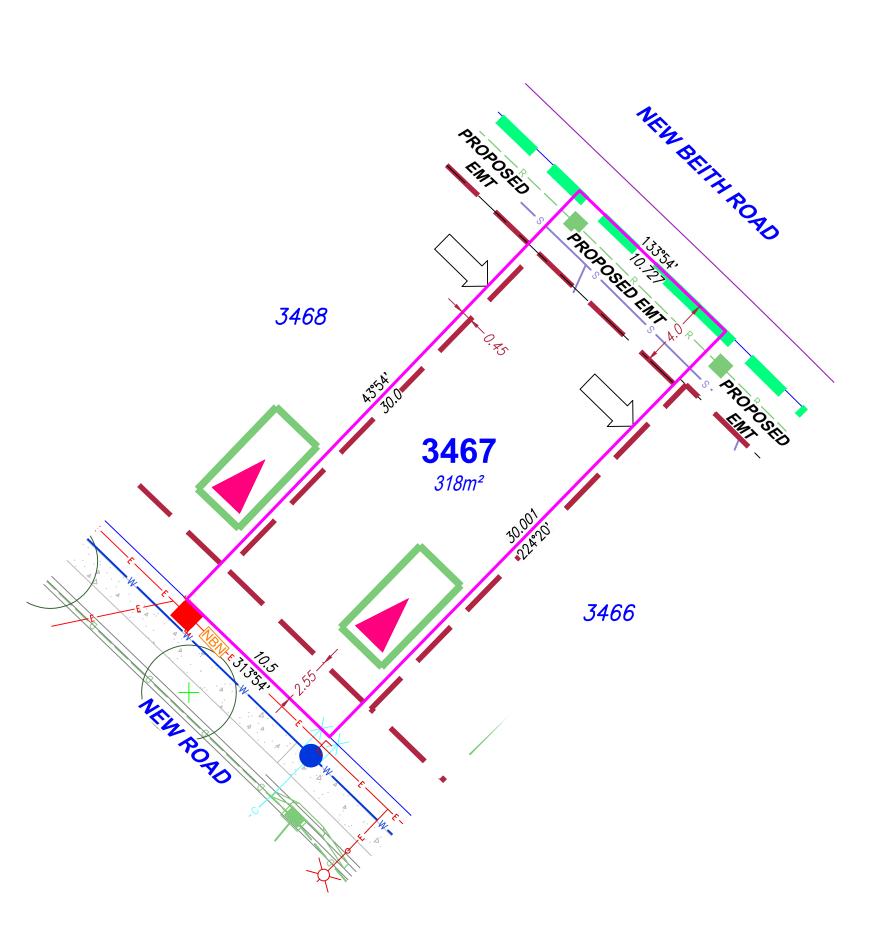


Zero Setback Building Line

Indicative Building Envelope

Indicative Parking Access Location

Bin Pads



# SITE PLAN

# For Proposed Lot 3467 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 & USL RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

#### Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

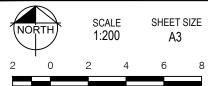
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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| DRAFT                  | Draft plans                  | Draft plans for review |            | 09/10/25 |
| ORIG                   | Issue to                     | Issue to Client        |            | 10/10/25 |
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Date:

09/10/2025





ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1 114 Brisbane Street Ipswich Qld 4305

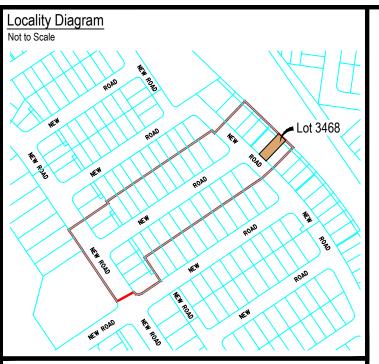
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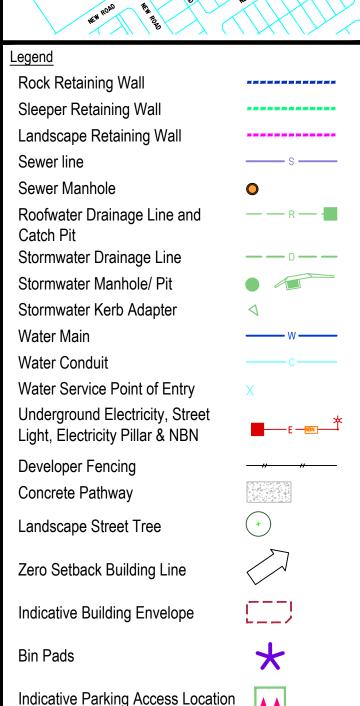
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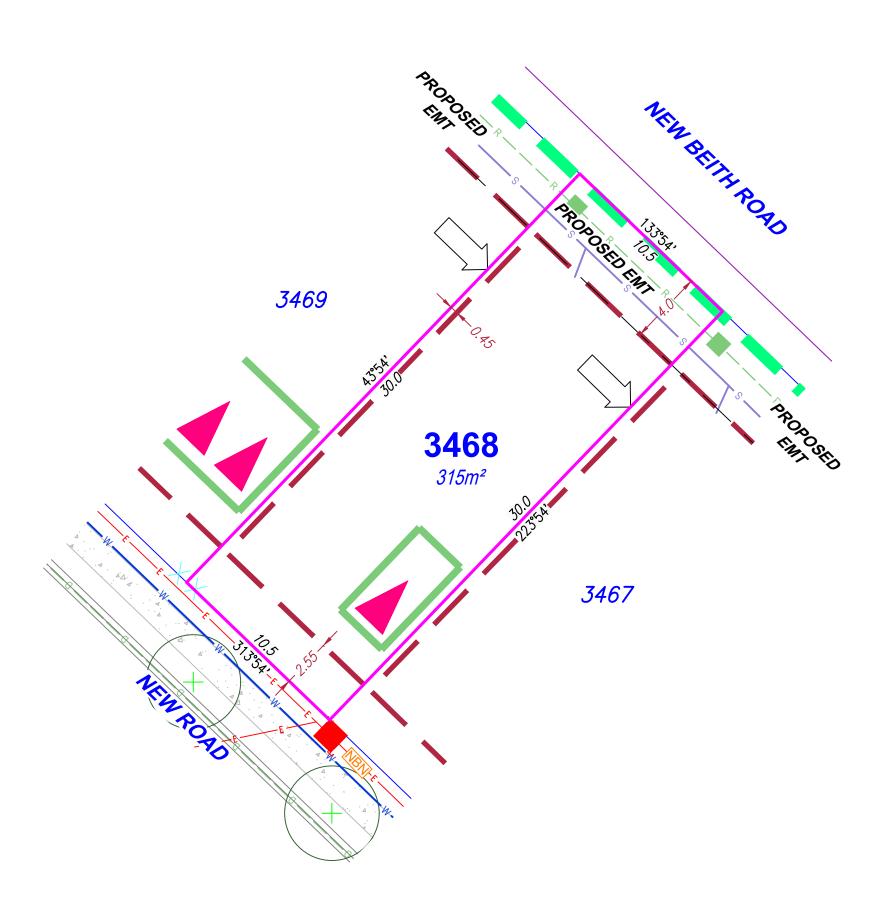
**T**+61 7 3437 2000 W rpsgroup.com

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SHEET PROJECT PLAN AMD. TLX370977 | 14/3467 | ORIG | 1 of 1







# For Proposed Lot 3468 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 & USL RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

#### Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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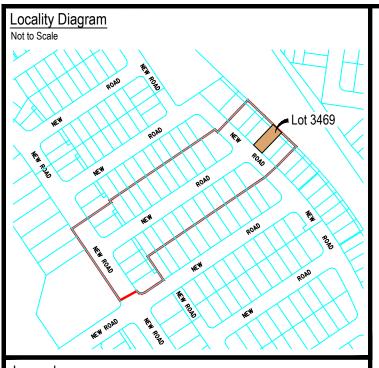
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

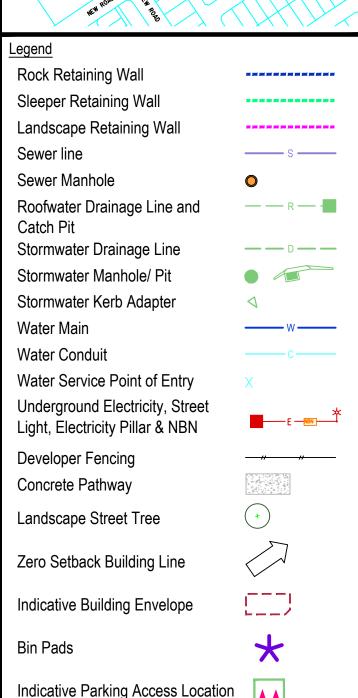
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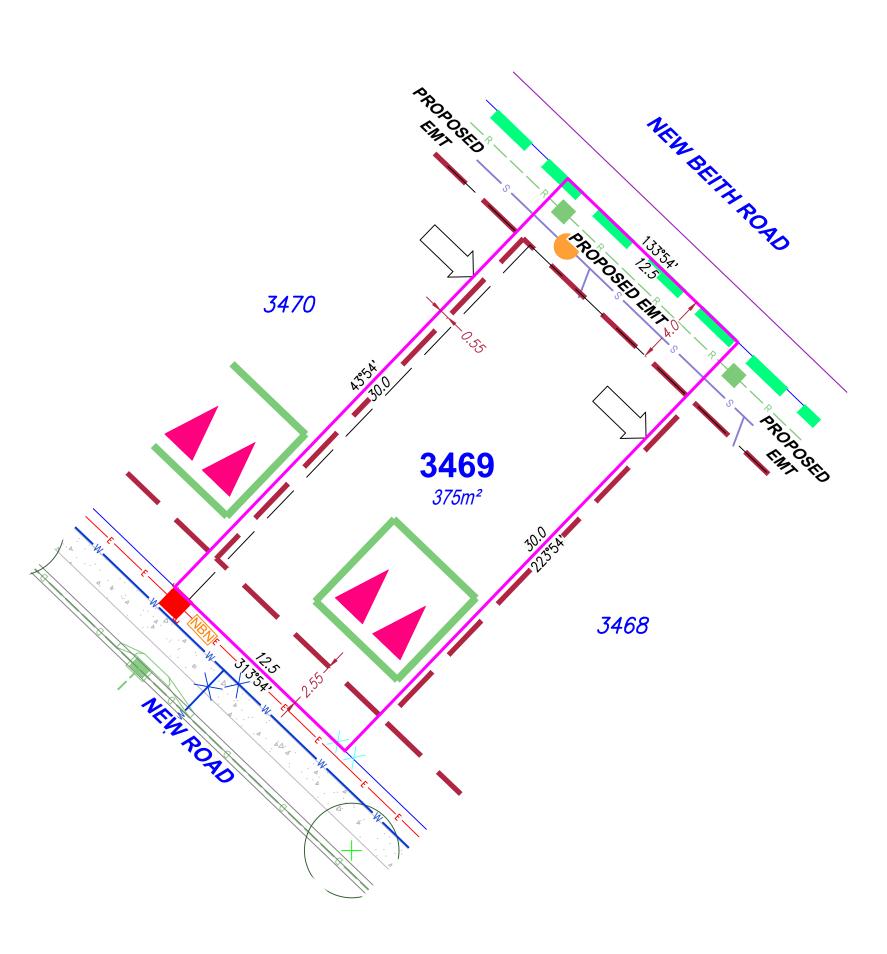
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DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3468 | ORIG | 1 of 1







# For Proposed Lot 3469 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 & USL RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

#### Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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ACN 117 883 173 ABN 97 117 883 173

114 Brisbane Street Ipswich Qld 4305 **F**+61 7 3434 2009

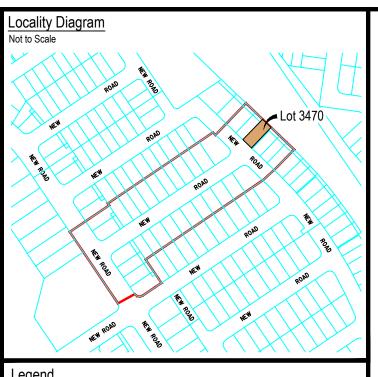
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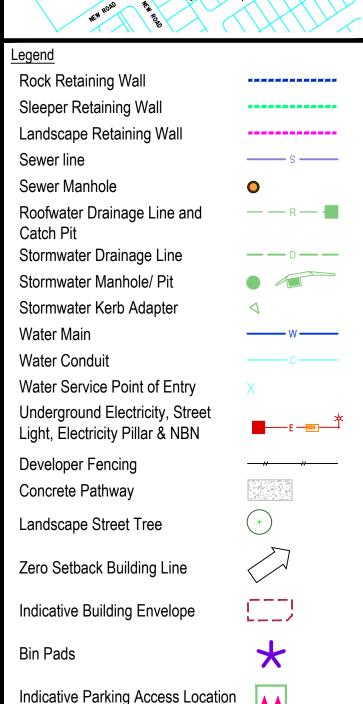
**T**+61 7 3437 2000 W rpsgroup.com

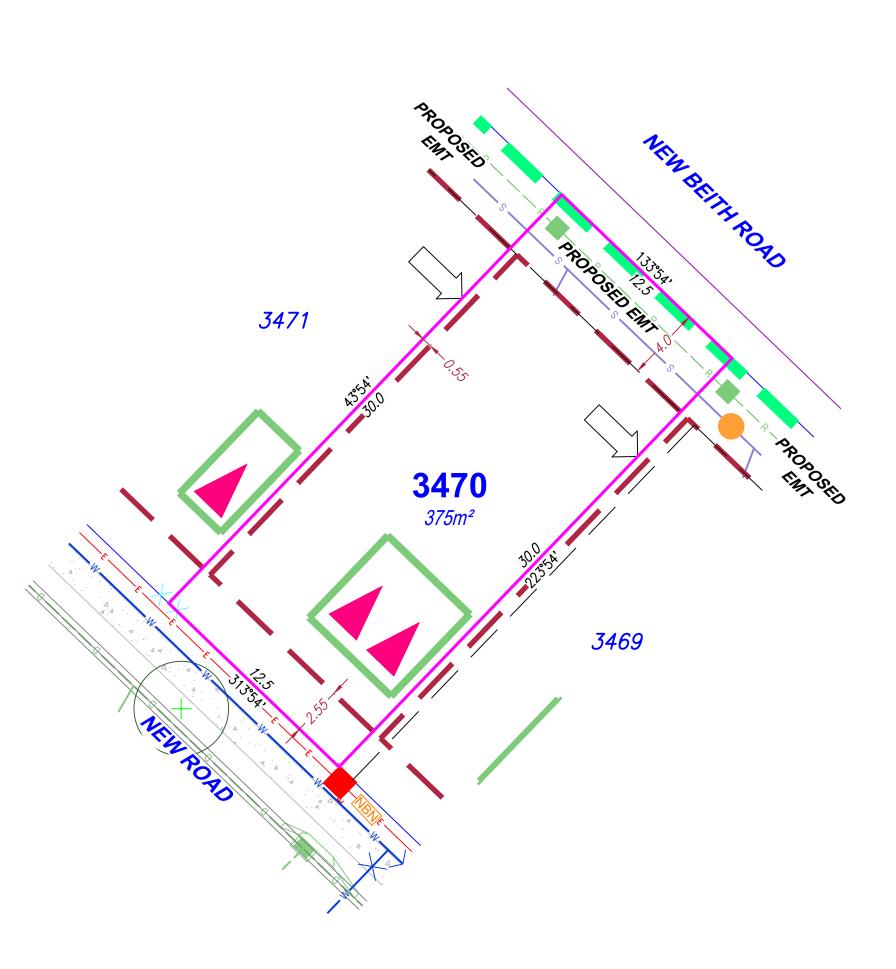
Suite A.02, Level 1

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AMD. SHEET PLAN 14/3469 ORIG 1 of 1 TLX370977







# For Proposed Lot 3470 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 & USL RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

#### Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

| Drawn: | GBF         | Date:       | 09/10/2025       |      |
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114 Brisbane Street Ipswich Qld 4305

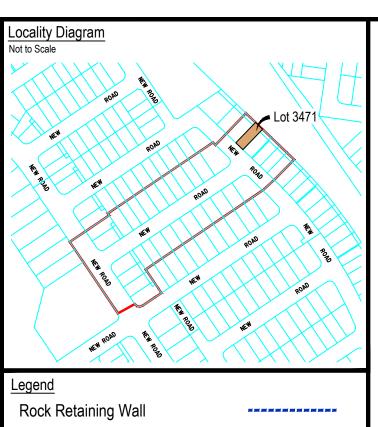
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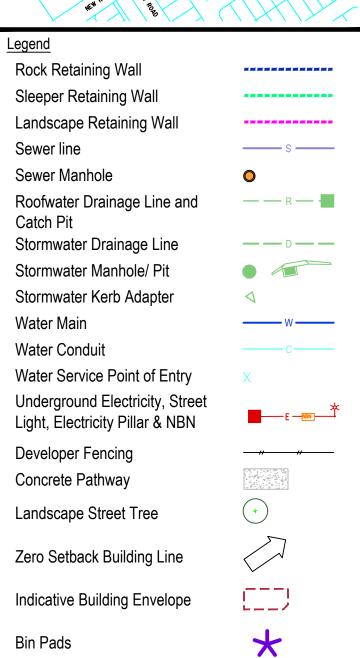
**T**+61 7 3437 2000 **F**+61 7 3434 2009 W rpsgroup.com

Suite A.02, Level 1

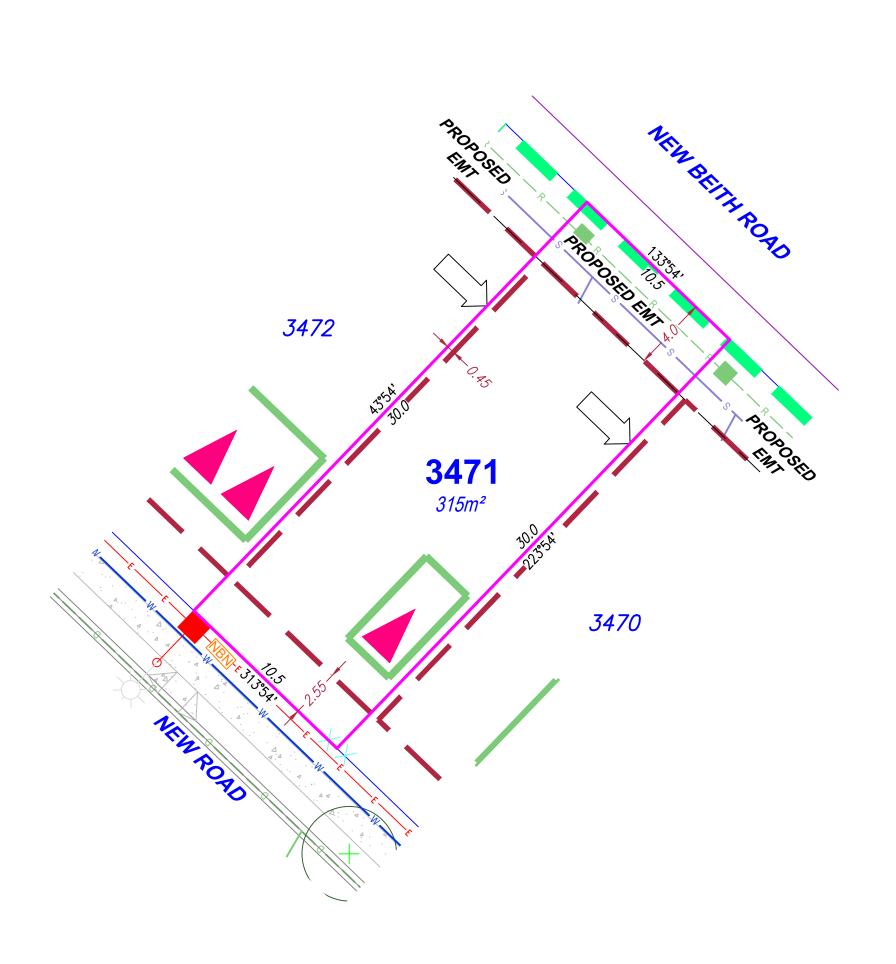
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AMD. SHEET PLAN TLX370977 14/3470 ORIG 1 of 1





Indicative Parking Access Location



# SITE PLAN

For Proposed Lot 3471 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

#### Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

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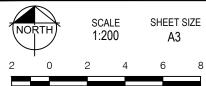
Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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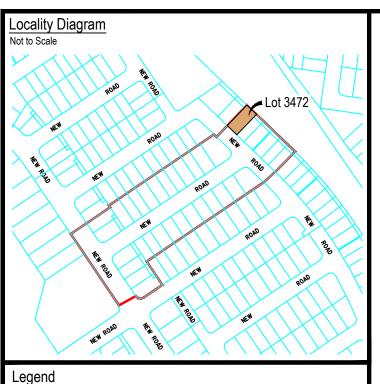
**T**+61 7 3437 2000 **F**+61 7 3434 2009 **W** rpsgroup.com

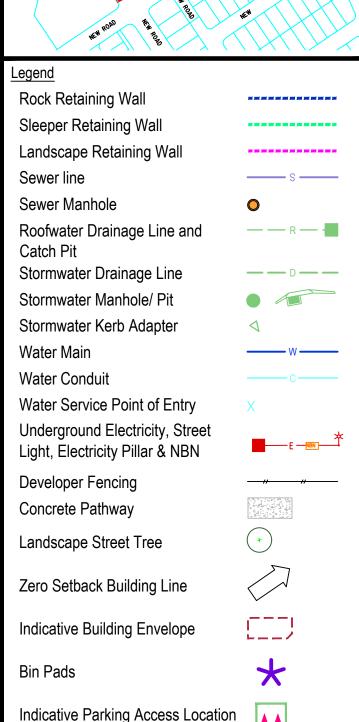
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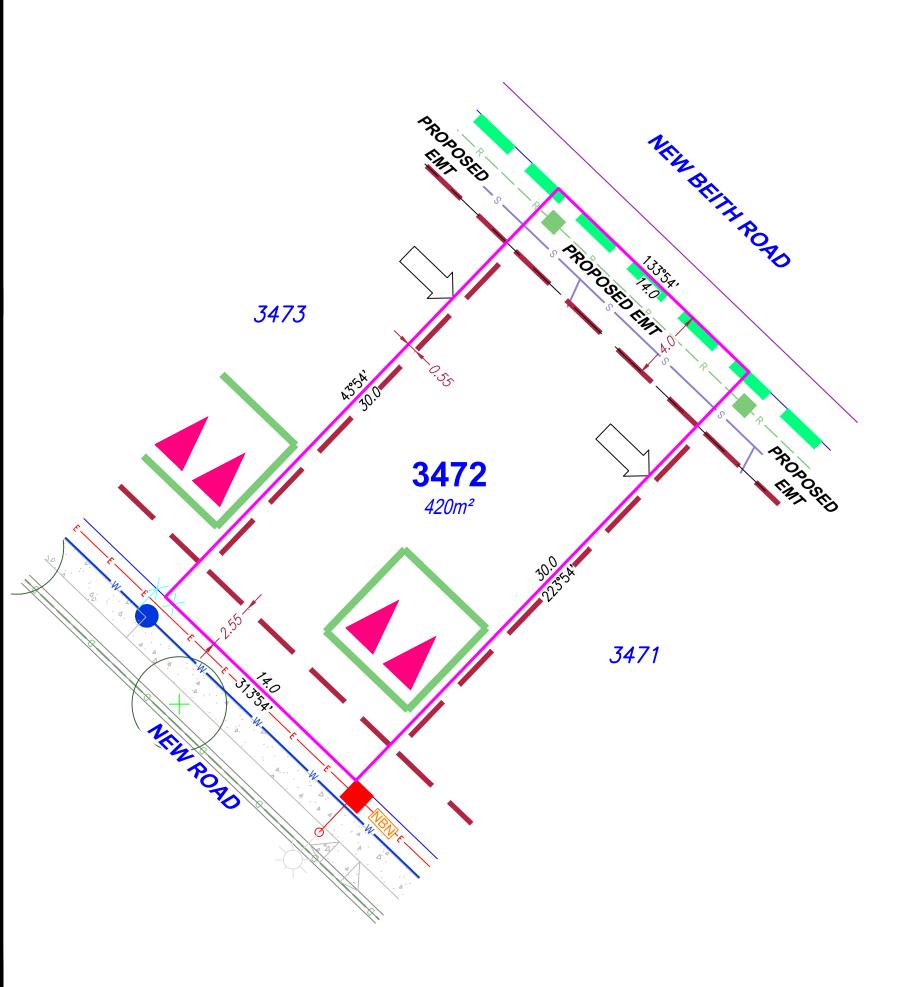
This plan has been prepared by RPS
Australia East Pty Ltd (Cadastral
Surveyor) to satisfy the requirements
of the Land Sales Act 1984.

DWG. TLX370977-014-Stg10F-Site

PROJECT PLAN AMD. SHEET TLX370977 14/3471 ORIG 1 of 1







For Proposed Lot 3472 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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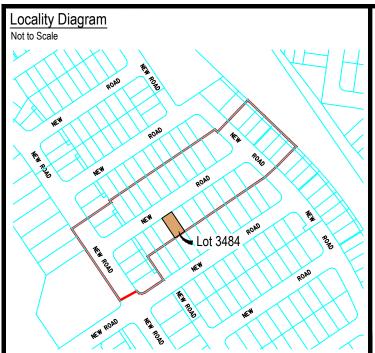
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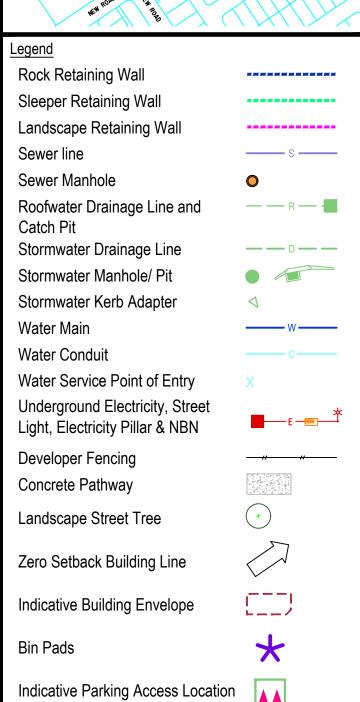
**T**+61 7 3437 2000 **F**+61 7 3434 2009

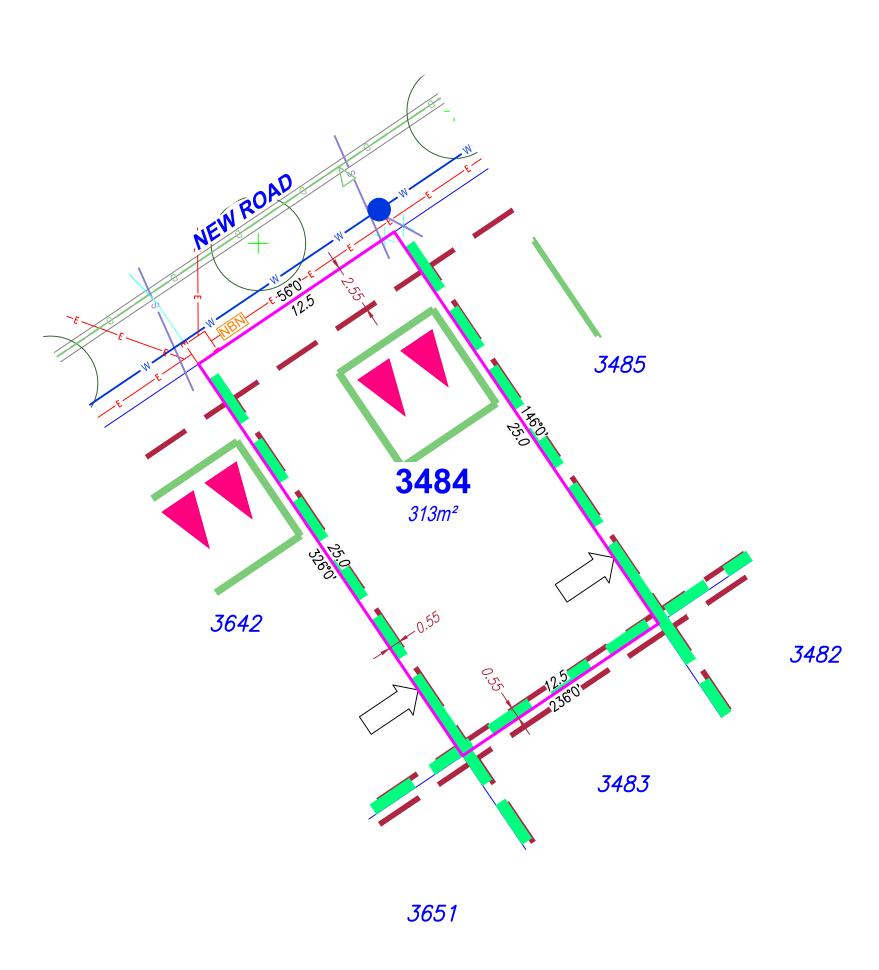
Suite A.02, Level 1

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3472 | ORIG | 1 of 1







For Proposed Lot 3484 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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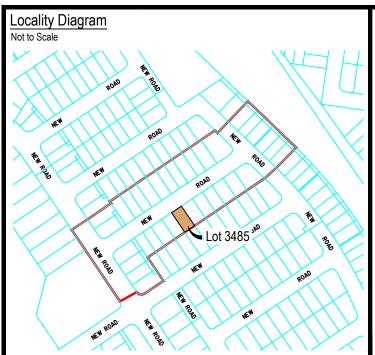
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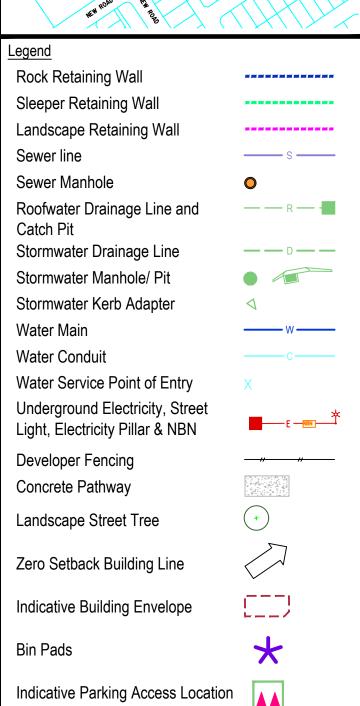
**T**+61 7 3437 2000

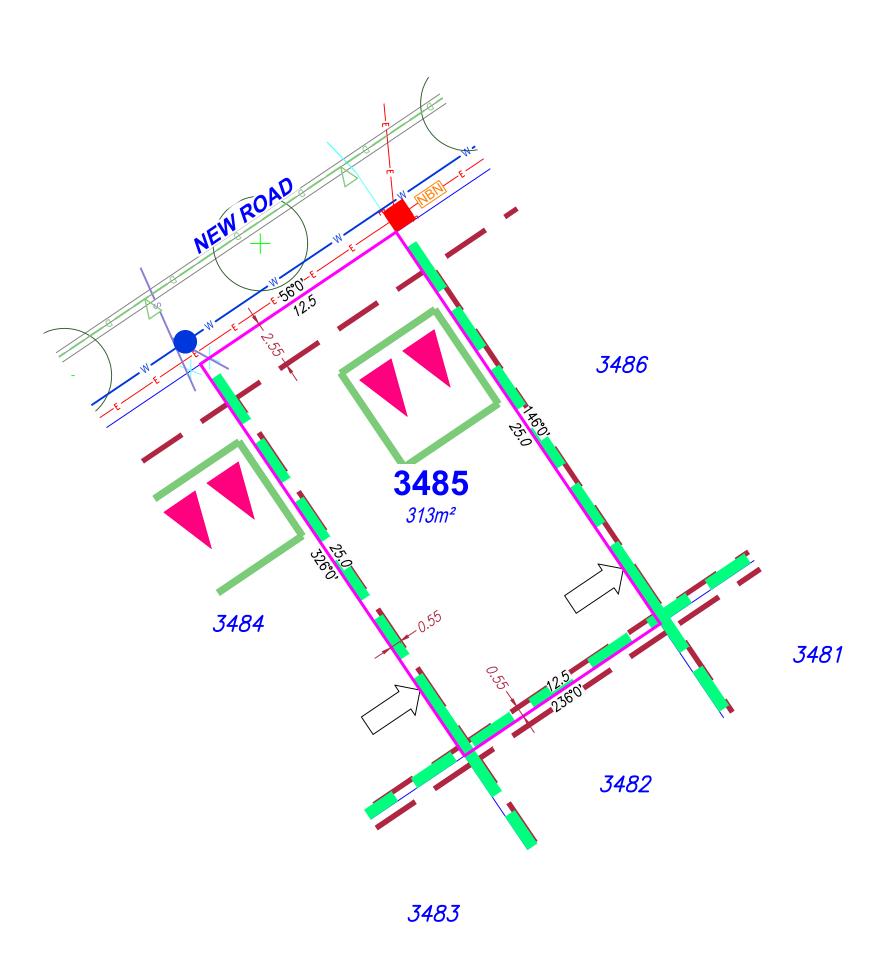
**F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3484 | ORIG | 1 of 1







For Proposed Lot 3485 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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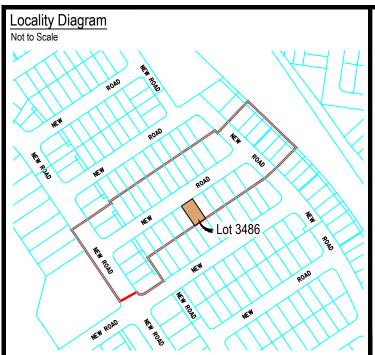


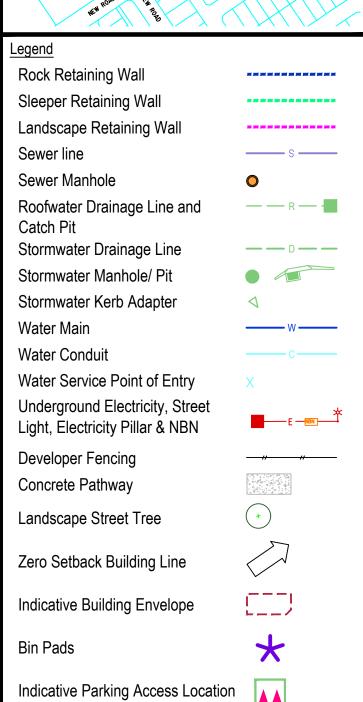
ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

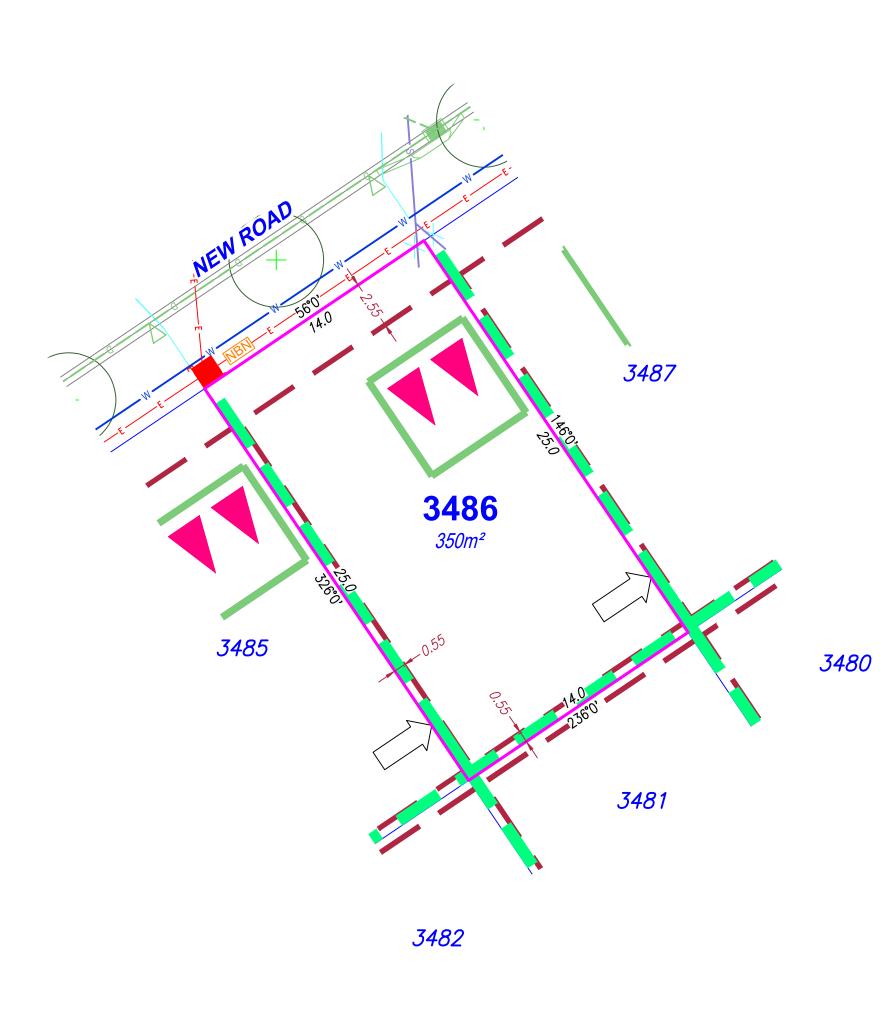
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3485 | ORIG | 1 of 1







For Proposed Lot 3486 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

#### Votes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

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09/10/2025

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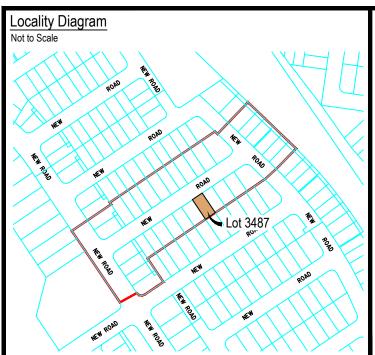
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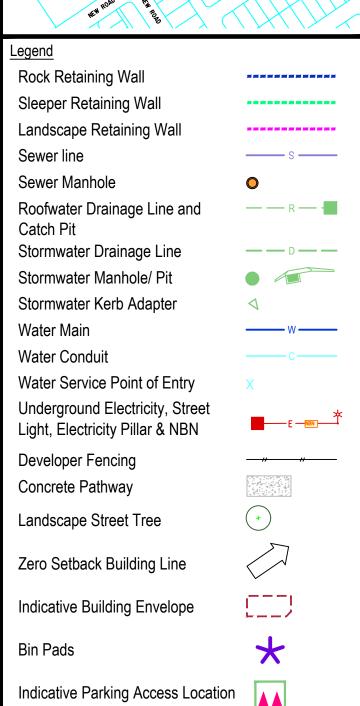
T+61 7 3437 2000 F+61 7 3434 2009 W rpsgroup.com

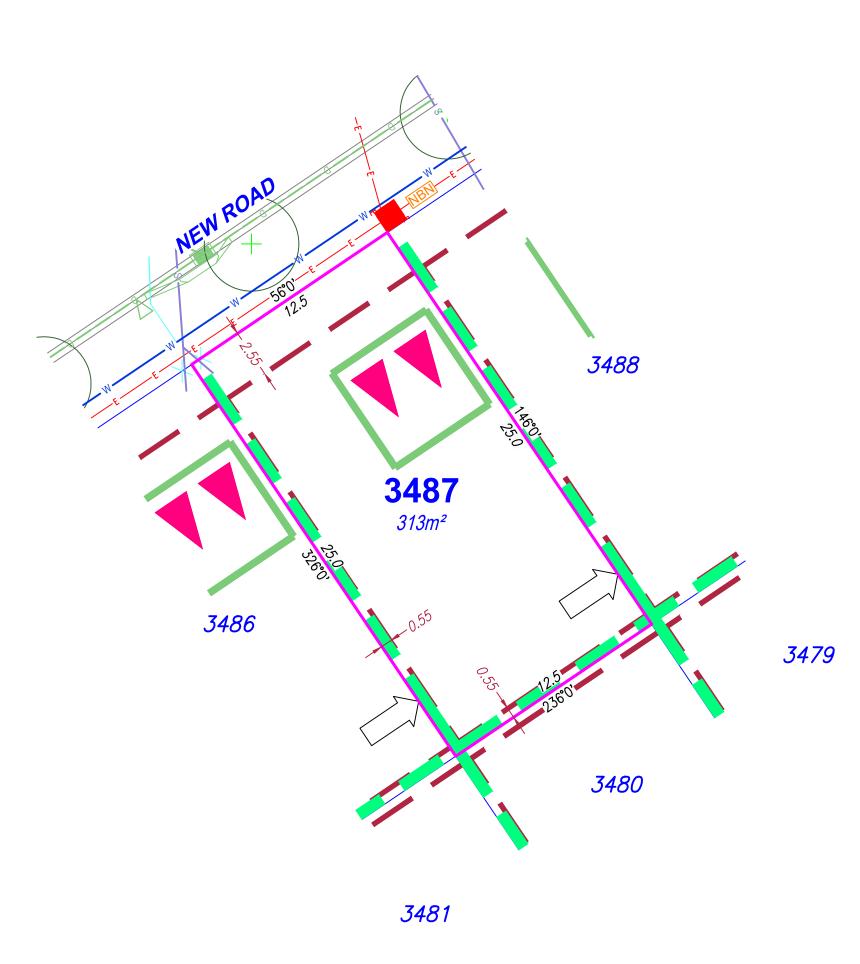
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DWG. TLX370977-014-Stg10F-Site

PROJECT PLAN AMD. SHEET TLX370977 14/3486 ORIG 1 of 1







For Proposed Lot 3487 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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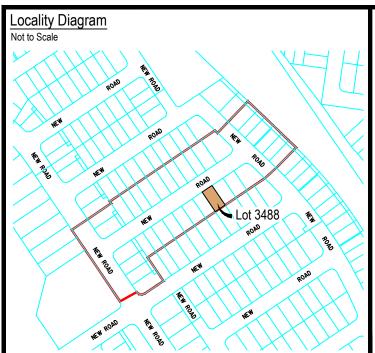


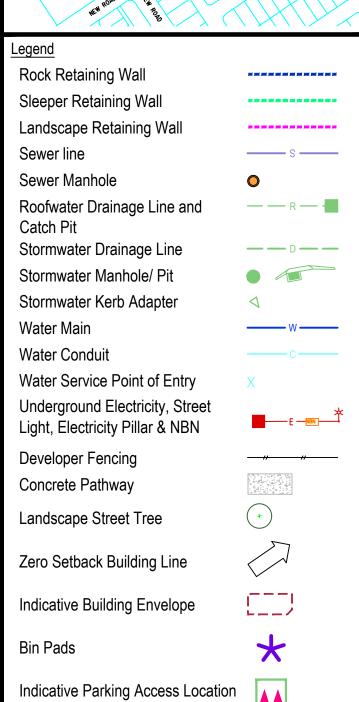
ACN 117 883 173 ABN 97 117 883 173

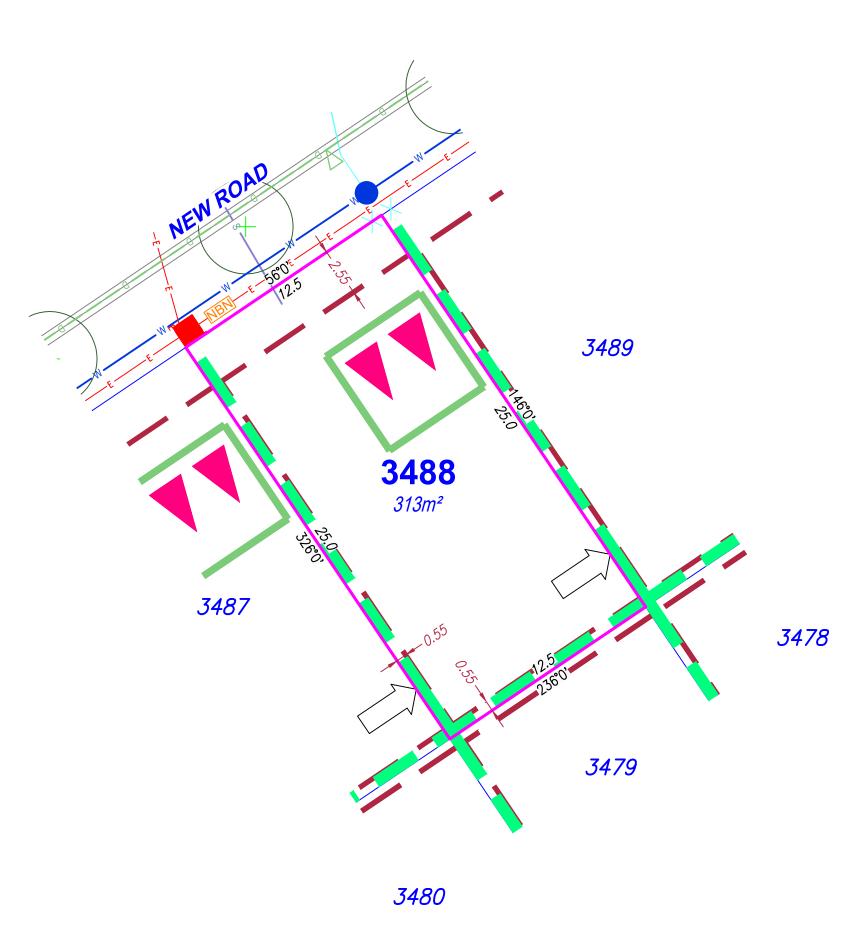
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3487 | ORIG | 1 of 1







For Proposed Lot 3488 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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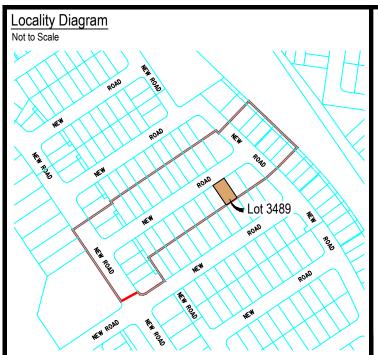
ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

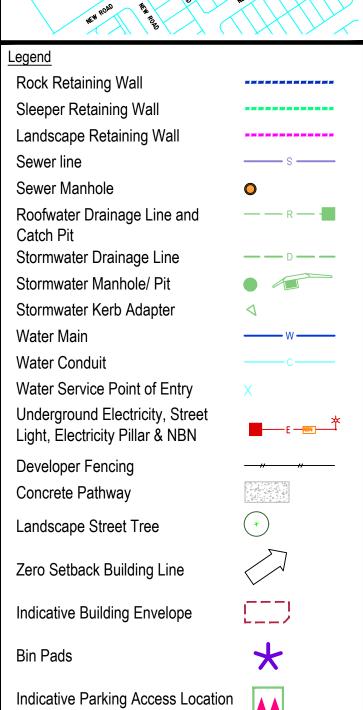
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000

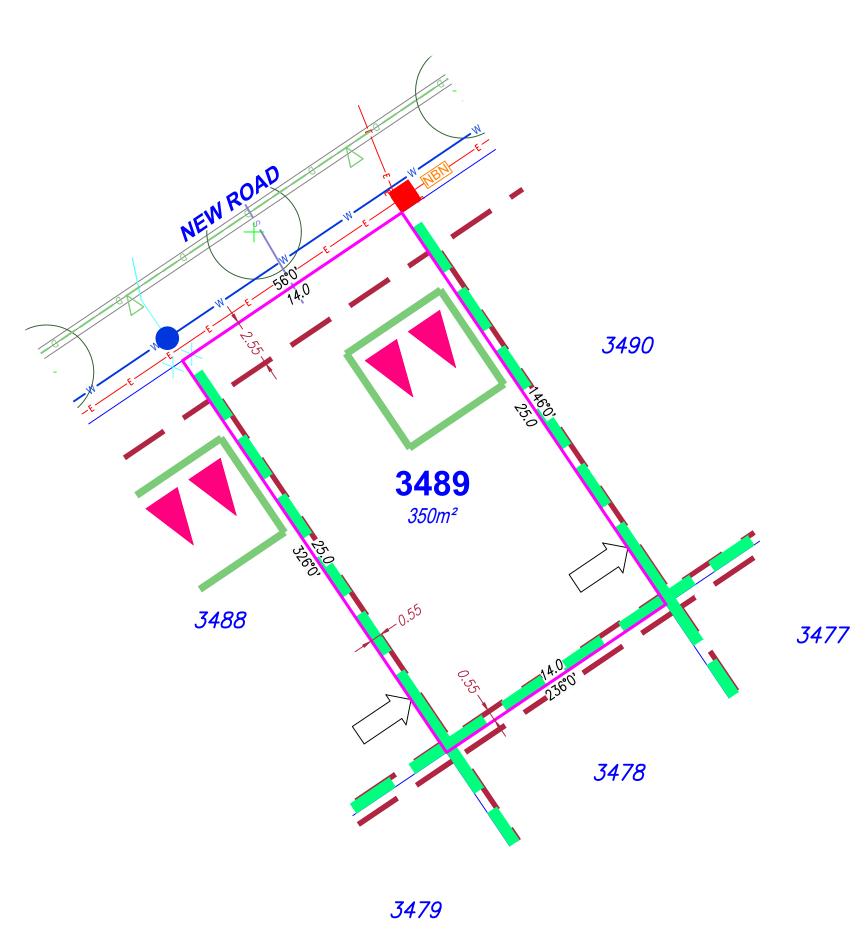
**F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3488 | ORIG | 1 of 1







For Proposed Lot 3489 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Date:

09/10/2025

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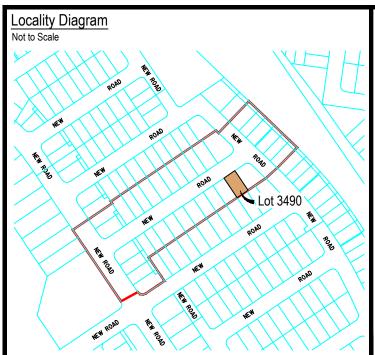


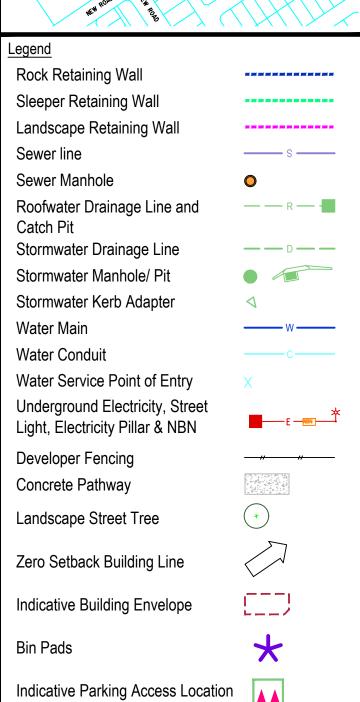
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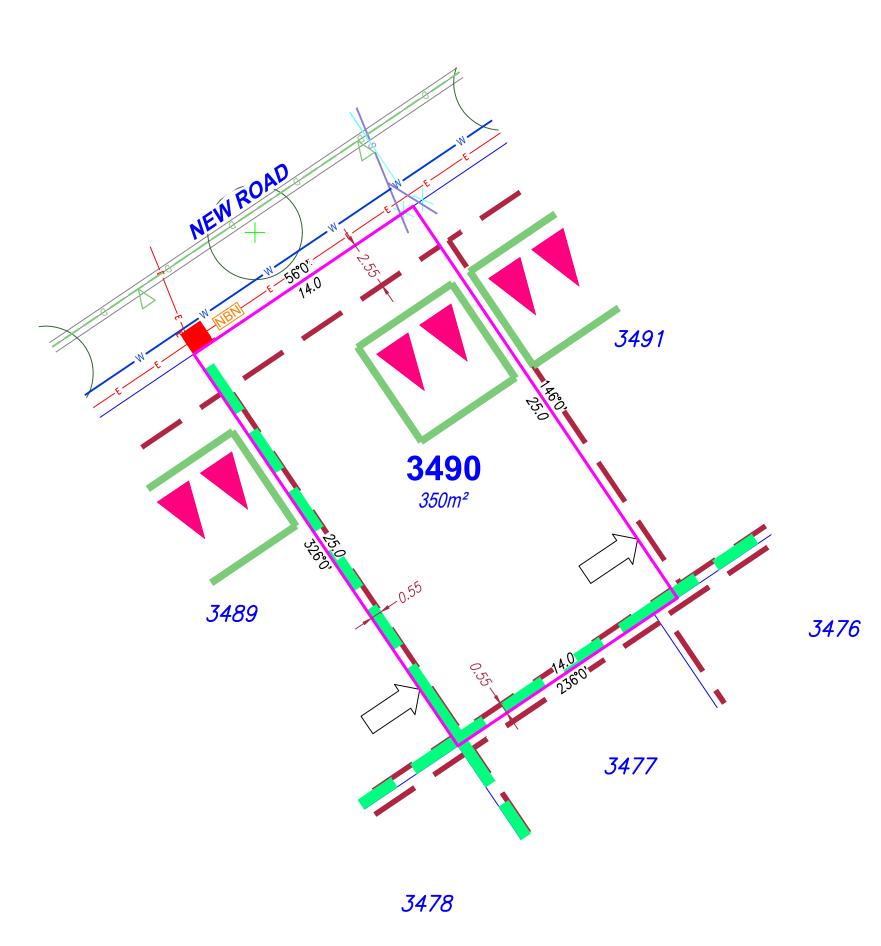
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3489 | ORIG | 1 of 1







For Proposed Lot 3490 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

#### Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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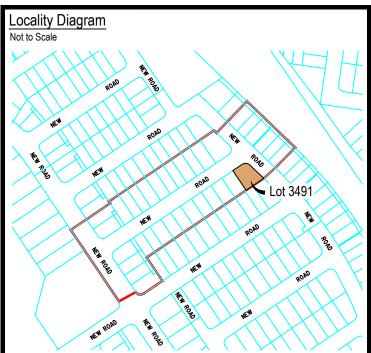
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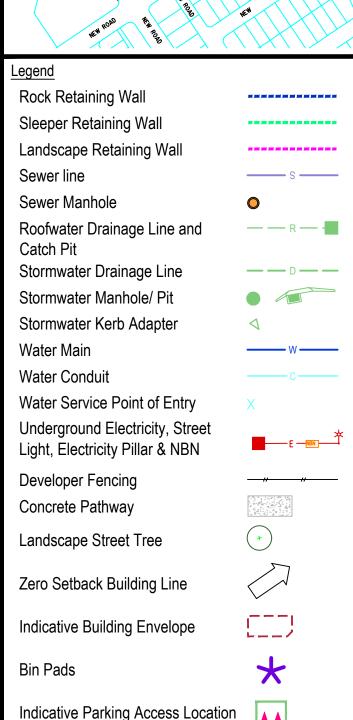
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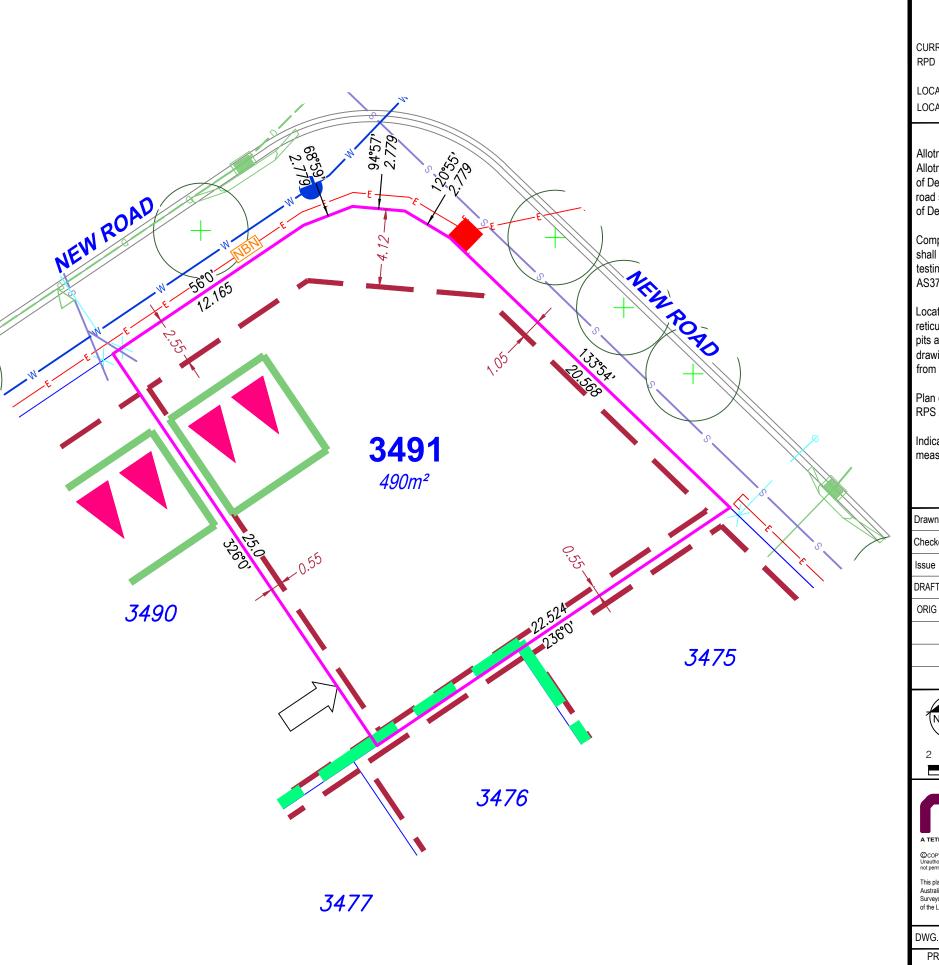
**T**+61 7 3437 2000 **F**+61 7 3434 2009 **W** rpsgroup.com

DWG. TLX370977-014-Stg10F-Site

PROJECT PLAN AMD. SHEET TLX370977 14/3490 ORIG 1 of 1







For Proposed Lot 3491 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

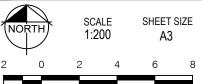
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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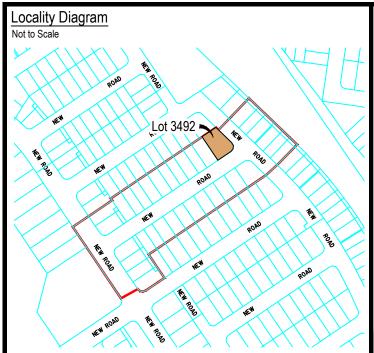
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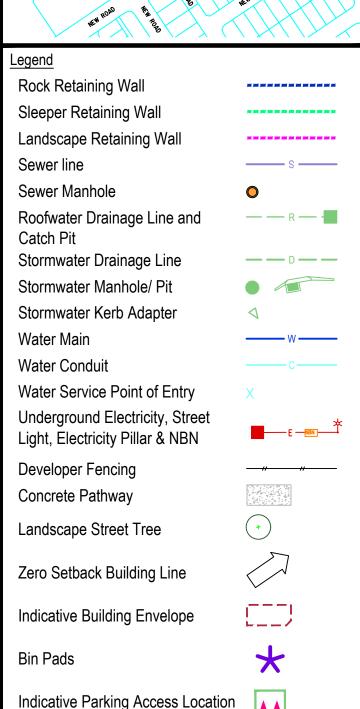
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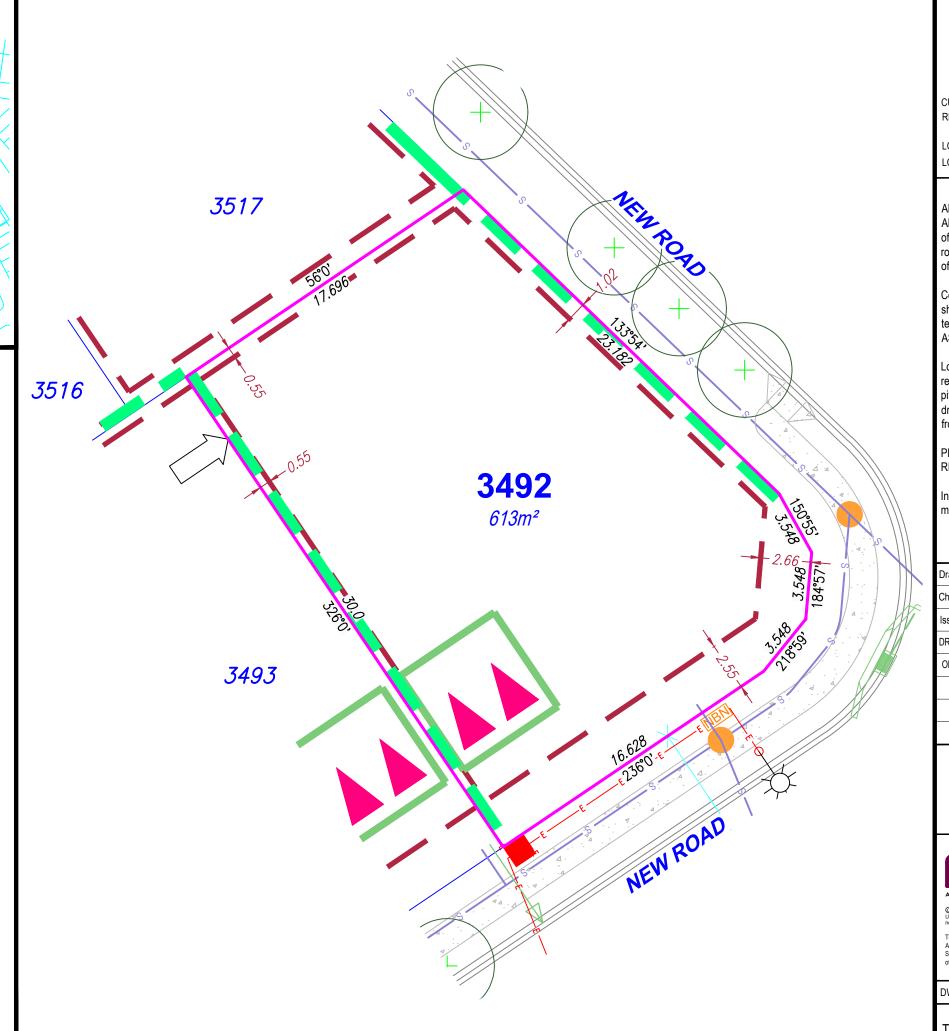
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3491 | ORIG | 1 of 1







For Proposed Lot 3492 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

#### Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

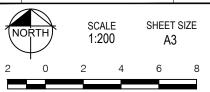
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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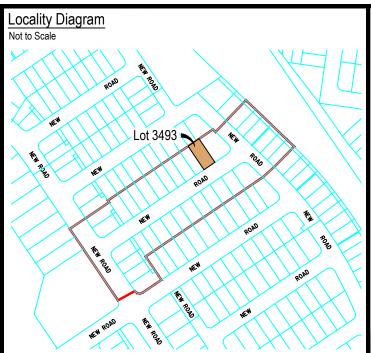
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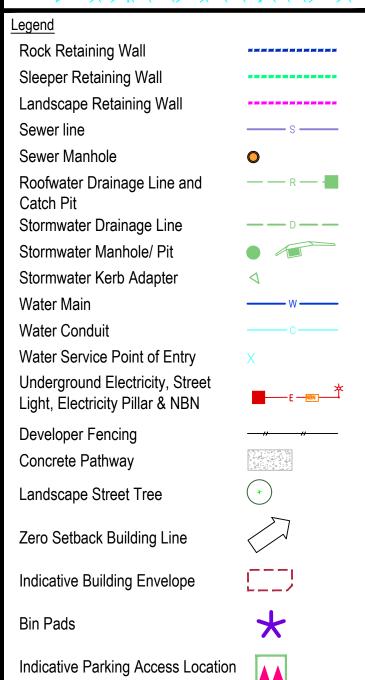
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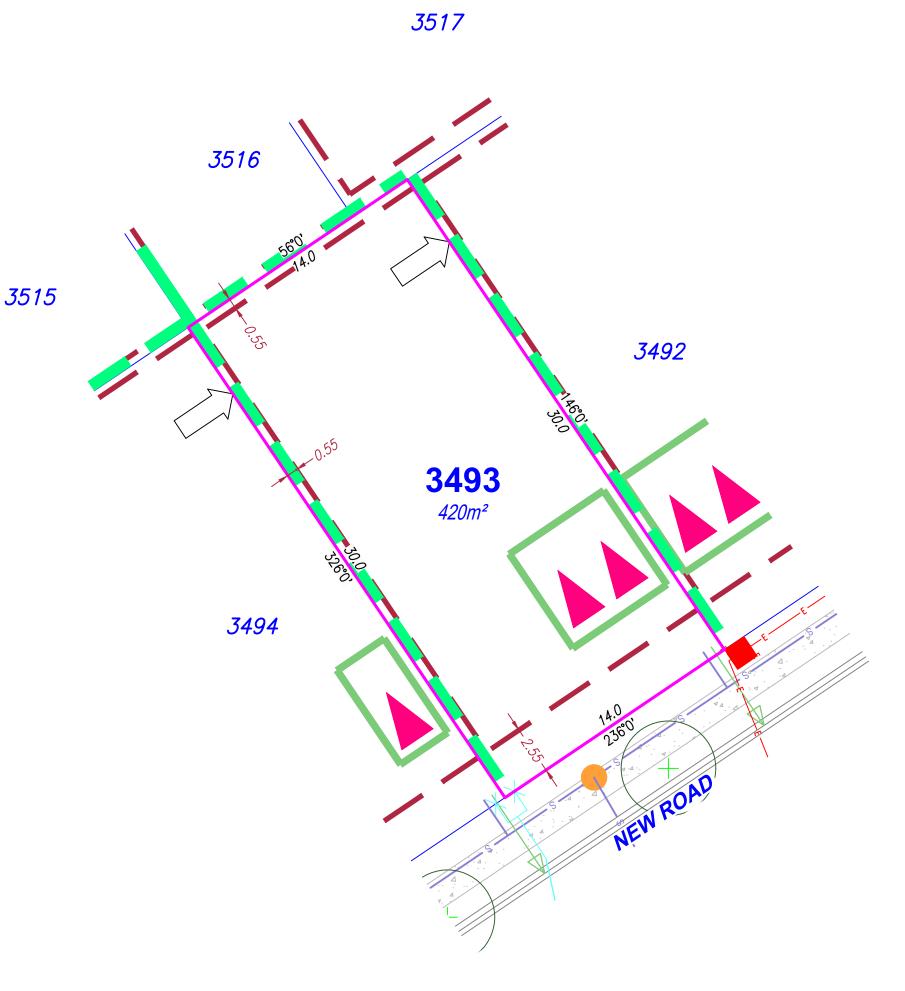
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PROJECT PLAN AMD. SHEET TLX370977 14/3492 ORIG 1 of 1







For Proposed Lot 3493 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

#### Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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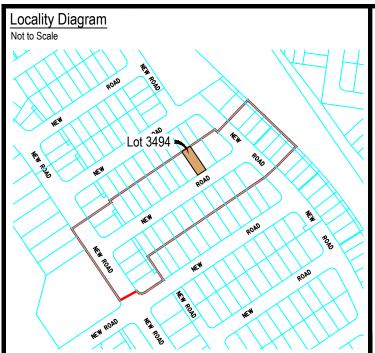
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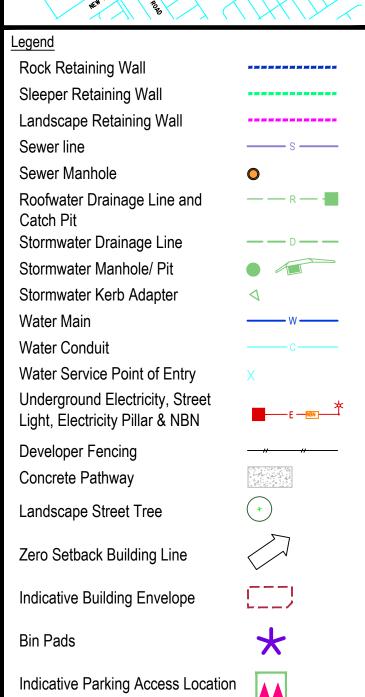
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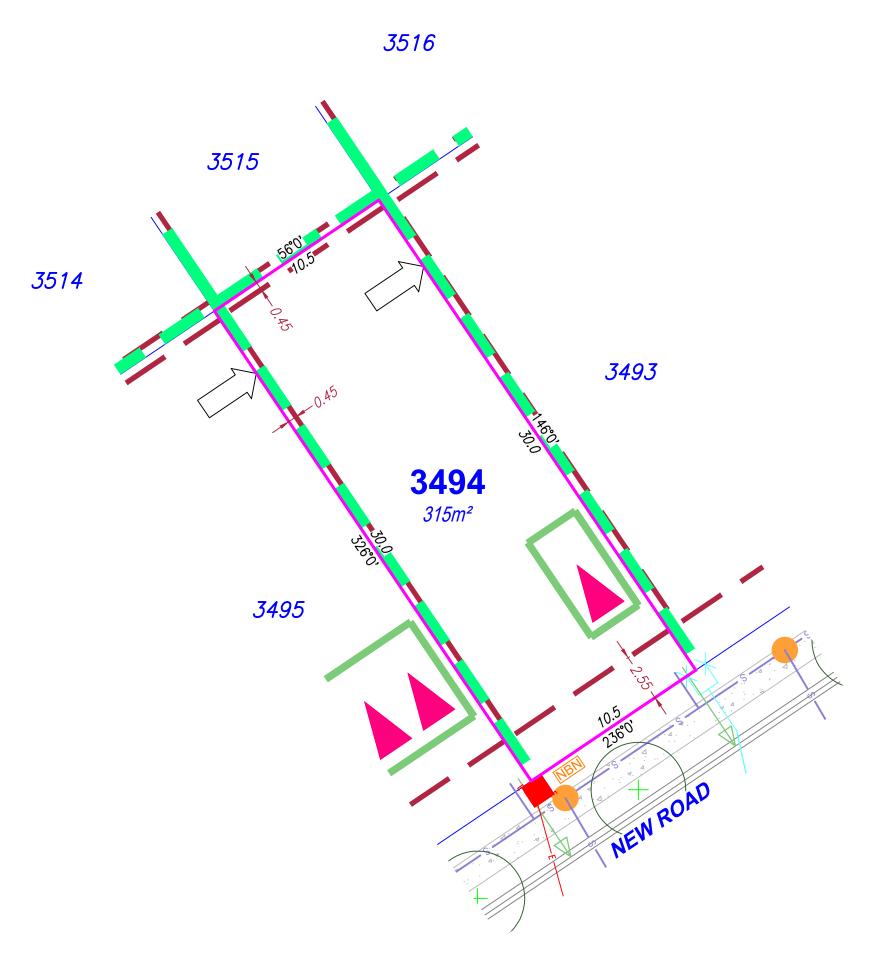
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 14/3493
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For Proposed Lot 3494 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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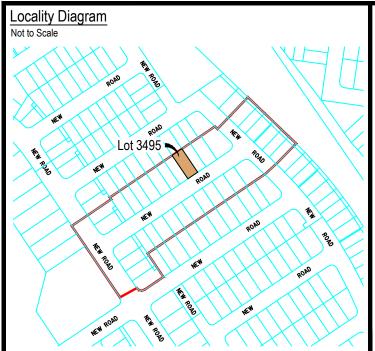


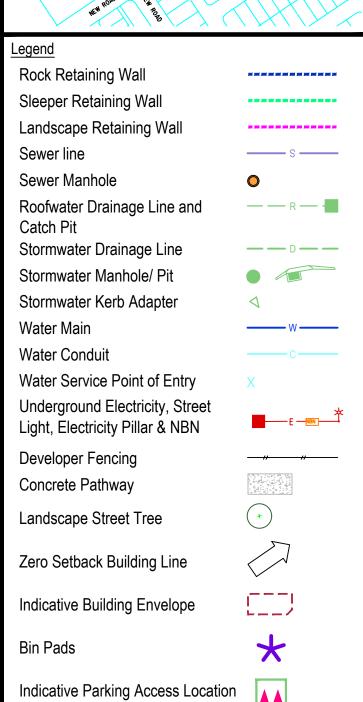
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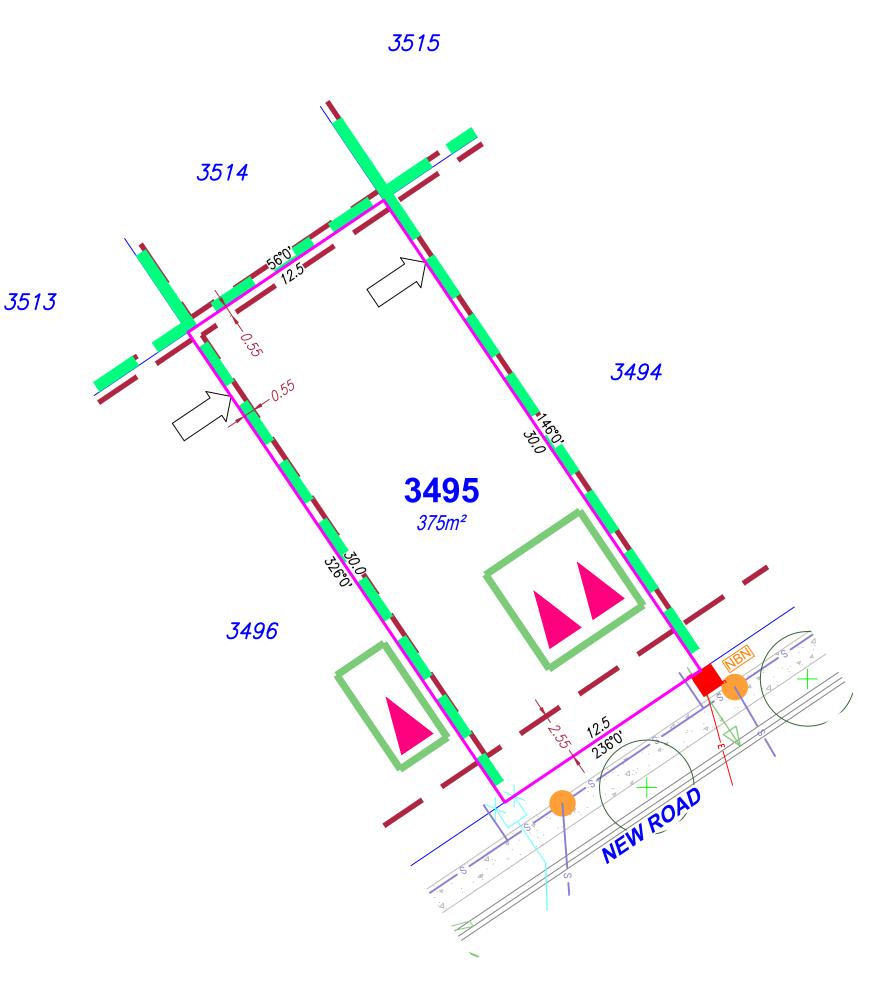
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3494 | ORIG | 1 of 1







For Proposed Lot 3495 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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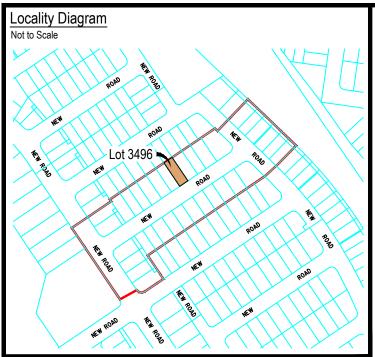
ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

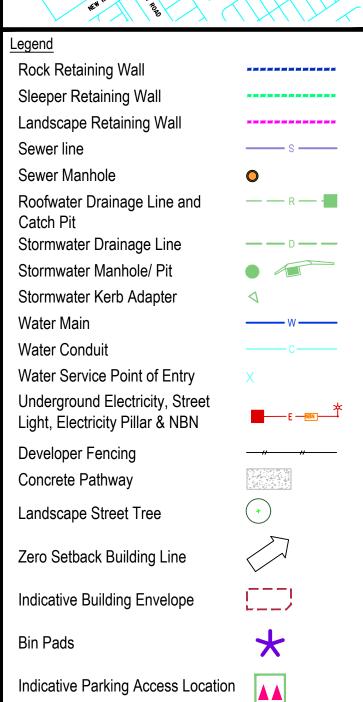
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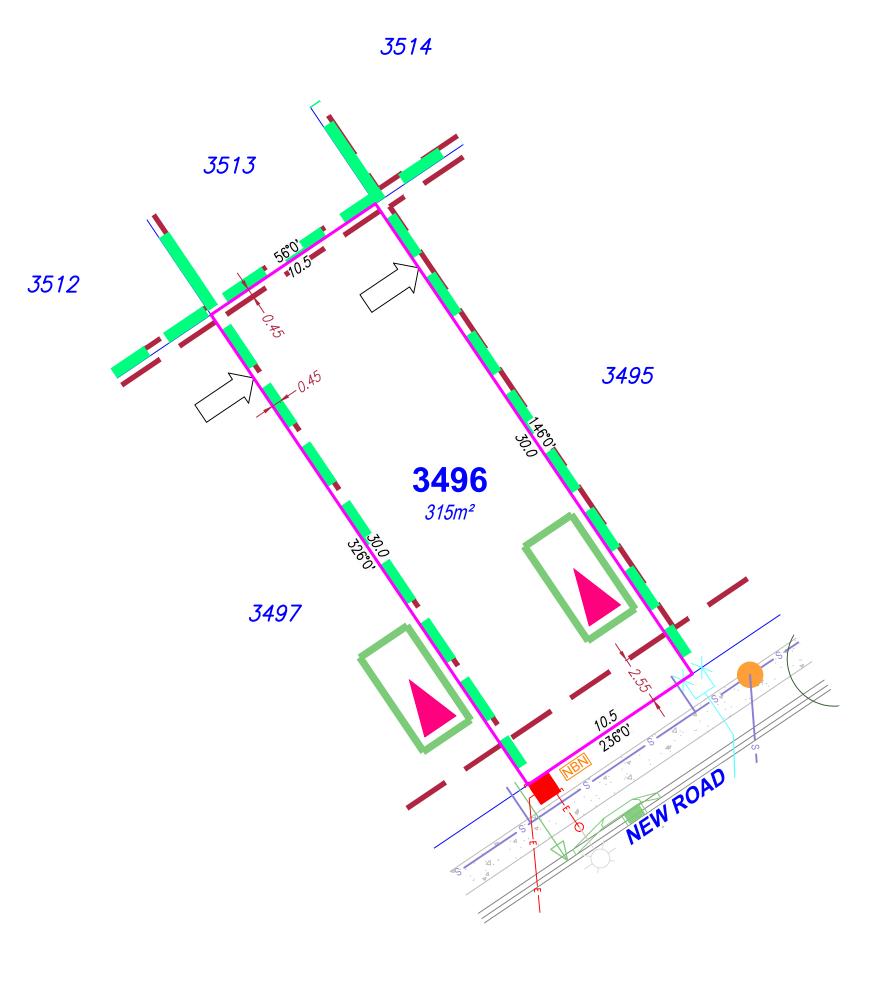
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DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3495 | ORIG | 1 of 1







For Proposed Lot 3496 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

#### Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
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Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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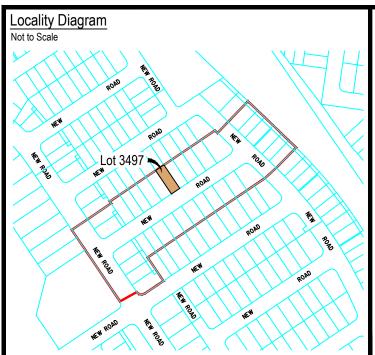
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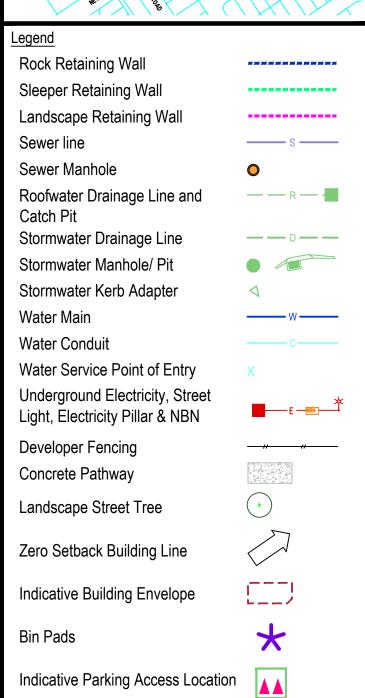
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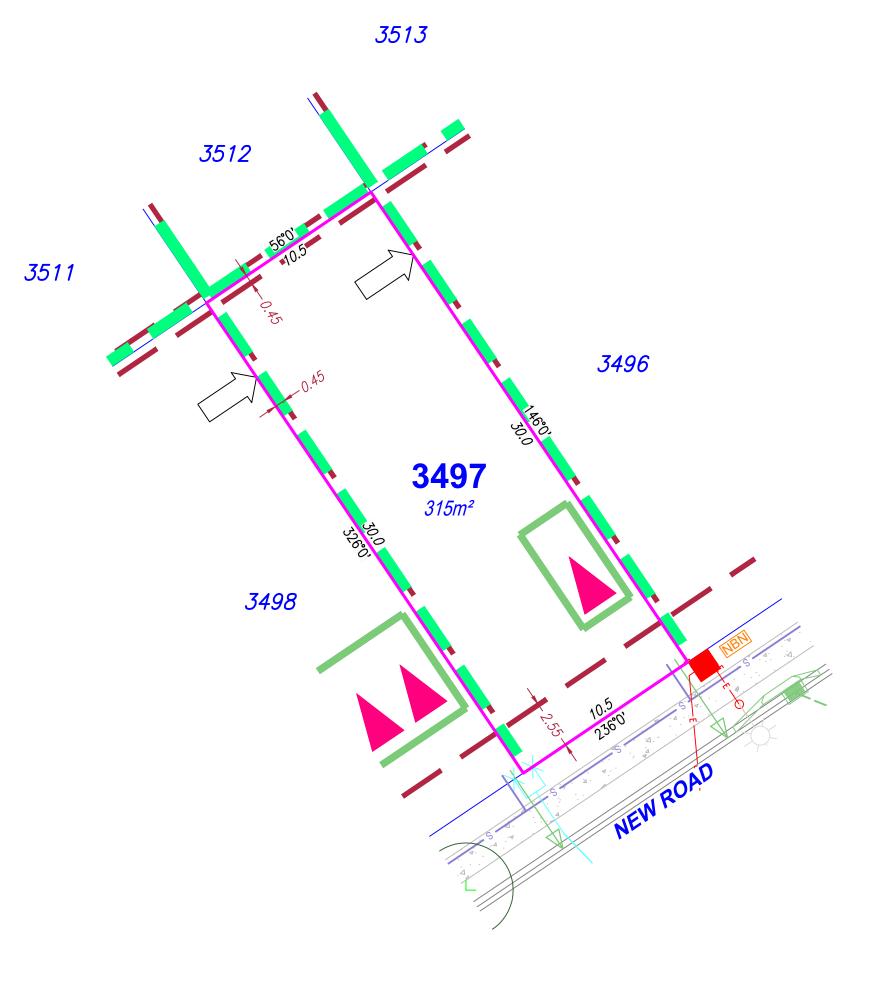
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PROJECT PLAN AMD. SHEET TLX370977 14/3496 ORIG 1 of 1







For Proposed Lot 3497 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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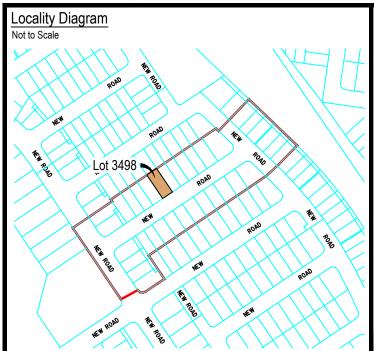


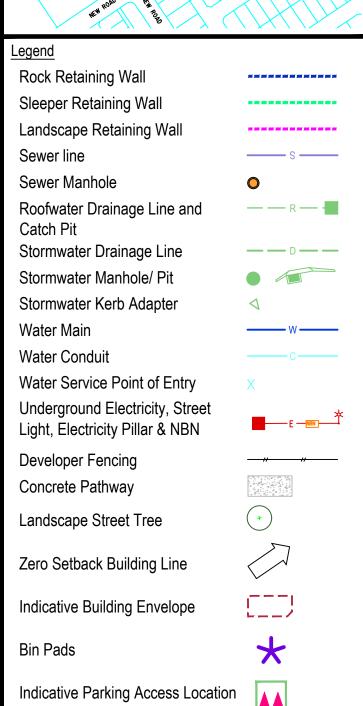
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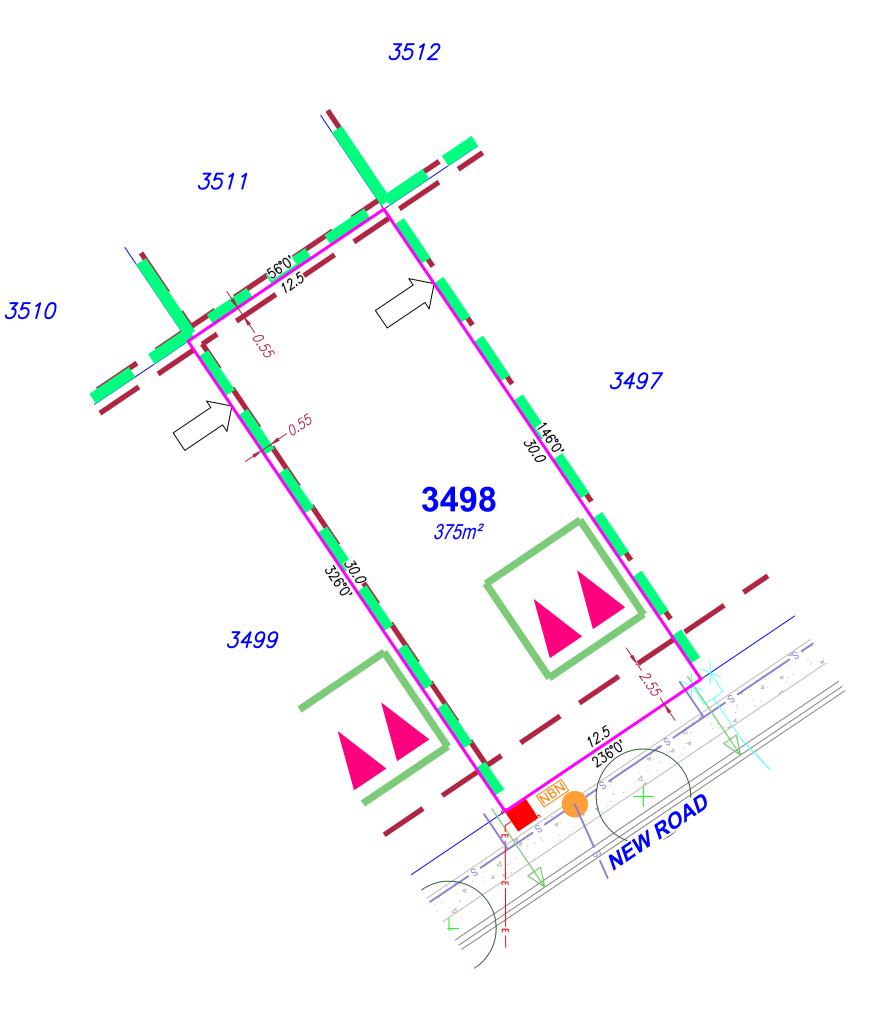
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

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PROJECT PLAN AMD. SHEET TLX370977 14/3497 ORIG 1 of 1







For Proposed Lot 3498 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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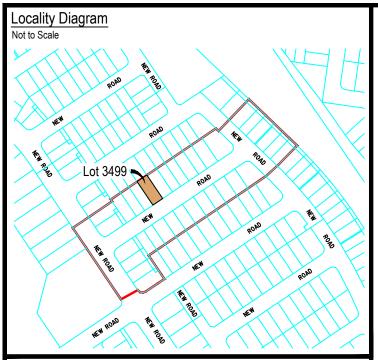
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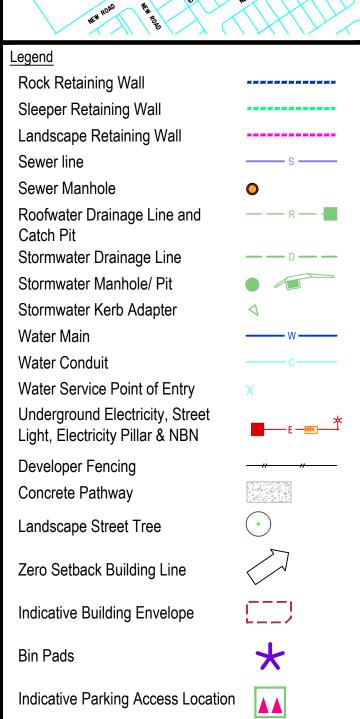
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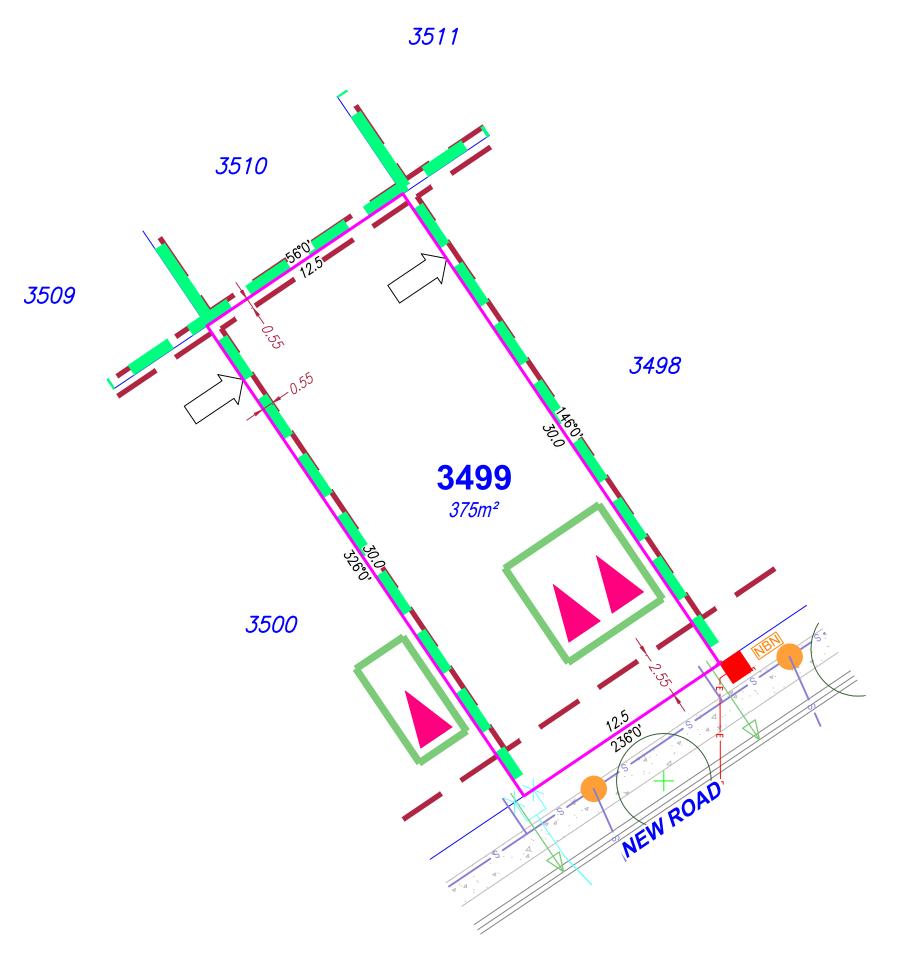
**F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3498 | ORIG | 1 of 1







For Proposed Lot 3499 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

| Drawn. | GBF         | Date.           | 09/10      | J/2025   |
|--------|-------------|-----------------|------------|----------|
| Checke | ed: DL      | Date:           | 10/1       | 0/2025   |
| Issue  | Descri      | ption           |            | Date     |
| DRAFT  | Draft plans | for review      |            | 09/10/25 |
| ORIG   | Issue to    | Issue to Client |            |          |
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ACN 117 883 173 ABN 97 117 883 173

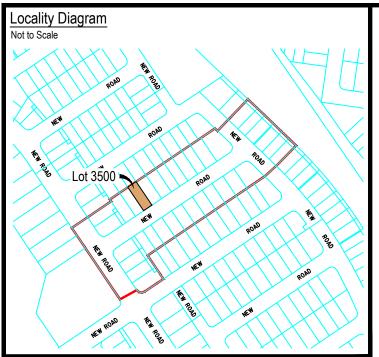
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000

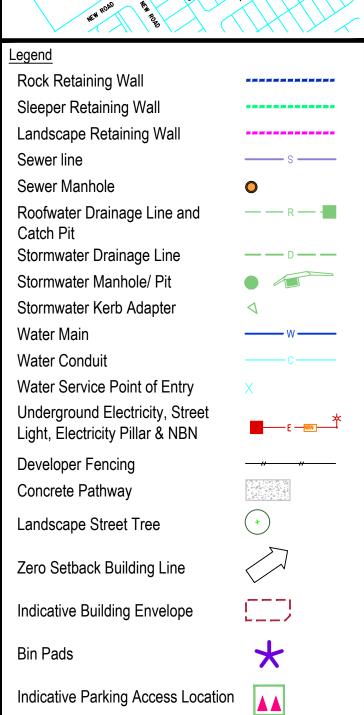
Suite A.02, Level 1

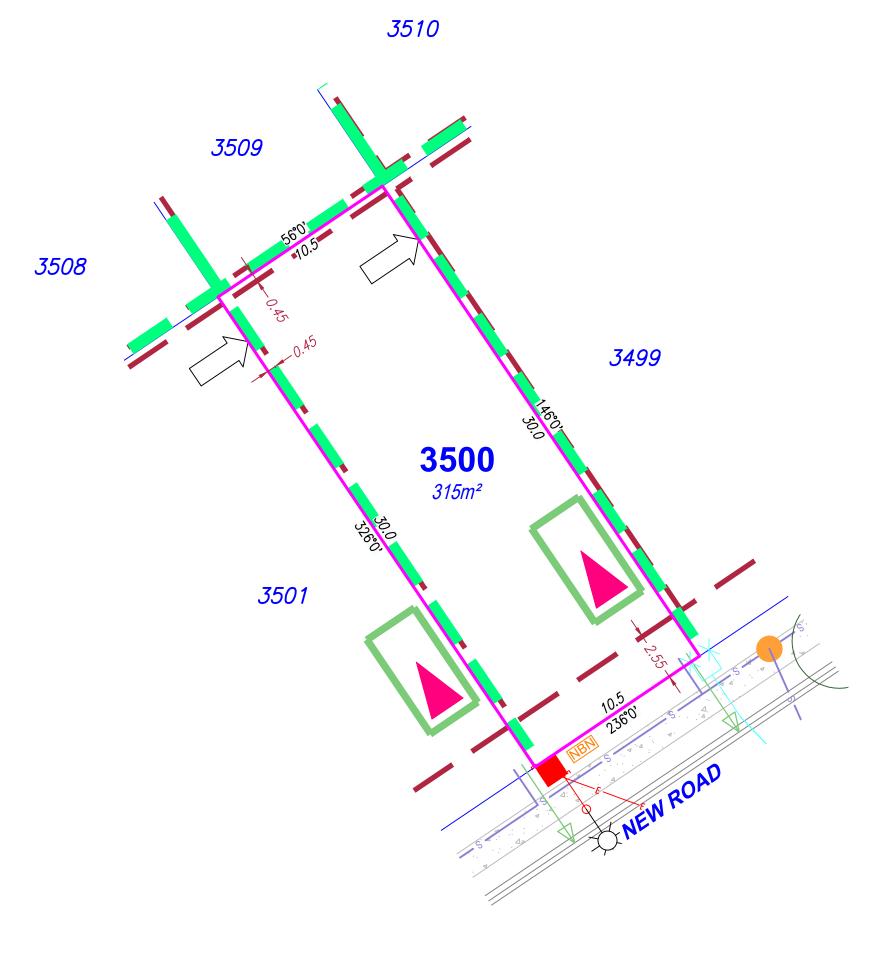
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SHEET PROJECT PLAN AMD. TLX370977 14/3499 ORIG 1 of 1







For Proposed Lot 3500 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

#### Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

Date:

09/10/2025

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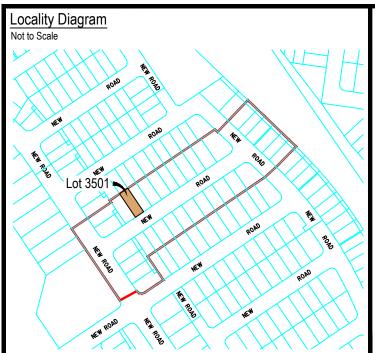
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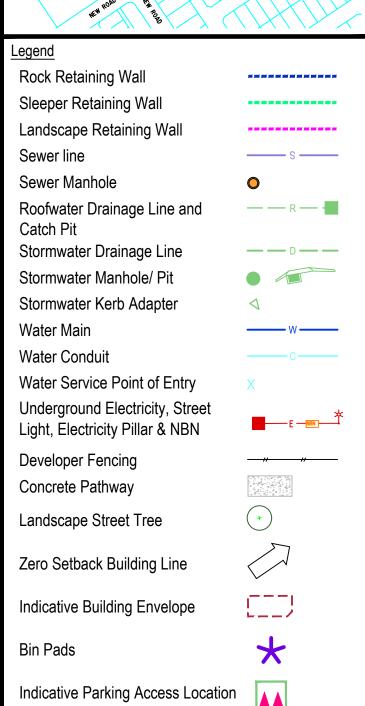
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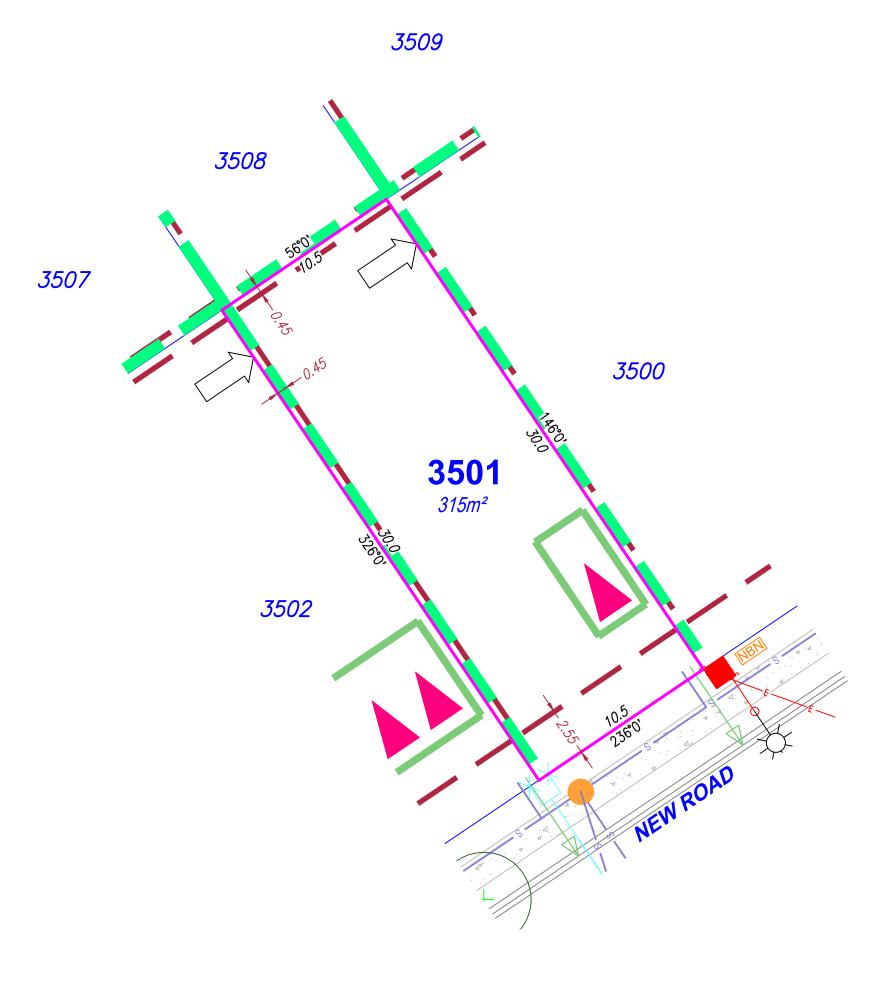
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 TLX370977
 14/3500
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 1 of 1







For Proposed Lot 3501 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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| Issue   | Descri      | ption               |            | Date     |
| DRAFT   | Draft plans | for review          |            | 09/10/25 |
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Date:

09/10/2025



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114 Brisbane Street Ipswich Qld 4305

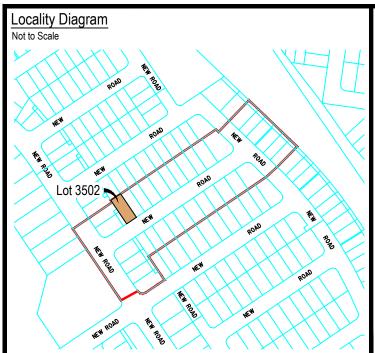
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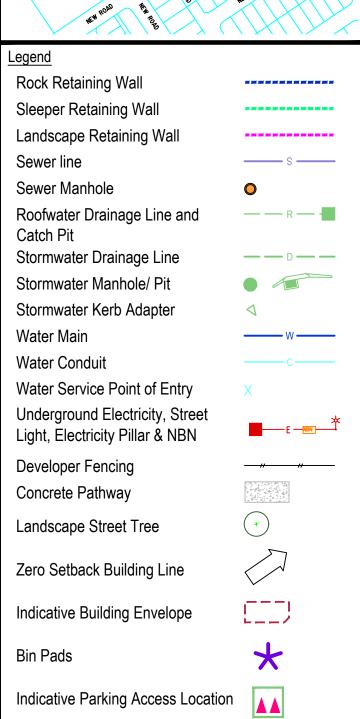
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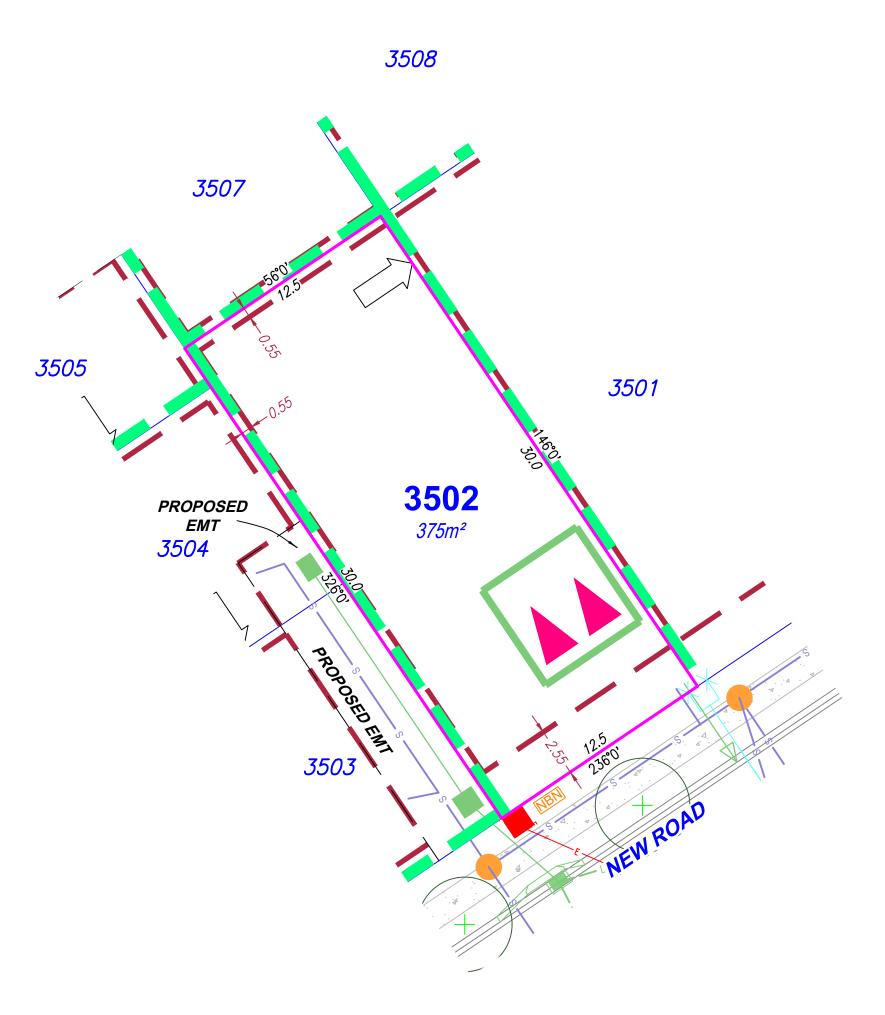
**T**+61 7 3437 2000 **F**+61 7 3434 2009 W rpsgroup.com

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SHEET PROJECT PLAN AMD. ORIG 1 of 1 TLX370977 | 14/3501







For Proposed Lot 3502 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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| Issue  | Descri          | ption      |            | Date     |
| DRAFT  | Draft plans     | for review |            | 09/10/25 |
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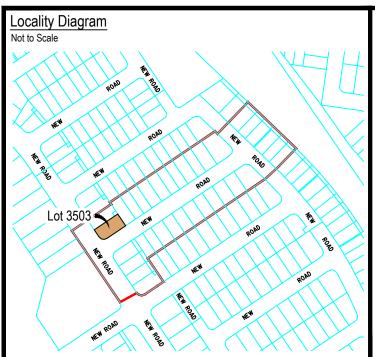
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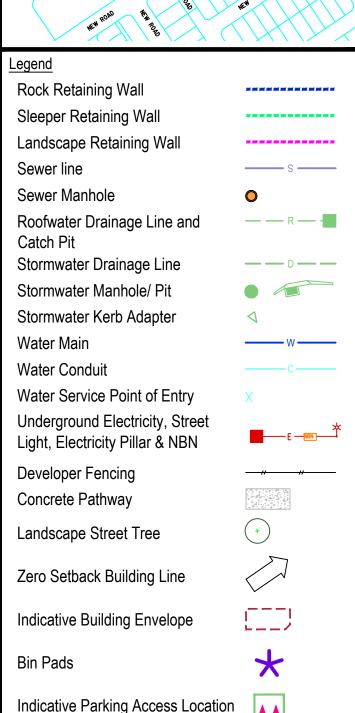
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

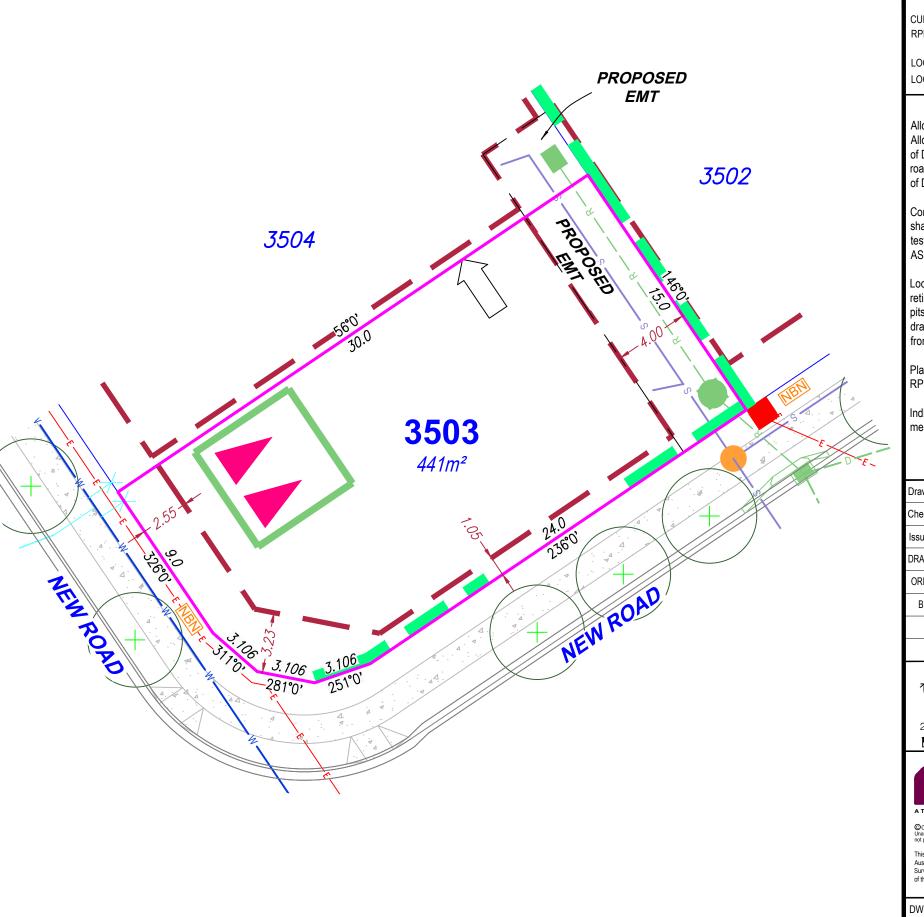
Suite A.02, Level 1

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3502 | ORIG | 1 of 1







For Proposed Lot 3503 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

#### Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

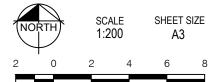
Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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| Checke  | d: DL          | Date:                         | 10/1  | 0/2025 |
| Issue   | Descri         | Description                   |       |        |
| DRAFT   | Draft plans    | Draft plans for review        |       |        |
| ORIG    | Issue to       | Issue to Client               |       |        |
| В       | Driveway & BTB | Driveway & BTB wall locations |       |        |
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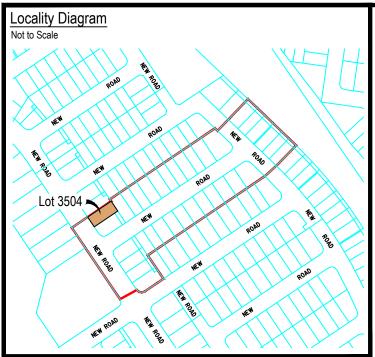
114 Brisbane Street Ipswich Qld 4305 **T** +61 7 3437 2000

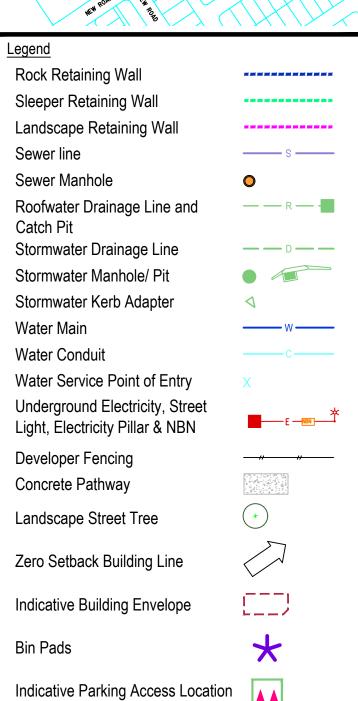
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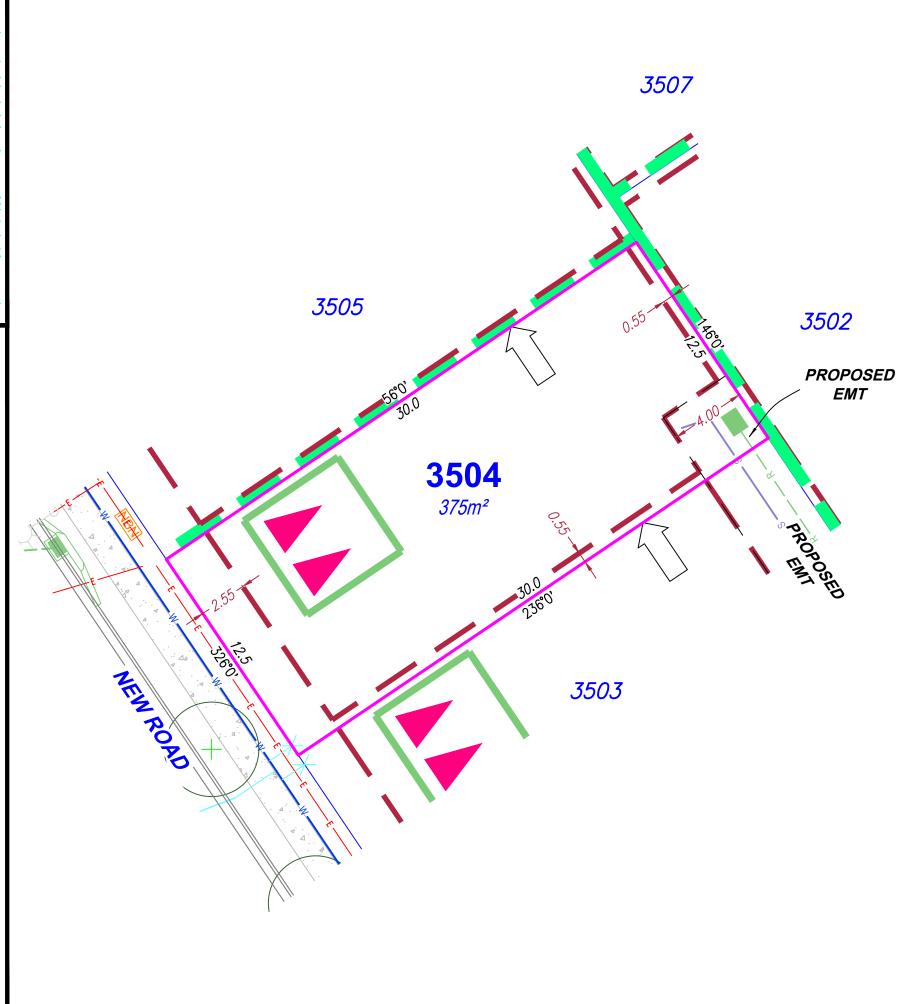
Suite A.02, Level 1

DWG. TLX370977-014-Stg10F-Site

PROJECT PLAN AMD. SHEET TLX370977 14/3503 B 1 of 1







For Proposed Lot 3504 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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| DRAFT   | Draft plans    | Draft plans for review        |            |  |
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| В       | Driveway & BTB | Driveway & BTB wall locations |            |  |
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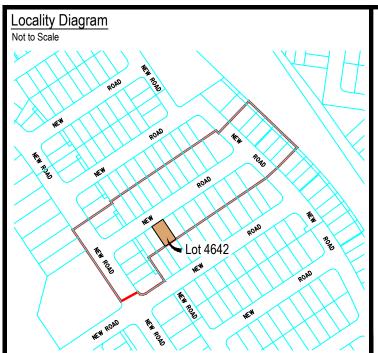
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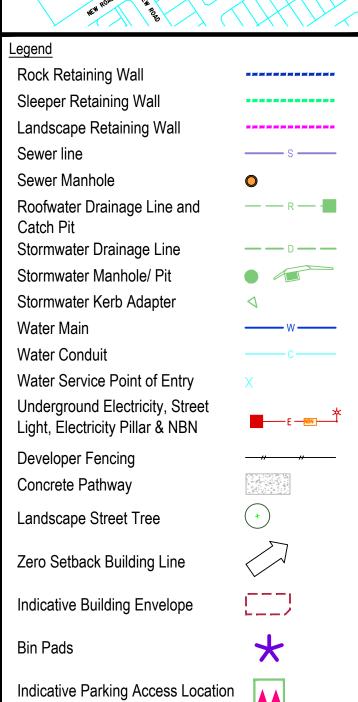
114 Brisbane Street Ipswich Qld 4305 **F**+61 7 3434 2009

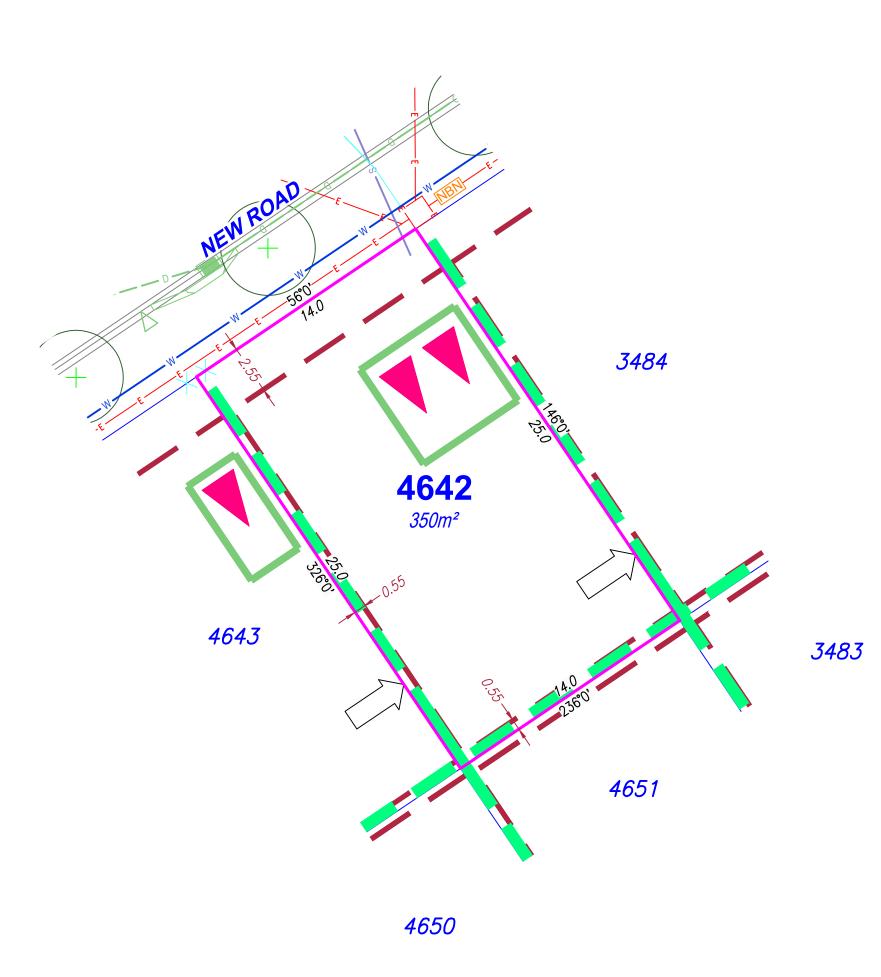
**T**+61 7 3437 2000

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/3504 В







For Proposed Lot 4642 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

| Drawn: | GBF     |              | Date:    | 09/10      | 0/2025   |
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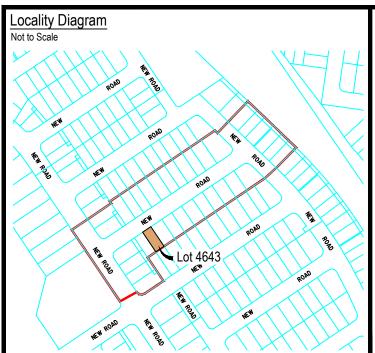
ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

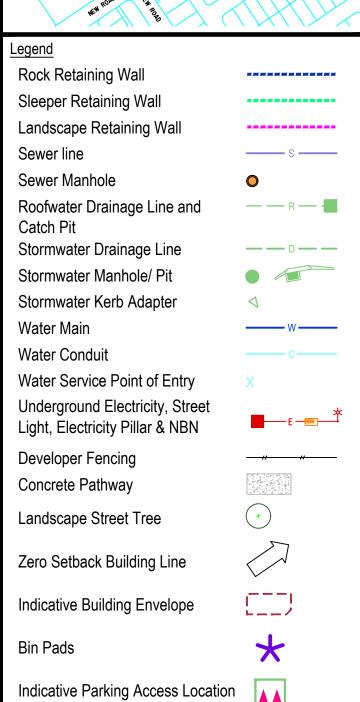
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000

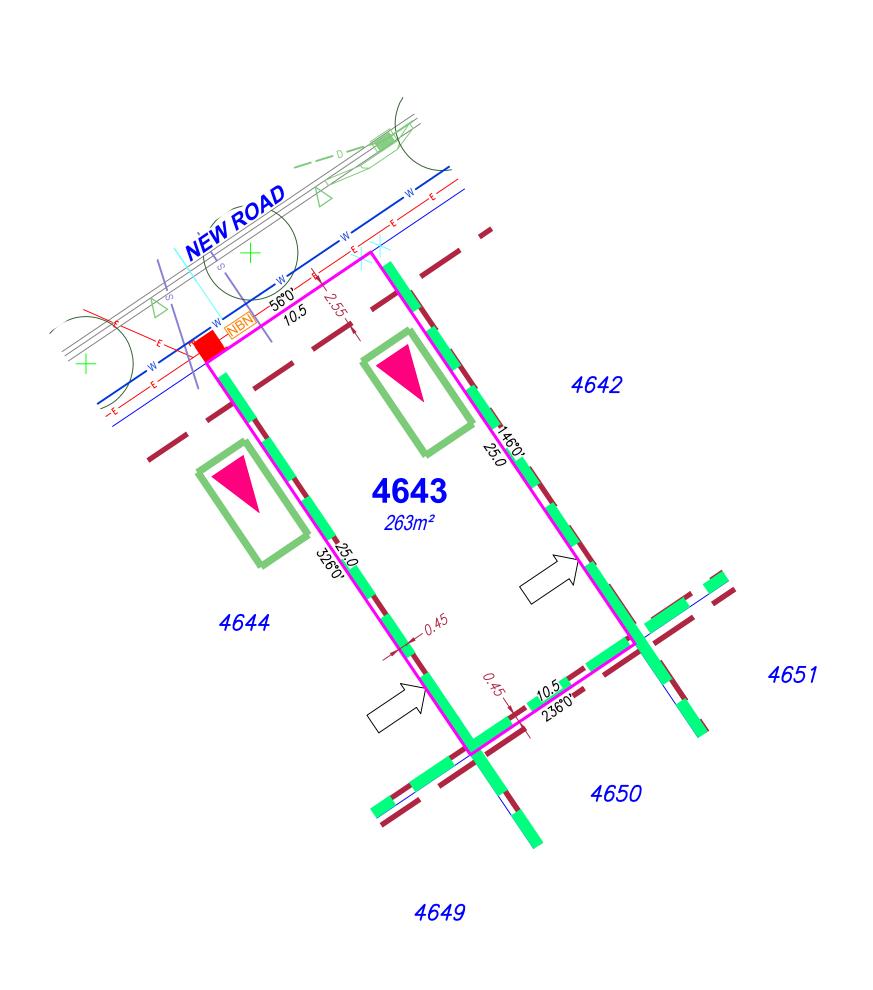
**F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

TLX370977 | 14/4642 | ORIG | 1 of 1







For Proposed Lot 4643 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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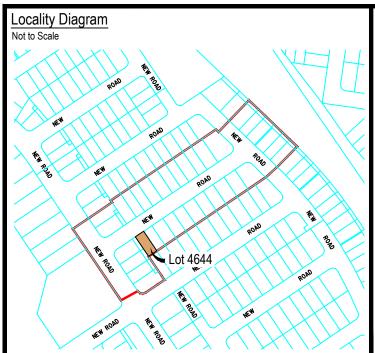


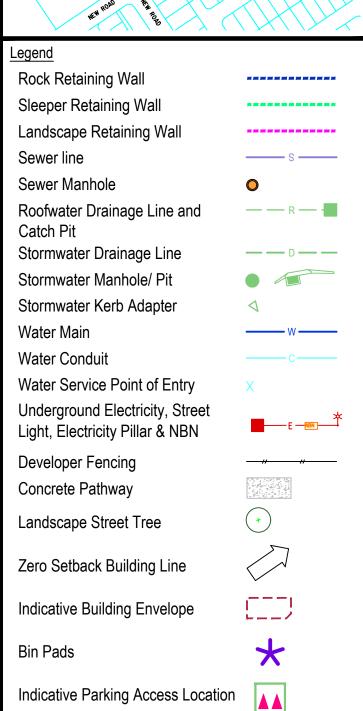
ACN 117 883 173 ABN 97 117 883 173 Suite A.02, Level 1

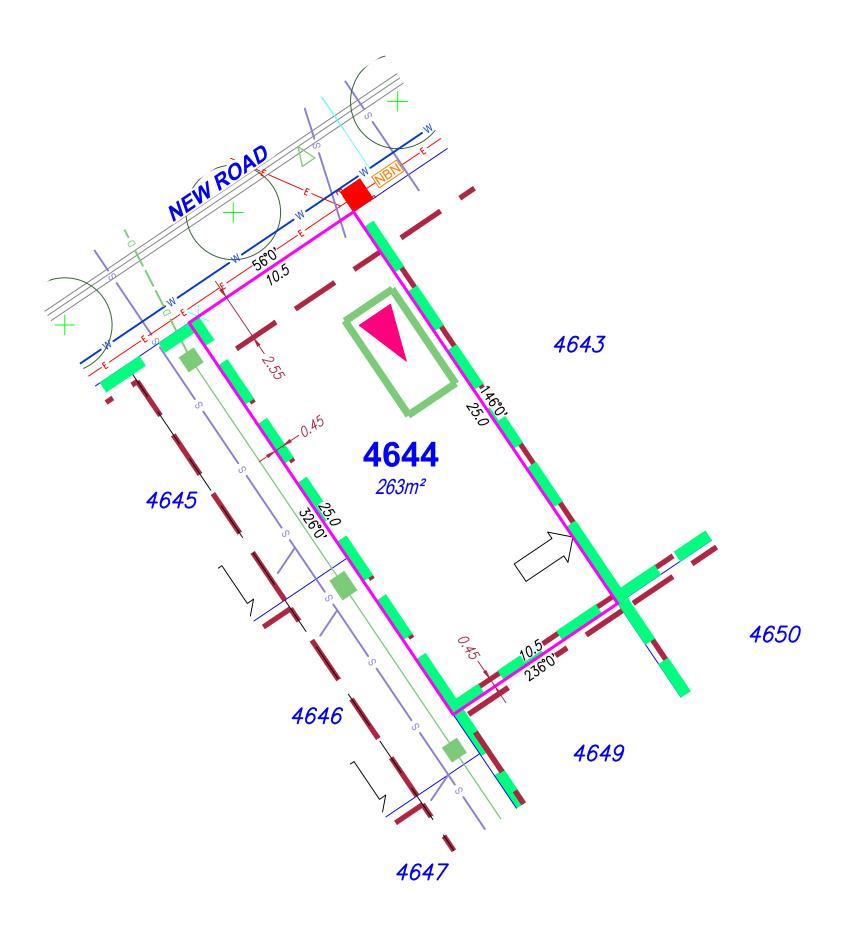
114 Brisbane Street Ipswich Qld 4305 **T**+61 7 3437 2000 **F**+61 7 3434 2009

DWG. TLX370977-014-Stg10F-Site

AMD. TLX370977 | 14/4643 | ORIG | 1 of 1







For Proposed Lot 4644 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

Lot 911 on SP354743 RPD

Silverbark Ridge LOCAL AUTHORITY Logan City Council

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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09/10/2025

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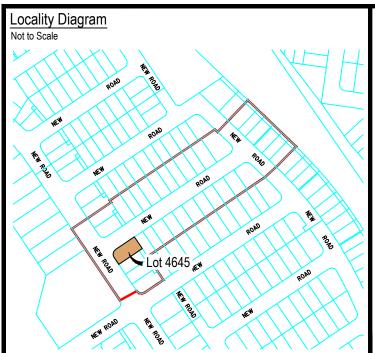
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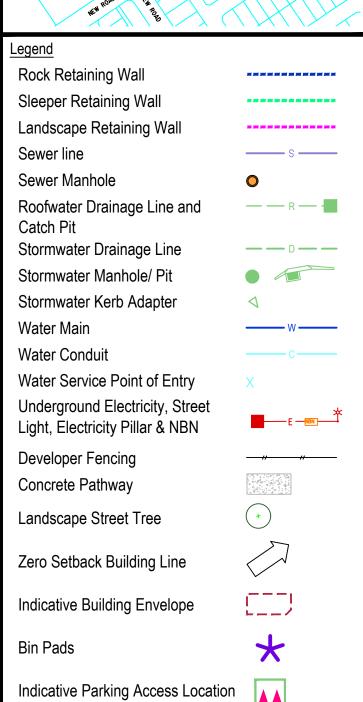
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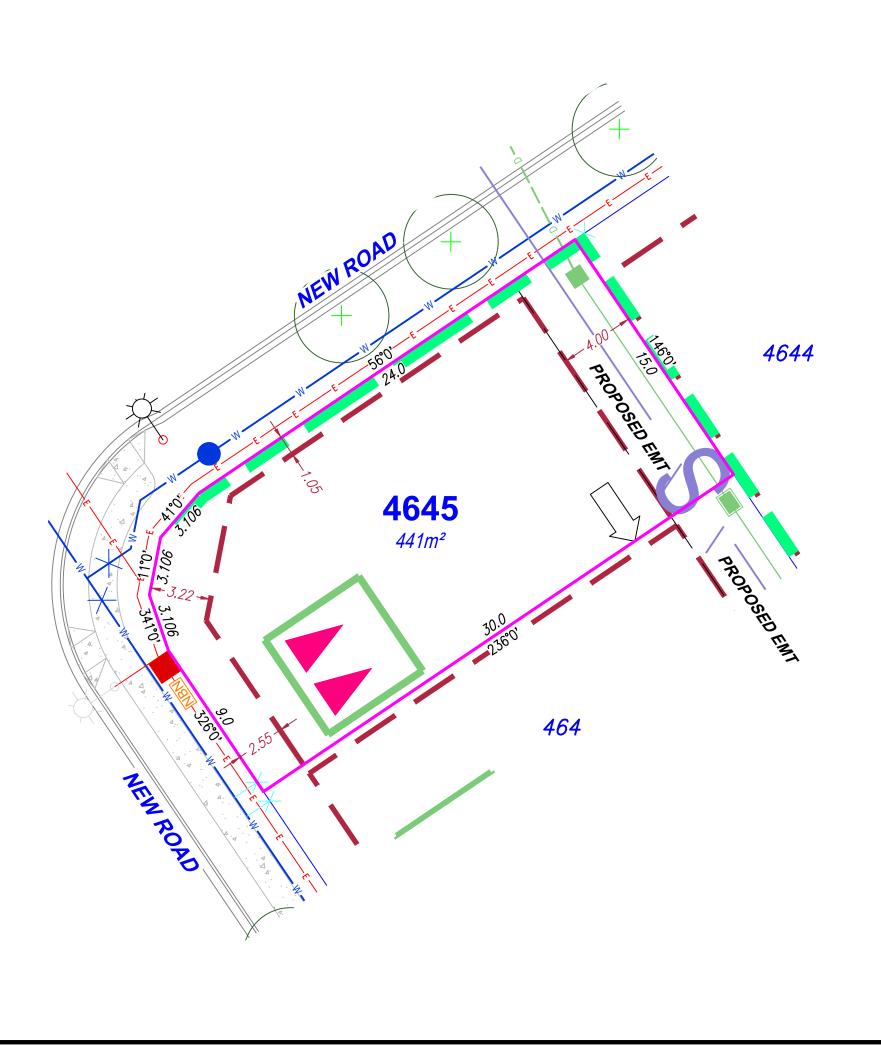
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AMD. SHEET TLX370977 | 14/4644 | ORIG | 1 of 1







# For Proposed Lot 4645 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

#### Notes

Allotments used as Multiple Residential Allotments in accordance with the approved Plan of Development may have a reduced primary road setback to 2.55 meters as noted on the Plan of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

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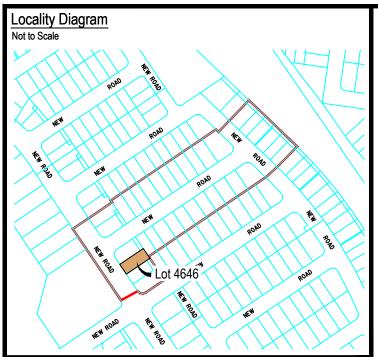
T+61 7 3437 2000

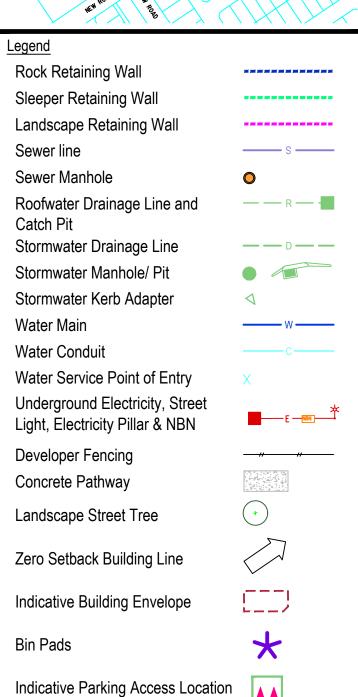
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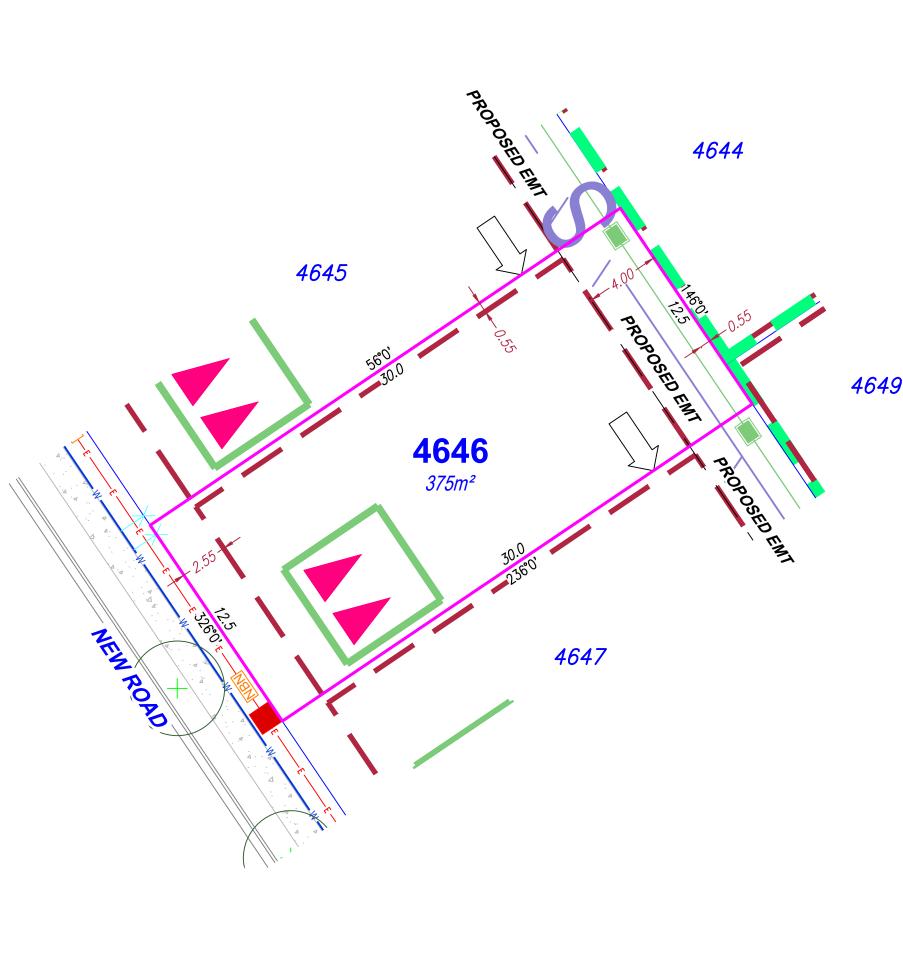
Suite A.02, Level 1

DWG. TLX370977-014-Stg10F-Site

PROJECT PLAN AMD. SHEET TLX370977 14/4645 ORIG 1 of 1







For Proposed Lot 4646 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

#### Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

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Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

| Drawn. | GBF         | Date.       | 09/10      | 0/2025   |
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| Checke | d: DL       | Date:       | 10/10      | 0/2025   |
| Issue  | Descri      | Description |            | Date     |
| DRAFT  | Draft plans | for review  |            | 09/10/25 |
| ORIG   | Issue to    | Client      |            | 10/10/25 |
|        |             |             |            |          |
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ACN 117 883 173 ABN 97 117 883 173

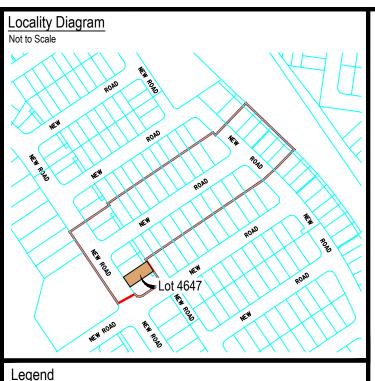
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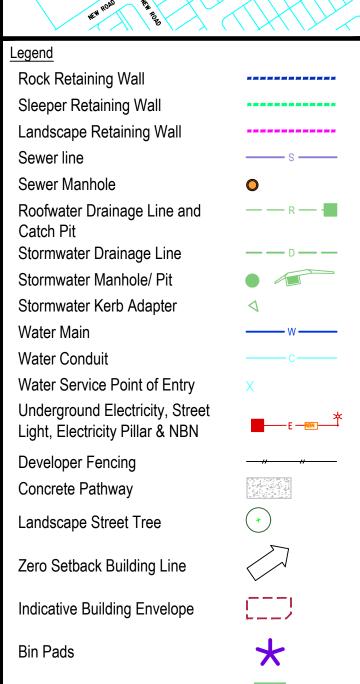
Suite A.02, Level 1

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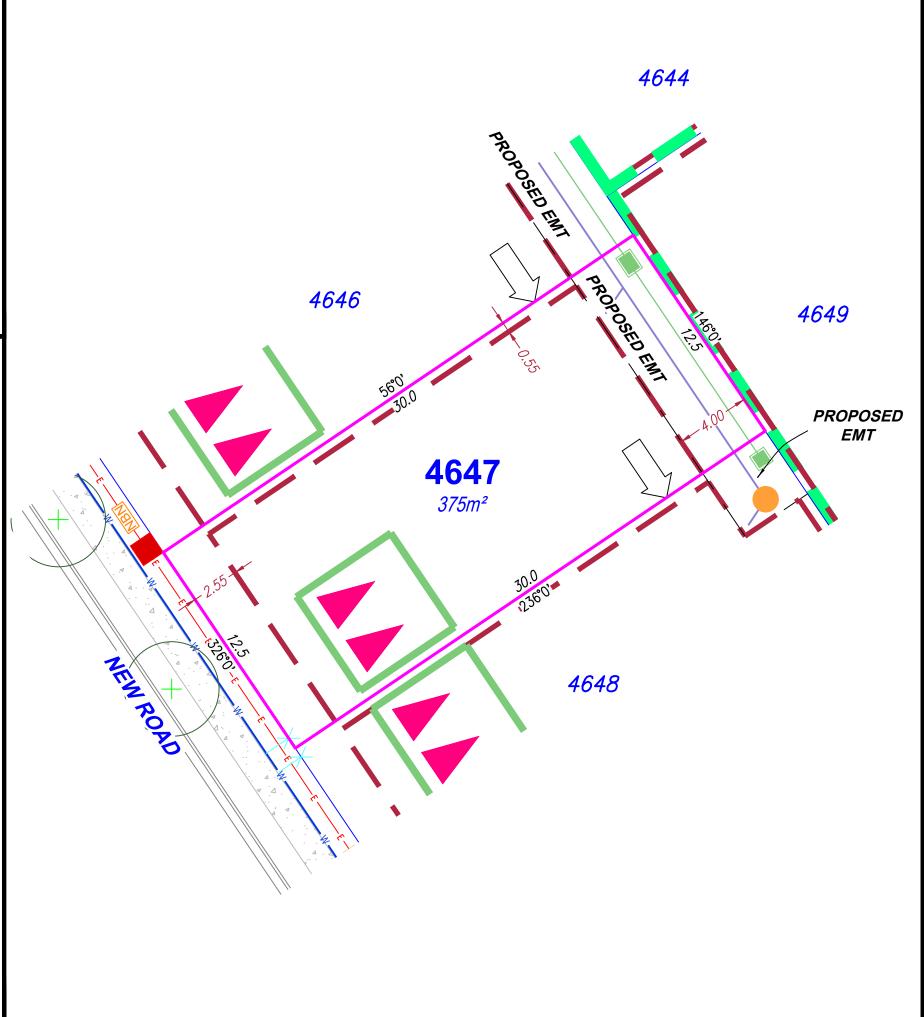
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PROJECT PLAN AMD. SHEET TLX370977 14/4646 ORIG 1 of 1





Indicative Parking Access Location



# SITE PLAN

For Proposed Lot 4647 on SP358946 Flagstone - Stage 10F

CURRENTLY DESCRIBED AS

RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

#### Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

Compaction of any fill material placed on this site shall be completed to level on inspection and testing services in accordance with AS3798-2007.

Location of sewer, roofwater, stormwater, water reticulation and electricity lines, manholes and pits are those shown on engineering design drawings, supplied by Colliers and may differ from the as-constructed location.

Plan of Development information Supplied by RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks measured to outermost projection.

| Drawn: | GBF         | Date:      | 09/10 | 0/2025   |
|--------|-------------|------------|-------|----------|
| Checke | d: DL       | Date:      | 10/10 | 0/2025   |
| Issue  | Descri      | ption      |       | Date     |
| DRAFT  | Draft plans | for review |       | 09/10/25 |
| ORIG   | Issue to    | Client     |       | 10/10/25 |
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