

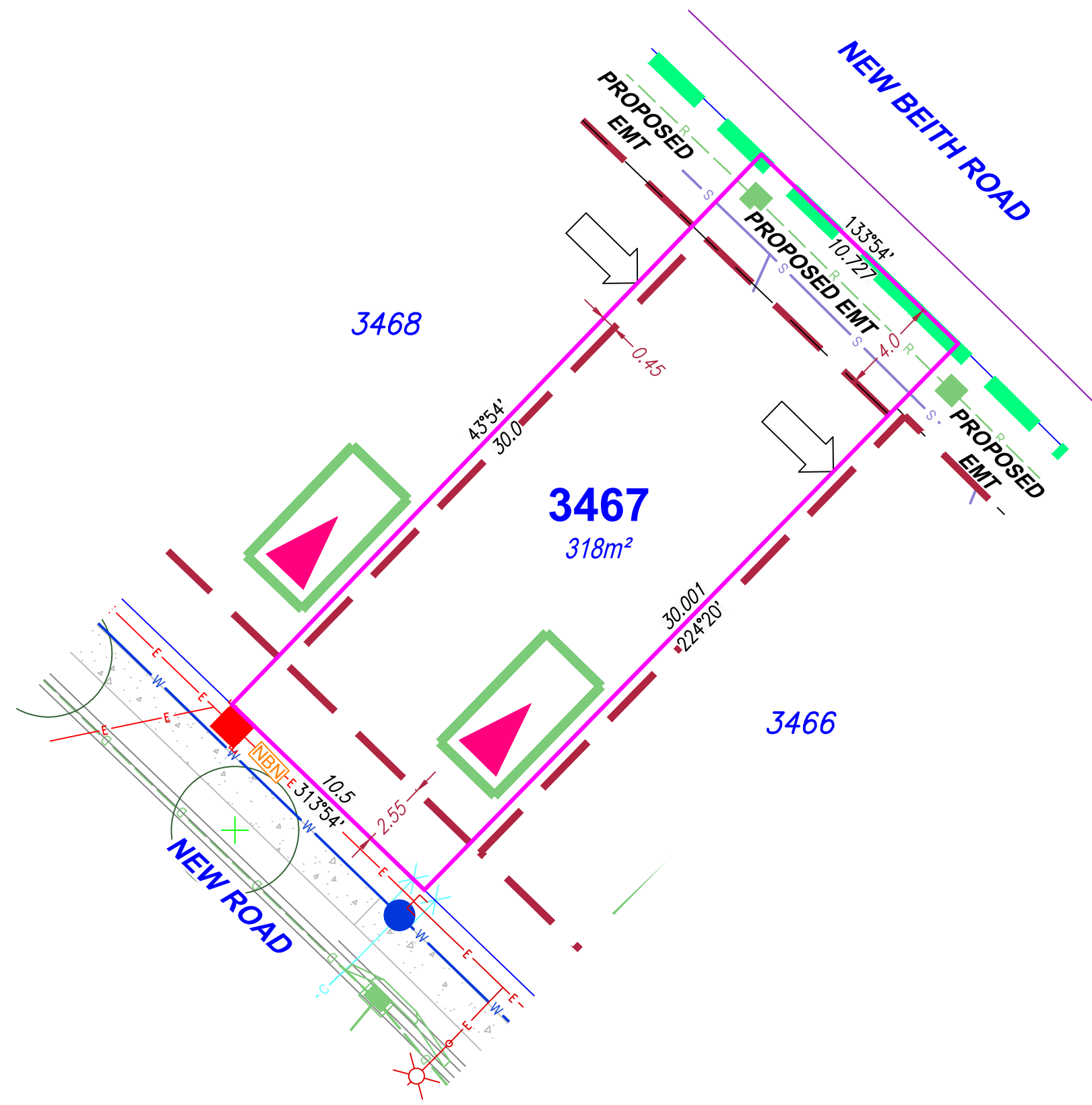
Locality Diagram

Not to Scale



Legend

Rock Retaining Wall	
Sleeper Retaining Wall	
Landscape Retaining Wall	
Sewer line	
Sewer Manhole	
Roofwater Drainage Line and Catch Pit	
Stormwater Drainage Line	
Stormwater Manhole/ Pit	
Stormwater Kerb Adapter	
Water Main	
Water Conduit	
Water Service Point of Entry	
Underground Electricity, Street Light, Electricity Pillar & NBN	
Developer Fencing	
Concrete Pathway	
Landscape Street Tree	
Zero Setback Building Line	
Indicative Building Envelope	
Bin Pads	
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3467
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743
& USL
LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

Allotments used as Multiple Residential
Allotments in accordance with the approved Plan
of Development may have a reduced primary
road setback to 2.55 meters as noted on the Plan
of Development Table.

Compaction of any fill material placed on this site
shall be completed to level on inspection and
testing services in accordance with
AS3798-2007.

Location of sewer, roofwater, stormwater, water
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pits are those shown on engineering design
drawings, supplied by Colliers and may differ
from the as-constructed location.

Plan of Development information Supplied by
RPS AAP Consultig Pty Ltd (Urban Design).

Indicative Building Envelope depicts setbacks
measured to outermost projection.

Drawn: GBF Date: 09/10/2025

Checked: DL Date: 10/10/2025

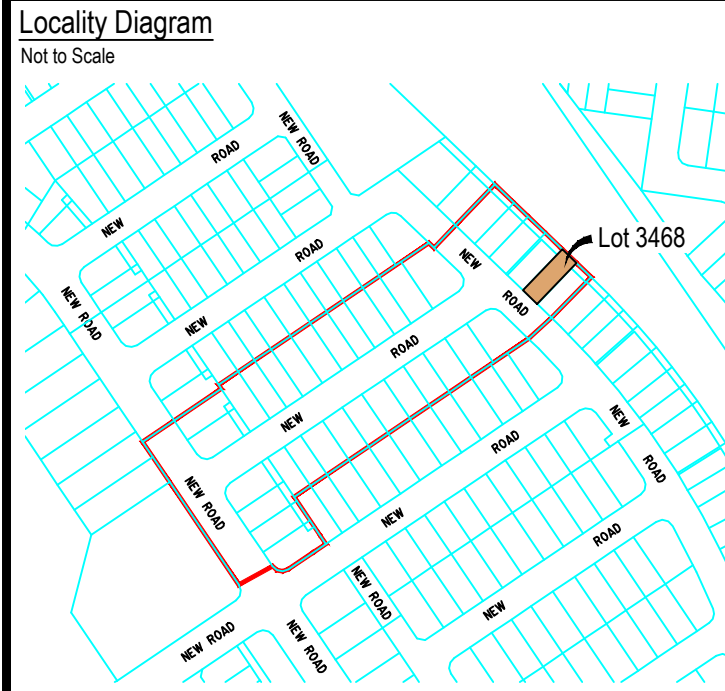
Issue	Description	Date
DRAFT	Draft plans for review	09/10/25
ORIG	Issue to Client	10/10/25



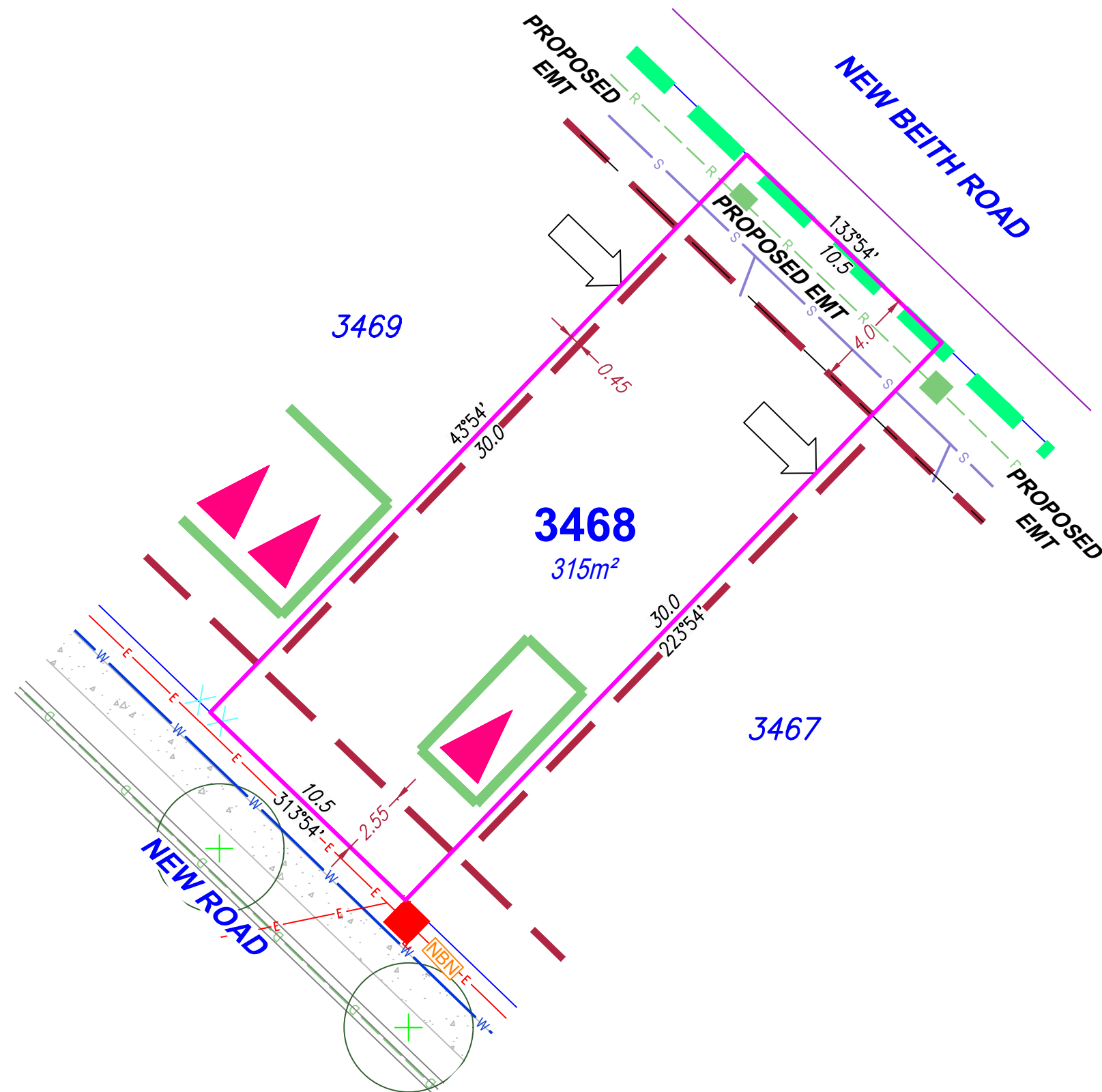
SCALE
1:200

SHEET SIZE
A3





Legend	
Rock Retaining Wall	
Sleeper Retaining Wall	
Landscape Retaining Wall	
Sewer line	
Sewer Manhole	
Roofwater Drainage Line and Catch Pit	
Stormwater Drainage Line	
Stormwater Manhole/ Pit	
Stormwater Kerb Adapter	
Water Main	
Water Conduit	
Water Service Point of Entry	
Underground Electricity, Street Light, Electricity Pillar & NBN	
Developer Fencing	
Concrete Pathway	
Landscape Street Tree	
Zero Setback Building Line	
Indicative Building Envelope	
Bin Pads	
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3468
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743
& USL
LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

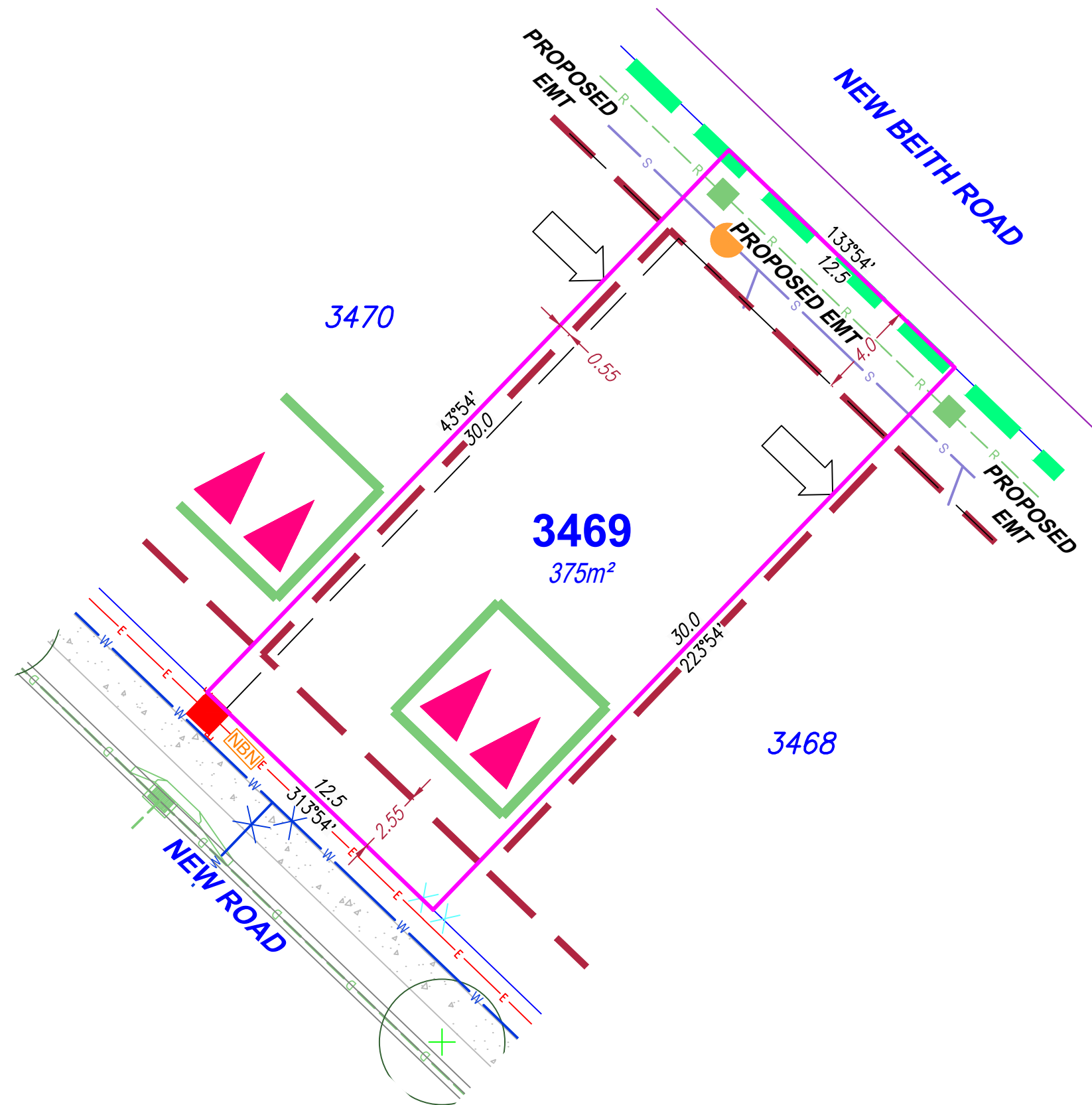
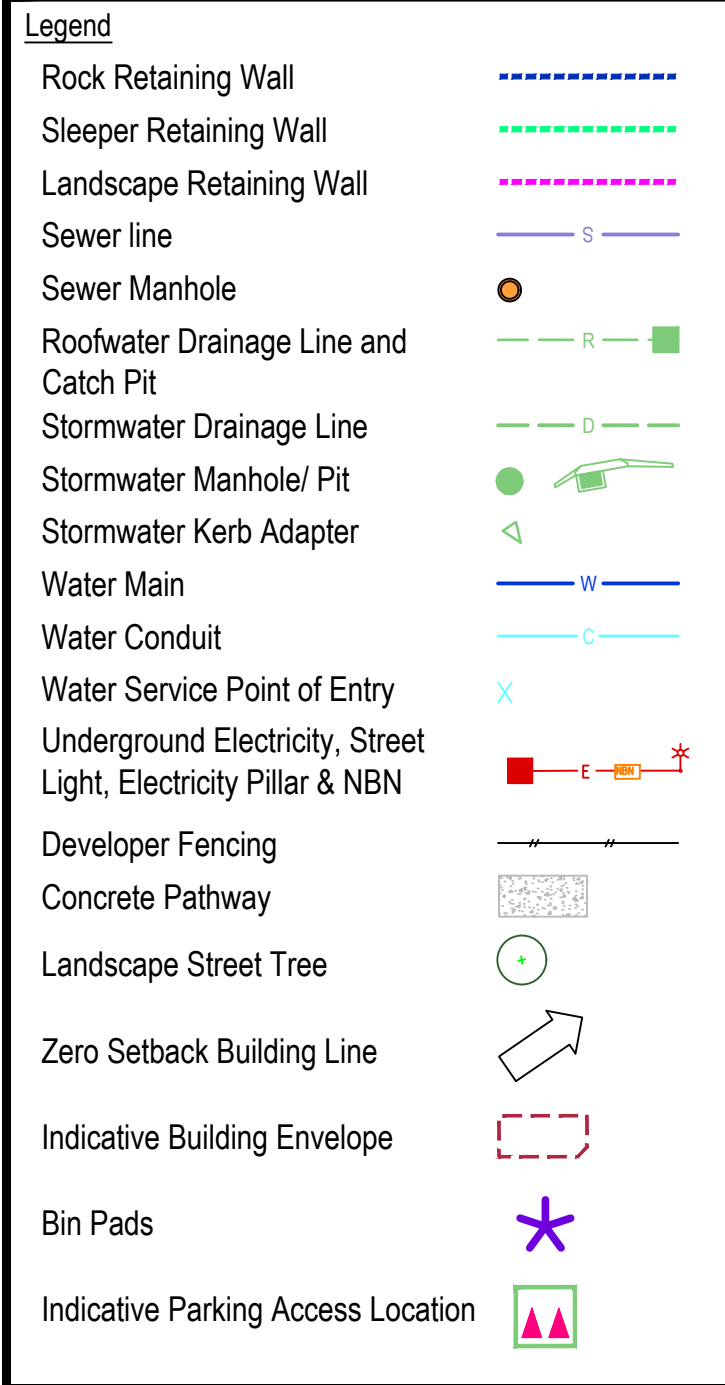
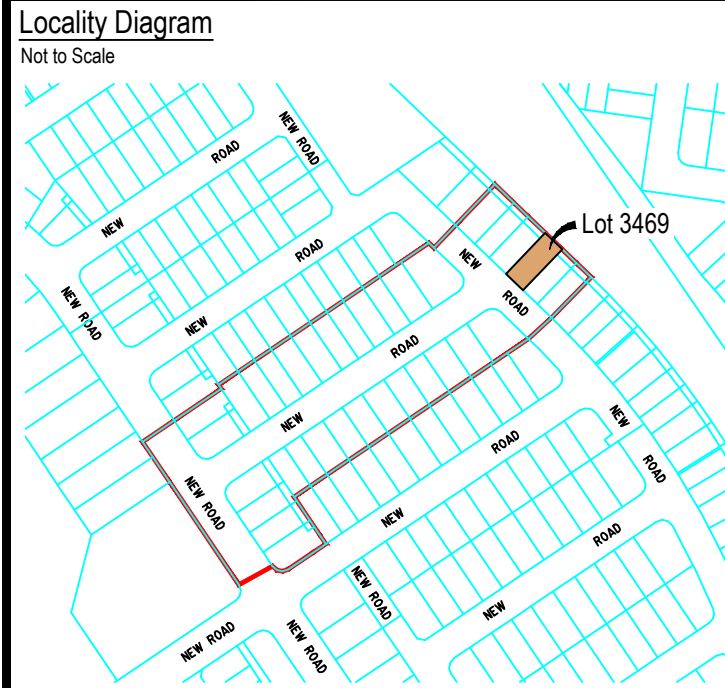
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Plan of Development information Supplied by
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Indicative Building En



SITE PLAN

For Proposed Lot 3469
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743
& USL
LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

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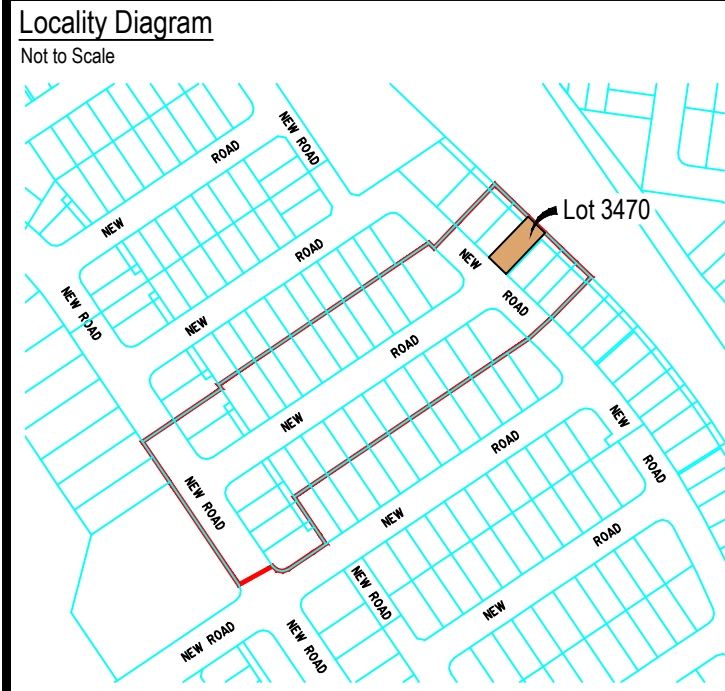
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Indicative Building Envelope depicts setbacks
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Drawn: GBF Date: 09/10/2025

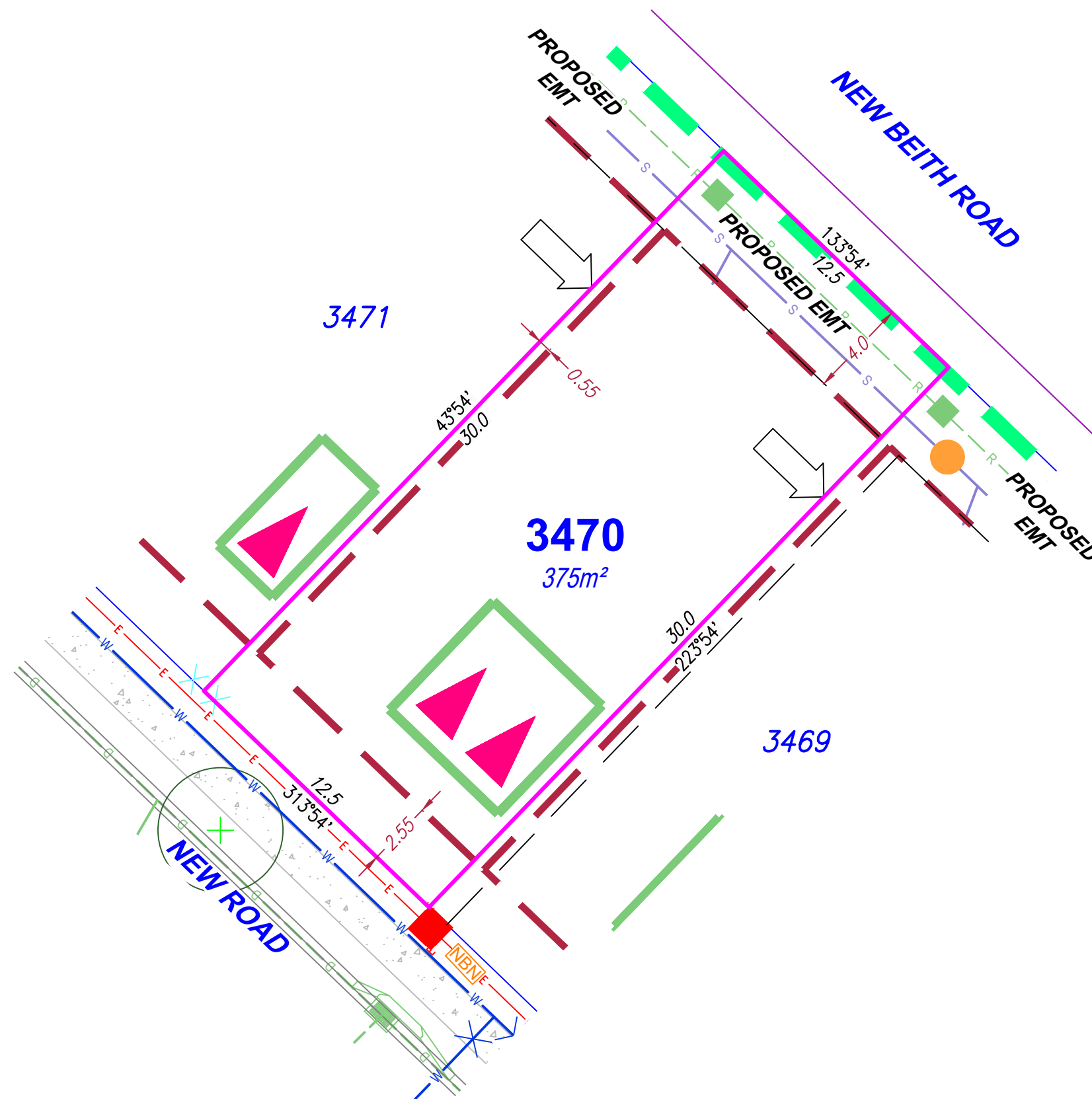
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Legend

Rock Retaining Wall	
Sleeper Retaining Wall	
Landscape Retaining Wall	
Sewer line	
Sewer Manhole	
Roofwater Drainage Line and Catch Pit	
Stormwater Drainage Line	
Stormwater Manhole/ Pit	
Stormwater Kerb Adapter	
Water Main	
Water Conduit	
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Developer Fencing	
Concrete Pathway	
Landscape Street Tree	
Zero Setback Building Line	
Indicative Building Envelope	
Bin Pads	
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3470
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743
& USL
LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

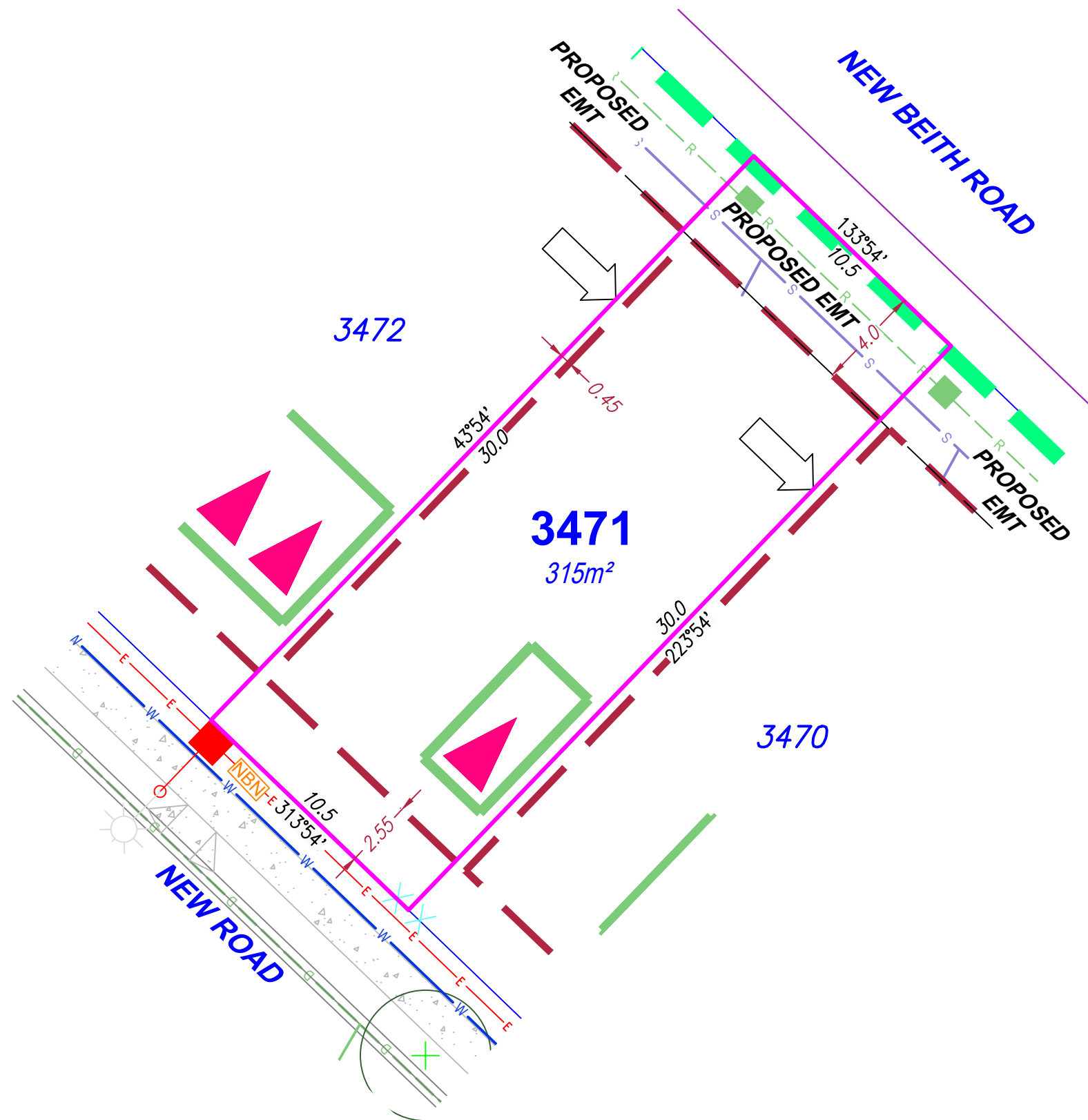
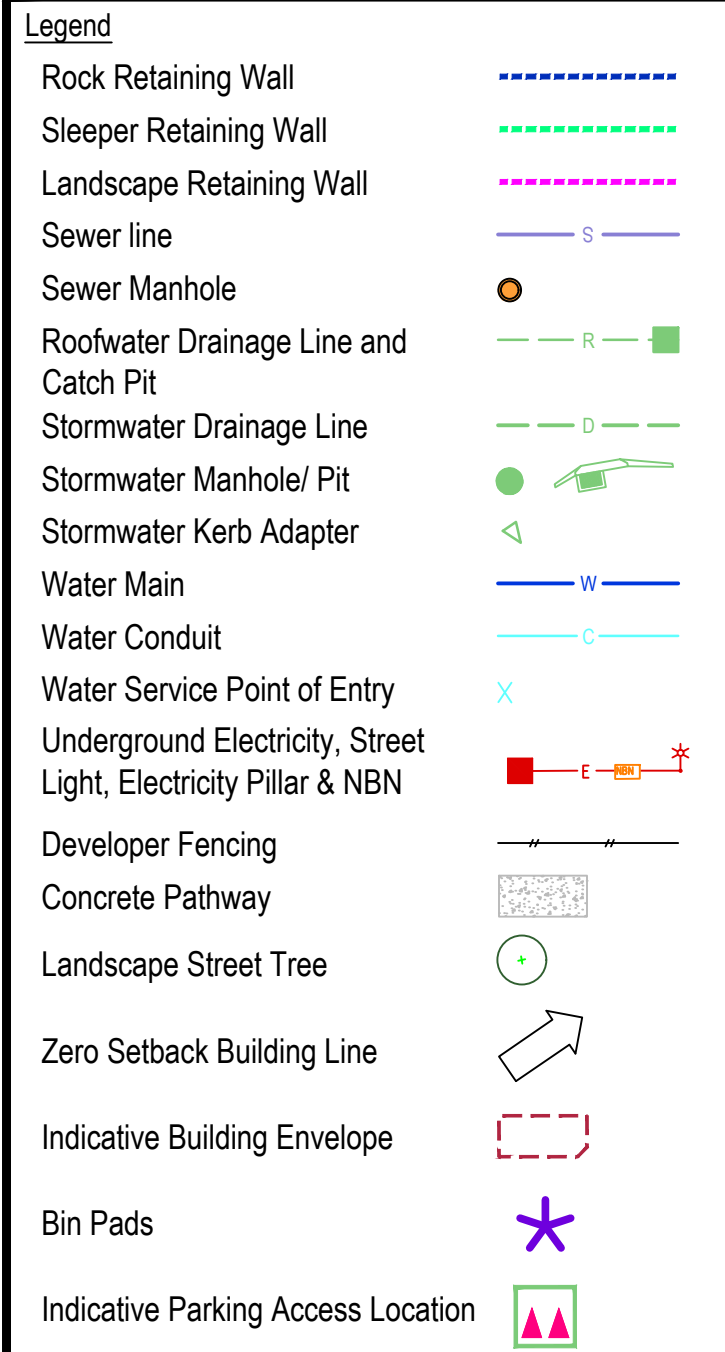
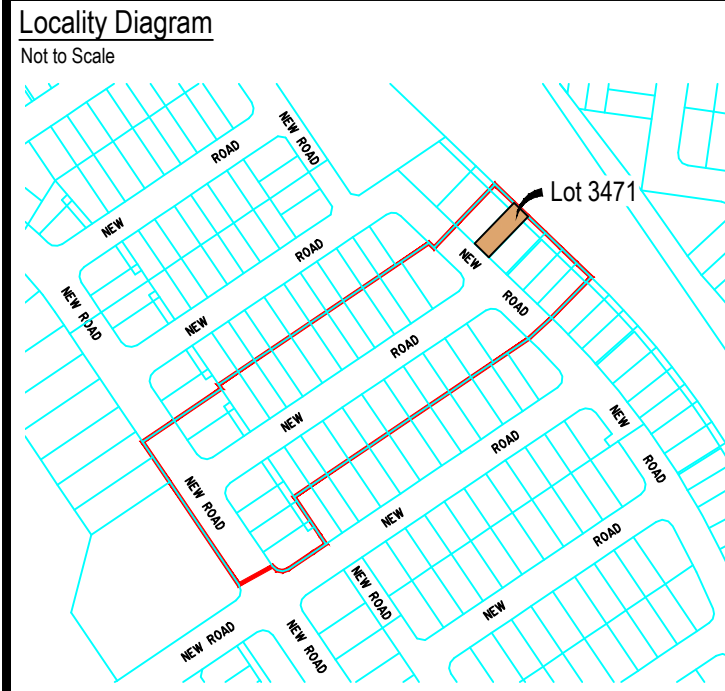
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Indicative Building Envelope depicts setbacks
measured to outermost projection.



SITE PLAN

For Proposed Lot 3471
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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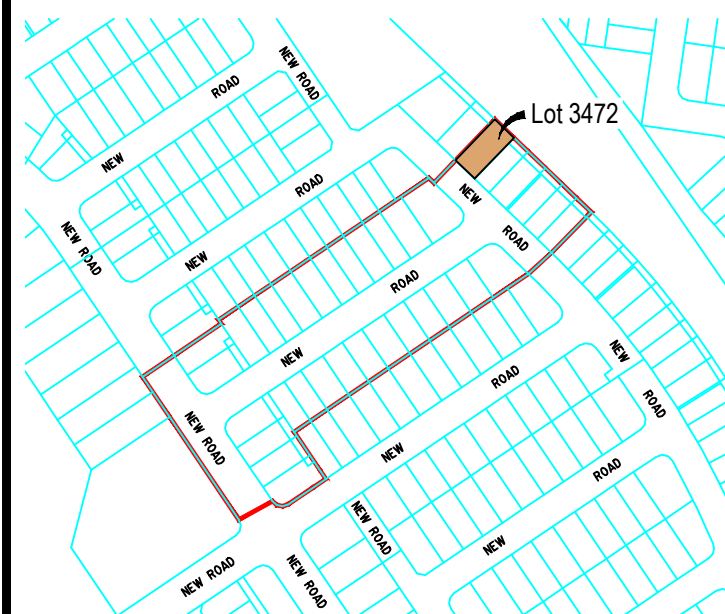
Indicative Building Envelope depicts setbacks
measured to outermost projection.

Drawn: GBF Date: 09/10/2025

Checked: DL Date: 1

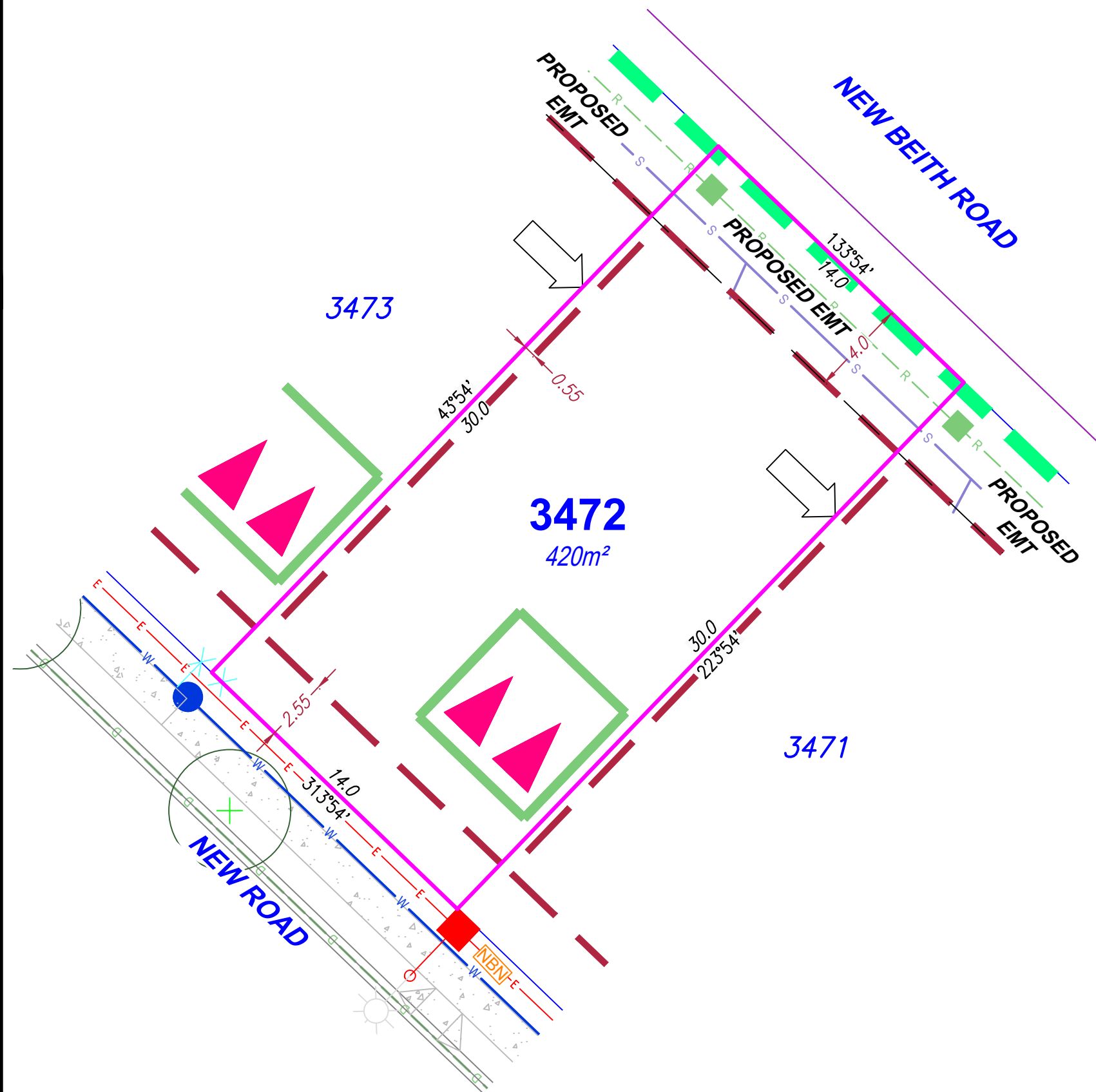
Locality Diagram

Not to Scale



Legend

Rock Retaining Wall	
Sleeper Retaining Wall	
Landscape Retaining Wall	
Sewer line	
Sewer Manhole	
Roofwater Drainage Line and Catch Pit	
Stormwater Drainage Line	
Stormwater Manhole/ Pit	
Stormwater Kerb Adapter	
Water Main	
Water Conduit	
Water Service Point of Entry	
Underground Electricity, Street Light, Electricity Pillar & NBN	
Developer Fencing	
Concrete Pathway	
Landscape Street Tree	
Zero Setback Building Line	
Indicative Building Envelope	
Bin Pads	
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3472
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

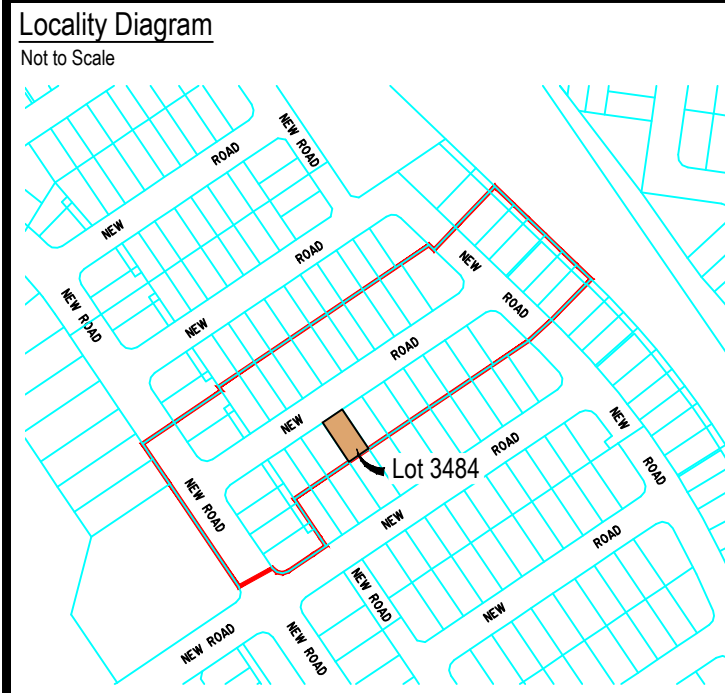
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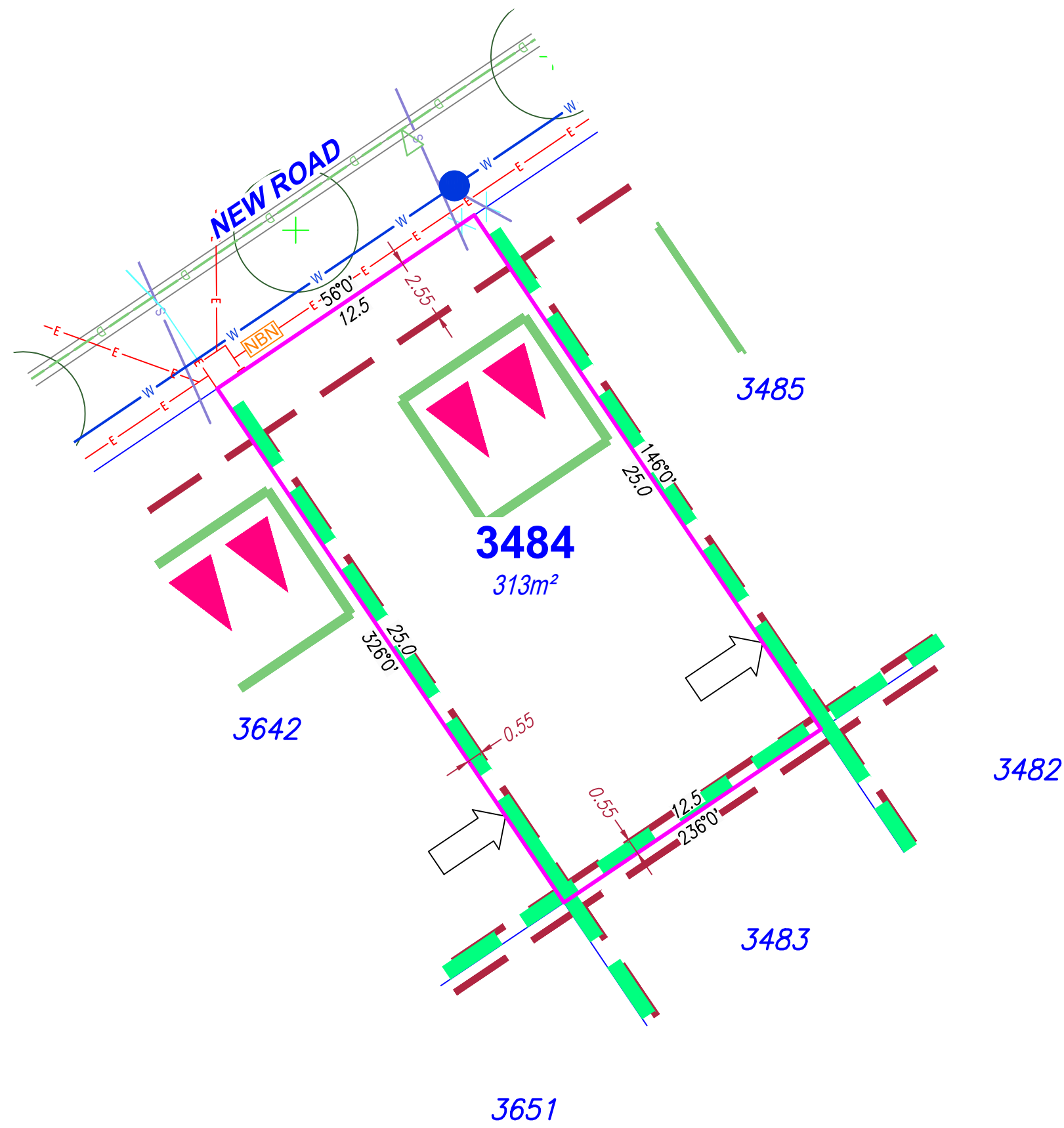
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Plan of Development information Supplied by RPS AAP Consultig



Legend

Rock Retaining Wall	-----
Sleeper Retaining Wall	-----
Landscape Retaining Wall	-----
Sewer line	— S —
Sewer Manhole	●
Roofwater Drainage Line and Catch Pit	— R — ■
Stormwater Drainage Line	— D —
Stormwater Manhole/ Pit	● [Symbol]
Stormwater Kerb Adapter	△
Water Main	— W —
Water Conduit	— C —
Water Service Point of Entry	X
Underground Electricity, Street Light, Electricity Pillar & NBN	■ — E — [Symbol] *
Developer Fencing	— // —
Concrete Pathway	[Pattern]
Landscape Street Tree	○ +
Zero Setback Building Line	→
Indicative Building Envelope	- - -
Bin Pads	✱
Indicative Parking Access Location	[Symbol]



SITE PLAN

For Proposed Lot 3484
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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Plan of Development information Supplied by RPS AAP Consulting Pty Ltd (Urban Design).

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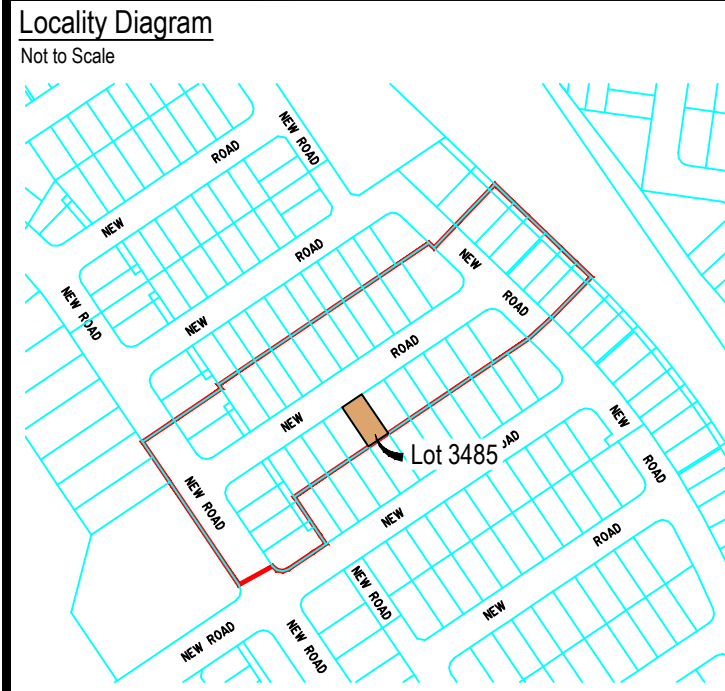
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Checked:	DL	Date:	10/10/2025
Issue	Description	Date	
DRAFT	Draft plans for review	09/10/25	
ORIG	Issue to Client	10/10/25	

SCALE
1:200

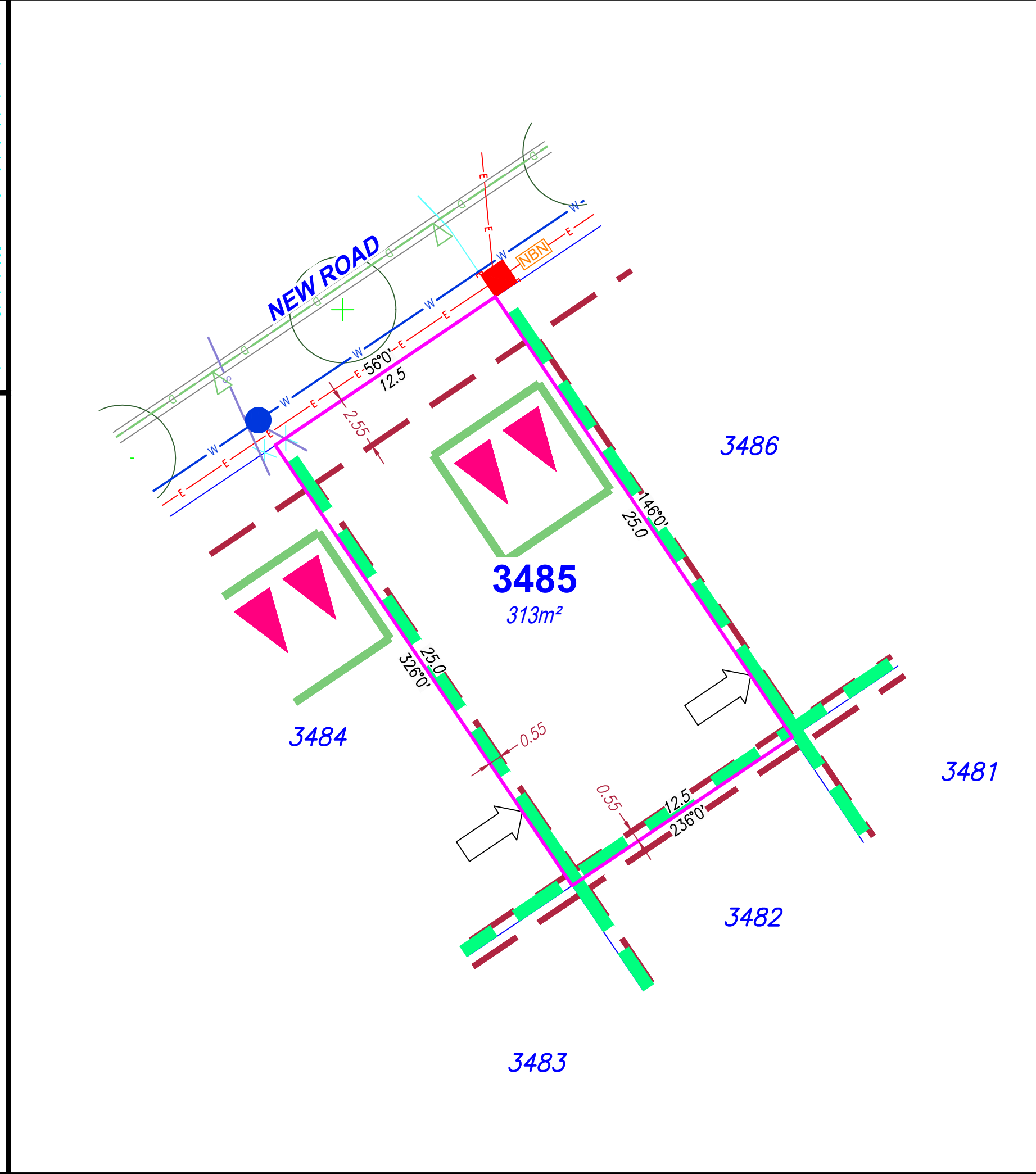
SHEET SIZE
A3

2 0 2 4 6 8

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Legend	
Rock Retaining Wall	
Sleeper Retaining Wall	
Landscape Retaining Wall	
Sewer line	
Sewer Manhole	
Roofwater Drainage Line and Catch Pit	
Stormwater Drainage Line	
Stormwater Manhole/ Pit	
Stormwater Kerb Adapter	
Water Main	
Water Conduit	
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Underground Electricity, Street Light, Electricity Pillar & NBN	
Developer Fencing	
Concrete Pathway	
Landscape Street Tree	
Zero Setback Building Line	
Indicative Building Envelope	
Bin Pads	
Indicative Parking Access Location	



SITE PLAN

For Proposed Lot 3485
on SP358946
Flagstone - Stage 10F

CURRENTLY DESCRIBED AS
RPD Lot 911 on SP354743

LOCALITY Silverbark Ridge
LOCAL AUTHORITY Logan City Council

Notes

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DRAFT	Draft plans for review	09/10/25	
ORIG	Issue to Client	10/10/25	

