Nano Allotments Product						
Urban Loft	4.7 x 11.5m	50m²	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	0.0%
Subtotal						0.0%
16m Deep Product						
Squat Allotment	14 x 16m	220m²	—	—	—	0.0%
Subtotal						0.0%
25m Deep Product						
Villa Allotment	10 x 25m	250m²	—	—	—	0.0%
Premium Villa Allotment	12.5 x 25m	313m²	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m²	—	—	—	0.0%
Premium Courtyard Allotment	16 x 25m	400m²	1	—	—	0.9%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	0.0%
Subtotal			1			0.9%
28m Deep Product						
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	5	4.5%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	2	1.8%
Subtotal					7	6.3%
30m Deep Product						
Villa Allotment	10 x 30m	300m²	14	—	15	25.9%
Premium Villa Allotment	12.5 x 30m	375m²	16	—	20	32.1%
Courtyard Allotment	14 x 30m	420m²	17	—	14	27.7%
Traditional Allotment	20 x 30m	600m²	6	—	1	6.3%
Premium Traditional Allotment	25 x 30m	720m²	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	1	0.9%
Subtotal			53		51	92.9%
Total Residential Allotments			54		58	100%
Residential Net Density			16.4 dw/ha		17.7 dw/ha	
Super Lots			Lots	Lots	Lots	Lots
Commercial Allotment	—	—	—	—	—	—
Community Facility	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	—
Cultural Heritage Allotment	—	—	—	1	—	1
Sub Total			—	1	—	1
Total Allotments			54	1	58	113
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			54		60	114
Maximum Potential Net Residential Density			16.4 dw/ha		18.3 dw/ha	

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PROJECT
Flagstone Precinct 1

Plan of Subdivision
Stage 4D & I
Allotment Layout

Date: 18 August 2025
Comp By: JC
Checked By: MD
DWG Name: Precinct 1 Stage 4
Job Ref: 110056

Local Authority: Economic Development Queensland
Locality: Flagstone

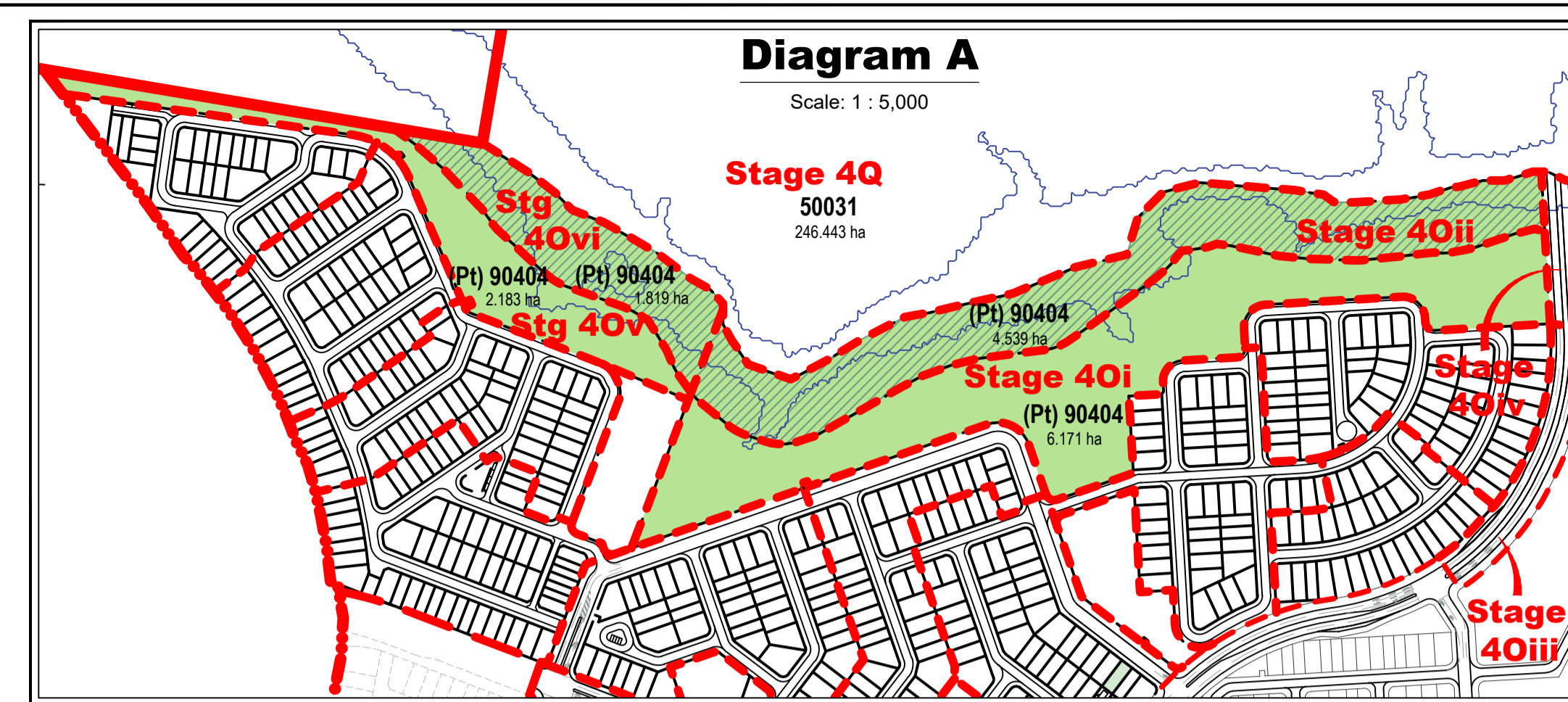
Scale: 1 : 1000
Sheet: A1

Plan Ref: 110056 - 395
Rev: AS

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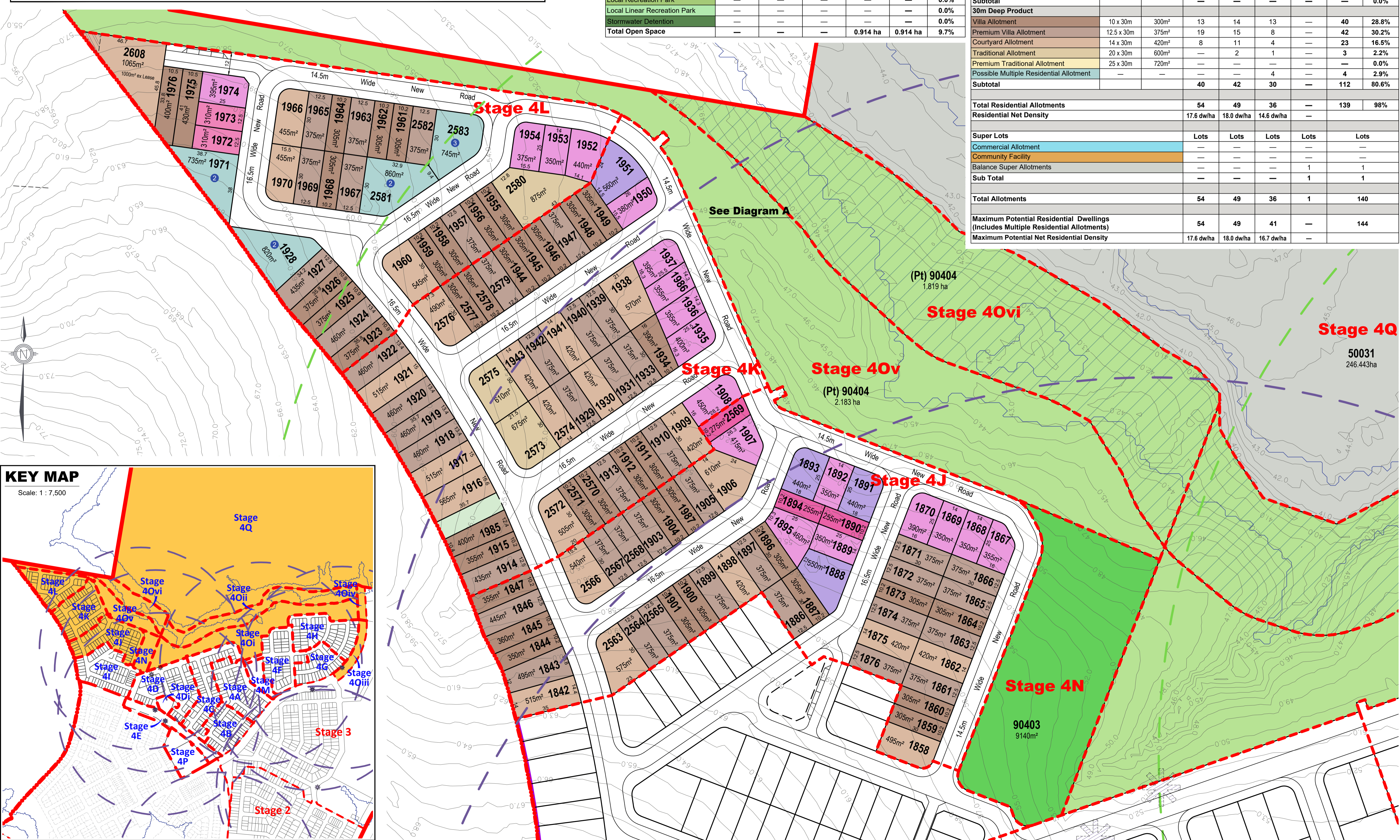
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Land Budget Stage 4					
Land Use	Stage 4J	Stage 4K	Stage 4L	Stage 4N	Overall
	Area	Area	Area	Area	
Area of Subject Site	3.075 ha	2.957 ha	2.458 ha	0.914 ha	9.404 ha
Saleable Area	3.075 ha	2.957 ha	2.458 ha	0.914 ha	9.404 ha
Residential Allotments	2.072 ha	2.003 ha	1.633 ha	—	5.708 ha
Commercial Allotment	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	0.0%
Community Facility	—	—	—	—	0.0%
Total Area of Allotments	2.072 ha	2.003 ha	1.633 ha	—	5.708 ha
Road	—	—	—	—	—
Collector Road	—	0.233 ha	—	—	0.233 ha
Local Road	1.003 ha	0.685 ha	0.825 ha	—	2.513 ha
Linear Connections	—	0.036 ha	—	—	0.036 ha
Entry Statements	—	—	—	—	0.0%
Total Area of New Road	1.003 ha	0.954 ha	0.825 ha	—	2.782 ha
Open Space	—	—	—	—	—
Corridor Park	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.914 ha	0.914 ha
Local Recreation Park	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	0.0%
Total Open Space	—	—	—	0.914 ha	0.914 ha

Yield Breakdown Stage 4						
Residential Allotments	Typical Size	Typical Area	Stage 4J	Stage 4K	Stage 4L	Stage 4Q
			Overall			
Urban & Nano Allotments Product						
Urban Loft	4.7 x 11.5m	50m ²	—	—	—	—
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—
Urban Terrace	6.2 x 27.5m	170m ²	—	—	—	—
Subtotal						
16m Deep Product						
Squat Allotment	14 x 16m	220m ²	—	—	—	—
Subtotal						
25m Deep Product						
Villa Allotment	10 x 25m	250m ²	3	—	—	3
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	2	2
Courtyard Allotment	14 x 25m	350m ²	8	6	4	18
Premium Courtyard Allotment	16 x 25m	400m ²	3	1	—	4
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—
Possible Multiple Residential Allotment	—	—	—	—	—	—
Subtotal			14	7	6	27
28m Deep Product						
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—
Subtotal						
30m Deep Product						
Villa Allotment	10 x 30m	300m ²	13	14	13	40
Premium Villa Allotment	12.5 x 30m	375m ²	19	15	8	42
Courtyard Allotment	14 x 30m	420m ²	8	11	4	23
Traditional Allotment	20 x 30m	600m ²	—	2	1	3
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—
Possible Multiple Residential Allotment	—	—	—	—	—	—
Subtotal			40	42	30	112
Total Residential Allotments			54	49	36	139
Residential Net Density			17.6 dw/ha	18.0 dw/ha	14.6 dw/ha	—
Super Lots			Lots	Lots	Lots	Lots
Commercial Allotment	—	—	—	—	—	—
Community Facility	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	1	1
Sub Total					1	1
Total Allotments			54	49	36	140
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			54	49	41	144
Maximum Potential Net Residential Density			17.6 dw/ha	18.0 dw/ha	16.7 dw/ha	—



- REVISION
- AH: 25/04/2023 Stage 4 Layout Changes
 - AI: 08/08/2023 Stage 5 Basin Change
 - AJ: 12/02/2024 Stage 5R Layout Change
 - AK: 15/08/2024 Stage 4 Layout Change
 - AL: 23/08/2024 Stage 4 Layout Change
 - AM: 27/09/2024 Stage 4 Layout Change
 - AN: 29/11/2024 Stage 4 Layout Change
 - AO: 07/02/2025 Site Cover Definition Included
 - AQ: 04/07/2025 Stage 4 Layout Change
 - AR: 25/07/2025 Incorporation of Stage 4 PMTs
 - AS: 18/08/2025 Stage 4 Updates

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining Information: DCDB.
Contours: Bradlees.

- Legend**
- Site Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Existing Q100
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - ⊙ Indicative Indented Bus Stop Location
 - ⊙ Indicative Temporary In-Line Bus Stop Location
 - ⊙ Bus Stop Catchment (400m)
 - ⊙ Neighbourhood Park Catchment (400m)
 - ⊙ Entry Statements - Lease

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval No: DEV2012/403/303

Date: 30 October 2025

Scale: 1 : 1000 @ A1

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PROJECT

Flagstone Precinct 1

Plan of Subdivision
Stage 4J, K, L, N, O & Q
Allotment Layout

Date:	18 August 2025
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone

Scale:	1 : 1000	Sheet:	A1
Plan Ref:	110056 - 396	Rev:	AS

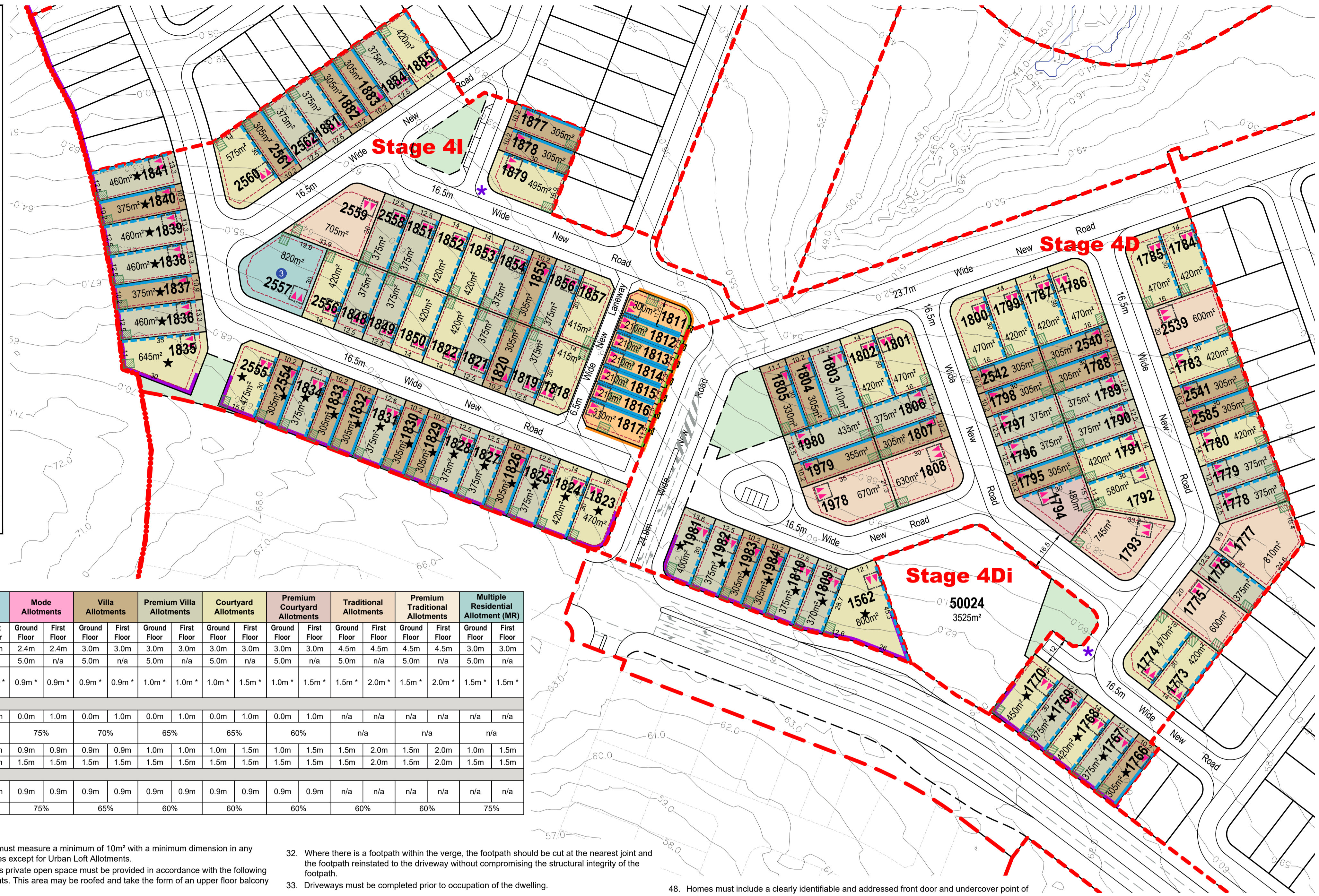
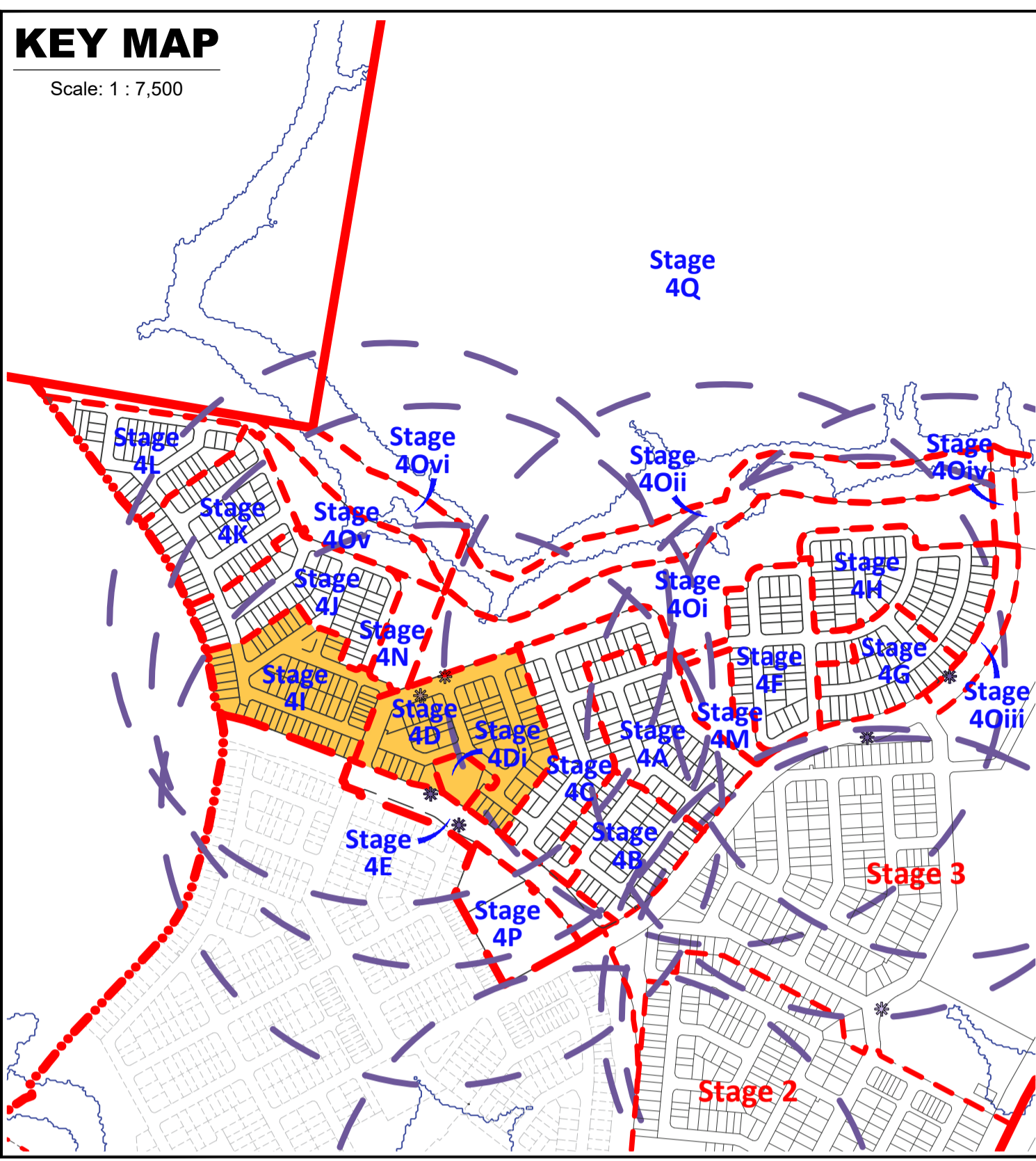
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KEY MAP

Scale: 1 : 7,500



Plan of Development Table with columns for Urban Loft Allotments, Urban Terrace Allotments, Rear Loaded Terrace Allotments, Squat Allotments, Mode Allotments, Villa Allotments, Premium Villa Allotments, Courtyard Allotments, Premium Courtyard Allotments, Traditional Allotments, Premium Traditional Allotments, and Multiple Residential Allotment (MR).

Notes: General

- 1. All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), restated to the development below.
2. The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
...
20. In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
- In the case of Urban Loft, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
- In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- 21. Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
22. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
- 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
- 2 Bedroom - 9m² (minimum dimension on 2.4m);
- 3+ Bedroom - 12m² (minimum dimension of 2.4m)
23. Private open space must be directly accessible from a living space.
24. On-site car parking is to be provided in accordance with the following minimum requirements:
- For lots up to 12.4 metres wide - 1 covered space per dwelling;
- For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
- For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
25. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
b. The garage door:
i. Width must not exceed 4.8m
ii. Must have a minimum 450mm eave above it
iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
iv. Must have a sectional, tilt or roller door.
c. The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
i. A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
ii. A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
iii. The verandah, portico or porch is to include front piers with distinct materials and/or colours.
d. Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
26. Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
27. Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
28. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
29. Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
30. Maximum of one driveway per dwelling unless it is a MR lot.
31. Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.

Retaining Walls

- 40. For retaining walls not constructed by the developer:
a. Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
b. Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
41. No timber retaining walls over 1.0m or adjoining parks or public streets.
42. Walls over 1.0m require RPEQ certification.
Building Articulation
43. All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
- Windows recessed into the façade or bay windows;
- Balconies, porches or verandahs;
- Articulation of roof lines
- Window hoods; and/or
- Use of multiple cladding materials
44. Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
45. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
46. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
47. Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.

Slope and Building Footings

- 51. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
52. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
53. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)
54. Buildings must address all street frontages with driveways, pedestrian entries or both.
55. All dwellings must have a clearly identifiable front door, which is undercover.
56. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
57. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
Additional Criteria for Secondary Dwellings
58. Floor area must be between a minimum of 30m² and 75m².
59. Materials, detailing, colours and roof form are consistent with those of the primary house.
60. Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
61. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
62. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
63. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
64. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
65. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
66. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
Definitions
Laneway Allotment - Allotments serviced by a laneway.

Legend

- General
- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease
Open Space
- District Recreation Park
- Corridor Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections
Allotment Details
- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- Preferred Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

REVISION table with columns for revision number and description, listing changes from AH to AS.

Note: All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Varis
Adjoining information: DCDB.
Contours: Bradlees.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2012/403/303
Date: 30 October 2025



Scale 1 : 1000 @ A1

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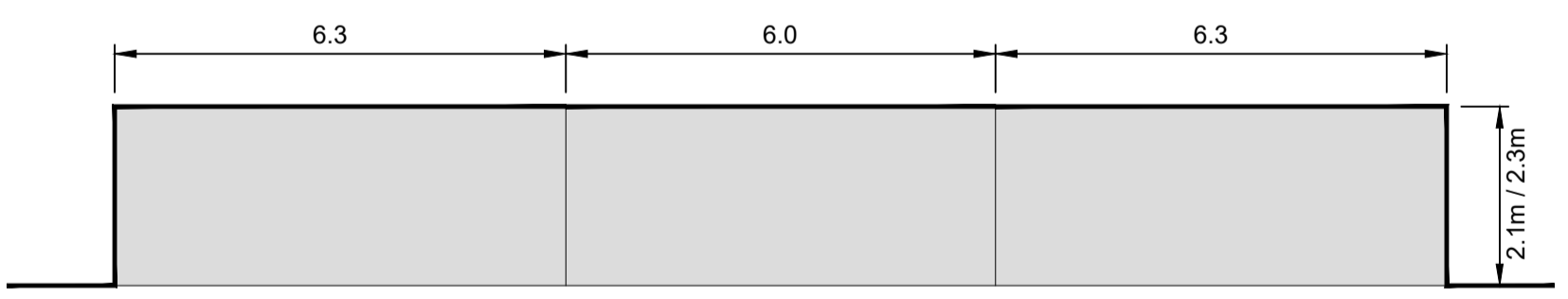
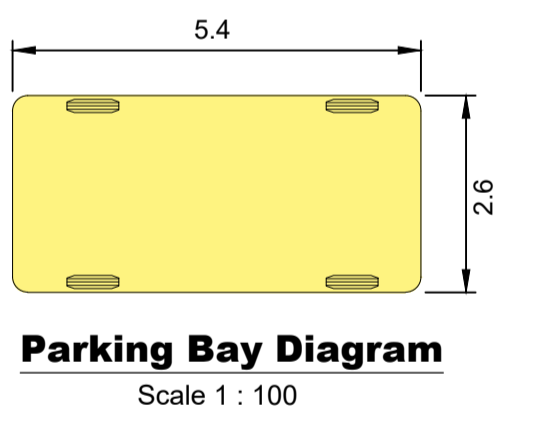
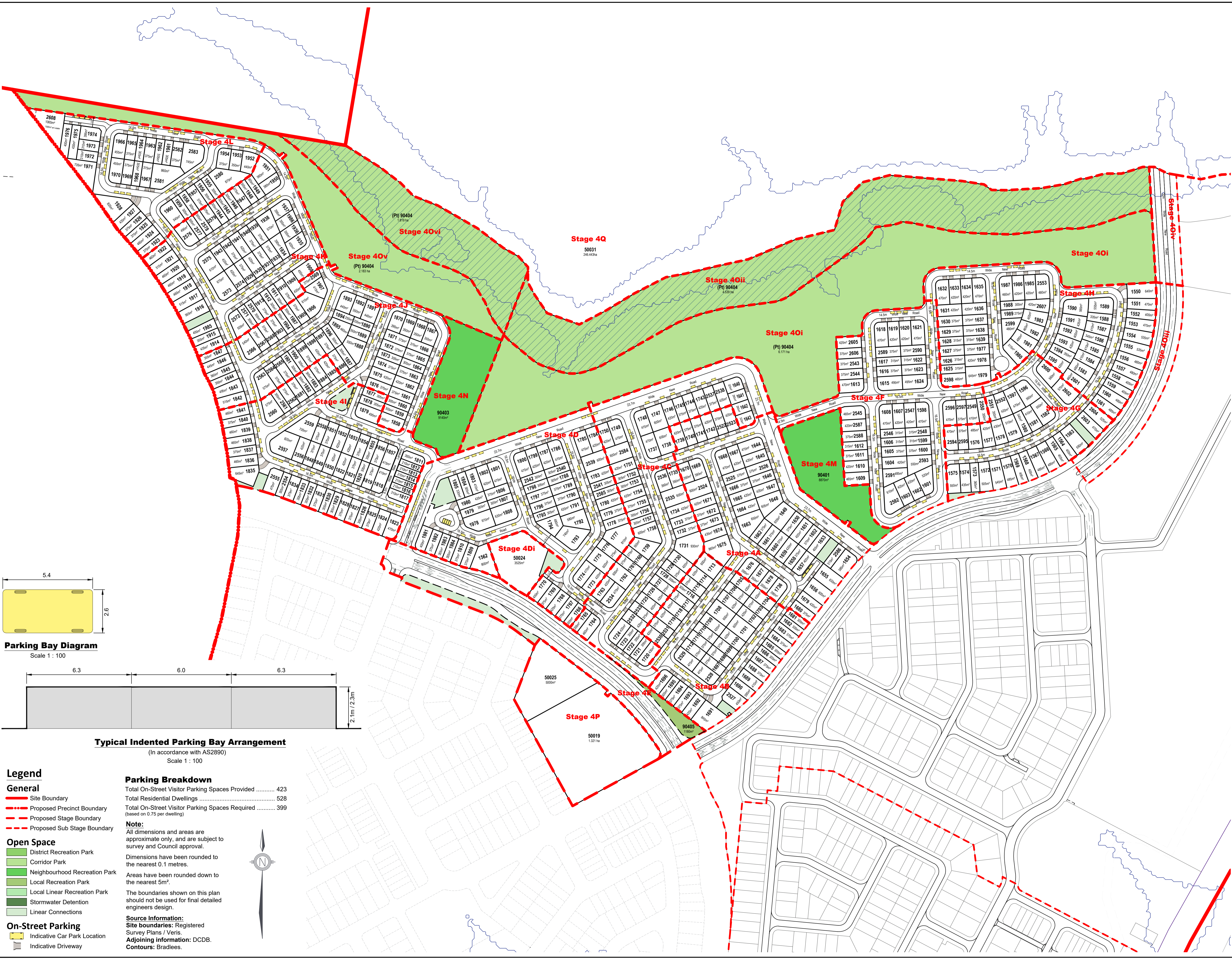
PROJECT Flagstone Precinct 1

Plan of Development Stage 4D & I Residential Allotments

Metadata table with fields: Date (18 August 2025), Comp By (NF), Checked By (MD), DWG Name (Precinct 1 Stage 4), Job Ref (110056), Local Authority (Economic Development Queensland).

Scale and Sheet information table: Scale 1 : 1000, Sheet A1.

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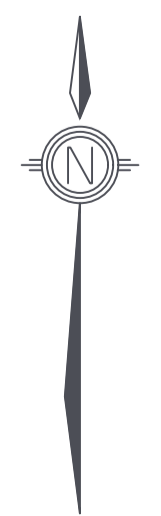
- Legend**
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
- Open Space**
- District Recreation Park
 - Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- On-Street Parking**
- Indicative Car Park Location
 - Indicative Driveway

Parking Breakdown

Total On-Street Visitor Parking Spaces Provided 423
 Total Residential Dwellings 528
 Total On-Street Visitor Parking Spaces Required 399
 (based on 0.75 per dwelling)

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB.
 Contours: Bradlees.



REVISION

AH:	25/04/2023	Stage 4 Layout Changes
AI:	08/08/2023	Stage 5 Basin Change
AJ:	12/02/2024	Stage 5R Layout Change
AK:	15/08/2024	Stage 4 Layout Change
AL:	23/08/2024	Stage 4 Layout Change
AM:	27/09/2024	Stage 4 Layout Change
AN:	29/11/2024	Stage 4 Layout Change
AO:	07/02/2025	Site Cover Definition Included
AQ:	04/07/2025	Stage 4 Layout Change
AR:	25/07/2025	Incorporation of Stage 4 PMTs
AS:	18/08/2025	Stage 4 Updates

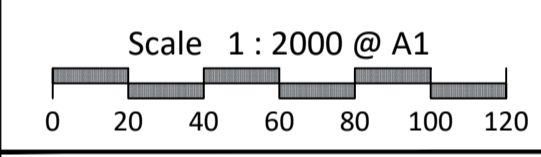
Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.

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Source Information:
 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB.
 Contours: Bradlees.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
 Date: 30 October 2025



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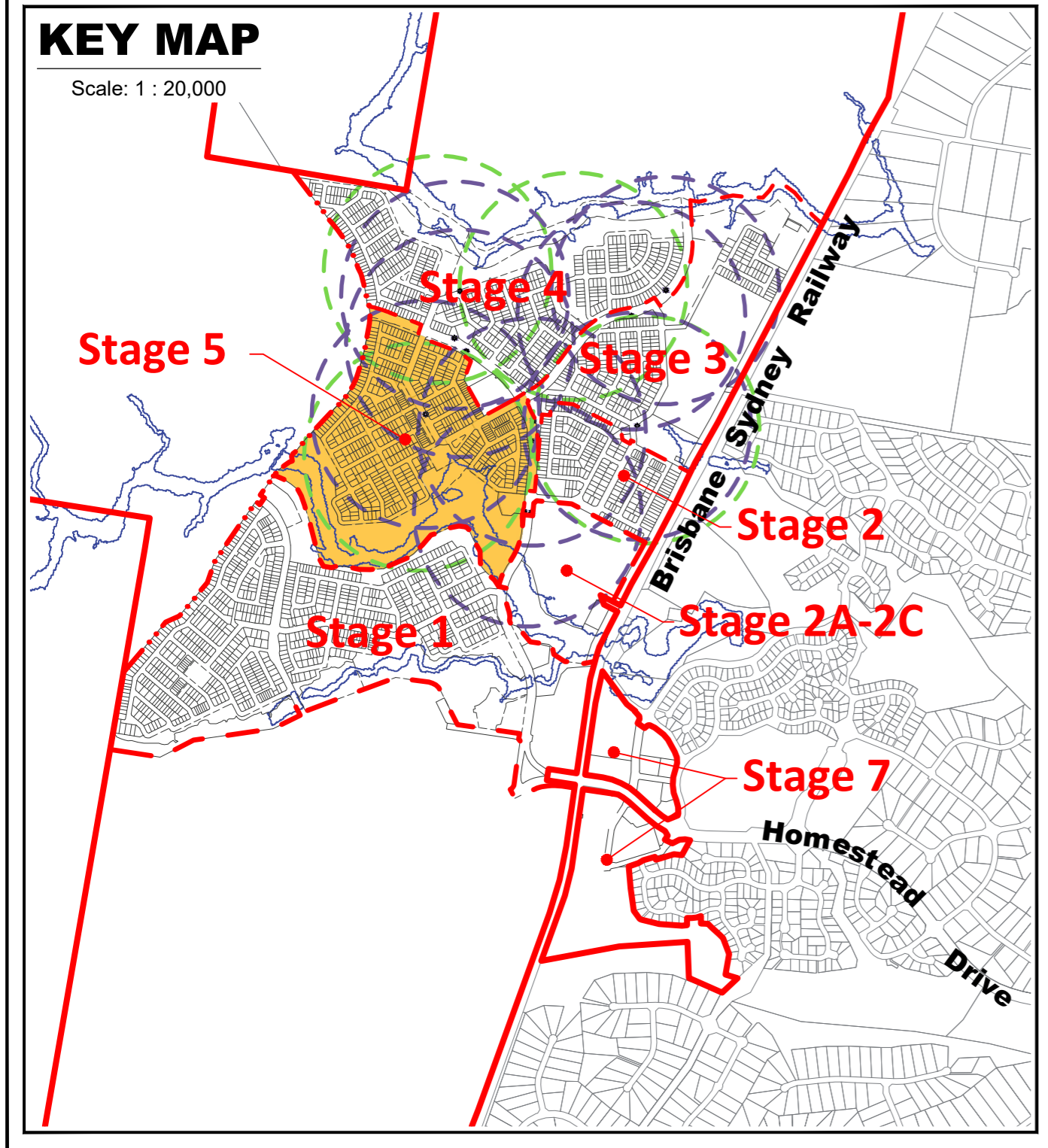
PROJECT
Flagstone Precinct 1

Plan of Subdivision
 Stage 4 Overall
 Parking Management Plan

Date:	18 August 2025
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1 : 2000
Sheet:	A1
Plan Ref:	110056 - 402
Rev:	AS

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 Fortitude Valley QLD 4006
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Legend

- Site Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- ▨ Entry Statements - Lease
- * Indicative Indented Bus Stop Location
- * Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Meinhardt.

Land Use	Overall	
	Area	Area
Area of Subject Site	52,188 ha	100.0%
Saleable Area		
Residential Allotments	19,984 ha	38.3%
Medium Density Allotment	0.666 ha	1.3%
Balance Super Allotments	—	0.0%
Total Area of Allotments	20,650 ha	39.6%
Road		
Collector Road	3,532 ha	6.8%
Local Road	8,671 ha	16.6%
Linear Connections	0,442 ha	0.8%
Entry Statements	—	0.0%
Total Area of New Road	12,645 ha	24.2%
Open Space		
Corridor Park	17,812 ha	34.1%
Conservation (Within Corridor Park)	10,710 ha	—
District Recreation Park	—	0.0%
Neighbourhood Recreation Park	0,627 ha	1.2%
Local Recreation Park	0,088 ha	0.2%
Local Linear Recreation Park	0,366 ha	0.7%
Stormwater Detention	—	0.0%
Total Open Space	18,893 ha	36.2%

Yield Breakdown Stage 5				
Residential Allotments				Overall
Urban & Nano Allotments Product	Typical Size	Typical Area		
Urban Loft	4.7 x 12.5m	50m ²	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	0.0%
Urban Terrace	7.5 x 27.5m	205m ²	16	3.2%
Subtotal			16	3.2%
16m Deep Product				
Squat Allotment	14 x 16m	220m ²	10	2.0%
Subtotal			10	2.0%
25m Deep Product				
Villa Allotment	10 x 25m	250m ²	21	4.2%
Premium Villa Allotment	12.5 x 25m	313m ²	3	0.6%
Courtyard Allotment	14 x 25m	350m ²	25	5.0%
Premium Courtyard Allotment	16 x 25m	400m ²	10	2.0%
Premium Traditional Allotment	20 x 25m	500m ²	1	0.2%
Possible Multiple Residential Allotment	—	—	3	0.6%
Subtotal			63	12.7%
28m - 30m Deep Product				
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m ²	33	6.6%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	12	2.4%
Subtotal			45	9.0%
30m Deep Product				
Villa Allotment	10 x 30m	300m ²	72	14.5%
Premium Villa Allotment	12.5 x 30m	375m ²	123	24.7%
Courtyard Allotment	14 x 30m	420m ²	124	24.9%
Traditional Allotment	20 x 30m	600m ²	43	8.6%
Premium Traditional Allotment	25 x 30m	720m ²	2	0.4%
Possible Multiple Residential Allotment	—	—	—	0.0%
Subtotal			364	73.1%
Total Residential Allotments			498	100%
Residential Net Density				16.5 dw/ha
Super Lots				Lots
Medium Density Allotment			1	
Balance Super Allotments			—	
Sub Total			1	
Total Allotments			499	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)				501
Maximum Potential Net Residential Density				16.6 dw/ha

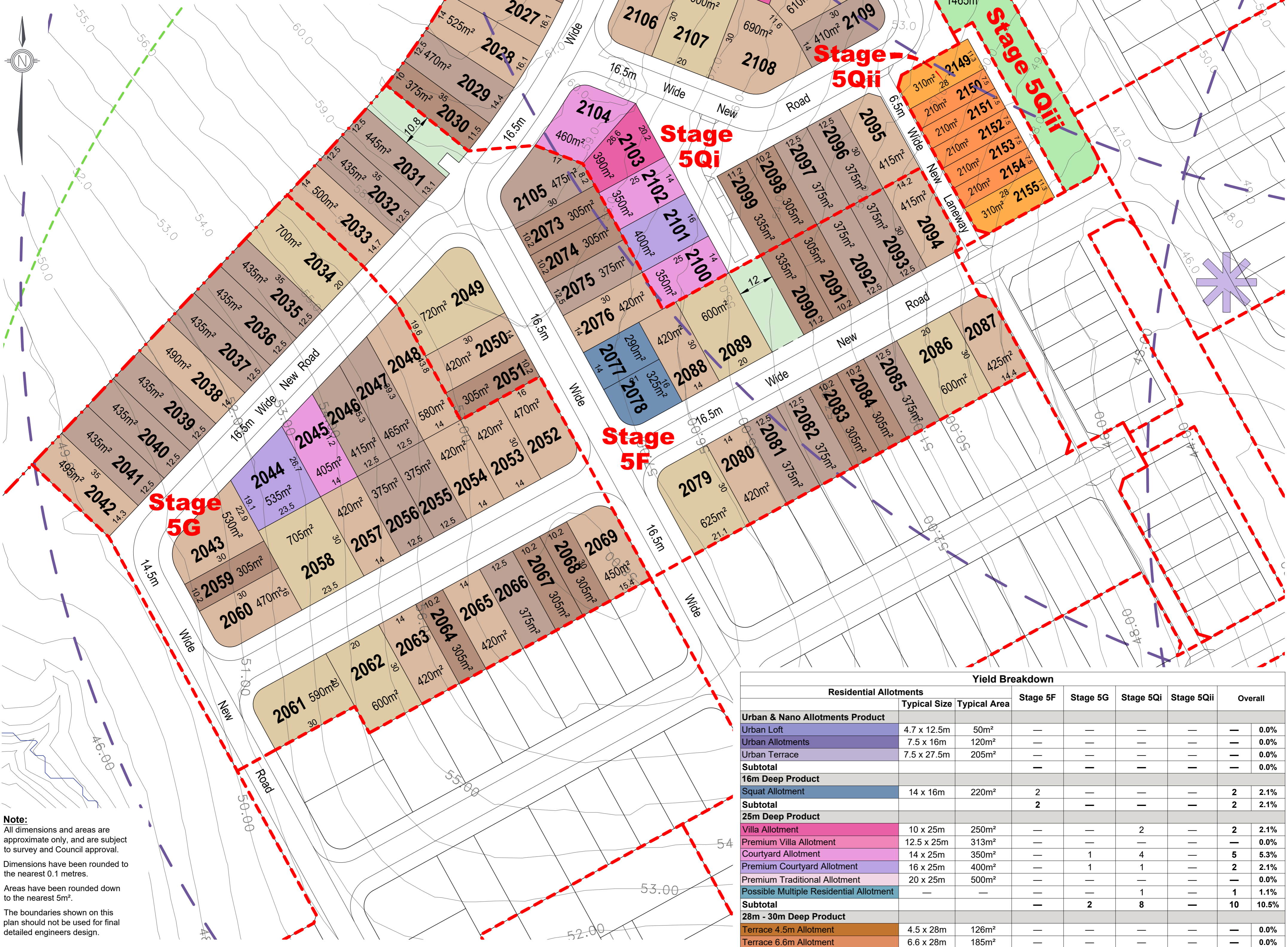
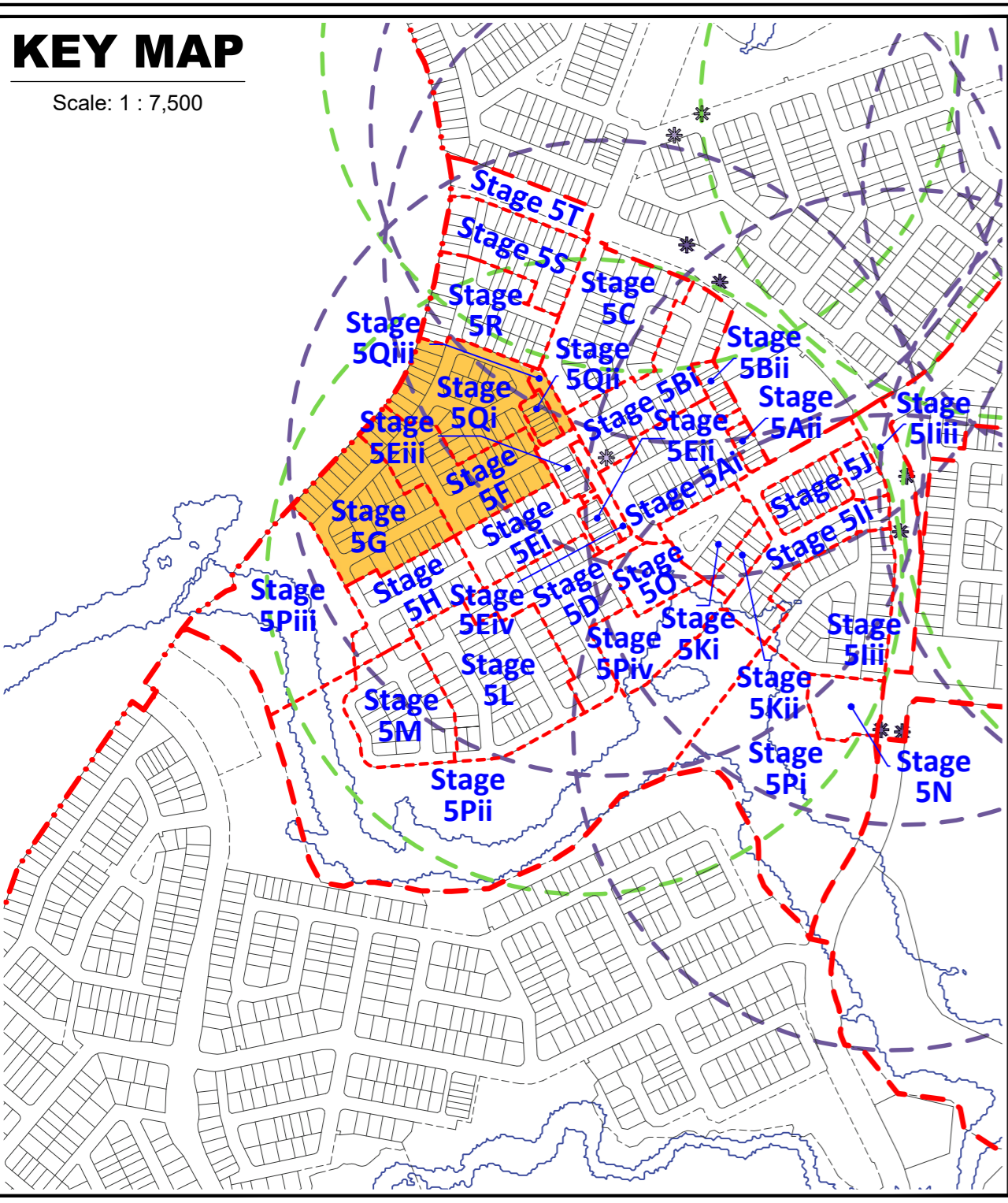


TO BE READ IN CONJUNCTION WITH 110056 - 404

REVISION AH: 25/04/2023 Stage 4 Layout Changes AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change AK: 15/08/2024 Stage 4 Layout Change AL: 23/08/2024 Stage 4 Layout Change AM: 27/09/2024 Stage 4 Layout Change AN: 29/11/2024 Stage 4 Layout Change AO: 07/02/2025 Site Cover Definition Included AP: 14/05/2025 Stage 3 and 4 Layout Change AQ: 04/07/2025 Stage 4 Layout Change AR: 25/07/2025 Incorporation of Stage 4 PMTs AS: 18/08/2025 Stage 4 Updates	PROJECT Flagstone Precinct 1	CLIENT PEET	PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DEV2012/403/303 Date: 30 October 2025			URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com					
	Job Ref. 110056 Comp By. NF Chk'd By. MD Local Authority. Economic Development Queensland	Date. 18 August 2025 DWG Name. Precinct 1 Stage 5 Locality. Flagstone					Plan of Subdivision Stage 5 Overall Allotment Layout	Scale 1 : 2000	Sheet A1	Plan Ref 110056 - 403	Rev AS

KEY MAP

Scale: 1 : 7,500

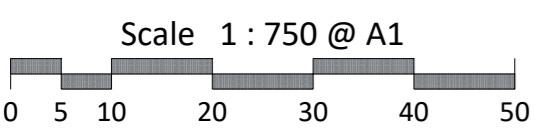


Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.
 Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB.
 Contours: Meinhardt.

Legend

- Site Boundary
- - - Proposed Stage Boundary
- - - - - Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- * Indicative Indented Bus Stop Location
- * Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)



Land Use	Land Budget					Overall	
	Stage 5F	Stage 5G	Stage 5Qi	Stage 5Qii	Stage 5Qiii	Area	%
Area of Subject Site	1.800 ha	2.042 ha	1.863 ha	0.194 ha	0.146 ha	6.045 ha	100.0%
Saleable Area							
Residential Allotments	1.198 ha	1.500 ha	1.137 ha	0.167 ha	—	4.002 ha	66.2%
Medium Density Allotment	—	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	—	0.0%
Total Area of Allotments	1.198 ha	1.500 ha	1.137 ha	0.167 ha	—	4.002 ha	66.2%
Road							
Collector Road	—	—	—	—	—	—	0.0%
Local Road	0.528 ha	0.542 ha	0.726 ha	0.027 ha	—	1.823 ha	30.2%
Linear Connections	0.074 ha	—	—	—	—	0.074 ha	1.2%
Entry Statements	—	—	—	—	—	—	0.0%
Total Area of New Road	0.602 ha	0.542 ha	0.726 ha	0.027 ha	—	1.897 ha	31.4%
Open Space							
Corridor Park	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	0.146 ha	0.146 ha	2.4%
Stormwater Detention	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	0.146 ha	0.146 ha	2.4%

Yield Breakdown								
Residential Allotments		Typical Size	Typical Area	Stage 5F	Stage 5G	Stage 5Qi	Stage 5Qii	Overall
Urban & Nano Allotments Product								
Urban Loft	4.7 x 12.5m	50m ²	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	—	0.0%
Urban Terrace	7.5 x 27.5m	205m ²	—	—	—	—	—	0.0%
Subtotal								
16m Deep Product								
Squat Allotment	14 x 16m	220m ²	—	—	—	—	—	2.1%
Subtotal				2	—	—	—	2.1%
25m Deep Product								
Villa Allotment	10 x 25m	250m ²	—	—	2	—	—	2.1%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	—	1	4	—	—	5.3%
Premium Courtyard Allotment	16 x 25m	400m ²	—	1	1	—	—	2.1%
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	1	—	—	1.1%
Subtotal				—	2	8	—	10.5%
28m - 30m Deep Product								
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	5	—	5.3%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	2	2	2.1%
Subtotal				—	—	—	7	7.4%
30m Deep Product								
Villa Allotment	10 x 30m	300m ²	7	4	5	—	—	16.8%
Premium Villa Allotment	12.5 x 30m	375m ²	9	11	5	—	—	25.3%
Courtyard Allotment	14 x 30m	420m ²	7	12	7	—	—	27.4%
Traditional Allotment	20 x 30m	600m ²	4	4	1	—	—	9.5%
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	0.0%
Subtotal				27	31	18	—	76.0%
Total Residential Allotments				29	33	26	7	95.0%
Residential Net Density				16.1 dw/ha	16.2 dw/ha	14.0 dw/ha	36.1 dw/ha	
Super Lots								
Medium Density Allotment	—	—	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	—	—	—
Sub Total								
Total Allotments				29	33	26	7	95
Maximum Potential Residential Dwellings (includes Multiple Residential Allotments)				29	33	27	7	96
Maximum Potential Net Residential Density				16.1 dw/ha	16.2 dw/ha	14.5 dw/ha	36.1 dw/ha	

REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change		
AK: 15/08/2024 Stage 4 Layout Change		
AL: 23/08/2024 Stage 4 Layout Change		
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AP: 14/05/2025 Stage 3 and 4 Layout Change		
AQ: 04/07/2025 Stage 4 Layout Change		
AR: 25/07/2025 Incorporation of Stage 4 PMTs		
AS: 18/08/2025 Stage 4 Updates		

Job Ref.	Date.	Comp By.	DWG Name.	Chk'd By.	Locality.	Local Authority.
110056	18 August 2025	NF	Precinct 1 Stage 5	MD	Flagstone	Economic Development Queensland

CLIENT **PEET**

Plan of Subdivision
 Stage 5F, G, Qi, Qii & Qiii
 Allotment Layout

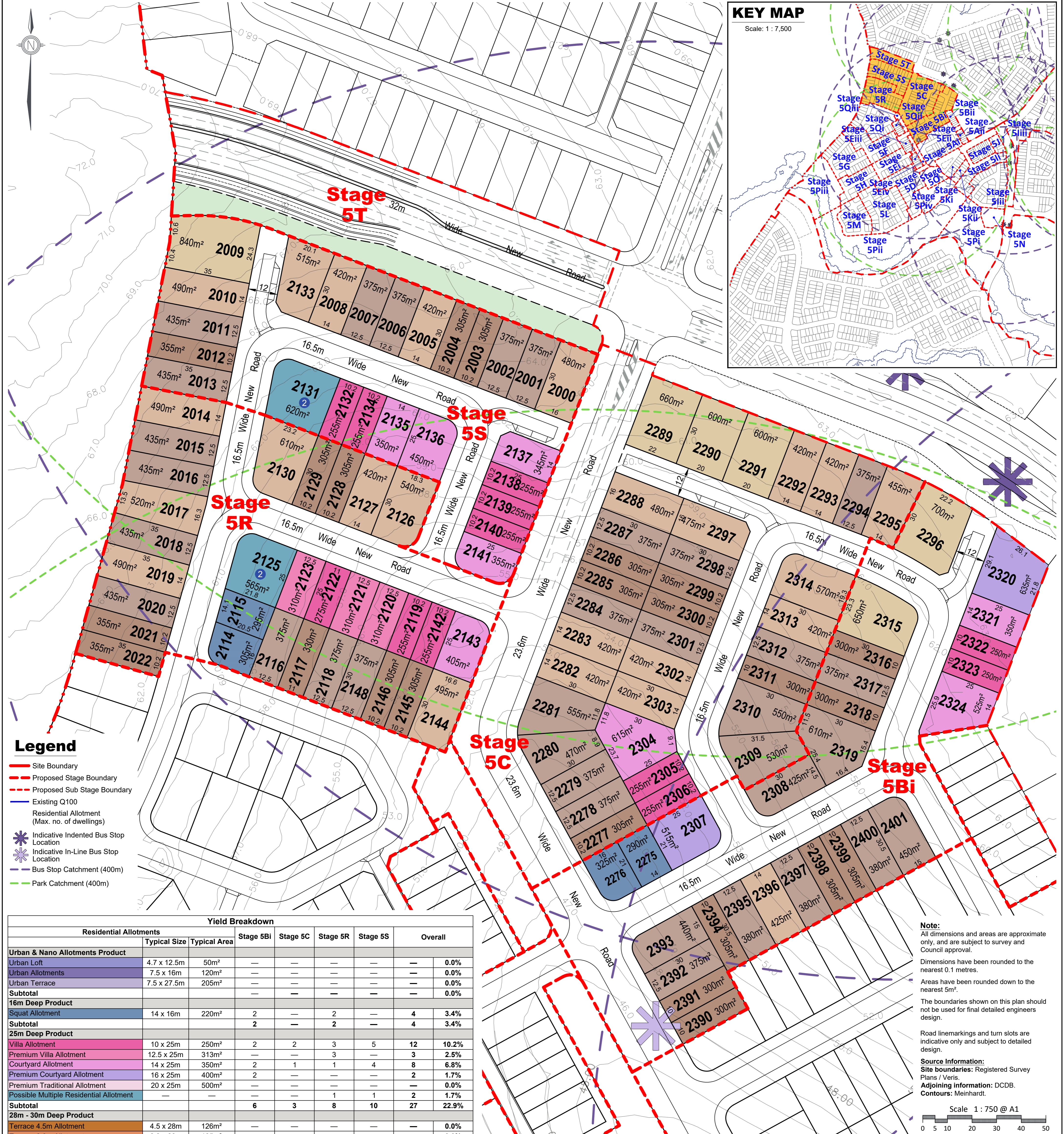
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
 Date: 30 October 2025

RPS

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- Legend**
- Site Boundary
 - - - Proposed Stage Boundary
 - - - Proposed Sub Stage Boundary
 - Existing Q100
 - Residential Allotment (Max. no. of dwellings)
 - ★ Indicative Indented Bus Stop Location
 - ★ Indicative In-Line Bus Stop Location
 - Bus Stop Catchment (400m)
 - Park Catchment (400m)

Yield Breakdown							
Residential Allotments	Typical Size	Typical Area	Stage				Overall
			5Bi	5C	5R	5S	
Urban & Nano Allotments Product							
Urban Loft	4.7 x 12.5m	50m ²	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	0.0%
Urban Terrace	7.5 x 27.5m	205m ²	—	—	—	—	0.0%
Subtotal							0.0%
16m Deep Product							
Squat Allotment	14 x 16m	220m ²	2	—	2	—	3.4%
Subtotal			2		2		3.4%
25m Deep Product							
Villa Allotment	10 x 25m	250m ²	2	2	3	5	10.2%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	3	—	2.5%
Courtyard Allotment	14 x 25m	350m ²	2	1	1	4	6.8%
Premium Courtyard Allotment	16 x 25m	400m ²	2	—	—	—	1.7%
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	1	—	1	1.7%
Subtotal			6	3	8	10	22.9%
28m - 30m Deep Product							
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	0.0%
Subtotal							0.0%
30m Deep Product							
Villa Allotment	10 x 30m	300m ²	7	6	7	3	19.5%
Premium Villa Allotment	12.5 x 30m	375m ²	9	12	7	6	28.8%
Courtyard Allotment	14 x 30m	420m ²	1	11	7	5	20.3%
Traditional Allotment	20 x 30m	600m ²	2	3	—	1	5.1%
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%
Subtotal			19	32	21	15	73.7%
Total Residential Allotments			27	35	31	25	100.0%
Residential Net Density			16.7 dw/ha	19.3 dw/ha	19.9 dw/ha	18.1 dw/ha	
Super Lots			—	—	—	—	—
Medium Density Allotment			—	—	—	—	—
Balance Super Allotments			—	—	—	—	—
Sub Total			—	—	—	—	—
Total Allotments			27	35	31	25	118
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			27	35	32	26	120
Maximum Potential Net Residential Density			16.7 dw/ha	19.3 dw/ha	20.5 dw/ha	18.8 dw/ha	

Land Budget							
Land Use	Stage					Overall	
	5Bi	5C	5R	5S	5T	Area	%
Area of Subject Site	1.821 ha	2.354 ha	1.559 ha	1.385 ha	0.802 ha	7.921 ha	100.0%
Saleable Area							
Residential Allotments	1.088 ha	1.484 ha	1.201 ha	0.991 ha	—	4.764 ha	60.1%
Medium Density Allotment	—	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	—	0.0%
Total Area of Allotments	1.088 ha	1.484 ha	1.201 ha	0.991 ha	—	4.764 ha	60.1%
Road							
Collector Road	0.201 ha	0.544 ha	—	—	0.625 ha	1.370 ha	17.3%
Local Road	0.532 ha	0.326 ha	0.358 ha	0.394 ha	—	1.610 ha	20.3%
Linear Connections	—	—	—	—	0.177 ha	0.177 ha	2.2%
Entry Statements							
Total Area of New Road	0.733 ha	0.870 ha	0.358 ha	0.394 ha	0.802 ha	3.157 ha	39.9%
Open Space							
Corridor Park	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	0.0%

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.
 Road line markings and turn slots are indicative only and subject to detailed design.
Source Information:
 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB.
 Contours: Meinhardt.

Scale 1: 750 @ A1

REVISION

AH: 25/04/2023 Stage 4 Layout Changes
AI: 08/08/2023 Stage 5 Basin Change
AJ: 12/02/2024 Stage 5R Layout Change
AK: 15/08/2024 Stage 4 Layout Change
AL: 23/08/2024 Stage 4 Layout Change
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PROJECT	Flagstone Precinct 1
Job Ref. 110056	Date. 18 August 2025
Comp By. NF	DWG Name. Precinct 1 Stage 5
Chk'd By. MD	Locality. Flagstone
Local Authority. Economic Development Queensland	

CLIENT

PEET

Plan of Subdivision
 Stage 5Bi, C, R, S & T
 Allotment Layout

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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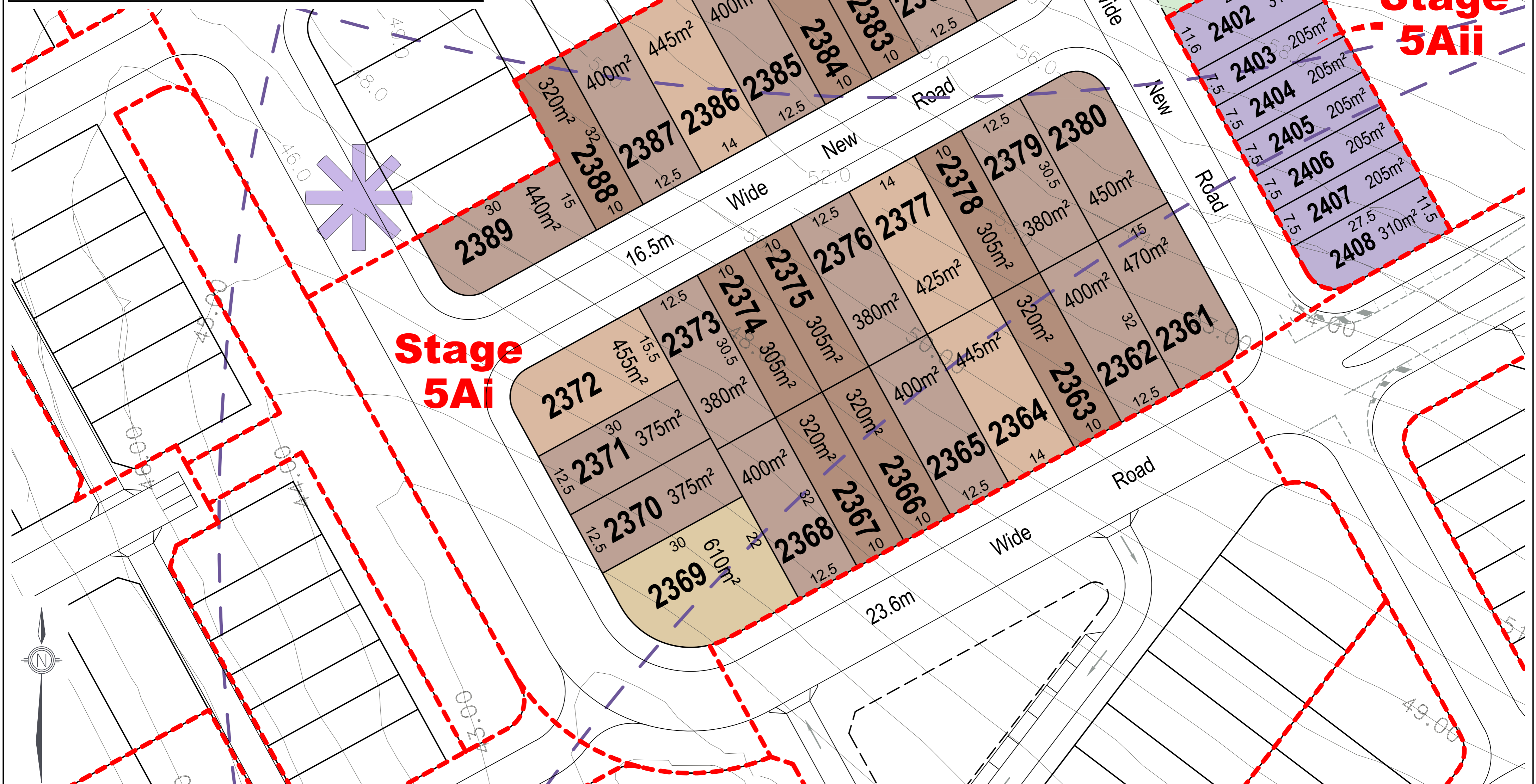
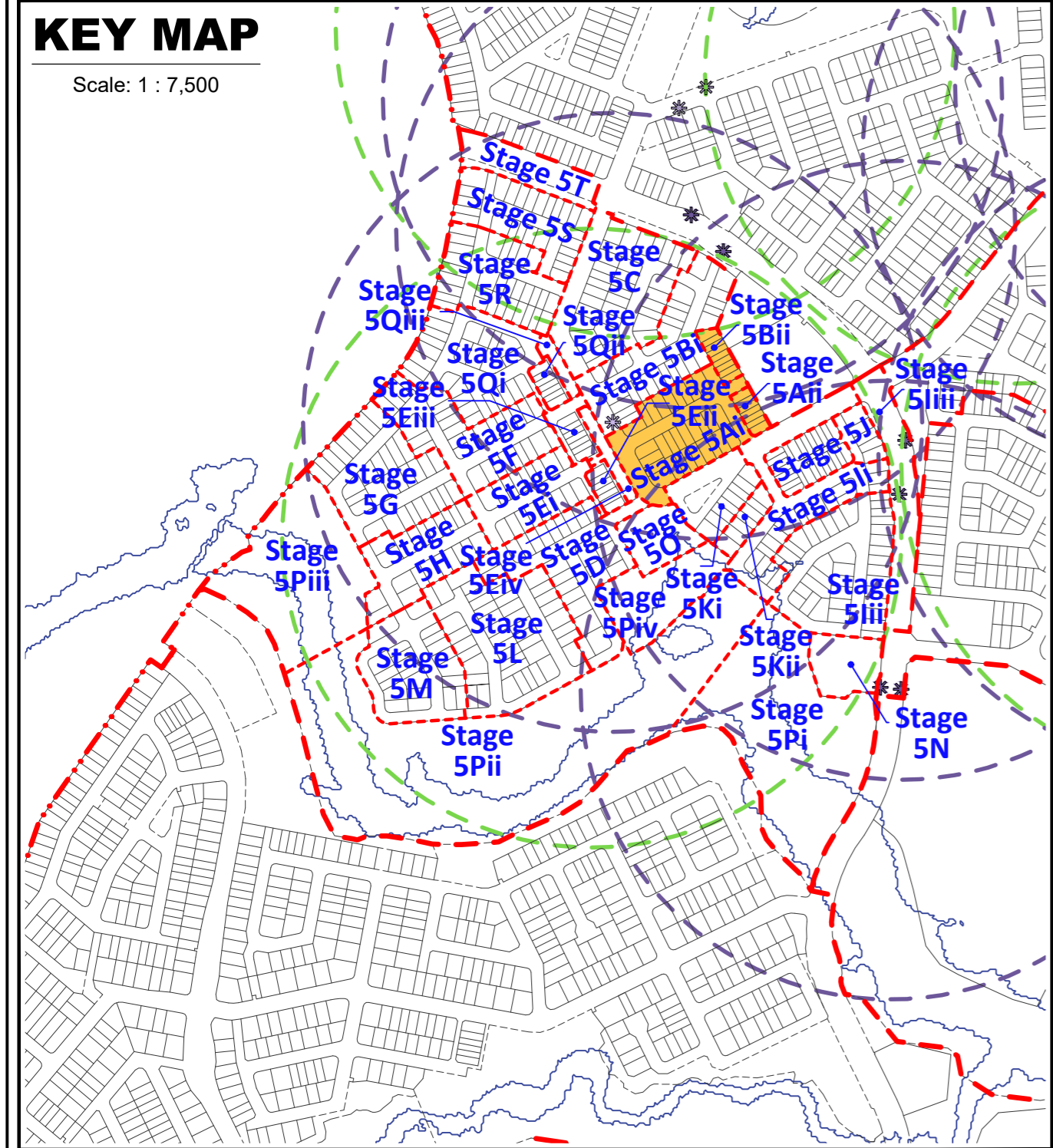
Queensland Government

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Scale 1: 750	Sheet A1	Plan Ref 110056 - 407	Rev AS
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Yield Breakdown						
Residential Allotments			Stage 5Ai	Stage 5Aii	Stage 5Bii	Overall
	Typical Size	Typical Area				
Urban & Nano Allotments Product						
Urban Loft	4.7 x 12.5m	50m ²	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	0.0%
Urban Terrace	7.5 x 27.5m	205m ²	—	7	9	16
Subtotal				7	9	16
16m Deep Product						
Squat Allotment	14 x 16m	220m ²	—	—	—	0.0%
Subtotal				—	—	0.0%
25m Deep Product						
Villa Allotment	10 x 25m	250m ²	—	—	—	0.0%
Premium Villa Allotment	12.5 x 25m	313m ²	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	—	—	—	0.0%
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	—	0.0%
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	0.0%
Subtotal				—	—	0.0%
28m - 30m Deep Product						
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	0.0%
Subtotal				—	—	0.0%
30m Deep Product						
Villa Allotment	10 x 30m	300m ²	9	—	—	9
Premium Villa Allotment	12.5 x 30m	375m ²	15	—	—	15
Courtyard Allotment	14 x 30m	420m ²	4	—	—	4
Traditional Allotment	20 x 30m	600m ²	1	—	—	1
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	0.0%
Subtotal			29	—	—	29
Total Residential Allotments			29	7	9	45
Residential Net Density			18.4 dw/ha	42.2 dw/ha	44.3 dw/ha	
Super Lots						
Medium Density Allotment	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	—
Sub Total			—	—	—	—
Total Allotments			29	7	9	45
Maximum Potential Residential Dwellings (Includes Potential Residential Allotments)			29	7	9	45
Maximum Potential Net Residential Density			18.4 dw/ha	42.2 dw/ha	44.3 dw/ha	

Land Budget				
Land Use	Stage 5Ai	Stage 5Aii	Stage 5Bii	Overall
	Area	Area	Area	Area %
Area of Subject Site	1.853 ha	0.166 ha	0.203 ha	2.222 ha 100.0%
Saleable Area				
Residential Allotments	1.136 ha	0.166 ha	0.203 ha	1.505 ha 67.7%
Medium Density Allotment	—	—	—	0.0%
Balance Super Allotments	—	—	—	0.0%
Total Area of Allotments	1.136 ha	0.166 ha	0.203 ha	1.505 ha 67.7%
Road				
Collector Road	0.278 ha	—	—	0.278 ha 12.5%
Local Road	0.394 ha	—	—	0.394 ha 17.7%
Linear Connections	0.045 ha	—	—	0.045 ha 2.0%
Entry Statements	—	—	—	0.0%
Total Area of New Road	0.717 ha	—	—	0.717 ha 32.3%
Open Space				
Corridor Park	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	0.0%
District Recreation Park	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.0%
Local Recreation Park	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	0.0%
Stormwater Detention	—	—	—	0.0%
Total Open Space	—	—	—	0.0%

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.

Scale: 1 : 500 @ A1

Scale: 0 5 10 15 20 25 30

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Meinhardt.

REVISION	PROJECT	CLIENT
AH: 25/04/2023 Stage 4 Layout Changes	Flagstone Precinct 1	PEET
AI: 08/08/2023 Stage 5 Basin Change		
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AS: 18/08/2025 Stage 4 Updates		

Job Ref.	110056	Date.	18 August 2025
Comp By.	NF	DWG Name.	Precinct 1 Stage 5
Chk'd By.	MD	Locality.	Flagstone
Local Authority.	Economic Development Queensland		

CLIENT

PEET

Plan of Subdivision
Stage 5Ai, Aii & Bii
Allotment Layout

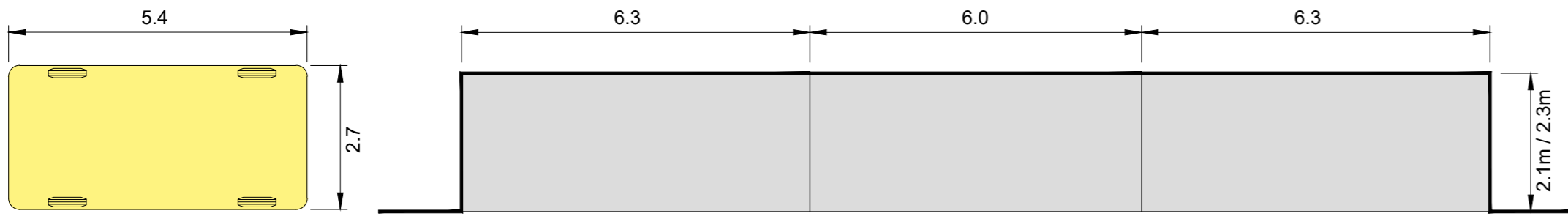
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025

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Parking Bay Diagram
Scale 1 : 100

Typical Indented Parking Bay Arrangement
(In accordance with AS2890)
Scale 1 : 100

- Legend**
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
- Open Space**
- District Recreation Park
 - Corridor Park
 - Conservation Within Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- On-Street Parking**
- Indicative Car Park Location
 - Indicative Driveway

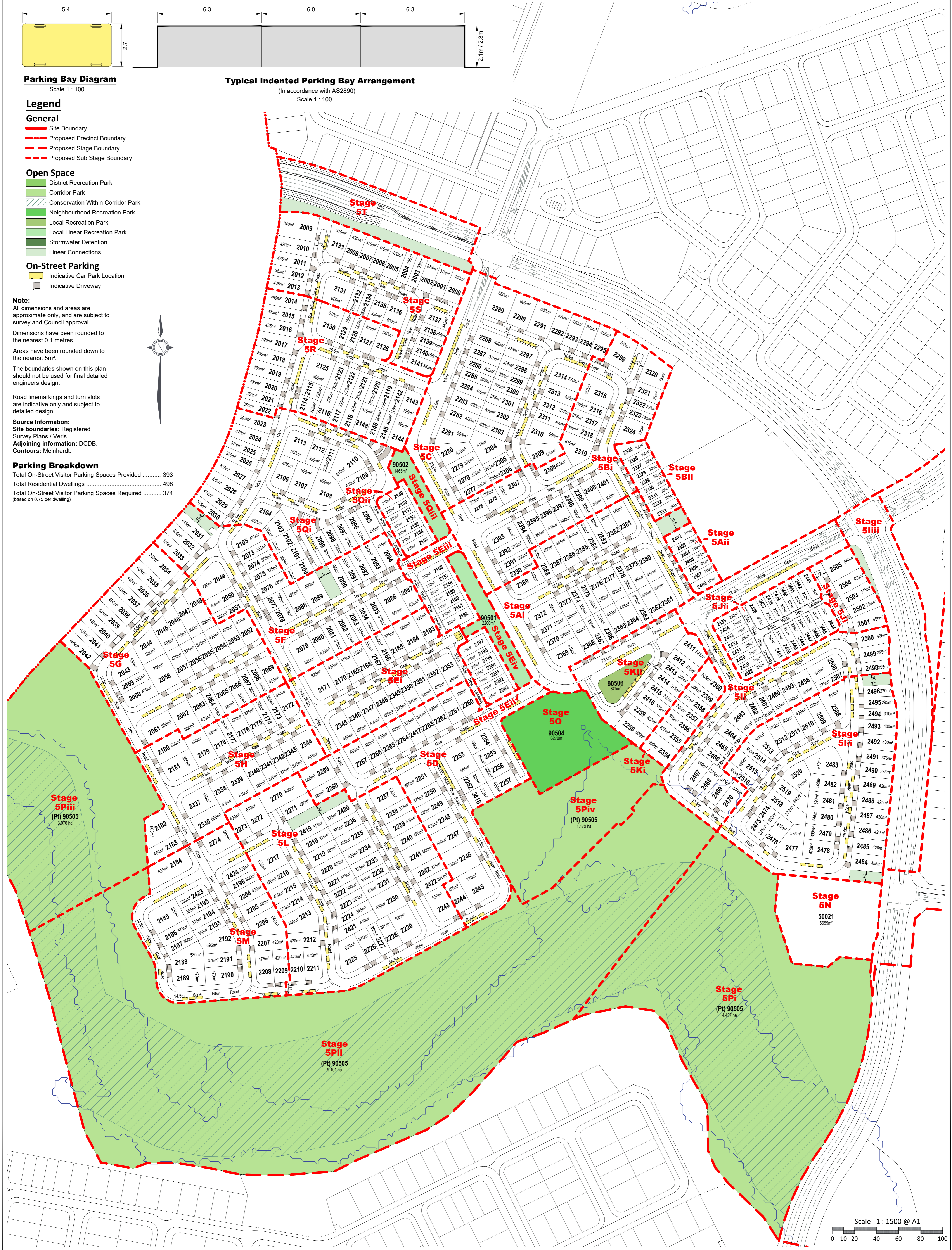
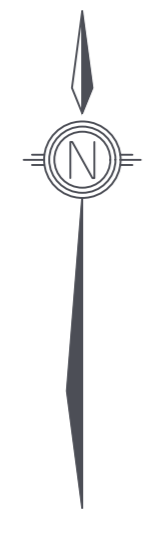
Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Meinhardt.

Parking Breakdown

Total On-Street Visitor Parking Spaces Provided	393
Total Residential Dwellings	498
Total On-Street Visitor Parking Spaces Required	374

(based on 0.75 per dwelling)



Scale 1 : 1500 @ A1
0 10 20 40 60 80 100

REVISION

AH: 25/04/2023 Stage 4 Layout Changes
AI: 08/08/2023 Stage 5 Basin Change
AJ: 12/02/2024 Stage 5R Layout Change
AK: 15/08/2024 Stage 4 Layout Change
AL: 23/08/2024 Stage 4 Layout Change
AM: 27/09/2024 Stage 4 Layout Change
AN: 29/11/2024 Stage 4 Layout Change
AO: 07/02/2025 Site Cover Definition Included
AP: 14/05/2025 Stage 3 and 4 Layout Change
AQ: 04/07/2025 Stage 4 Layout Change
AR: 25/07/2025 Incorporation of Stage 4 PMTs
AS: 18/08/2025 Stage 4 Updates

PROJECT

Flagstone Precinct 1

Job Ref.	110056	Date.	18 August 2025
Comp By.	NF	DWG Name.	Precinct 1 Stage 5
Chk'd By.	MD	Locality.	Flagstone
Local Authority.	Economic Development Queensland		

CLIENT

PEET

Plan of Development
Stage 5 Overall
Parking Management Plan

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/303
Date: 30 October 2025

RPS

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Scale	1 : 1500	Sheet	A1	Plan Ref	110056 - 416	Rev	AS
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