

**LEGEND**

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall
- 300mm x 300mm Subsurface Drainage Pit (indicative location)

(Not all items in this legend may be relevant to the lot shown on this plan)

**NOTES**

This plan has been prepared from preliminary survey plan (SP348259) and engineering data provided on the 16/08/2024 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 18/06/2024. (Application No: 9367/2022/CA). For updates to this approval visit [www.ipswich.qld.gov.au](http://www.ipswich.qld.gov.au)

The relevant authorities have granted operational works approval for this lot.

All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

**EDEN'S CROSSING**  
STAGE 30B

**PEET**

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates

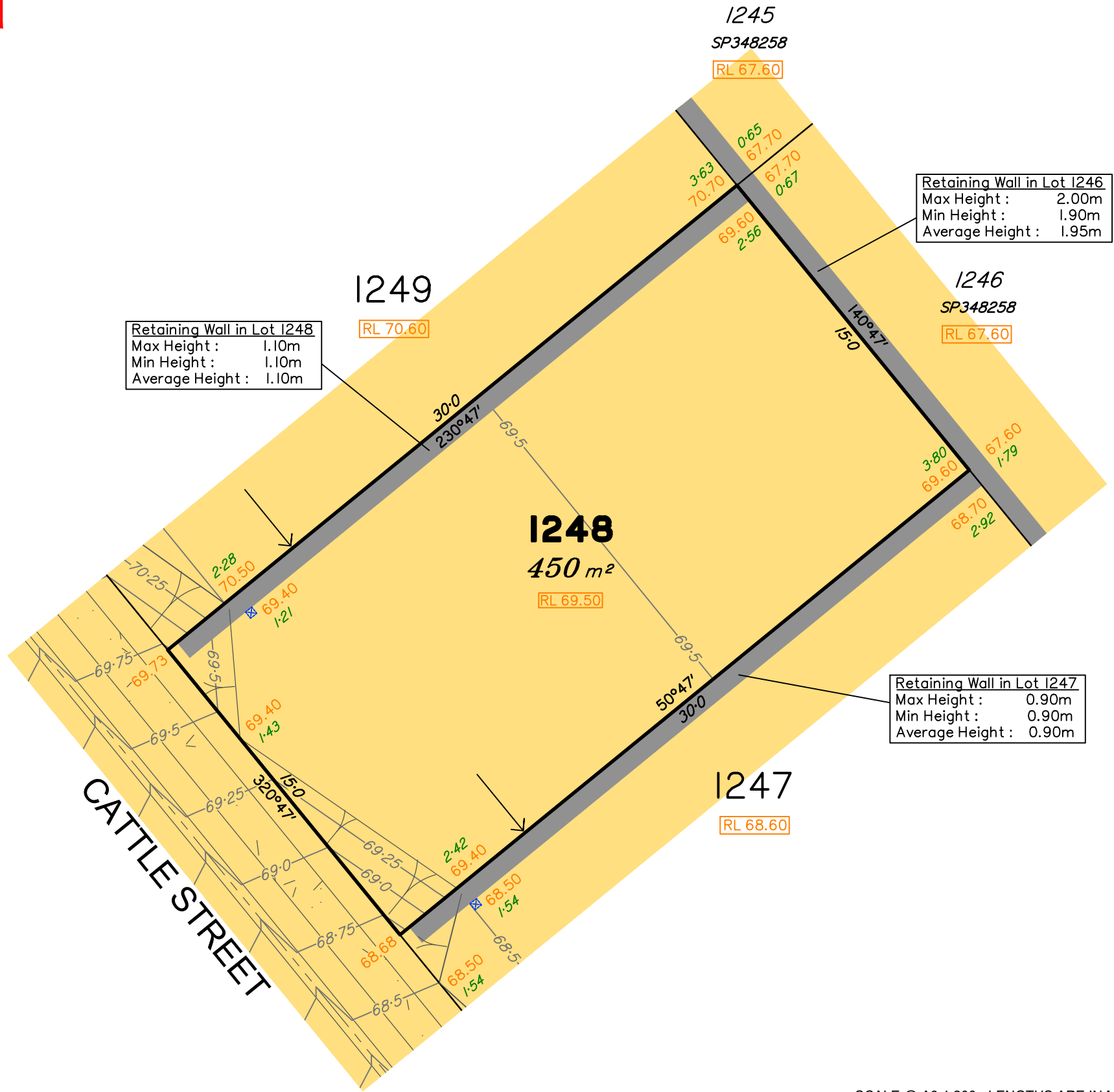
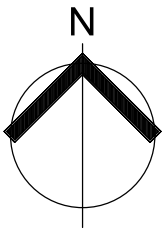


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head office 9 Thompson St Bowen Hills Q 4006  
phone 1300 123 SHG web [www.saundershavill.com](http://www.saundershavill.com)  
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**Disclosure Plan for Proposed Lot 1247 on SP348259**  
Described as part of Lot 114 on SP256133  
Existing Title Reference: 50945046  
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1247



LEGEND

- Area of Cut
  - Area of Fill
  - Design Contours
  - Depth of Fill
  - Top of Batter
  - Toe of Batter
  - Retaining Wall
  - Preferred Earthworks Pad Level
  - Finished Surface Design Level
  - Optional Built to Boundary Wall
  - 300mm x 300mm Subsurface Drainage Pit (indicative location)
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The relevant authorities have granted operational works approval for this lot.

All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

PEET

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates

EDEN'S CROSSING  
STAGE 30B



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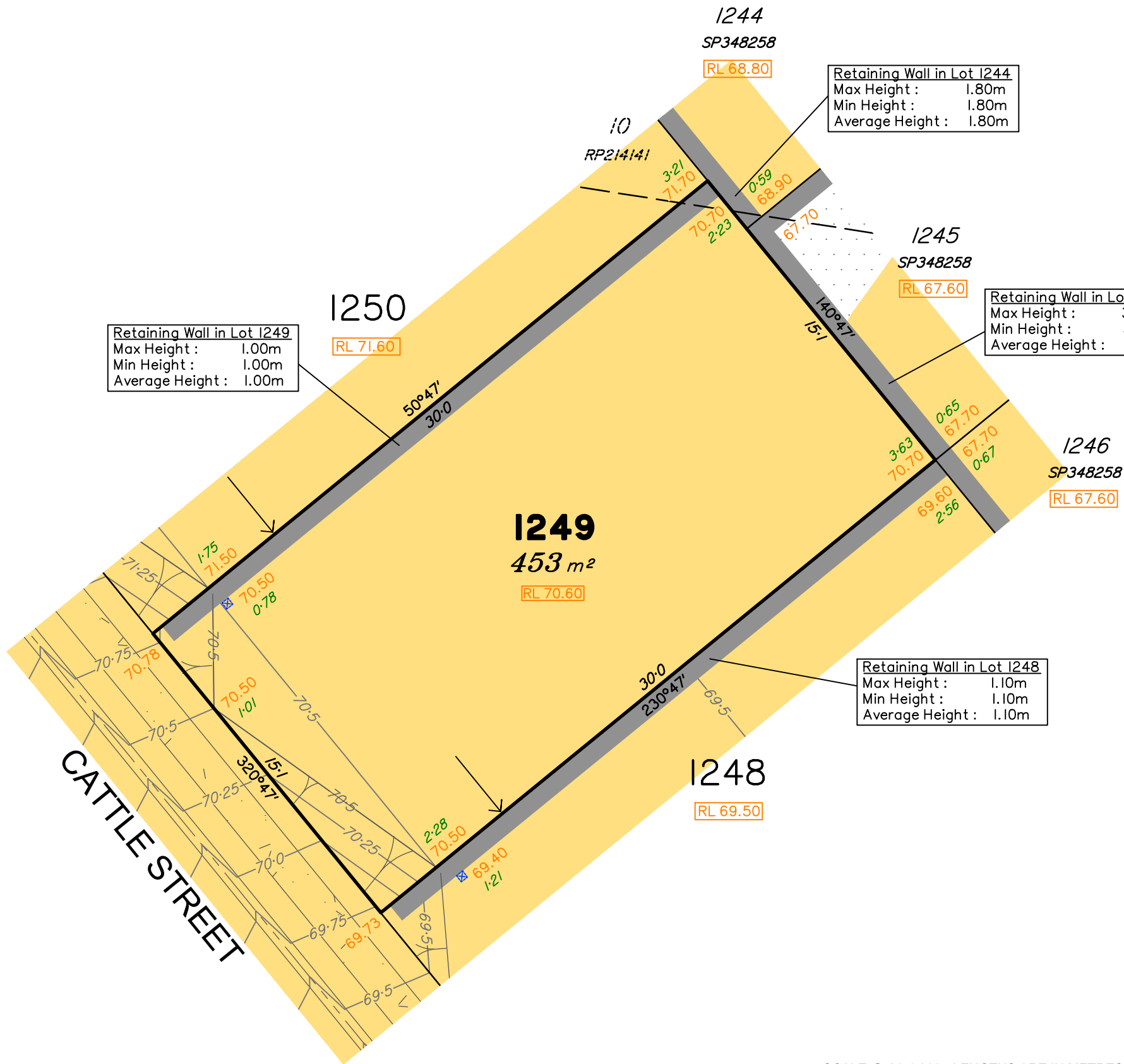
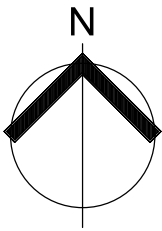
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Disclosure Plan for Proposed Lot 1248 on SP348259

Described as part of Lot 114 on SP256133  
Existing Title Reference: 50945046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1248



LEGEND

- Area of Cut
  - Area of Fill
  - Design Contours
  - Depth of Fill
  - Top of Batter
  - Toe of Batter
  - Retaining Wall
  - Preferred Earthworks Pad Level
  - Finished Surface Design Level
  - Optional Built to Boundary Wall
  - 300mm x 300mm Subsurface Drainage Pit (indicative location)
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP348259) and engineering data provided on the 16/08/2024 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 18/06/2024. (Application No: 9367/2022/CA). For updates to this approval visit [www.ipswich.qld.gov.au](http://www.ipswich.qld.gov.au)

The relevant authorities have granted operational works approval for this lot.

All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 1249 is partially restricted to the depth of 15.24 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates

EDEN'S CROSSING  
STAGE 30B



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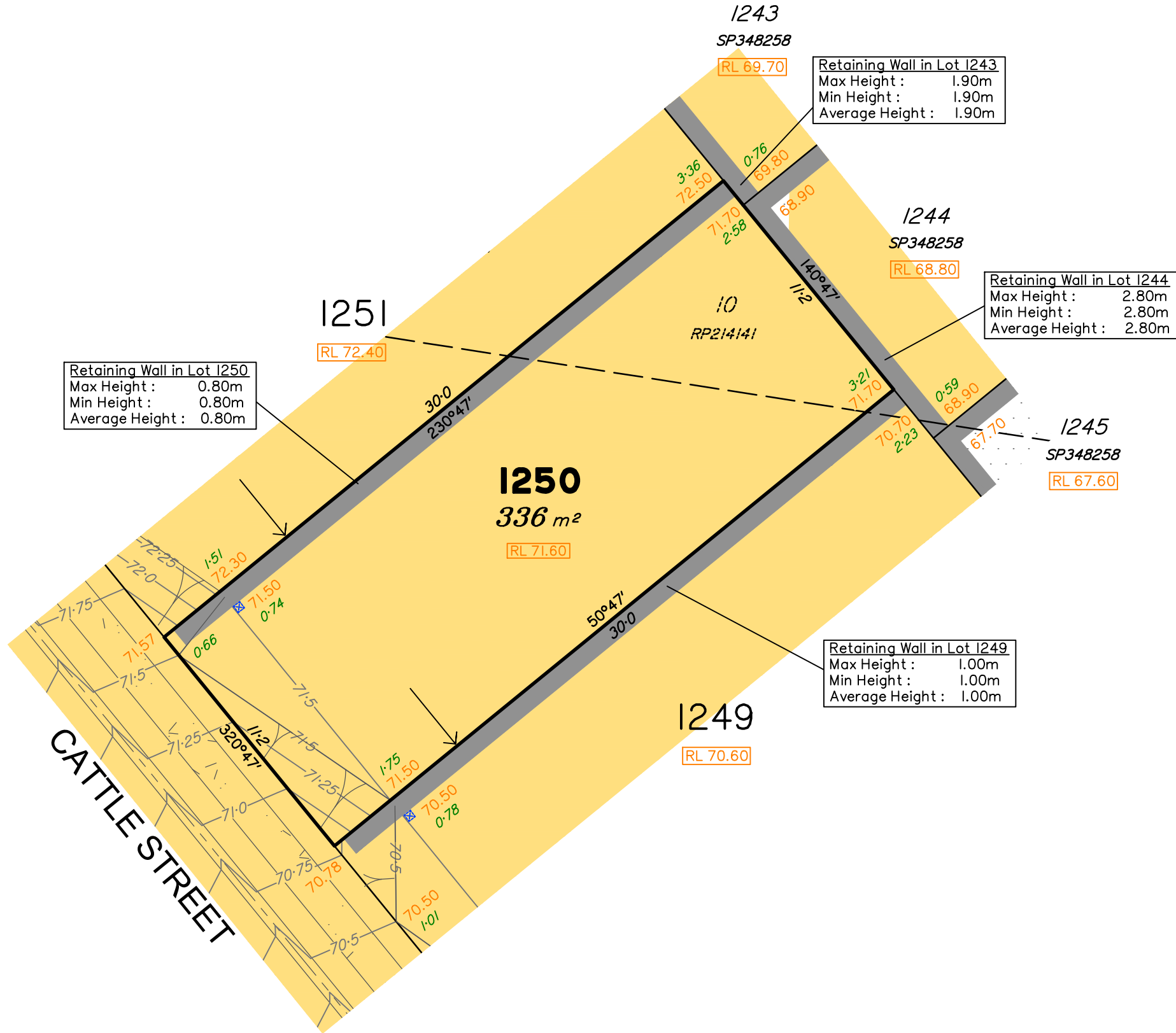
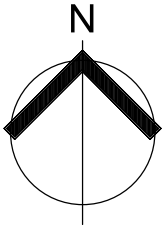
Disclosure Plan for Proposed Lot 1249 (Restricted) on SP348259

Described as part of Lot 114 on SP256133 & Lot 9002 (Restricted) on SP307757  
Existing Title Reference: 50945046 & 51189607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1249





LEGEND

- Area of Cut
  - Area of Fill
  - Design Contours
  - Depth of Fill
  - Top of Batter
  - Toe of Batter
  - Retaining Wall
  - Preferred Earthworks Pad Level
  - Finished Surface Design Level
  - Optional Built to Boundary Wall
  - 300mm x 300mm Subsurface Drainage Pit (indicative location)
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP348259) and engineering data provided on the 16/08/2024 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 18/06/2024. (Application No: 9367/2022/CA). For updates to this approval visit [www.ipswich.qld.gov.au](http://www.ipswich.qld.gov.au)

The relevant authorities have granted operational works approval for this lot.

All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 1250 is partially restricted to the depth of 15.24 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates

EDEN'S CROSSING  
STAGE 30B



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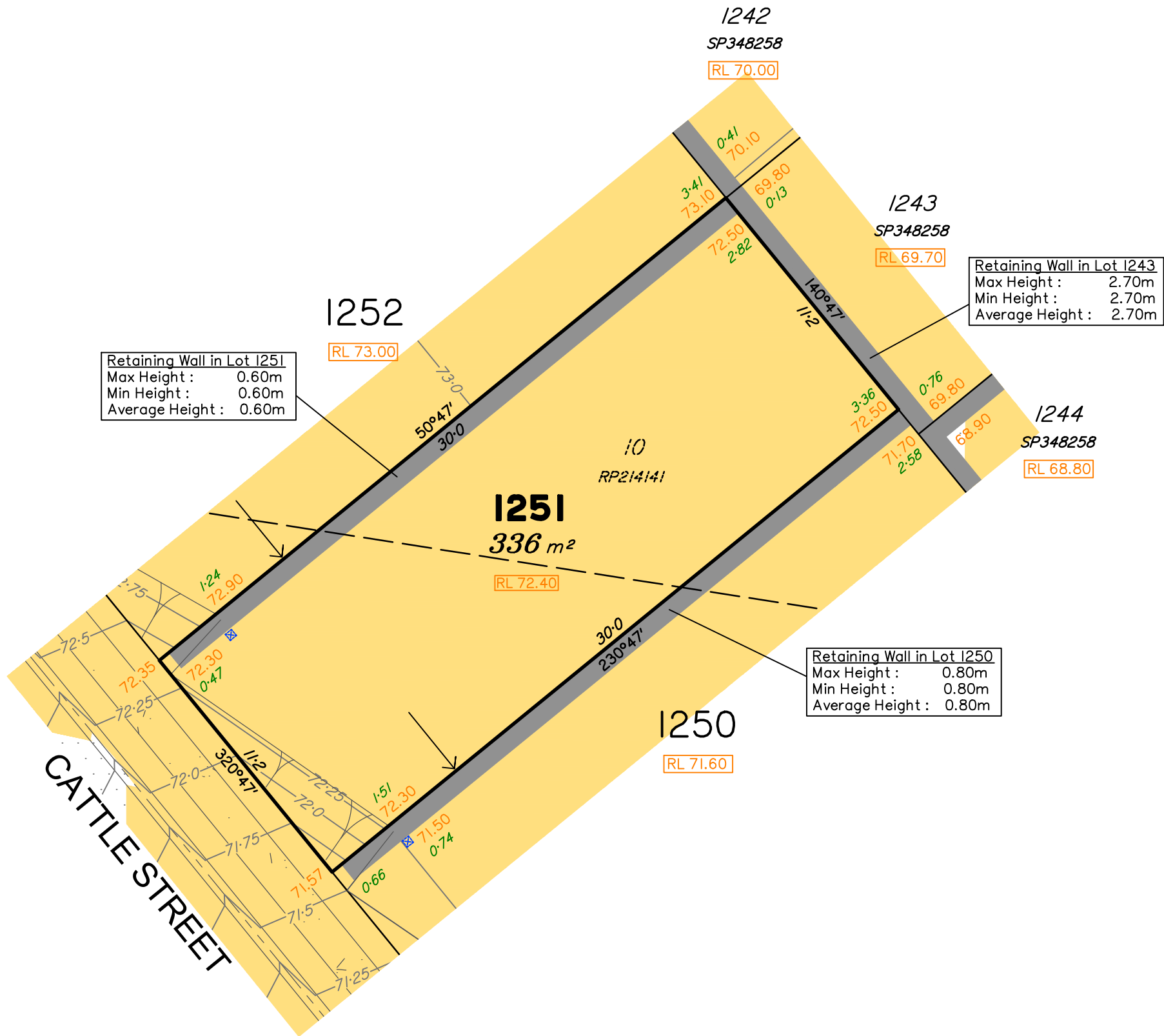
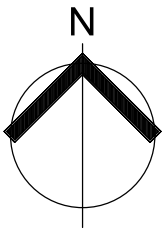
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Disclosure Plan for Proposed Lot 1250 (Restricted) on SP348259

Described as part of Lot 114 on SP256133 & Lot 9002 (Restricted) on SP307757  
Existing Title Reference: 50945046 & 51189607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1250



LEGEND

- Area of Cut
  - Area of Fill
  - Design Contours
  - Depth of Fill
  - Top of Batter
  - Toe of Batter
  - Retaining Wall
  - Preferred Earthworks Pad Level
  - Finished Surface Design Level
  - Optional Built to Boundary Wall
  - 300mm x 300mm Subsurface Drainage Pit (indicative location)
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP348259) and engineering data provided on the 16/08/2024 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 18/06/2024. (Application No: 9367/2022/CA). For updates to this approval visit [www.ipswich.qld.gov.au](http://www.ipswich.qld.gov.au)

The relevant authorities have granted operational works approval for this lot.

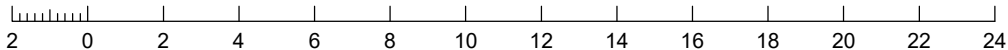
All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 1251 is partially restricted to the depth of 15.24 metres from the surface, as defined by plan M3172.

PEET

EDEN'S CROSSING  
STAGE 30B

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates



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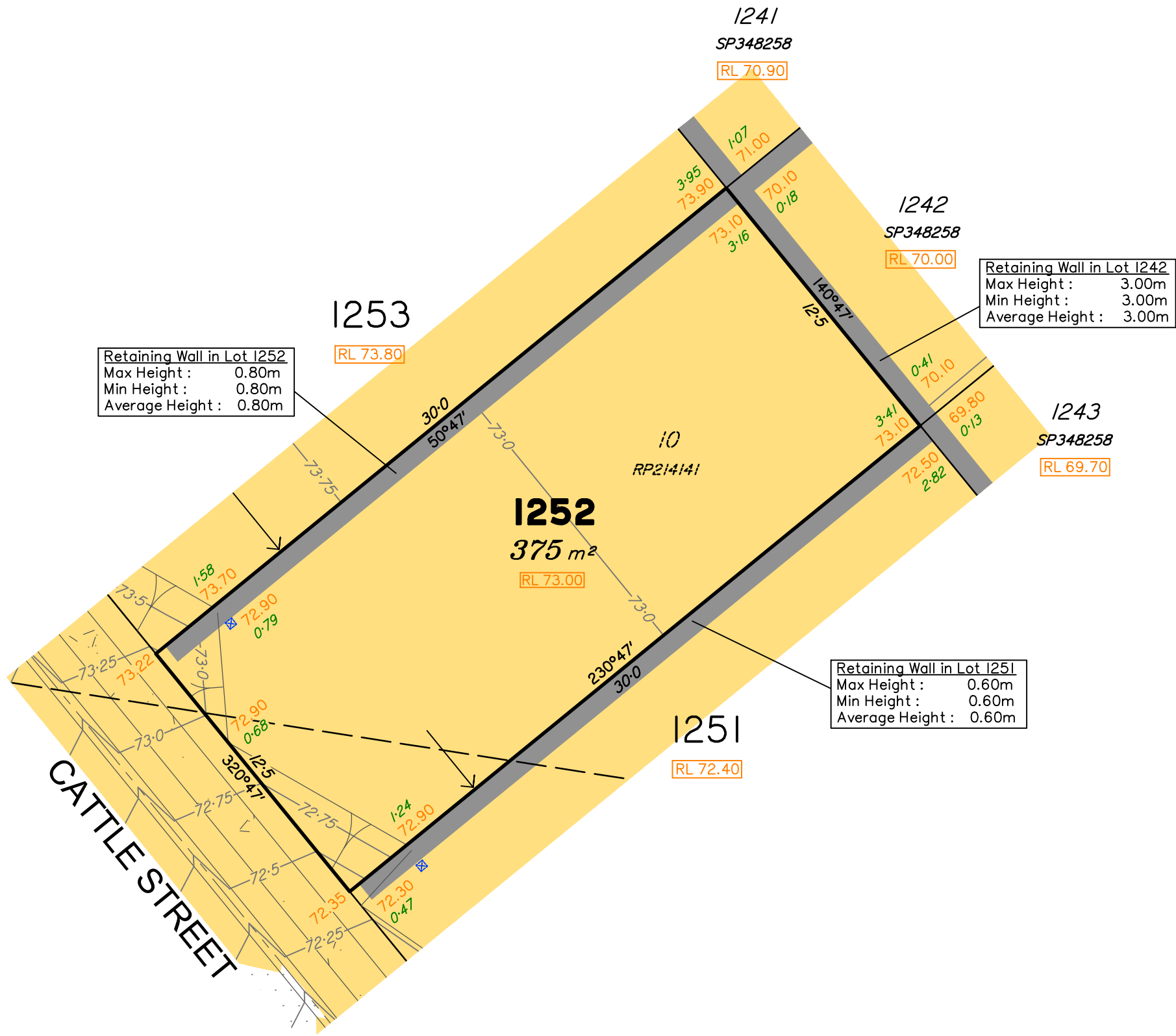
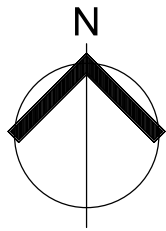
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Disclosure Plan for Proposed Lot 1251 (Restricted) on SP348259

Described as part of Lot 114 on SP256133 & Lot 9002 (Restricted) on SP307757  
Existing Title Reference: 50945046 & 51189607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1251



LEGEND

- Area of Cut
  - Area of Fill
  - Design Contours
  - Depth of Fill
  - Top of Batter
  - Toe of Batter
  - Retaining Wall
  - Preferred Earthworks Pad Level
  - Finished Surface Design Level
  - Optional Built to Boundary Wall
  - 300mm x 300mm Subsurface Drainage Pit (indicative location)
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The relevant authorities have granted operational works approval for this lot.

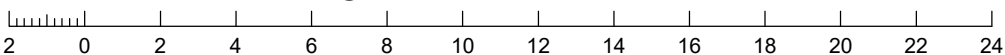
All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 1252 is partially restricted to the depth of 15.24 metres from the surface, as defined by plan M3172.

PEET

EDEN'S CROSSING  
STAGE 30B

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates



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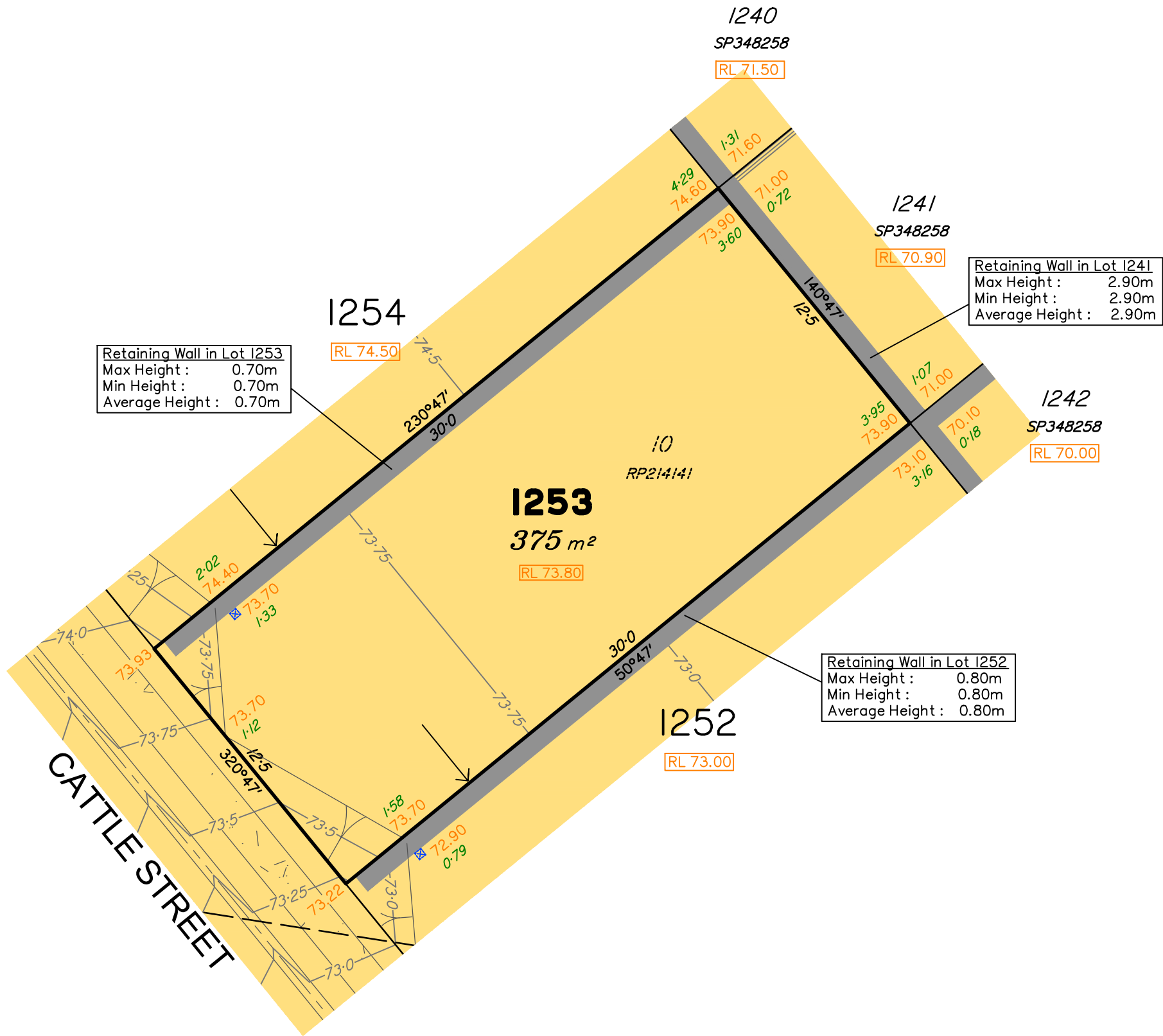
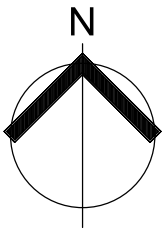
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Disclosure Plan for Proposed Lot 1252 (Restricted) on SP348259

Described as part of Lot 114 on SP256133 & Lot 9002 (Restricted) on SP307757  
Existing Title Reference: 50945046 & 51189607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1252



LEGEND

- Area of Cut
  - Area of Fill
  - Design Contours
  - Depth of Fill
  - Top of Batter
  - Toe of Batter
  - Retaining Wall
  - Preferred Earthworks Pad Level
  - Finished Surface Design Level
  - Optional Built to Boundary Wall
  - 300mm x 300mm Subsurface Drainage Pit (indicative location)
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The relevant authorities have granted operational works approval for this lot.

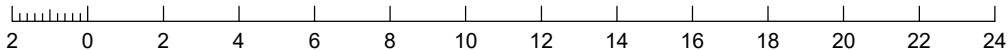
All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 1253 is restricted to the depth of 15.24 metres from the surface, as defined by plan M3172.

PEET

EDEN'S CROSSING  
STAGE 30B

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates



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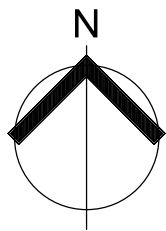
Disclosure Plan for Proposed Lot 1253 (Restricted) on SP348259

Described as part of Lot 9002 (Restricted) on SP307757  
Existing Title Reference: 51189607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1253





All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 1254 is restricted to the depth of 15.24 metres from the surface, as defined by plan M3172.

P348259

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B 1254

**SH** **saunders  
havill  
group**

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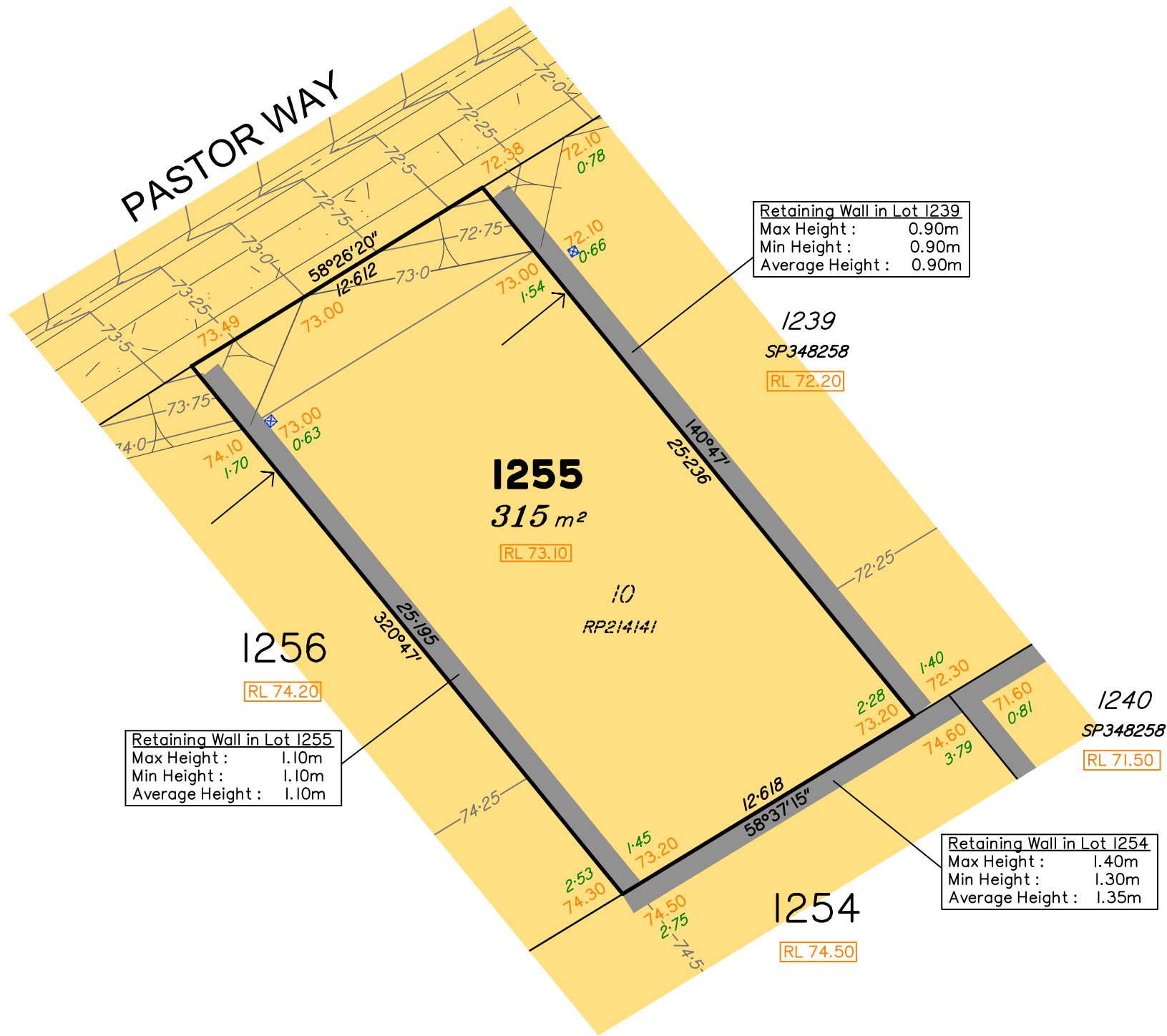
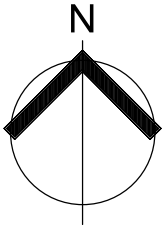
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Disclosure Plan for Proposed Lot 1254 (Restricted) on SP348259  
Described as part of Lot 9002 (Restricted) on SP307757  
Existing Title Reference: 51189607  
  
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B 1254





**LEGEND**

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall
- 300mm x 300mm Subsurface Drainage Pit (indicative location)

(Not all items in this legend may be relevant to the lot shown on this plan)

**NOTES**

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The relevant authorities have granted operational works approval for this lot.

All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 1255 is restricted to the depth of 15.24 metres from the surface, as defined by plan M3172.

**EDEN'S CROSSING**  
STAGE 30B

**PEET**

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates

**saunders havill group**

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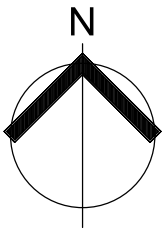
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**Disclosure Plan for Proposed Lot 1255 (Restricted) on SP348259**

Described as part of Lot 9002 (Restricted) on SP307757  
Existing Title Reference: 51189607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1255



LEGEND

- Area of Cut
  - Area of Fill
  - Design Contours
  - Depth of Fill
  - Top of Batter
  - Toe of Batter
  - Retaining Wall
  - Preferred Earthworks Pad Level
  - Finished Surface Design Level
  - Optional Built to Boundary Wall
  - 300mm x 300mm Subsurface Drainage Pit (indicative location)
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The relevant authorities have granted operational works approval for this lot.

All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 1256 is restricted to the depth of 15.24 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1256

Retaining Wall in Lot 1256  
Max Height : 0.77m  
Min Height : 0.05m  
Average Height : 0.41m

Retaining Wall in Lot 1255  
Max Height : 1.10m  
Min Height : 1.10m  
Average Height : 1.10m

Retaining Wall in Lot 1256  
Max Height : 0.76m  
Min Height : 0.26m  
Average Height : 0.51m

EDEN'S CROSSING  
STAGE 30B

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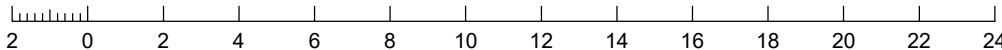
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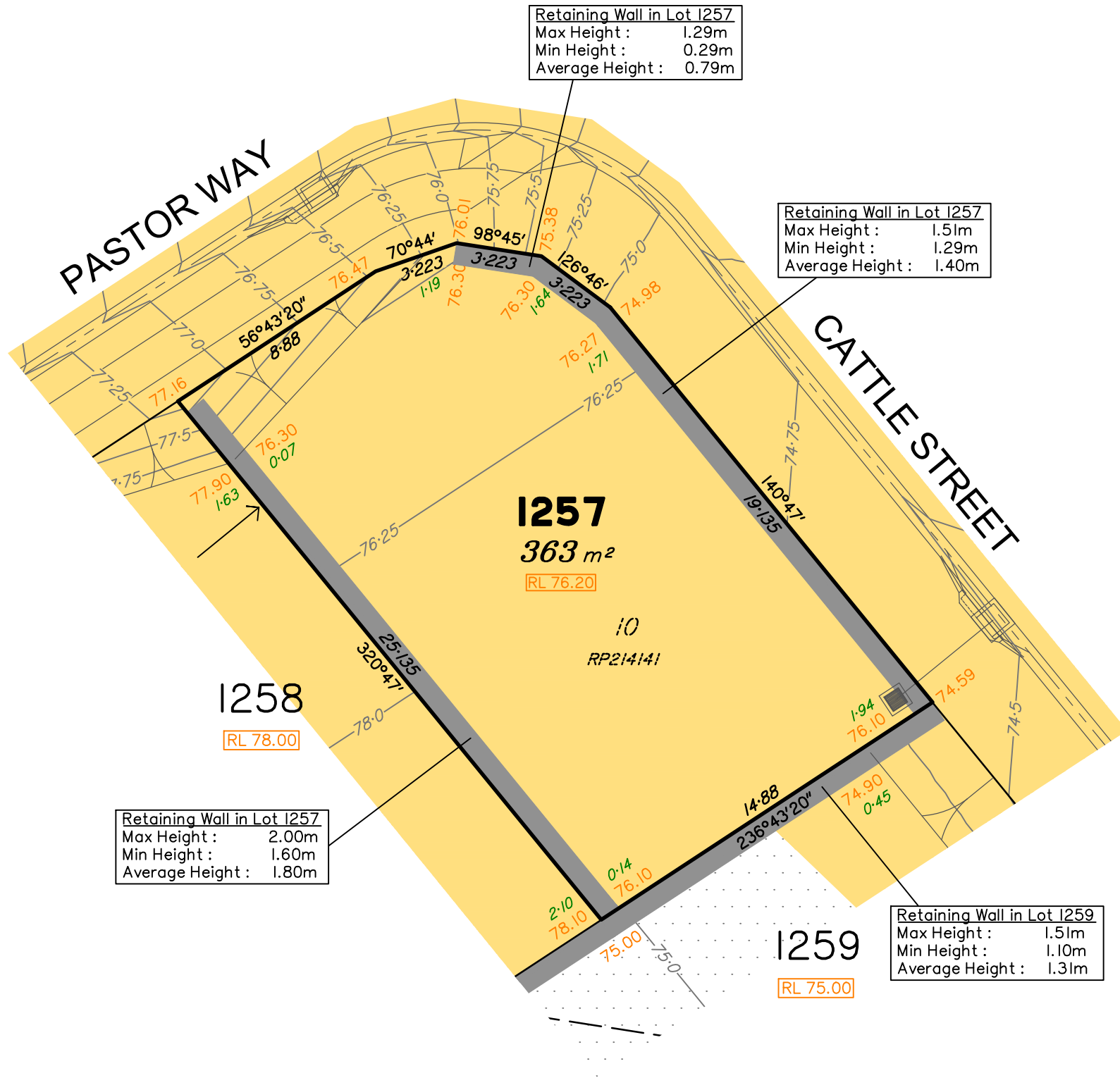
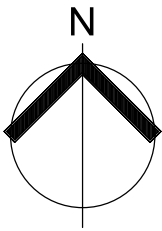
Disclosure Plan for Proposed Lot 1256 (Restricted) on SP348259

Described as part of Lot 9002 (Restricted) on SP307757  
Existing Title Reference: 51189607

Locality of Redbank Plains (Ipswich City Council)

SCALE @ A3 1:200 - LENGTHS ARE IN METRES





**LEGEND**

- Area of Cut
- Area of Fill
- Design Contours
- 1:2 Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level (RL XX.XX)
- Finished Surface Design Level (XX.XX)
- Optional Built to Boundary Wall
- 300mm x 300mm Subsurface Drainage Pit (indicative location)

(Not all items in this legend may be relevant to the lot shown on this plan)

**NOTES**

This plan has been prepared from preliminary survey plan (SP348259) and engineering data provided on the 16/08/2024 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 18/06/2024. (Application No: 9367/2022/CA). For updates to this approval visit [www.ipswich.qld.gov.au](http://www.ipswich.qld.gov.au)

The relevant authorities have granted operational works approval for this lot.

All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 1257 is restricted to the depth of 15.24 metres from the surface, as defined by plan M3172.

**EDEN'S CROSSING**  
STAGE 30B

**PEET**

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates

**saunders havill group**

Saunders Havill Group Pty Ltd ABN 24 144 972 949  
Brisbane Springfield  
head office 9 Thompson St Bowen Hills Q 4006  
phone 1300 123 SHG web [www.saundershavill.com](http://www.saundershavill.com)

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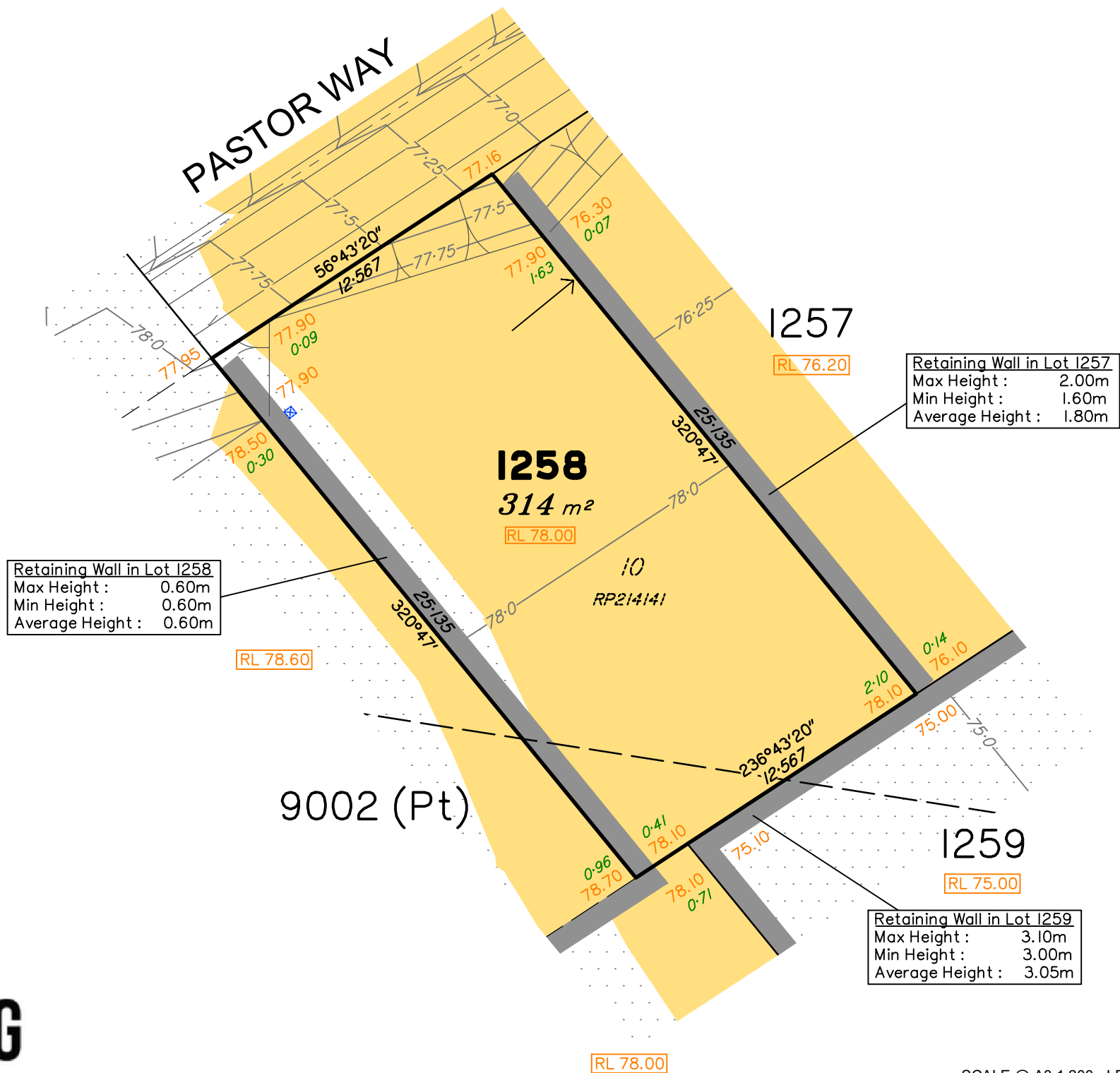
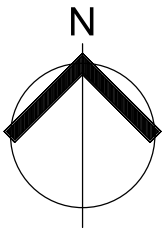
**Disclosure Plan for Proposed Lot 1257 (Restricted) on SP348259**

Described as part of Lot 9002 (Restricted) on SP307757  
Existing Title Reference: 51189607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1257





LEGEND

- Area of Cut
  - Area of Fill
  - Design Contours
  - 1:2 Depth of Fill
  - Top of Batter
  - Toe of Batter
  - Retaining Wall
  - Preferred Earthworks Pad Level (RL XX.XX)
  - Finished Surface Design Level (XX.XX)
  - Optional Built to Boundary Wall
  - 300mm x 300mm Subsurface Drainage Pit (indicative location)
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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Development approval was granted for this subdivision by the Ipswich City Council on 18/06/2024. (Application No: 9367/2022/CA). For updates to this approval visit [www.ipswich.qld.gov.au](http://www.ipswich.qld.gov.au)

The relevant authorities have granted operational works approval for this lot.

All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 1258 is partially restricted to the depth of 15.24 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates

EDEN'S  
CROSSING  
STAGE 30B



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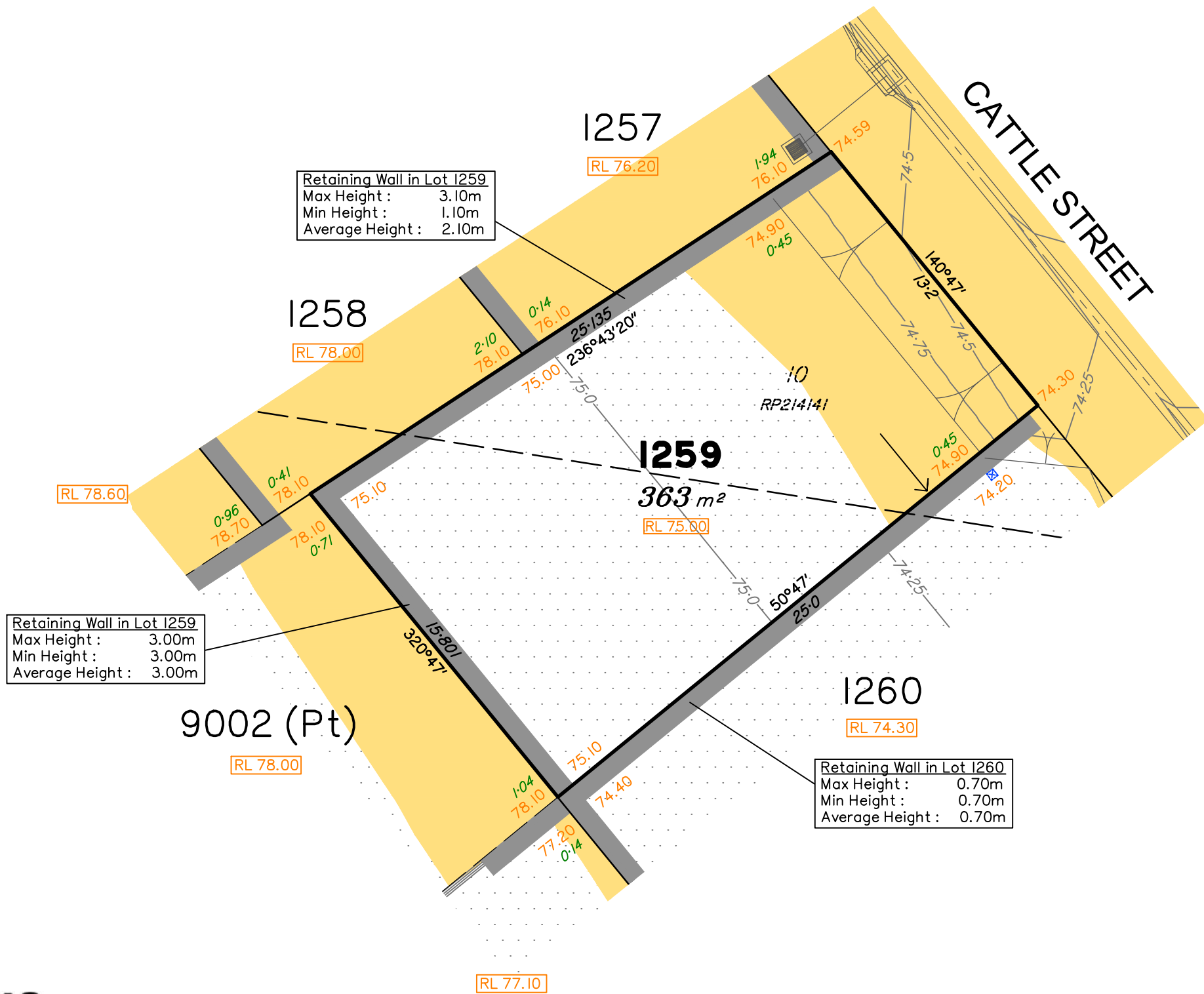
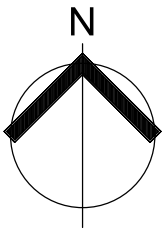
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Disclosure Plan for Proposed Lot 1258 (Restricted) on SP348259

Described as part of Lot 114 on SP256133 & Lot 9002 (Restricted) on SP307757  
Existing Title Reference: 50945046 & 51189607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1258



**EDEN'S CROSSING**  
STAGE 30B

#### LEGEND

- Area of Cut
  - Area of Fill
  - Design Contours
  - Depth of Fill
  - Top of Batter
  - Toe of Batter
  - Retaining Wall
  - Preferred Earthworks Pad Level
  - Finished Surface Design Level
  - Optional Built to Boundary Wall
  - 300mm x 300mm Subsurface Drainage Pit (indicative location)
- (Not all items in this legend may be relevant to the lot shown on this plan)

#### NOTES

This plan has been prepared from preliminary survey plan (SP348259) and engineering data provided on the 16/08/2024 by KN Group Pty Ltd.

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(Application No: 9367/2022/CA).  
For updates to this approval visit [www.ipswich.qld.gov.au](http://www.ipswich.qld.gov.au)

The relevant authorities have granted operational works approval for this lot.

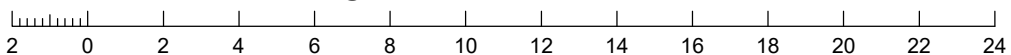
All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 1259 is partially restricted to the depth of 15.24 metres from the surface, as defined by plan M3172.

**PEET**

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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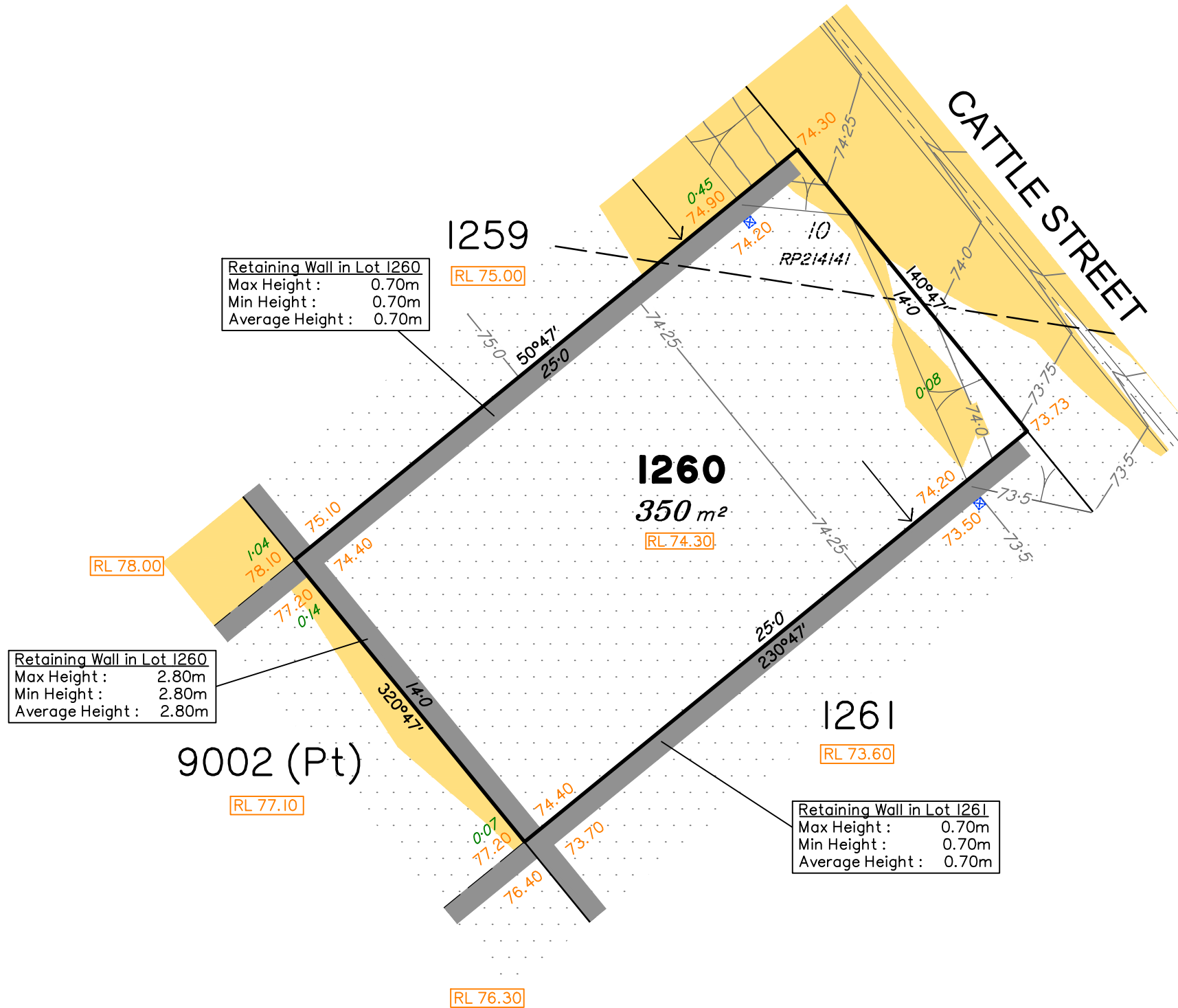
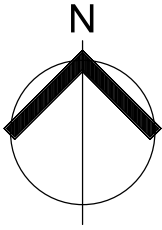
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#### Disclosure Plan for Proposed Lot 1259 (Restricted) on SP348259

Described as part of Lot 114 on SP256133 & Lot 9002 (Restricted) on SP307757  
Existing Title Reference: 50945046 & 51189607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1259



**LEGEND**

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall
- 300mm x 300mm Subsurface Drainage Pit (indicative location)

(Not all items in this legend may be relevant to the lot shown on this plan)

**NOTES**

This plan has been prepared from preliminary survey plan (SP348259) and engineering data provided on the 16/08/2024 by KN Group Pty Ltd.

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The relevant authorities have granted operational works approval for this lot.

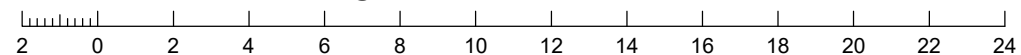
All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 1260 is partially restricted to the depth of 15.24 metres from the surface, as defined by plan M3172.

**EDEN'S CROSSING**  
STAGE 30B

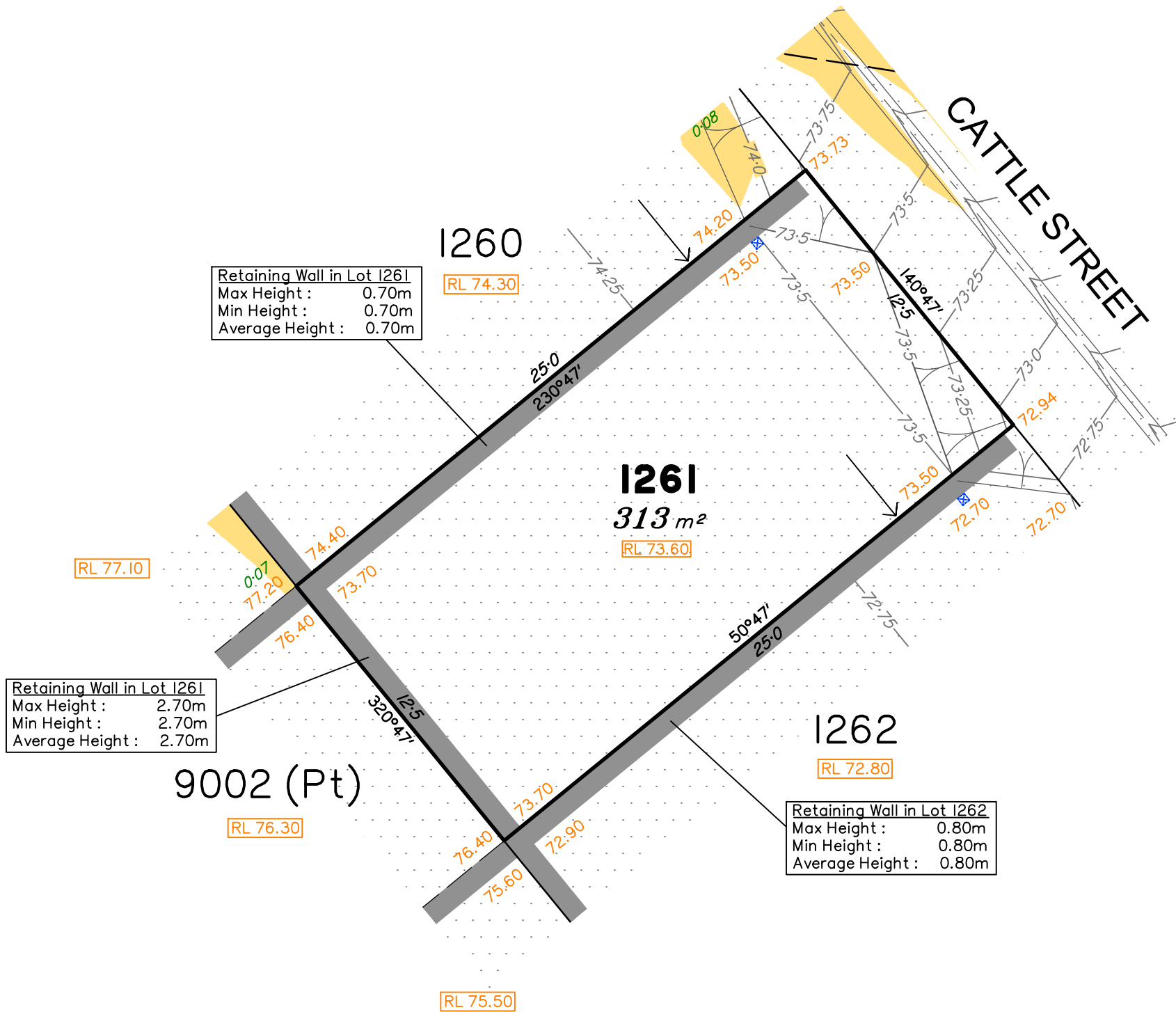
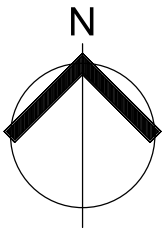
**PEET**

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates





LEGEND

- Area of Cut
  - Area of Fill
  - Design Contours
  - Depth of Fill
  - Top of Batter
  - Toe of Batter
  - Retaining Wall
  - Preferred Earthworks Pad Level
  - Finished Surface Design Level
  - Optional Built to Boundary Wall
  - 300mm x 300mm Subsurface Drainage Pit (indicative location)
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The relevant authorities have granted operational works approval for this lot.

PEET

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates

EDEN'S  
CROSSING  
STAGE 30B



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phone 1300 123 SHG web [www.saundershavill.com](http://www.saundershavill.com)

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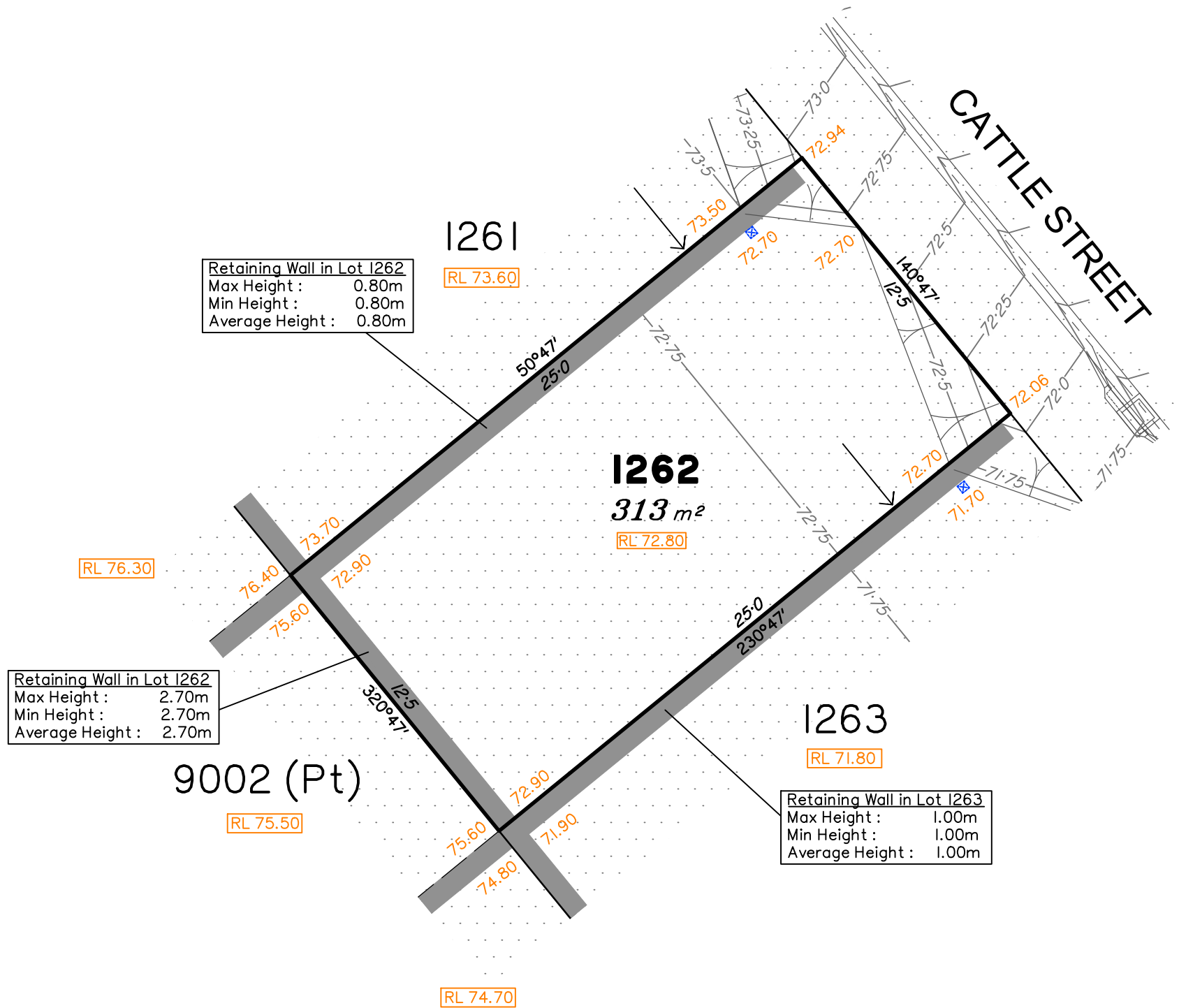
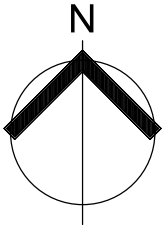
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Disclosure Plan for Proposed Lot 1261 on SP348259

Described as part of Lot 114 on SP256133  
Existing Title Reference: 50945046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1261



LEGEND

- Area of Cut
  - Area of Fill
  - Design Contours
  - 1:2 Depth of Fill
  - Top of Batter
  - Toe of Batter
  - Retaining Wall
  - Preferred Earthworks Pad Level
  - Finished Surface Design Level
  - Optional Built to Boundary Wall
  - 300mm x 300mm Subsurface Drainage Pit (indicative location)
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The relevant authorities have granted operational works approval for this lot.

PEET

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates

EDEN'S  
CROSSING  
STAGE 30B



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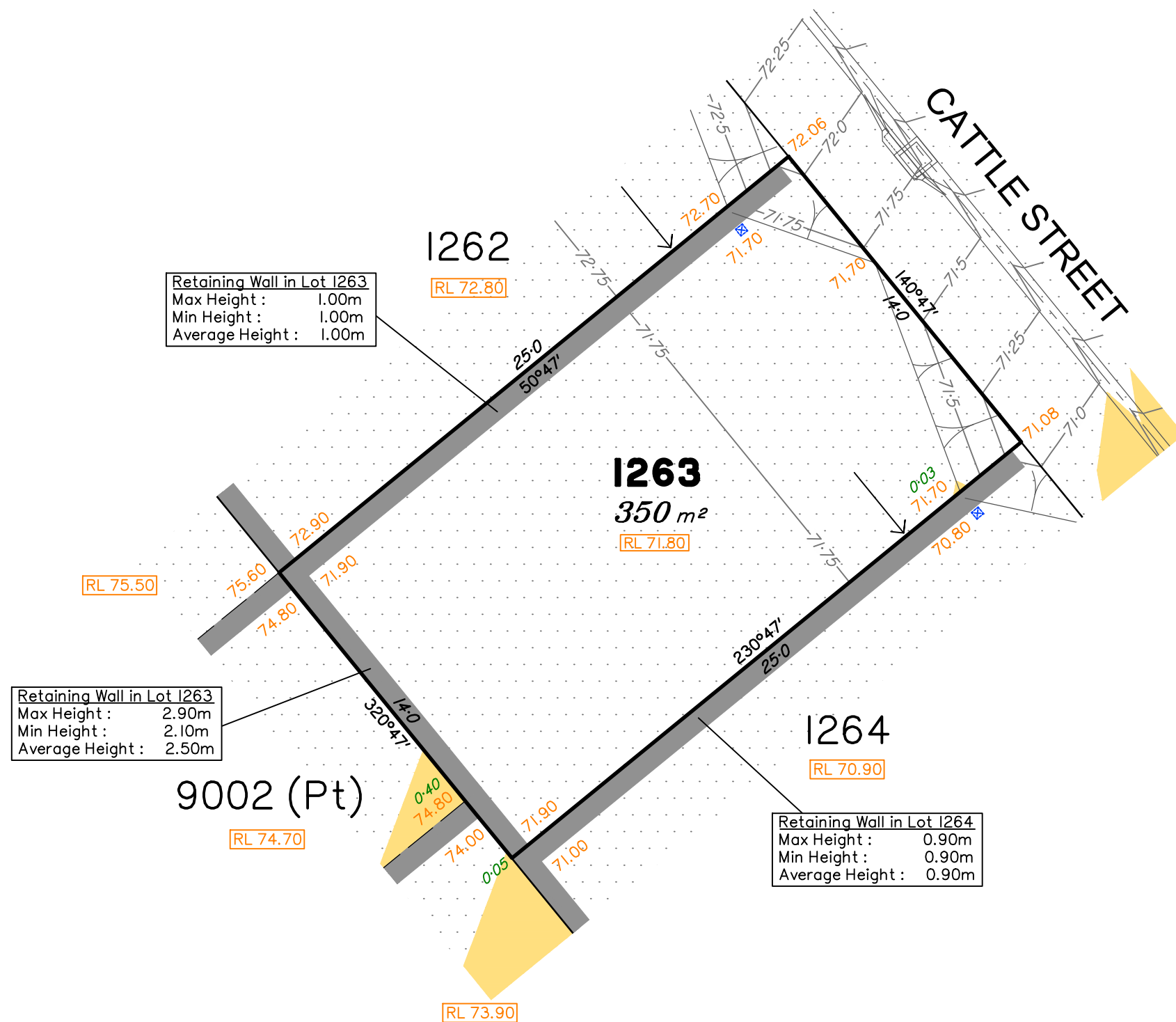
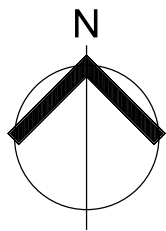
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Disclosure Plan for Proposed Lot 1262 on SP348259

Described as part of Lot 114 on SP256133  
Existing Title Reference: 50945046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1262



**EDEN'S  
CROSSING**  
STAGE 30B

SCALE @ A3 1:200 - LENGTHS ARE IN METRES

A horizontal number line with tick marks every 1 unit. Major tick marks are labeled with even integers: -2, 0, 2, 4, 6, 8, 10, 12, 14, 16, 18, 20, 22, and 24. The line extends from -2 to 24.

# PEET

No.	by	Date	Chkd	Description
A	MS	08/10/24	PS	Original Issue
B	MD	13/02/25	PS	Road names added, minor civil updates

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B 1263



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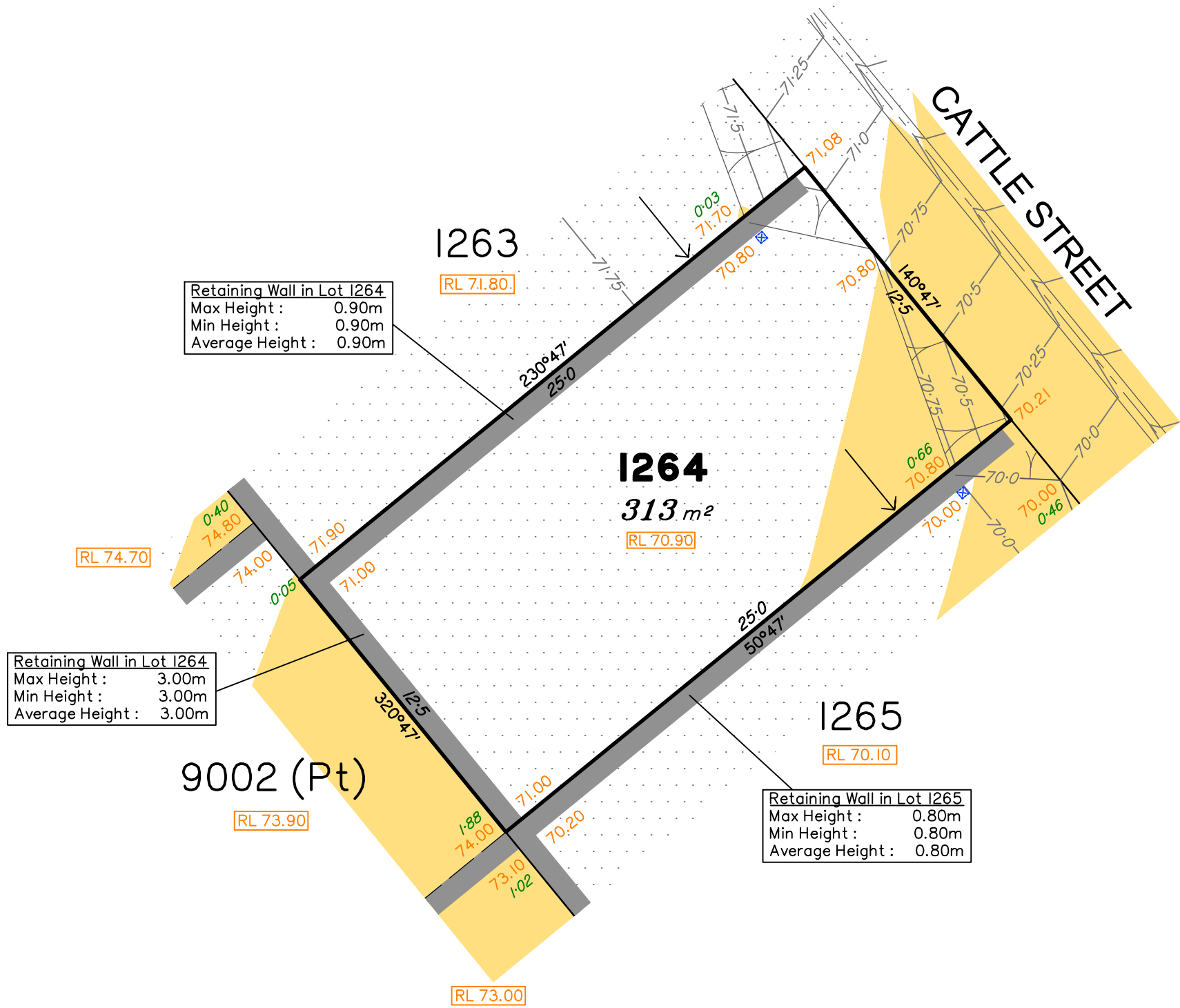
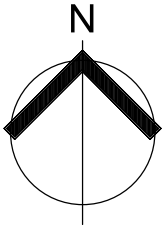
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# Disclosure Plan for Proposed Lot 1263 on SP348259

Described as part of Lot 114 on SP256133  
Existing Title Reference: 50945046

Locality of Redbank Plains (Ipswich City Council)





LEGEND

Area of Cut

Area of Fill

Design Contours

1:2

Depth of Fill

Top of Batter

Toe of Batter

Retaining Wall

RL XX.XX

Preferred Earthworks Pad Level

XX.XX

Finished Surface Design Level

Optional Built to Boundary Wall

300mm x 300mm Subsurface Drainage Pit (indicative location)

(Not all items in this legend may be relevant to the lot shown on this plan)

**NOTES**

This plan has been prepared from preliminary survey plan (SP348259) and engineering data provided on the 16/08/2024 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 18/06/2024. (Application No: 9367/2022/CA). For updates to this approval visit [www.ipswich.qld.gov.au](http://www.ipswich.qld.gov.au)

The relevant authorities have granted operational works approval for this lot.

All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

EDEN'S  
CROSSING  
STAGE 30B

PEET

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates

SH

saunders  
havill  
group

Saunders Havill Group Pty Ltd

ABN 24 144 972 949

Brisbane Springfield

head office 9 Thompson St Bowen Hills Q 4006

phone 1300 123 SHG web [www.saundershavill.com](http://www.saundershavill.com)

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Disclosure Plan for Proposed Lot 1264 on SP348259

Described as part of Lot 114 on SP256133

Existing Title Reference: 50945046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.

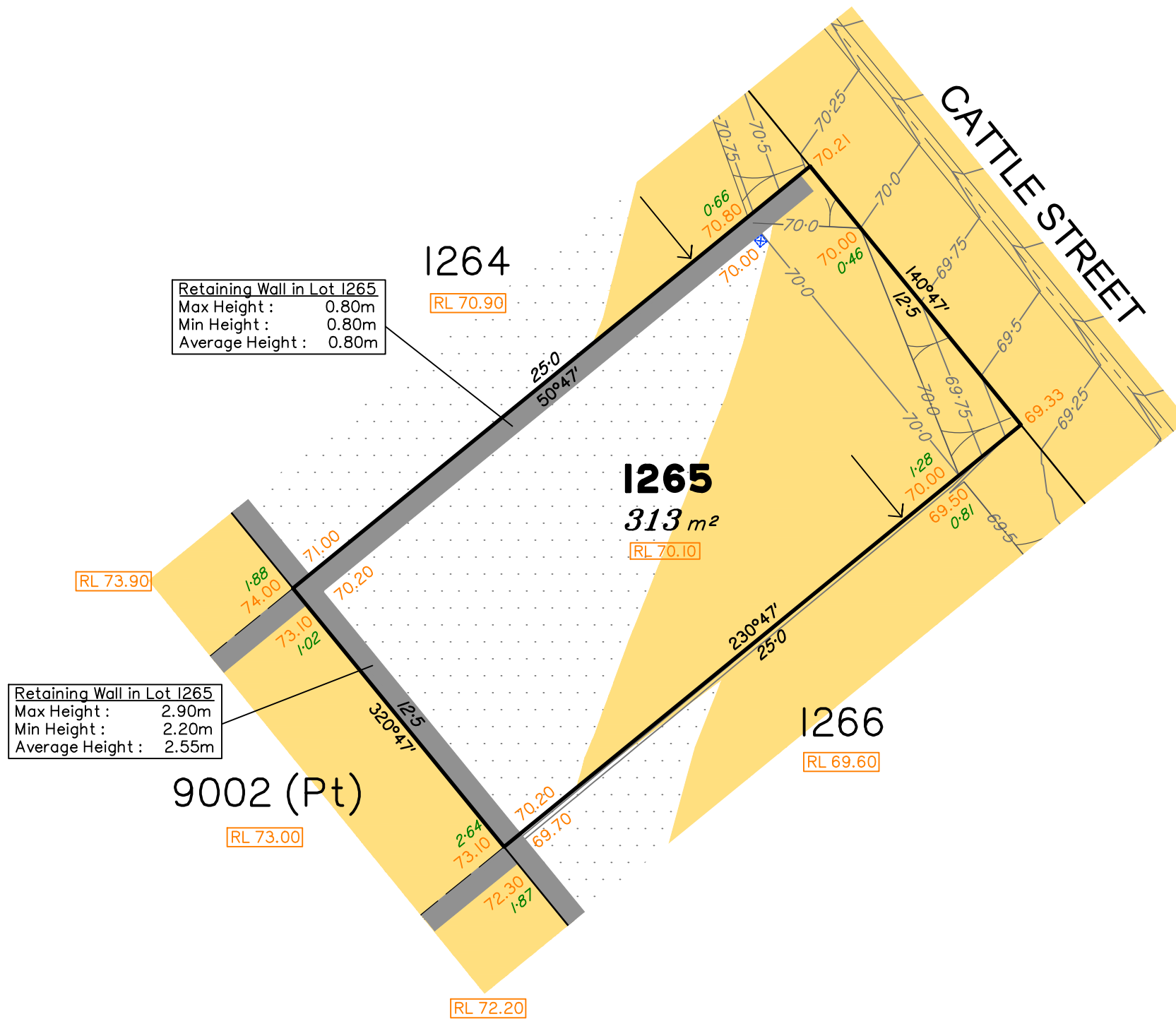
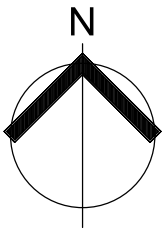
Origin of Levels: PM203676

RL of Origin: 74.071

Contour Interval: 0.25m

Scale @A3 1: 200

Plan No. 9919 S 08 DP B\_1264



Retaining Wall in Lot 1265  
Max Height : 0.80m  
Min Height : 0.80m  
Average Height : 0.80m

Retaining Wall in Lot 1266  
Max Height : 2.90m  
Min Height : 2.20m  
Average Height : 2.55m

**EDEN'S  
CROSSING**  
STAGE 30B



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### Disclosure Plan for Proposed Lot 1265 on SP348259

Described as part of Lot 114 on SP256133  
Existing Title Reference: 50945046

Locality of Redbank Plains (Ipswich City Council)

#### LEGEND

- Area of Cut
  - Area of Fill
  - Design Contours
  - Depth of Fill
  - Top of Batter
  - Toe of Batter
  - Retaining Wall
  - Preferred Earthworks Pad Level
  - Finished Surface Design Level
  - Optional Built to Boundary Wall
  - 300mm x 300mm Subsurface Drainage Pit (indicative location)
- (Not all items in this legend may be relevant to the lot shown on this plan)

#### NOTES

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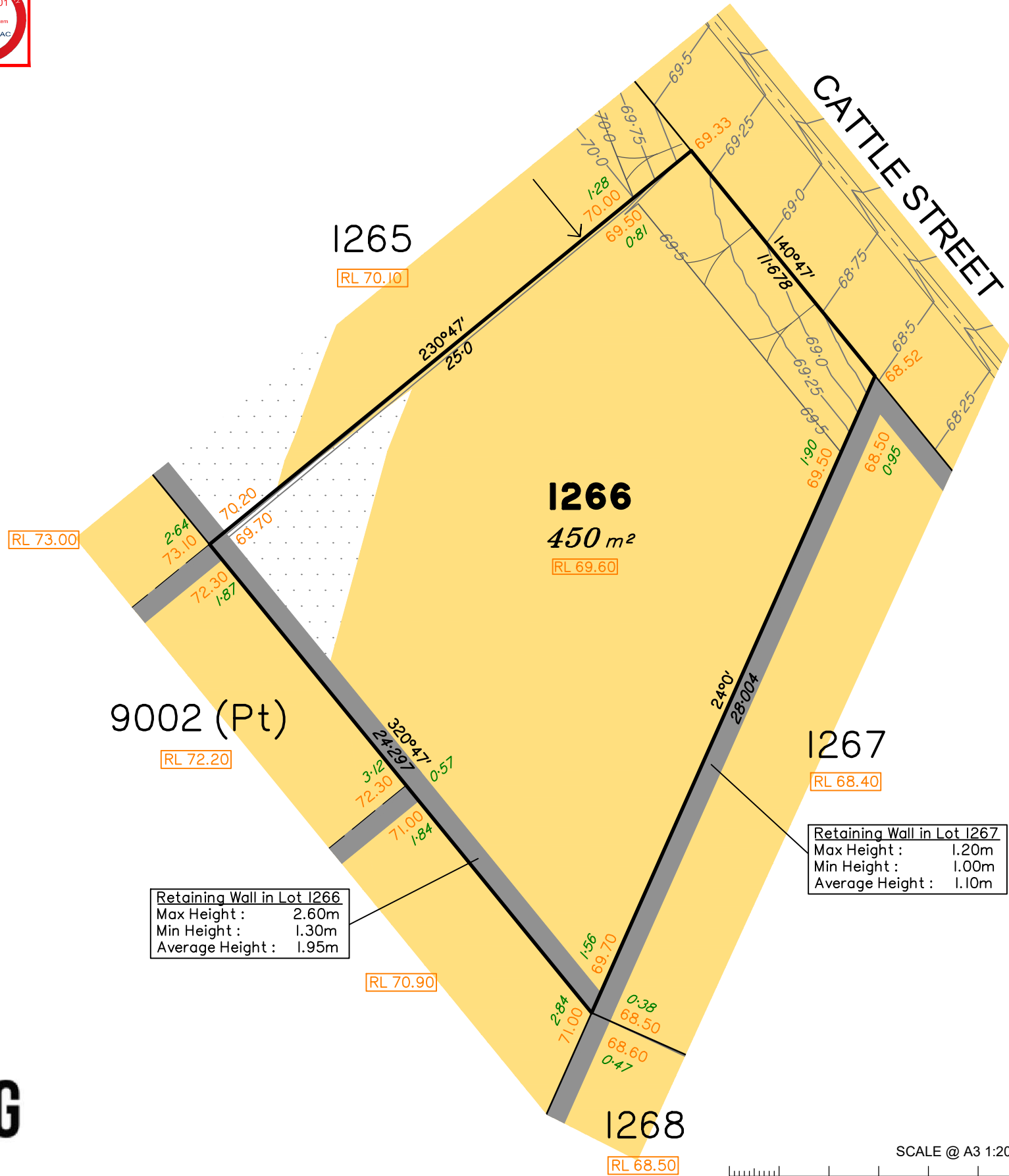
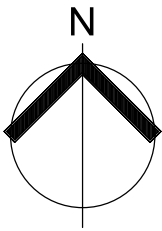
The relevant authorities have granted operational works approval for this lot.

All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

# PEET

No.	by	Date	Chkd	Description
A	MS	08/10/24	PS	Original Issue
B	MD	13/02/25	PS	Road names added, minor civil updates

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1265



**LEGEND**

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall
- 300mm x 300mm Subsurface Drainage Pit (indicative location)

(Not all items in this legend may be relevant to the lot shown on this plan)

**NOTES**

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The relevant authorities have granted operational works approval for this lot.

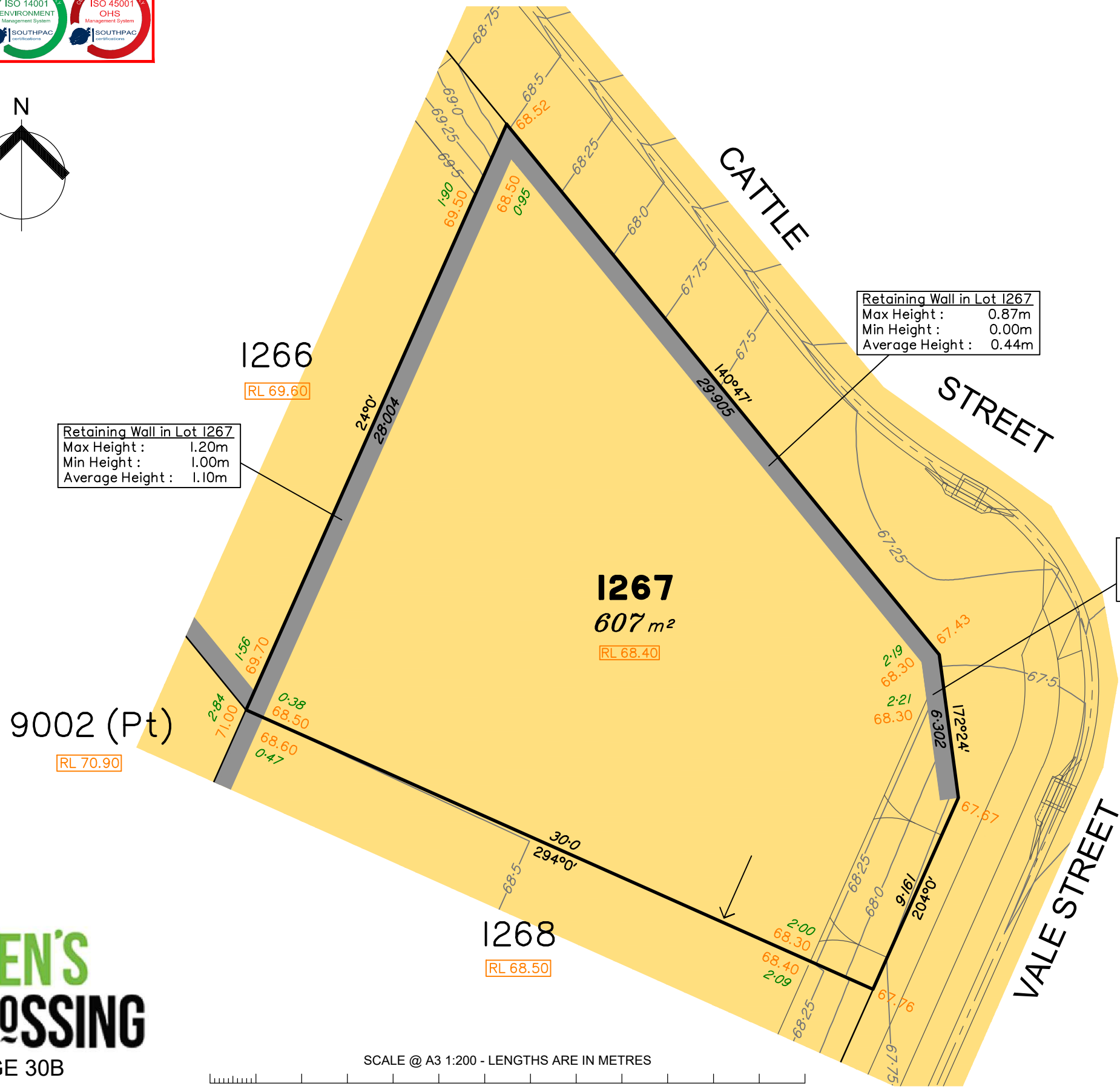
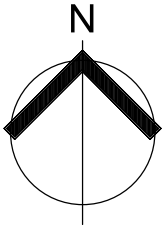
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**EDEN'S CROSSING**  
STAGE 30B

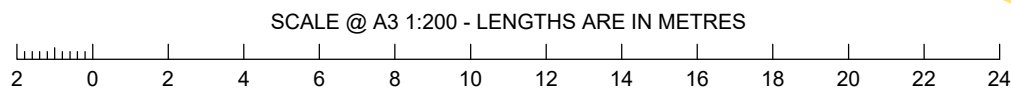
**PEET**

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates





**EDEN'S CROSSING**  
STAGE 30B



**LEGEND**

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall
- 300mm x 300mm Subsurface Drainage Pit (indicative location)

(Not all items in this legend may be relevant to the lot shown on this plan)

**NOTES**

This plan has been prepared from preliminary survey plan (SP348259) and engineering data provided on the 16/08/2024 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 18/06/2024. (Application No: 9367/2022/CA). For updates to this approval visit [www.ipswich.qld.gov.au](http://www.ipswich.qld.gov.au)

The relevant authorities have granted operational works approval for this lot.

All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

**PEET**

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
	B	MD	13/02/25	PS	Road names added, minor civil updates

**saunders havill group**

Saunders Havill Group Pty Ltd ABN 24 144 972 949  
Brisbane Springfield  
head office 9 Thompson St Bowen Hills Q 4006  
phone 1300 123 SHG web [www.saundershavill.com](http://www.saundershavill.com)

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

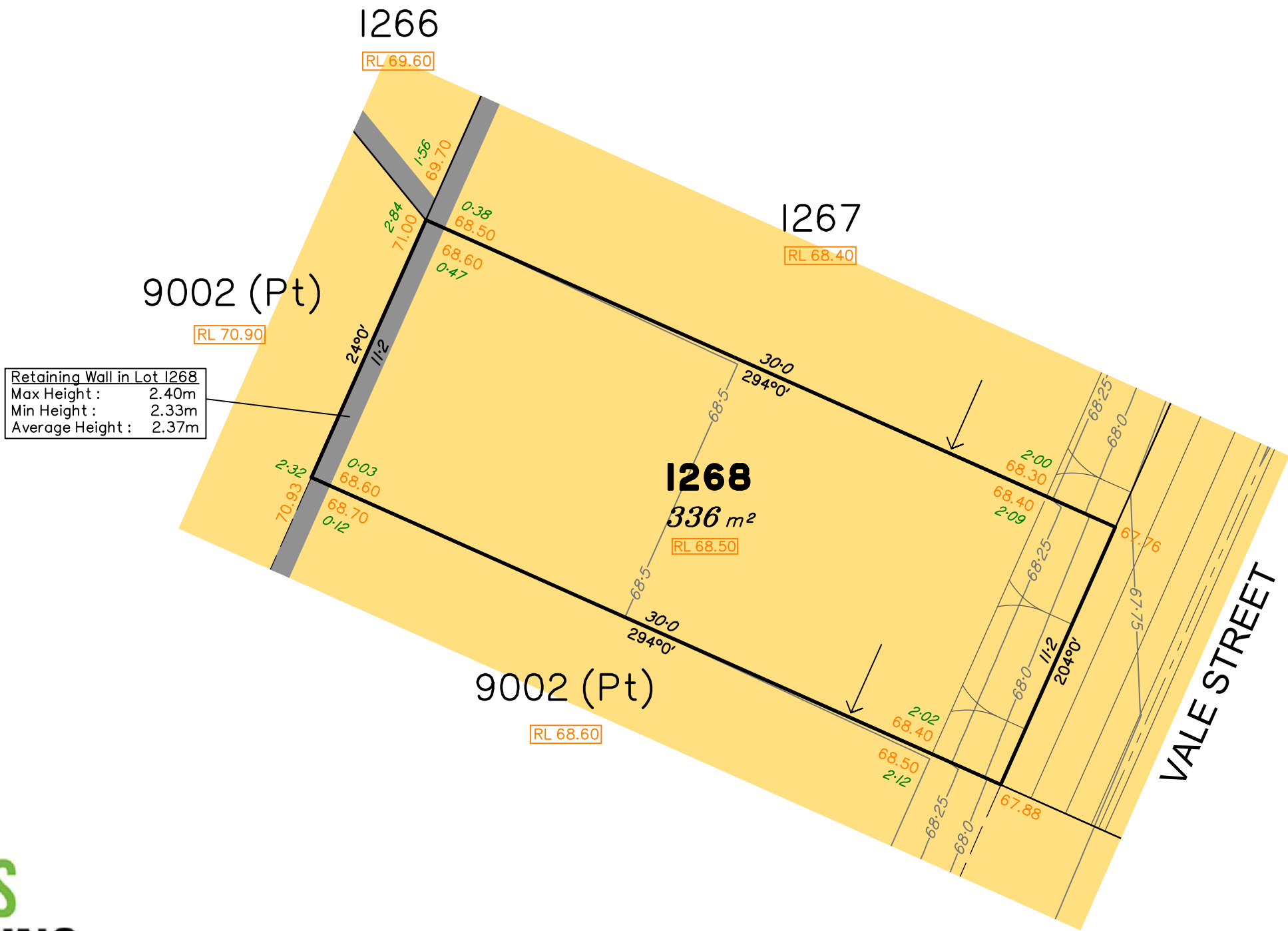
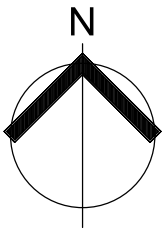
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 1267 on SP348259**

Described as part of Lot 114 on SP256133  
Existing Title Reference: 50945046

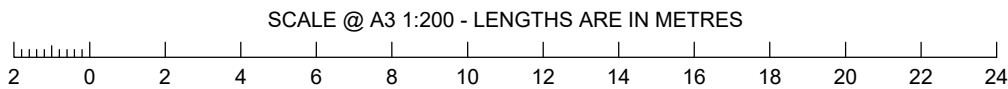
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1267



Retaining Wall in Lot 1268  
Max Height : 2.40m  
Min Height : 2.33m  
Average Height : 2.37m

**EDEN'S  
CROSSING**  
STAGE 30B



#### LEGEND

- Area of Cut
  - Area of Fill
  - Design Contours
  - Depth of Fill
  - Top of Batter
  - Toe of Batter
  - Retaining Wall
  - Preferred Earthworks Pad Level
  - Finished Surface Design Level
  - Optional Built to Boundary Wall
  - 300mm x 300mm Subsurface Drainage Pit (indicative location)
- (Not all items in this legend may be relevant to the lot shown on this plan)

#### NOTES

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**PEET**

Issues	No.	by	Date	Chkd	Description
	A	MS	08/10/24	PS	Original Issue
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#### Disclosure Plan for Proposed Lot 1268 on SP348259

Described as part of Lot 114 on SP256133  
Existing Title Reference: 50945046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9919 S 08 DP B\_1268