







DISCLOSURE PLAN

For Proposed Lot 287
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s — ● Sewer/Sewer Manhole
 - sv — sv — ⊕ Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — □ Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — X Water/Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
(Installed by Developer)

- Notes:**
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village

GREEN



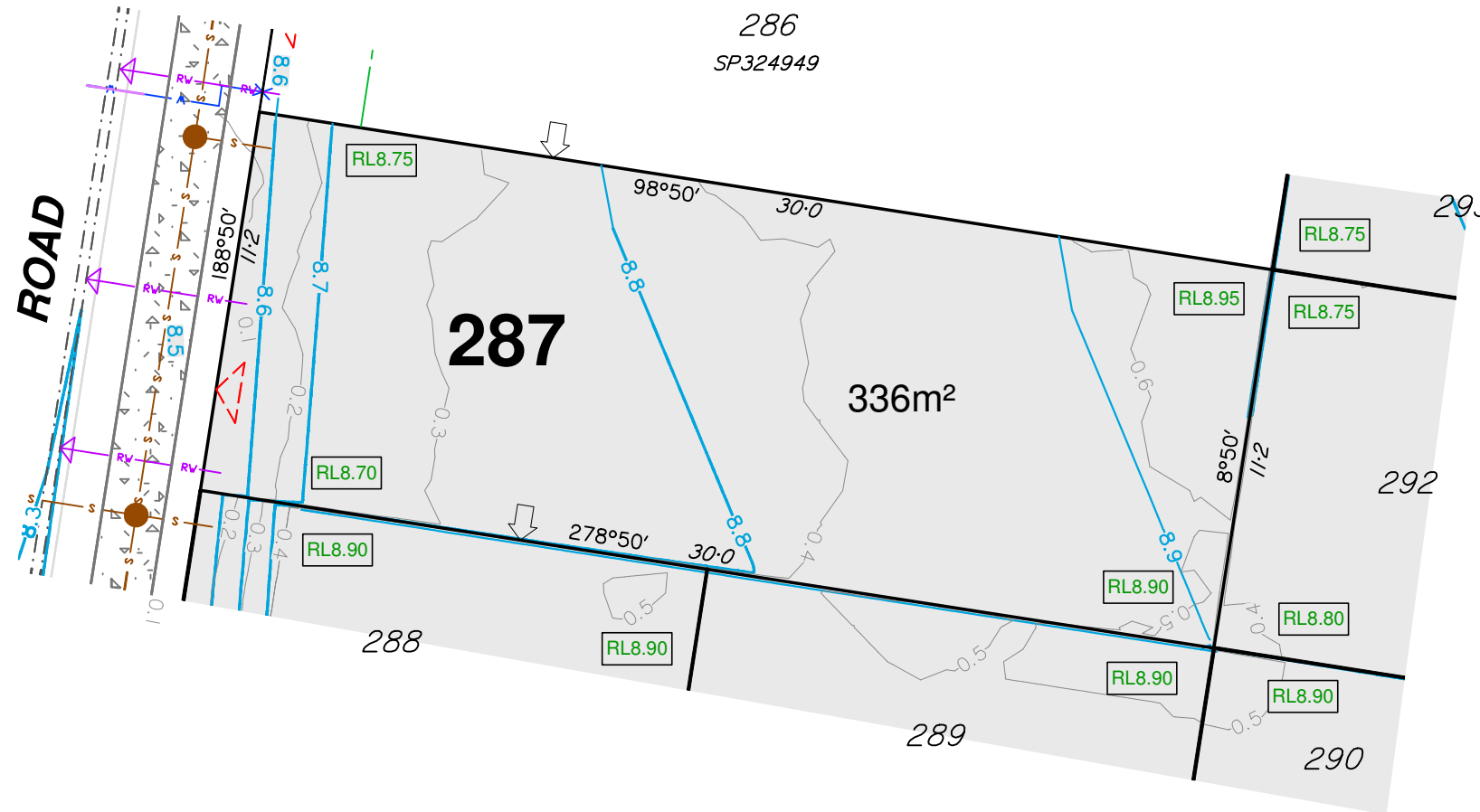
□ Planning
□ Urban Design
□ Landscape
□ Environment
□ Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-287 VERSION B



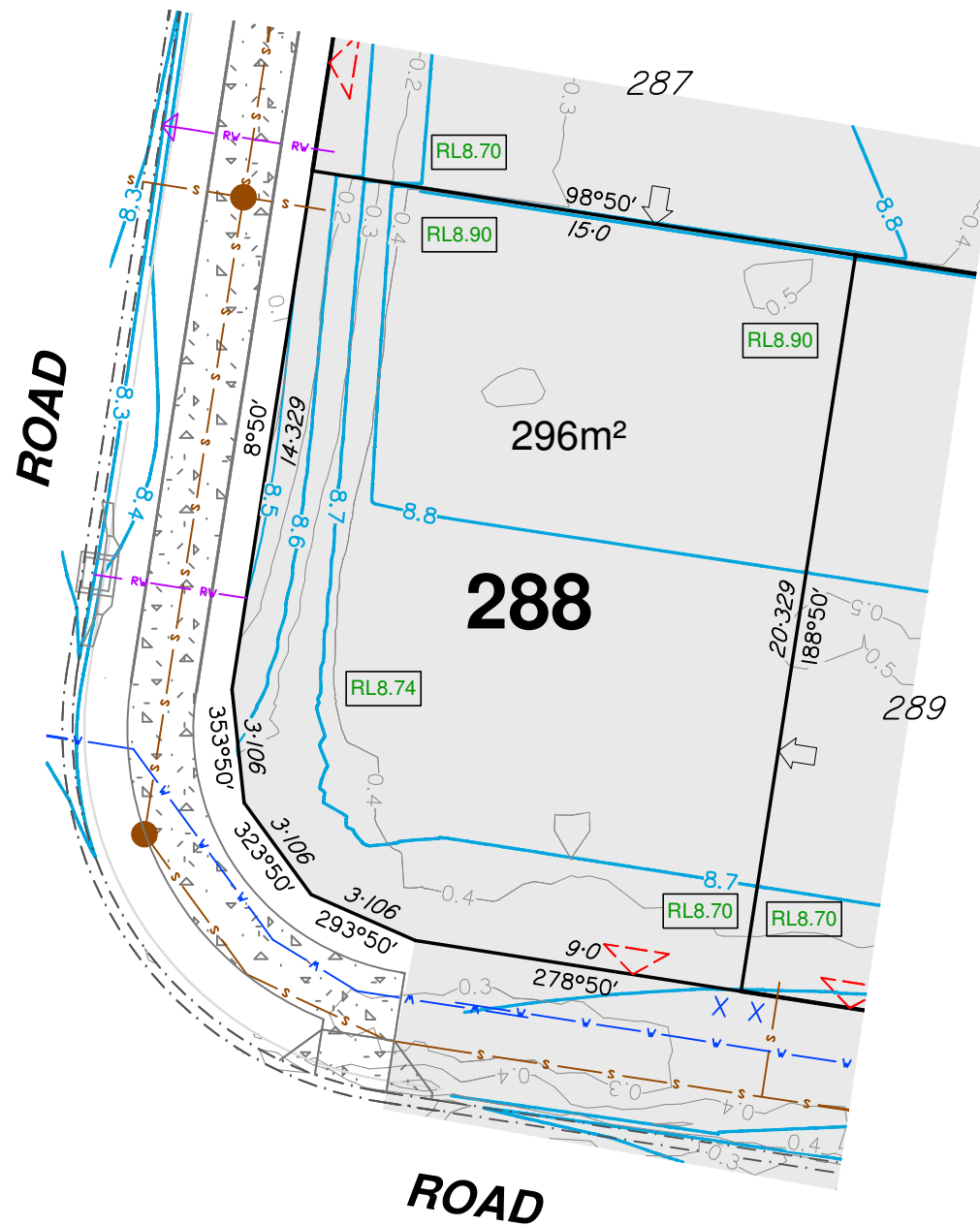
DISCLOSURE PLAN

For Proposed Lot 288
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
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village
GREEN

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 25-07-2022
DRAWING NO. SS3787_07A-01-288
VERSION C

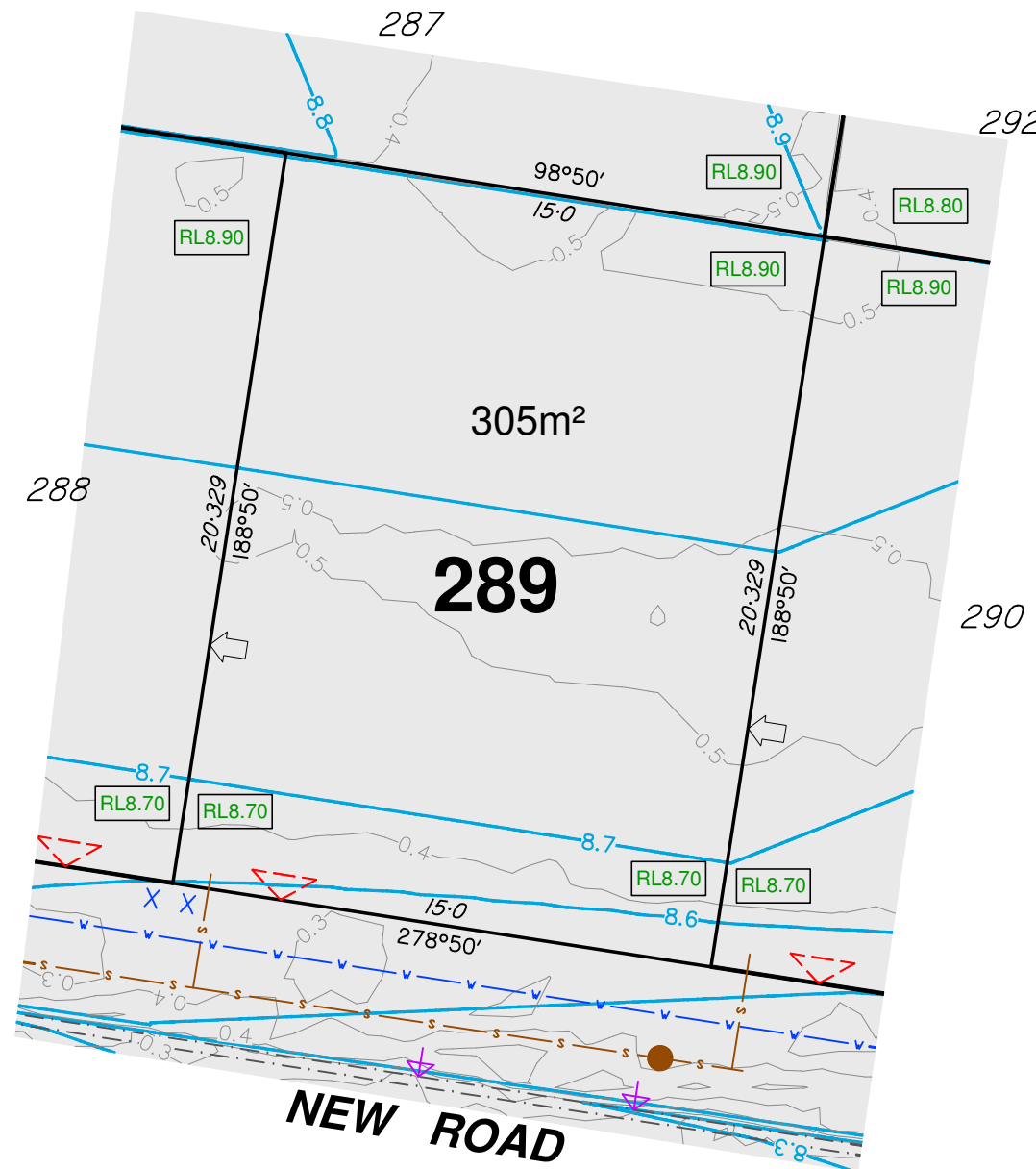
DISCLOSURE PLAN

For Proposed Lot 289
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
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village
GREEN

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

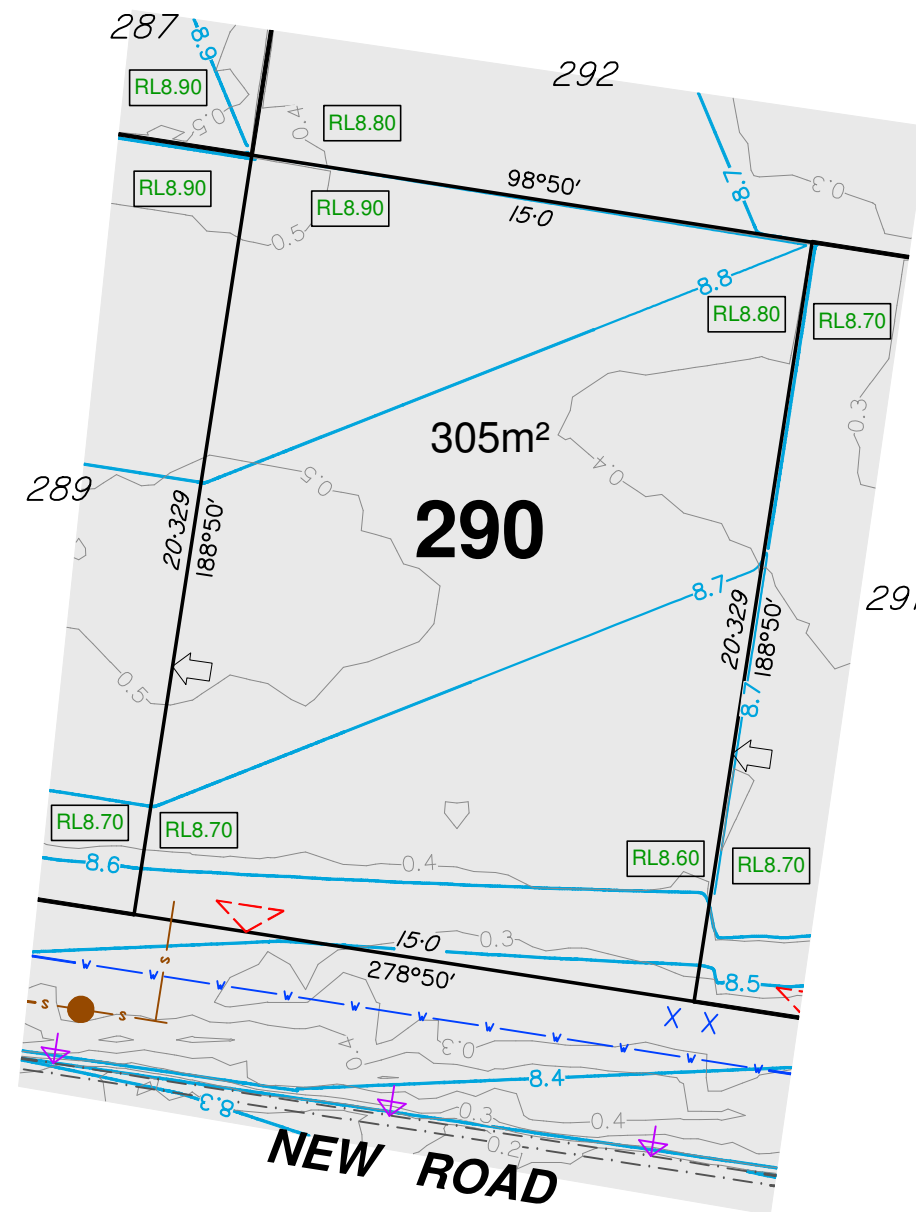
DATE DRAWN 26-07-2022 DRAWING NO. SS3787_07A-01-289 VERSION C

DISCLOSURE PLAN

For Proposed Lot 290
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
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 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s — s Sewer/Sewer Manhole
 - sv — sv — sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — rv Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v — v Water/Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
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village
GREEN

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-290 VERSION B

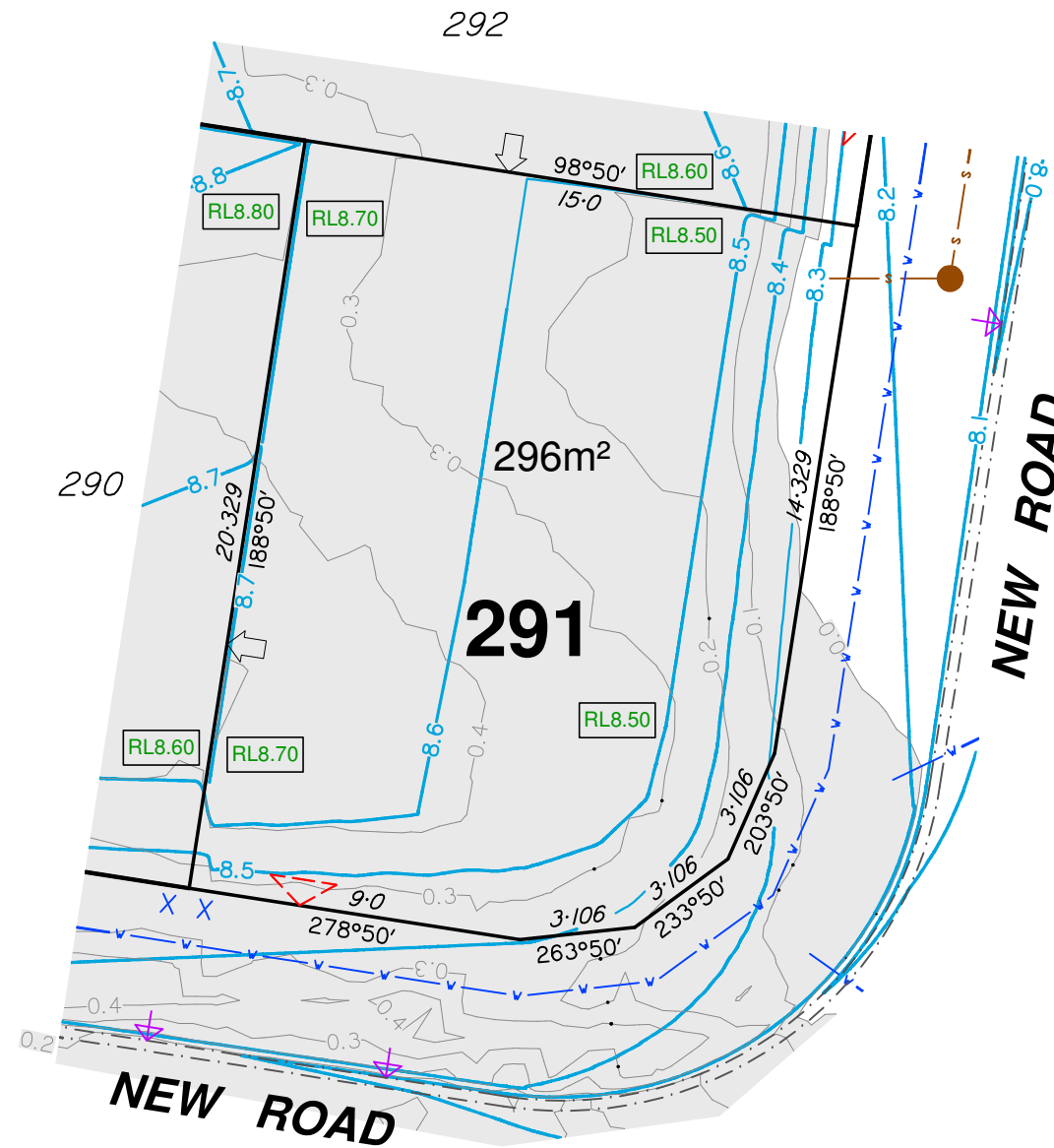
DISCLOSURE PLAN

For Proposed Lot 291
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
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	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-291 VERSION B

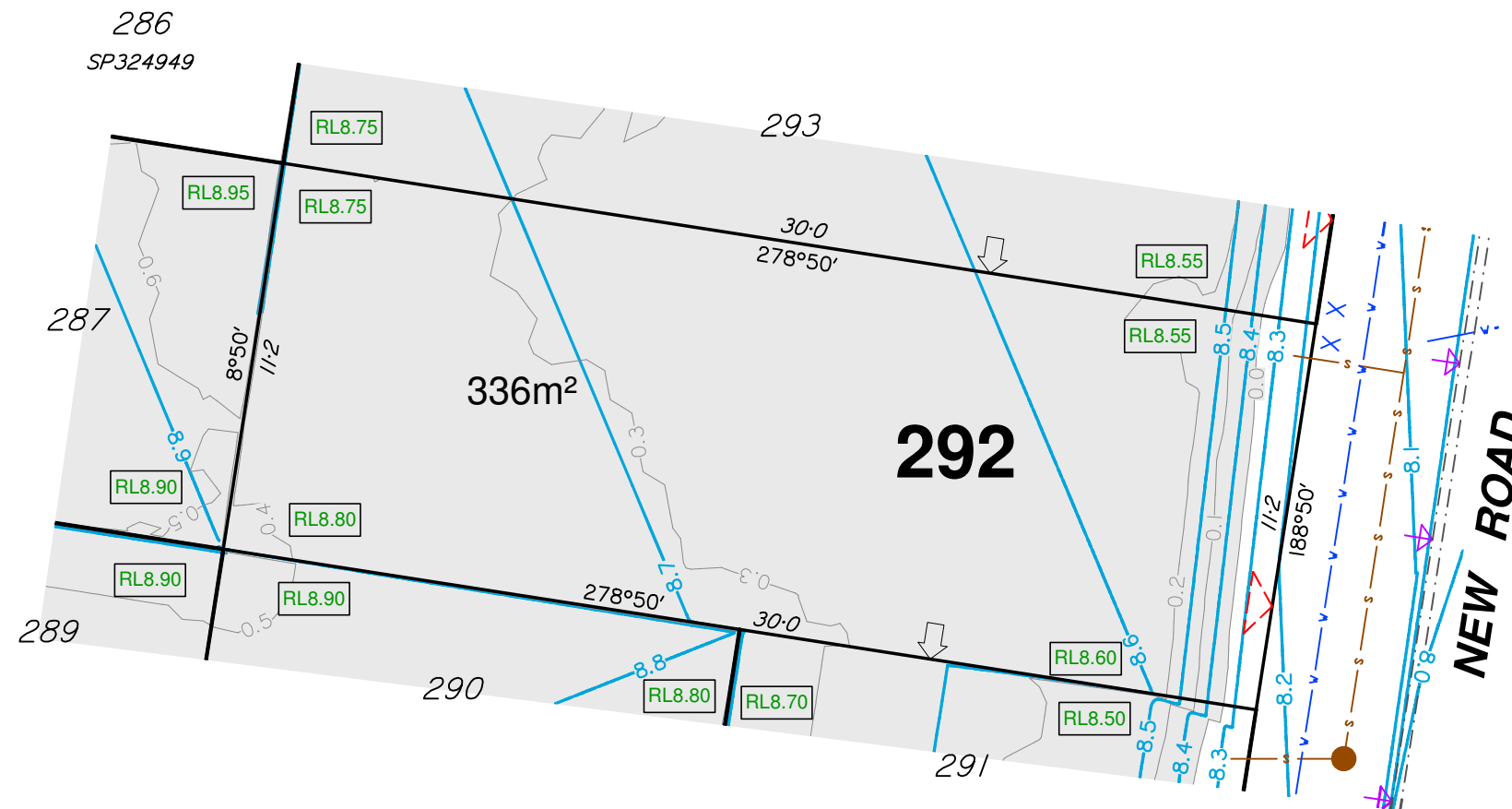
DISCLOSURE PLAN

For Proposed Lot 292
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
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village
GREEN

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Planning Urban Design Landscape Environment Surveying






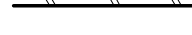
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-292 VERSION B

DISCLOSURE PLAN

For Proposed Lot 293
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

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 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — Water/Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 -  Proposed Driveway
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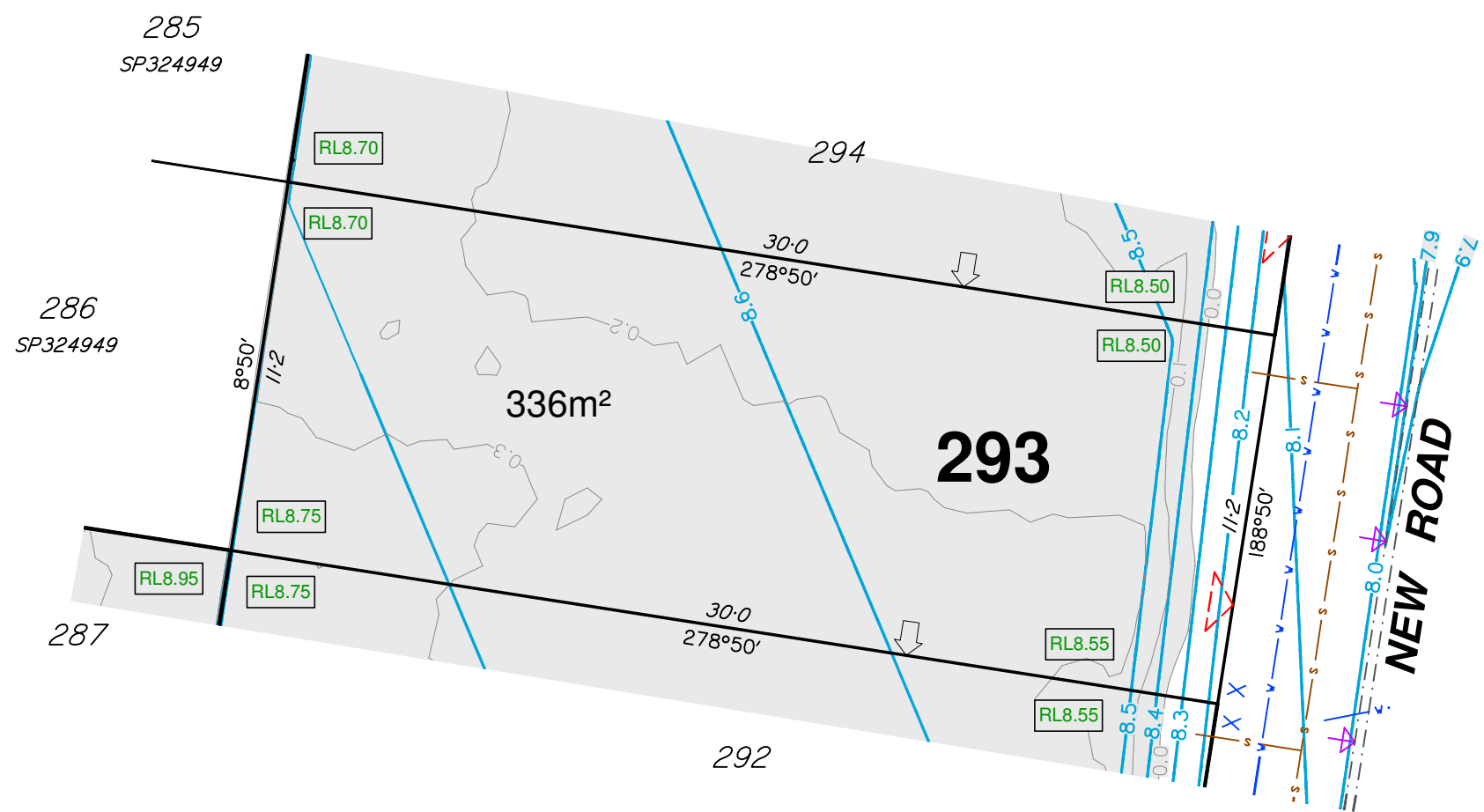
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.







DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-293 VERSION B



DISCLOSURE PLAN

For Proposed Lot 294
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
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 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s Sewer/Sewer Manhole
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 -  Retaining Wall
 - RW
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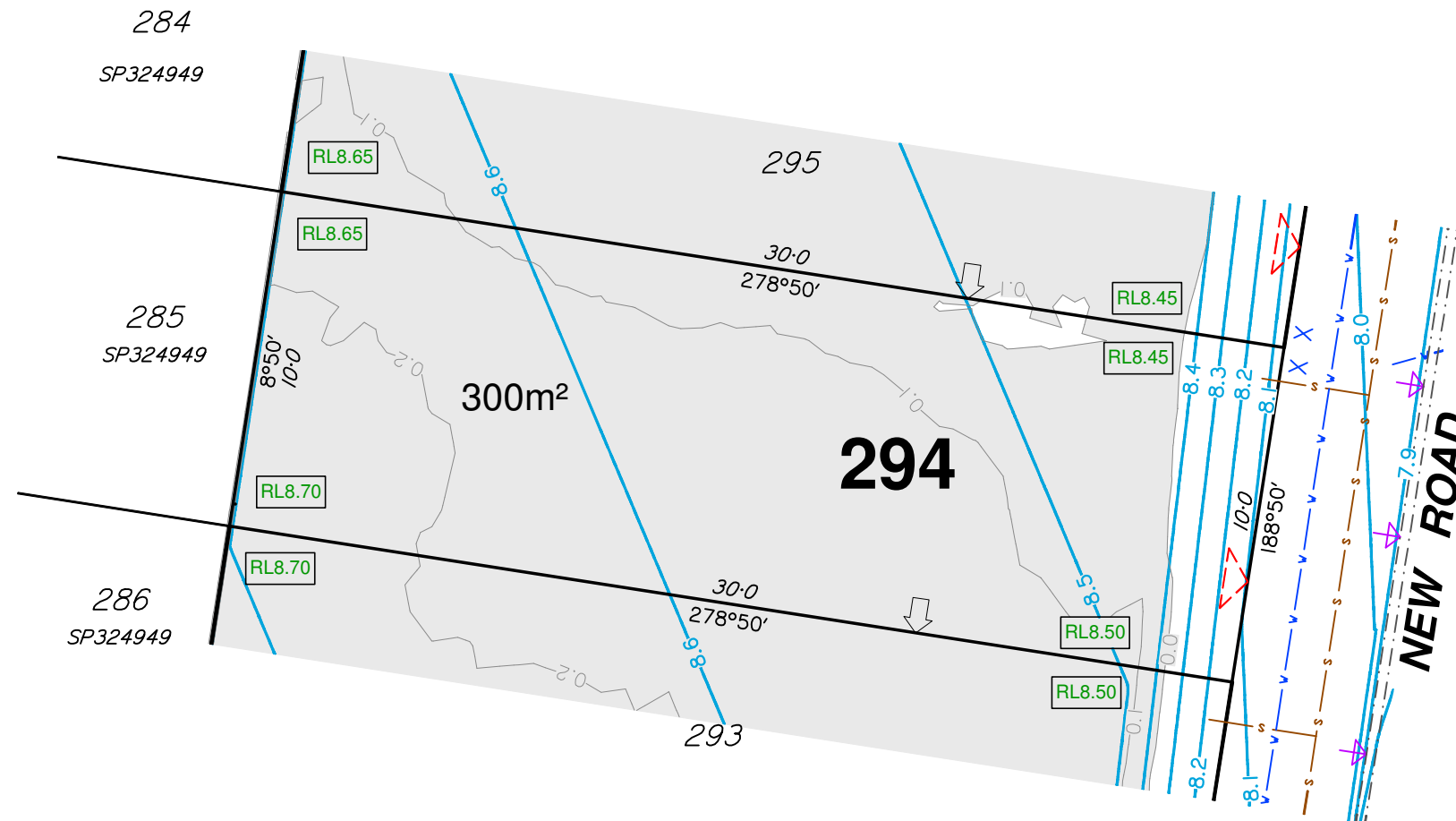
village
GREEN

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consulting group

 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.







DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-294 VERSION B

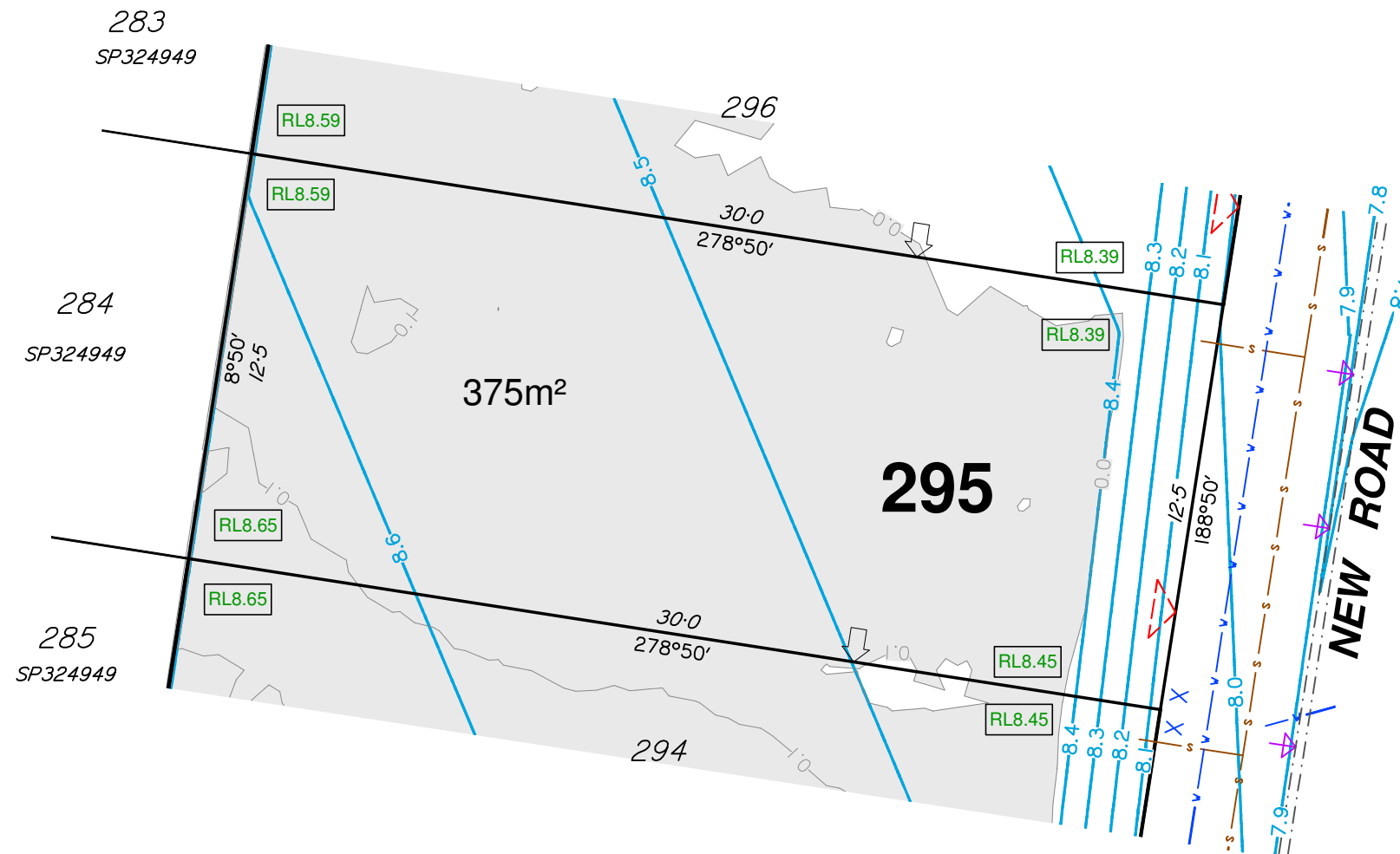


DISCLOSURE PLAN

For Proposed Lot 295
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
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 - - - - - Kerb Line
 - s — s — Sewer/Sewer Manhole
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village
GREEN

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-295 VERSION B

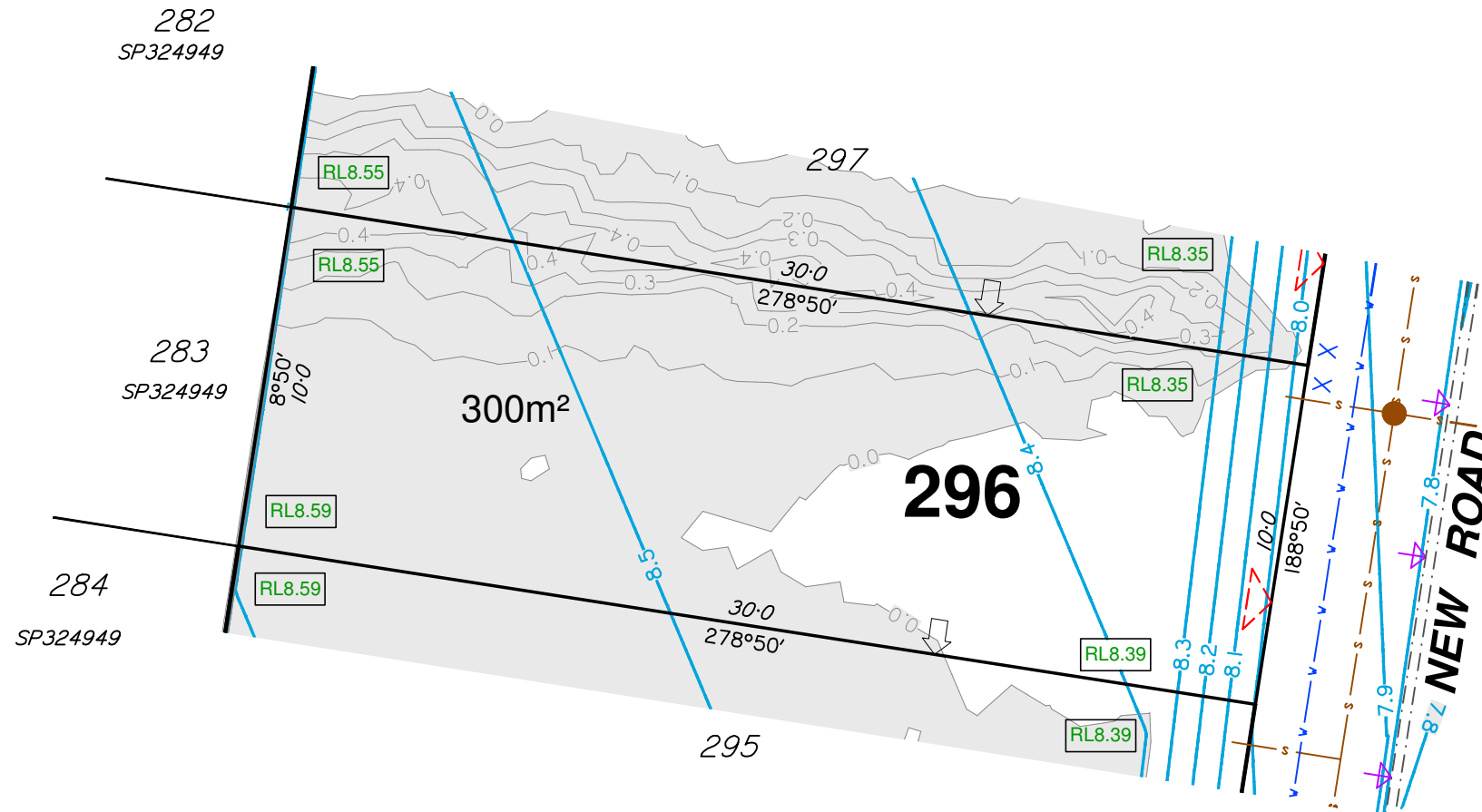
DISCLOSURE PLAN

For Proposed Lot 296
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

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	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
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	Kerb Adapter
	Water/Water Meter
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village
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Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-296 VERSION B

DISCLOSURE PLAN

For Proposed Lot 297
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

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	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
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	Roofwater/Roofwater Pit
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	Area to be Filled
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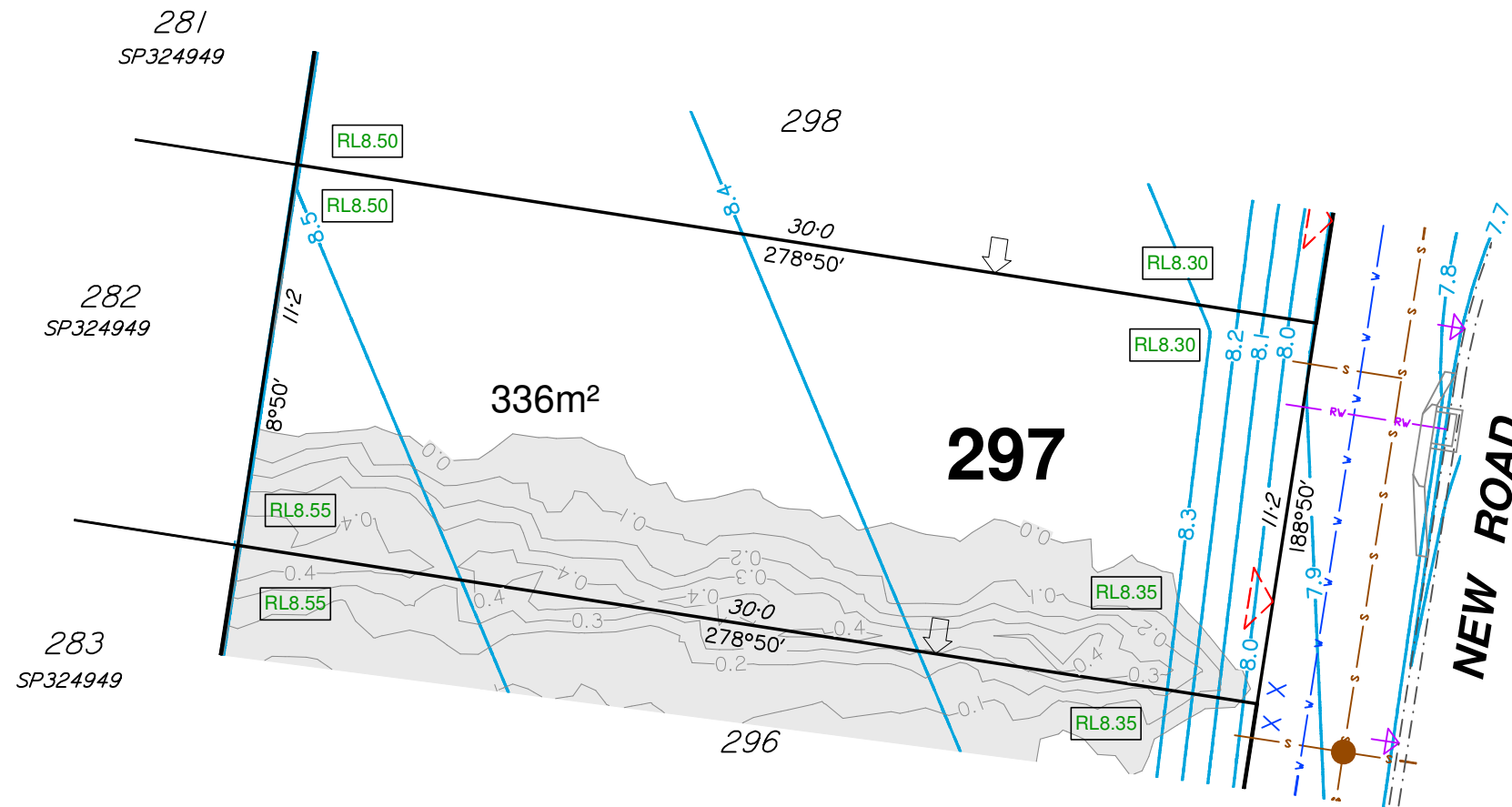
village
GREEN

WOLTER
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-297 VERSION B



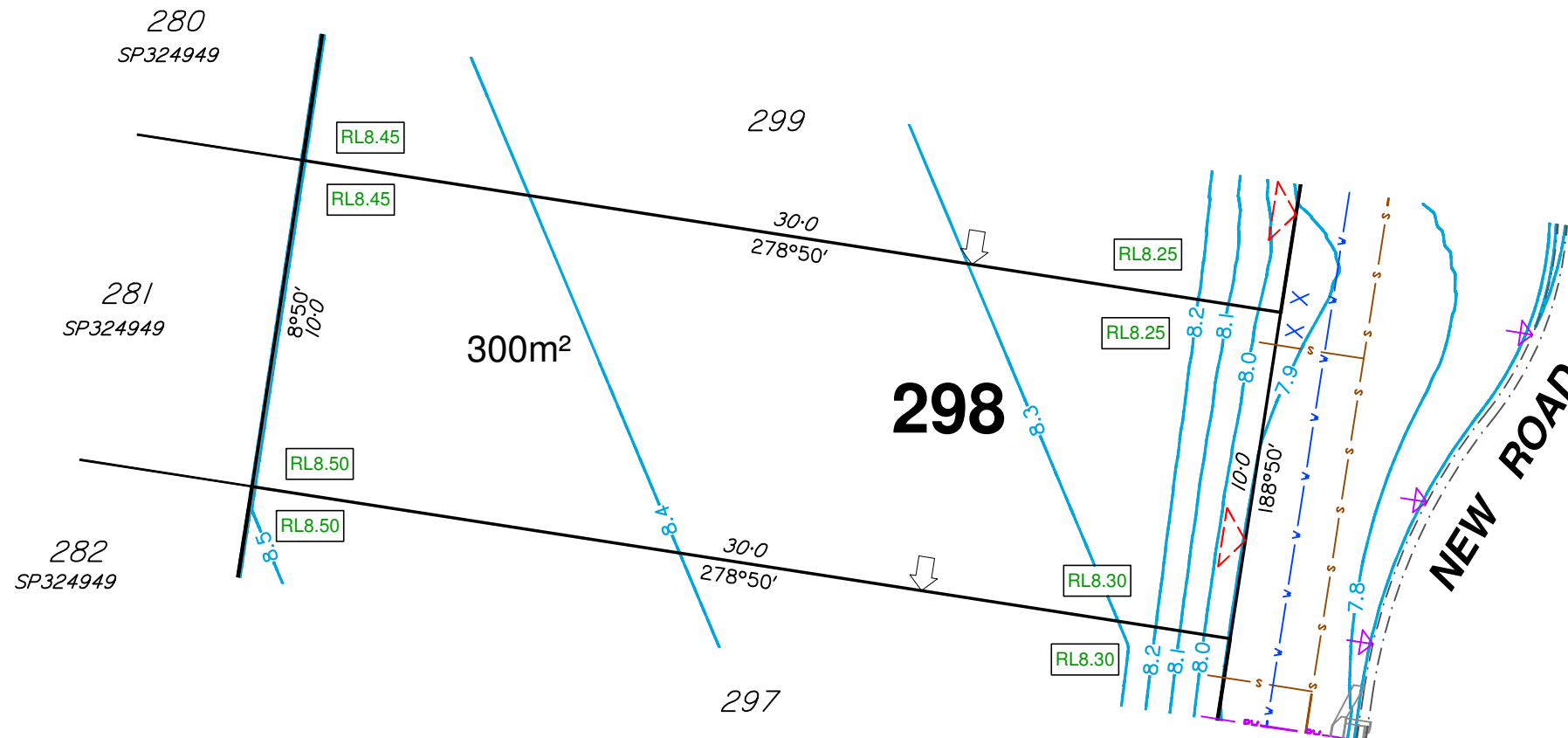
DISCLOSURE PLAN

For Proposed Lot 298
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

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	Depth of Fill Contours (0.1m Interval)
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Planning Urban Design Landscape Environment Surveying

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MGA
Scale 1:200 @A3
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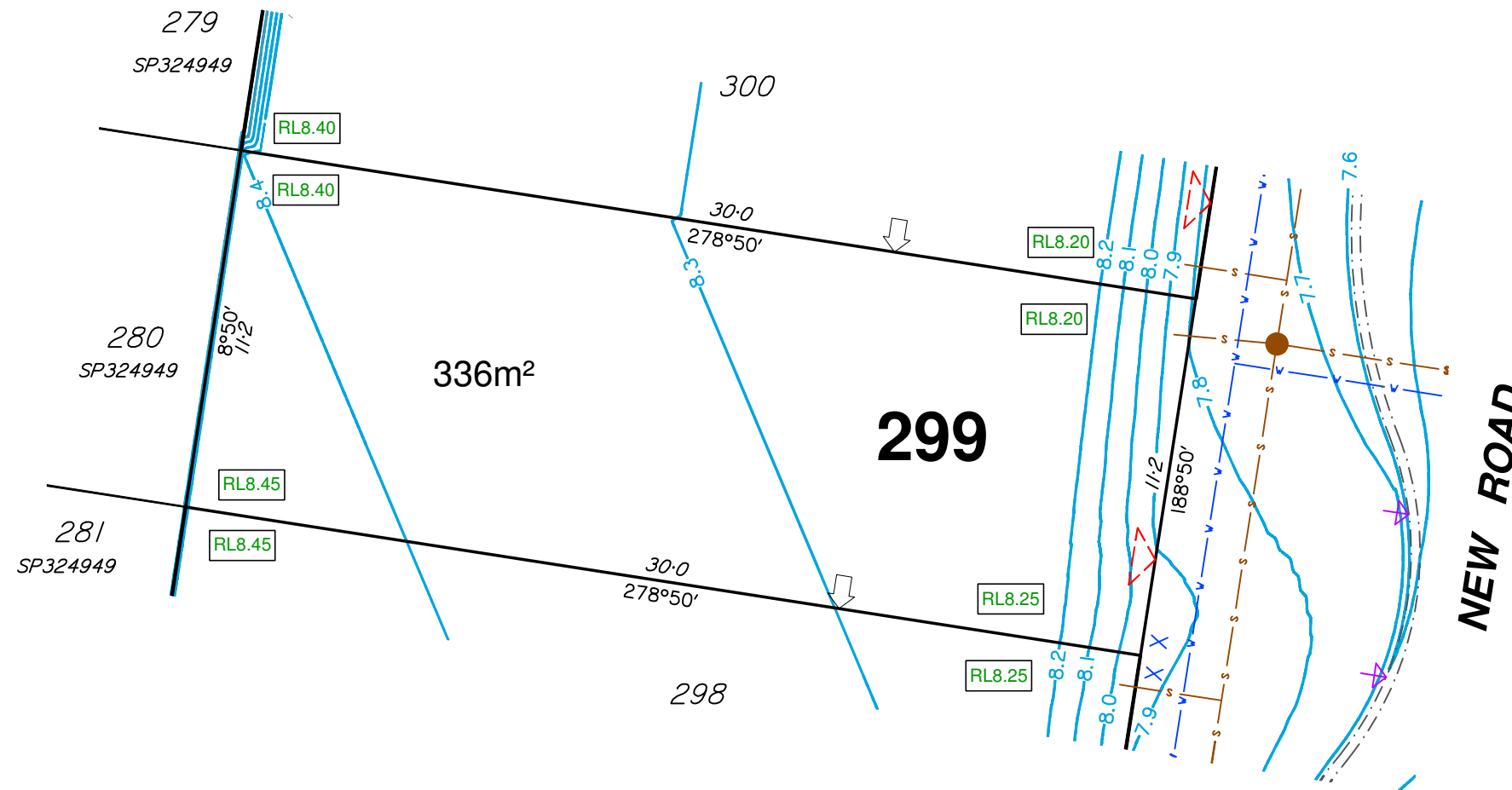
DISCLOSURE PLAN

For Proposed Lot 299
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
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		Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 03-06-2022.
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 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022
DRAWING NO. SS3787_07A-01-299
VERSION B

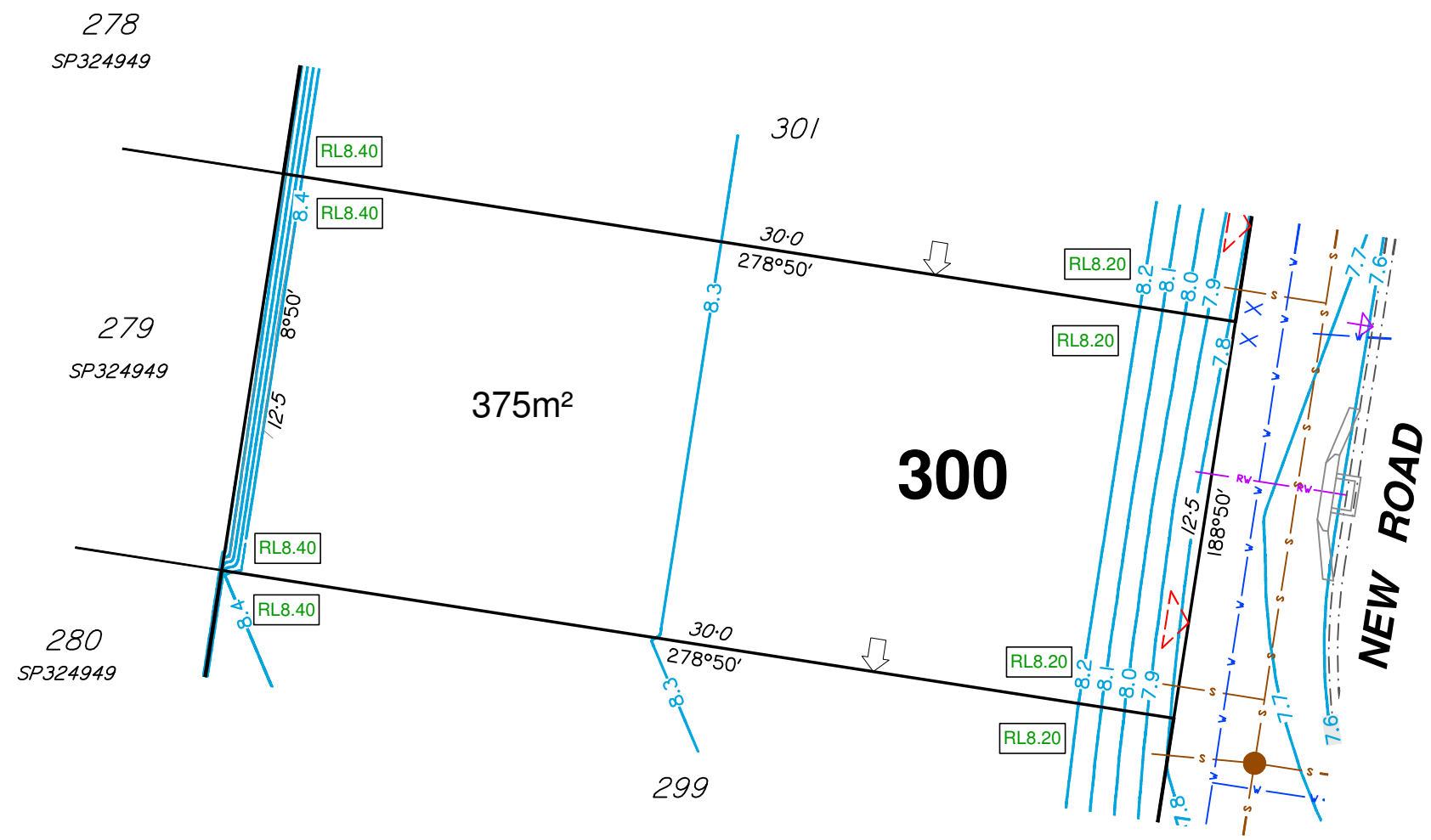
DISCLOSURE PLAN

For Proposed Lot 300
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
		Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
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village
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-300 VERSION B

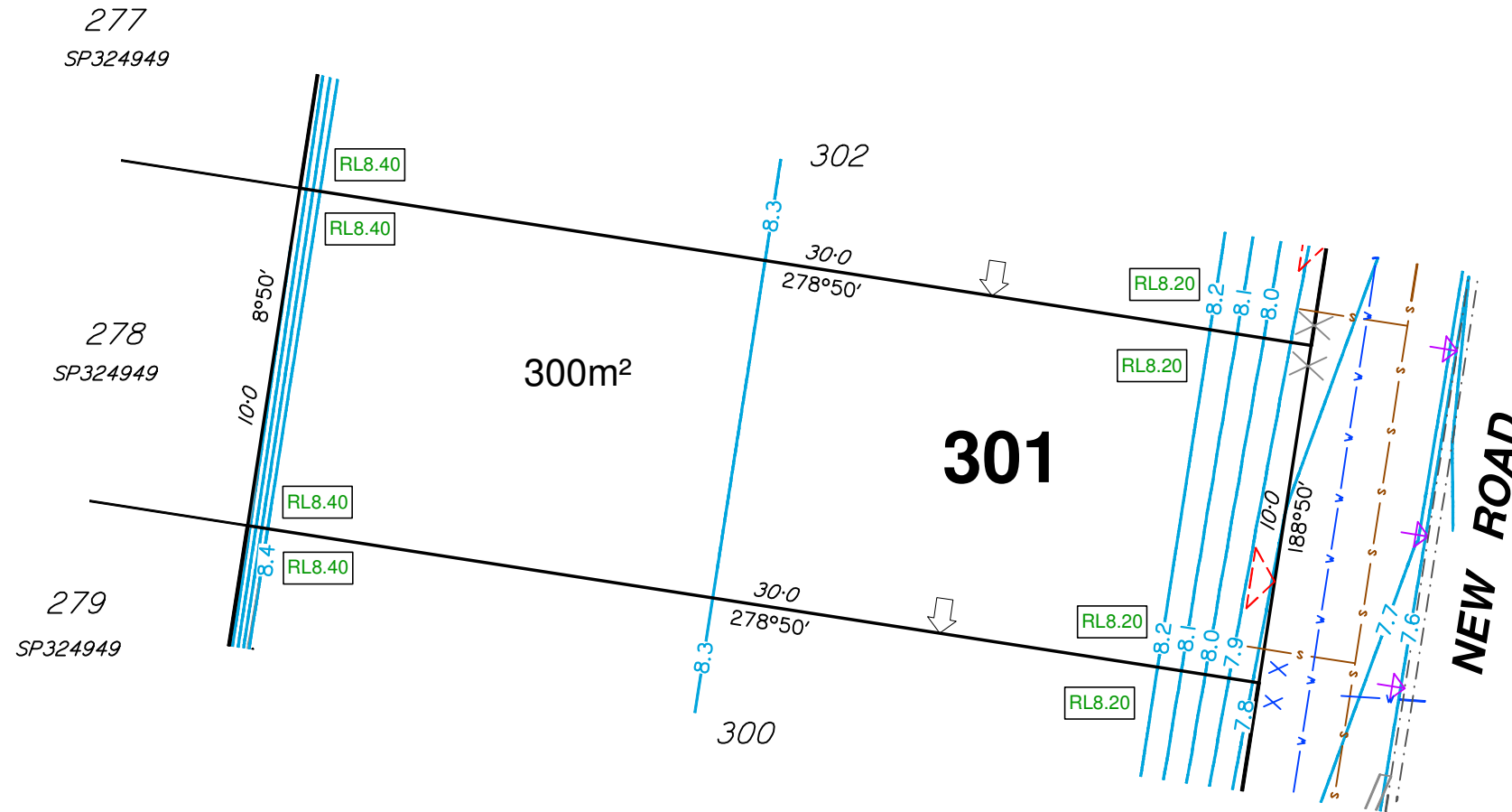
DISCLOSURE PLAN

For Proposed Lot 301
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
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village
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-301 VERSION B

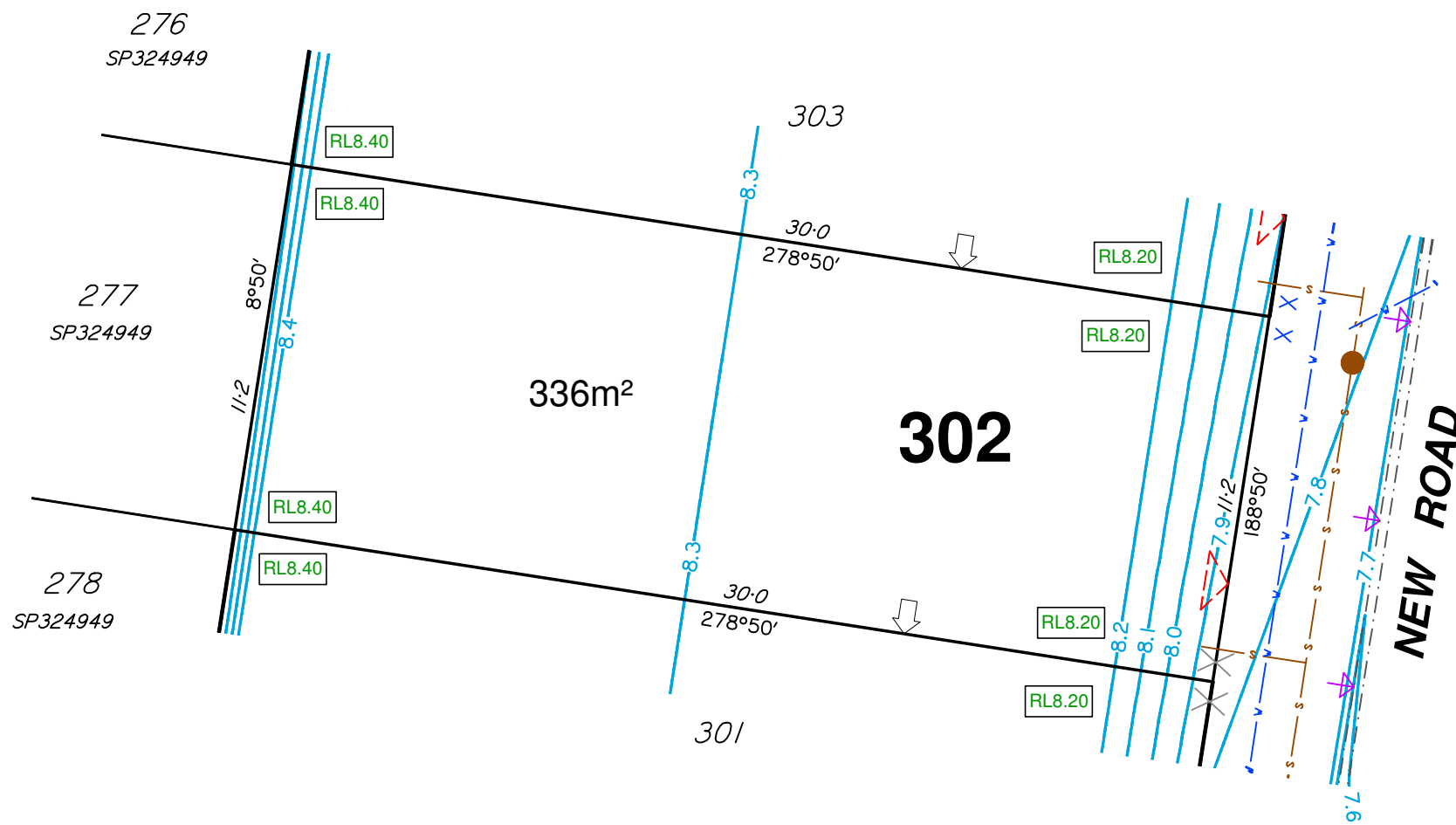
DISCLOSURE PLAN

For Proposed Lot 302
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
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village
GREEN

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Planning Urban Design Landscape Environment Surveying







HORIZONTAL MERIDIAN
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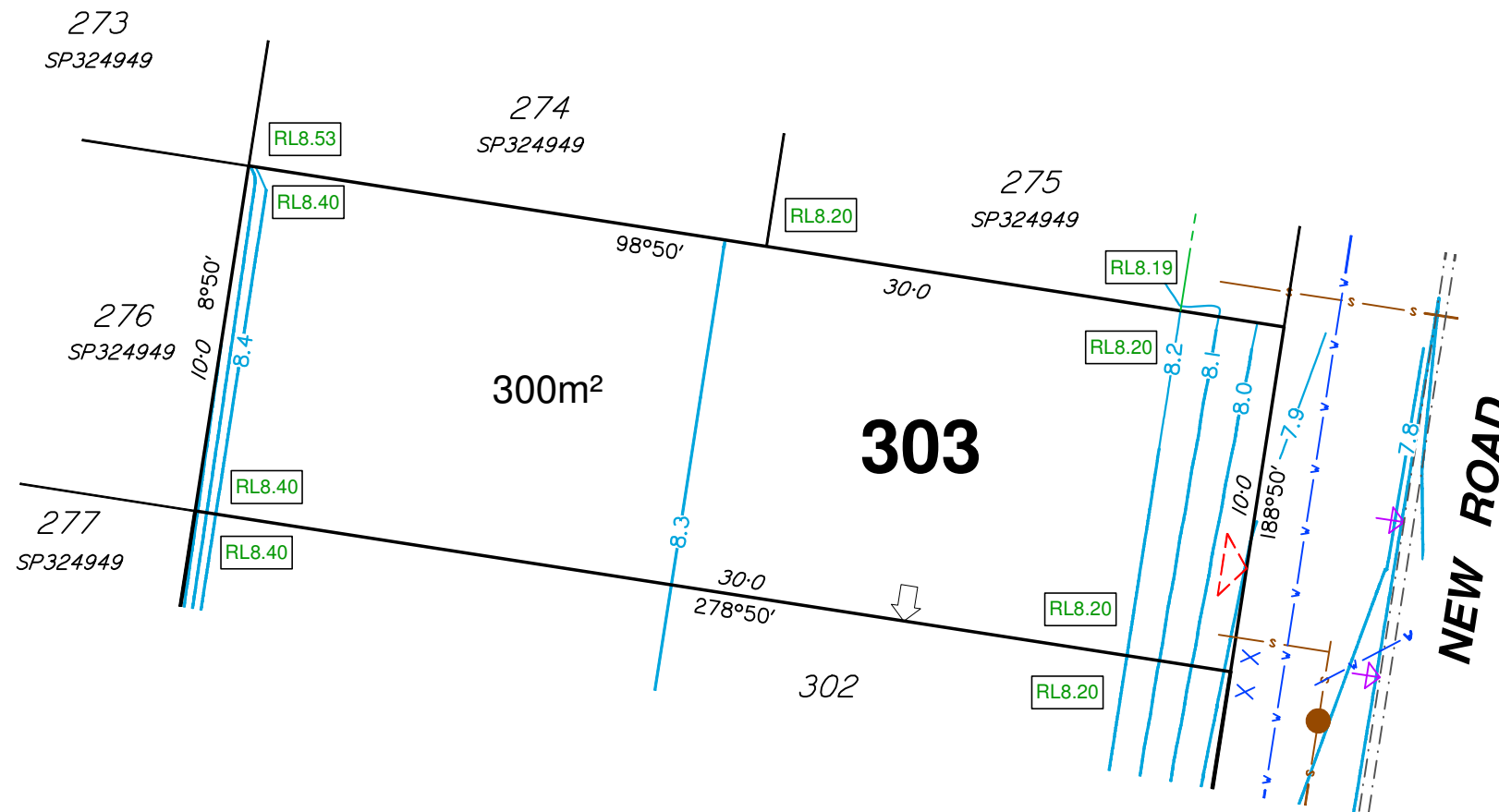
DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-302 VERSION B

DISCLOSURE PLAN

For Proposed Lot 303
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — Water/Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
(Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
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village
GREEN



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-303 VERSION B

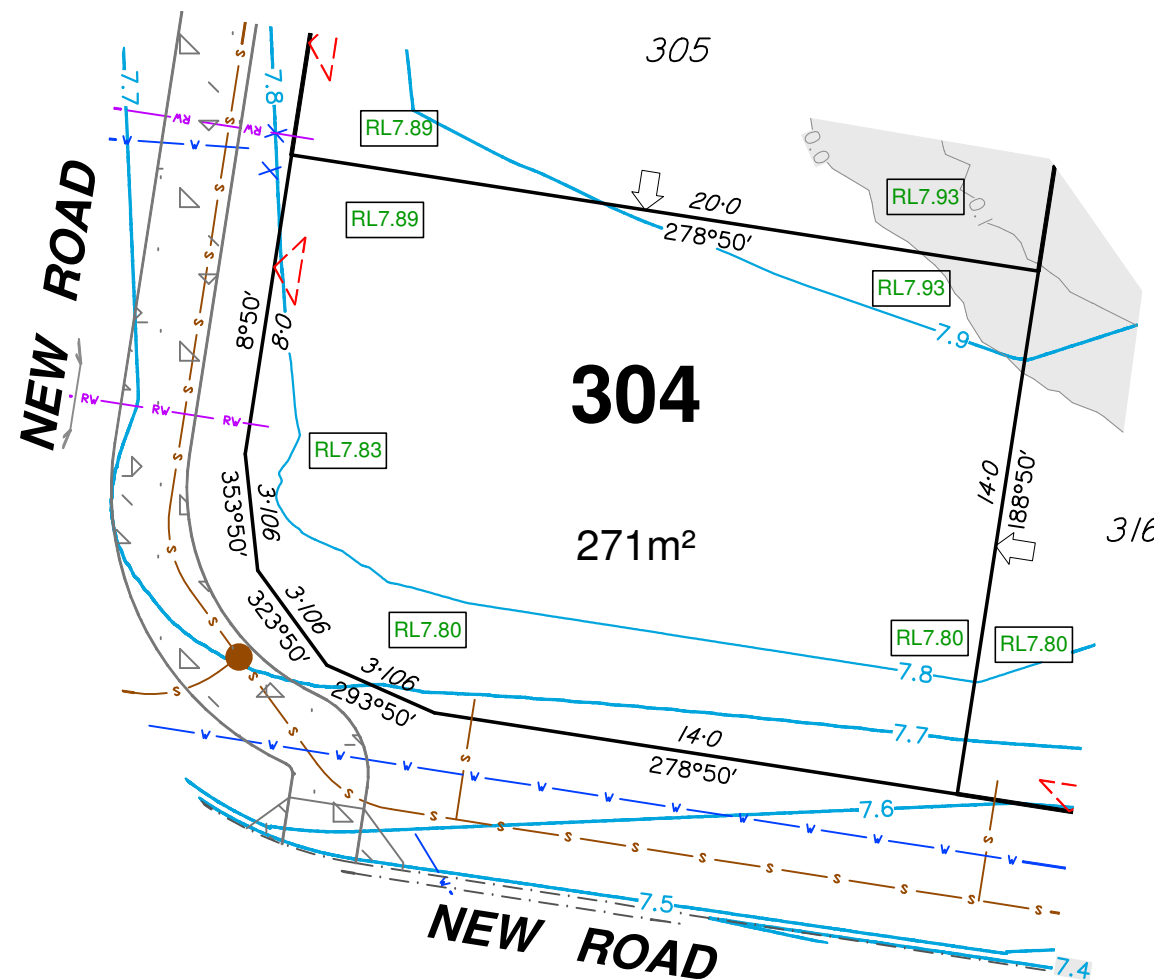
DISCLOSURE PLAN

For Proposed Lot 304
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
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village
GREEN



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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LEVEL DATUM
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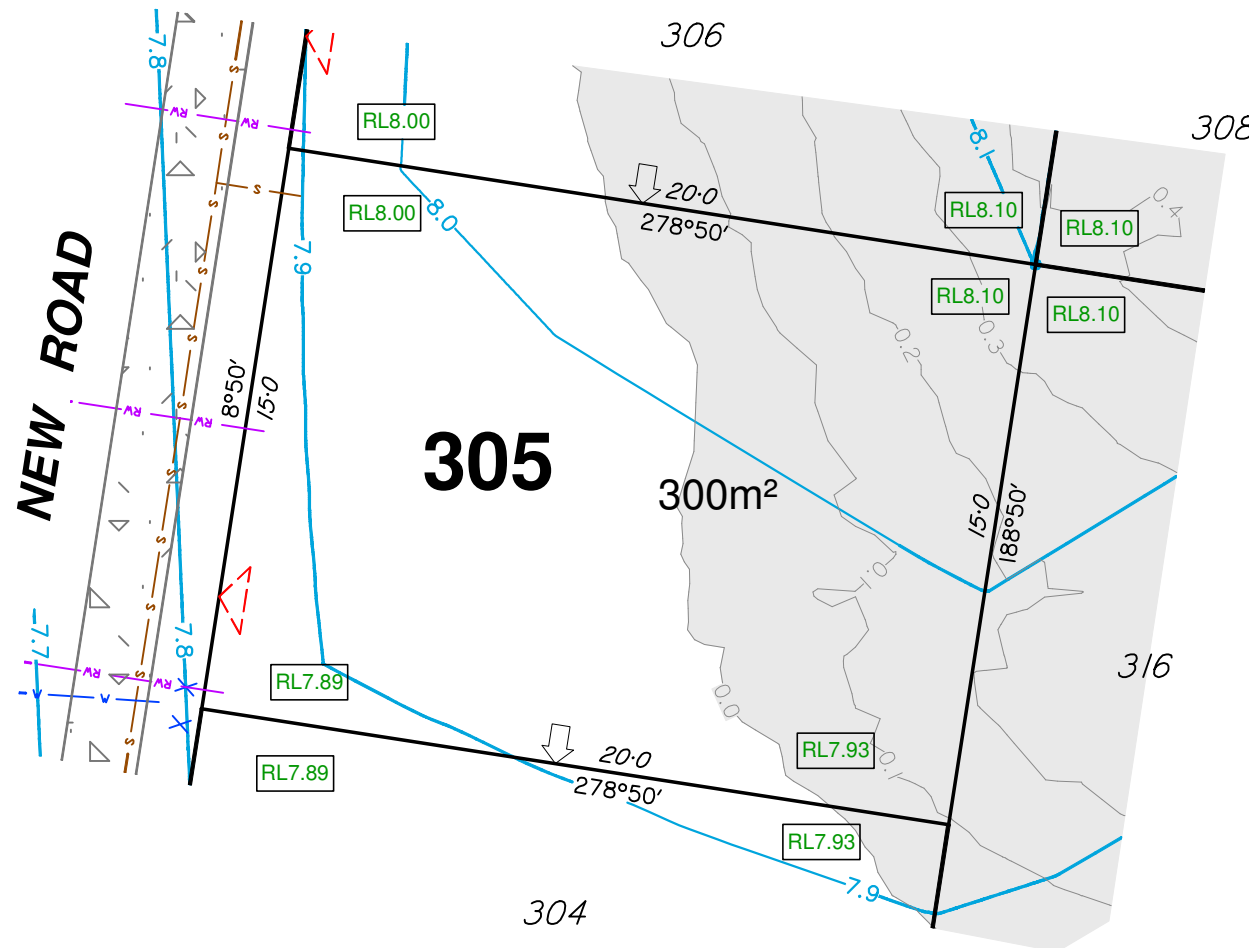
DATE DRAWN 25-07-2022 DRAWING NO. SS3787_07A-01-304 VERSION C

DISCLOSURE PLAN

For Proposed Lot 305
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s — ● Sewer/Sewer Manhole
 - sv — sv — ⊕ Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — □ Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v — X Water/Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 26-07-2022 DRAWING NO. SS3787_07A-01-305 VERSION C

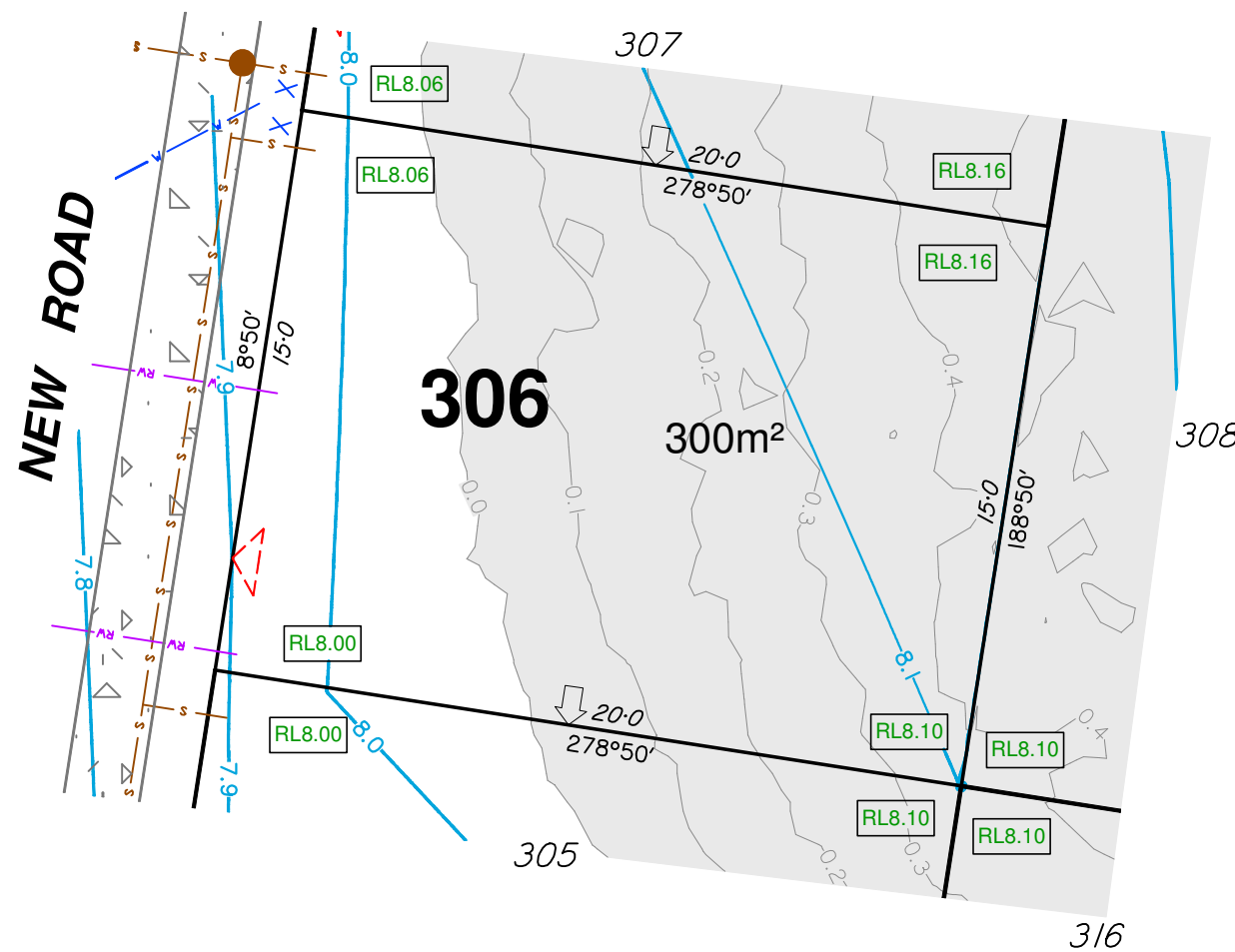
DISCLOSURE PLAN

For Proposed Lot 306
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



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village
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-306 VERSION B

DISCLOSURE PLAN

For Proposed Lot 307
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)

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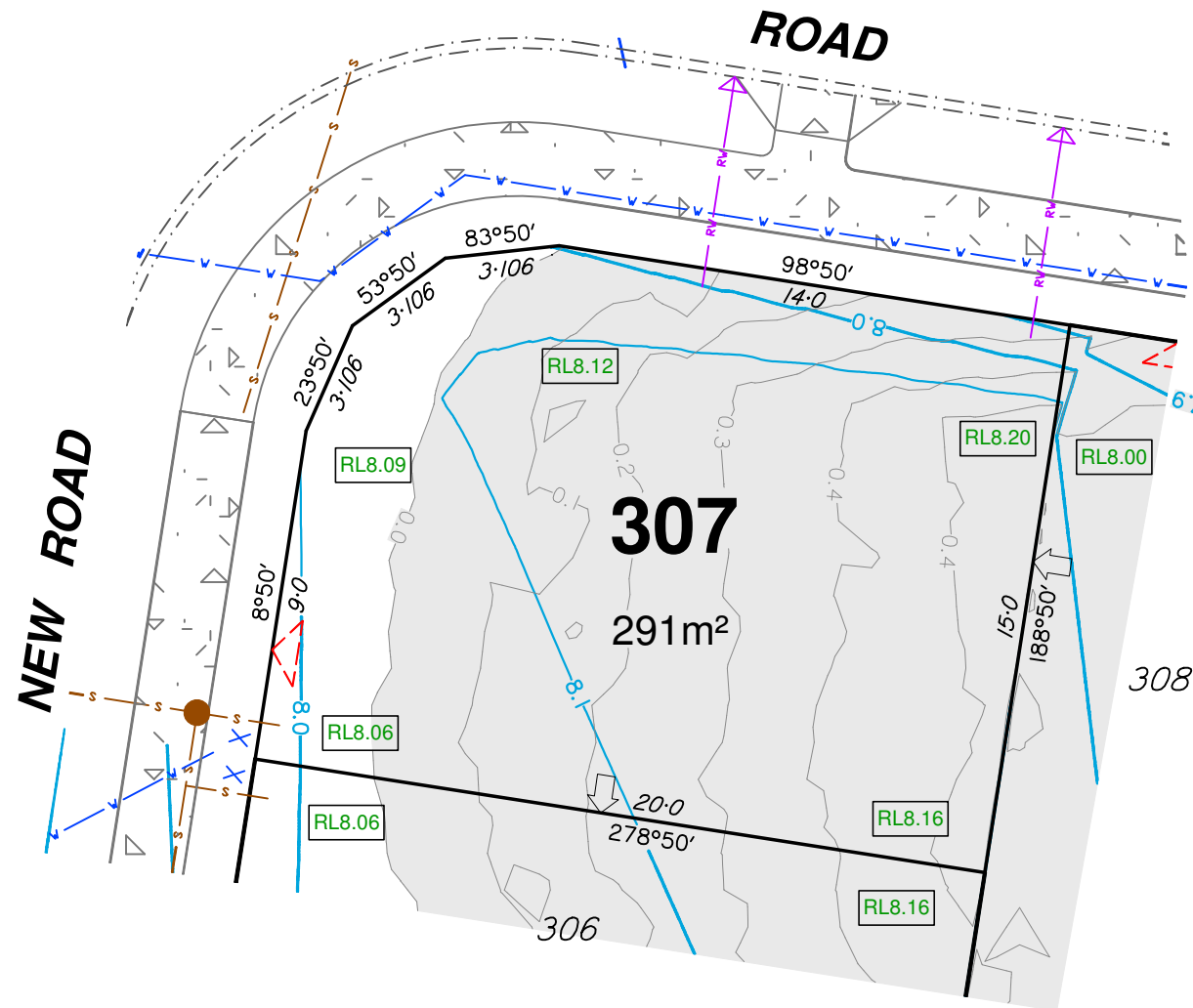
village
GREEN



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-307 VERSION B



DISCLOSURE PLAN

For Proposed Lot 308
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)

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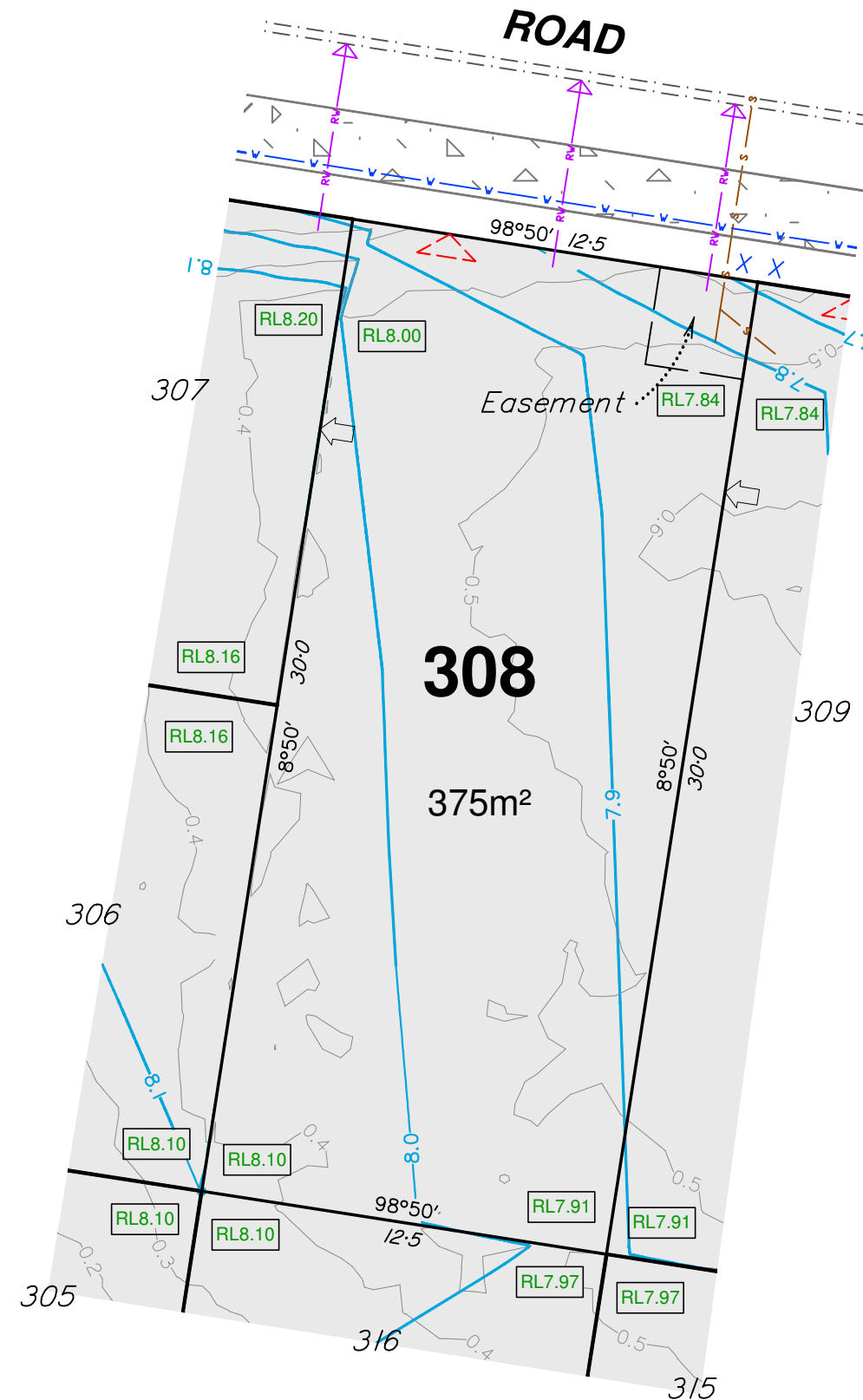
village
GREEN

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consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-308 VERSION B



DISCLOSURE PLAN

For Proposed Lot 309
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)

- Notes:**
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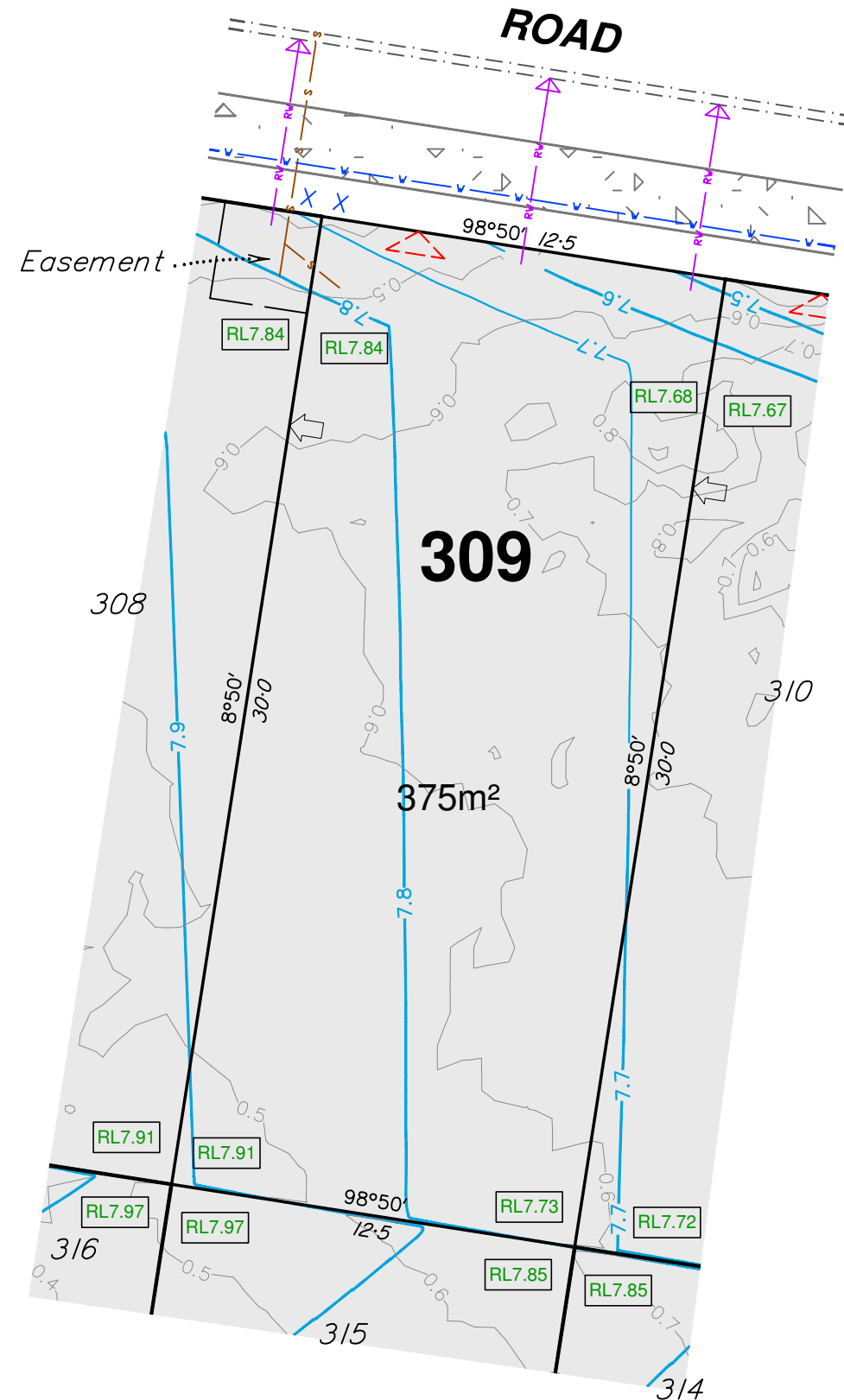
village
GREEN



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-309 VERSION B



DISCLOSURE PLAN

For Proposed Lot 310
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)

- Notes:**
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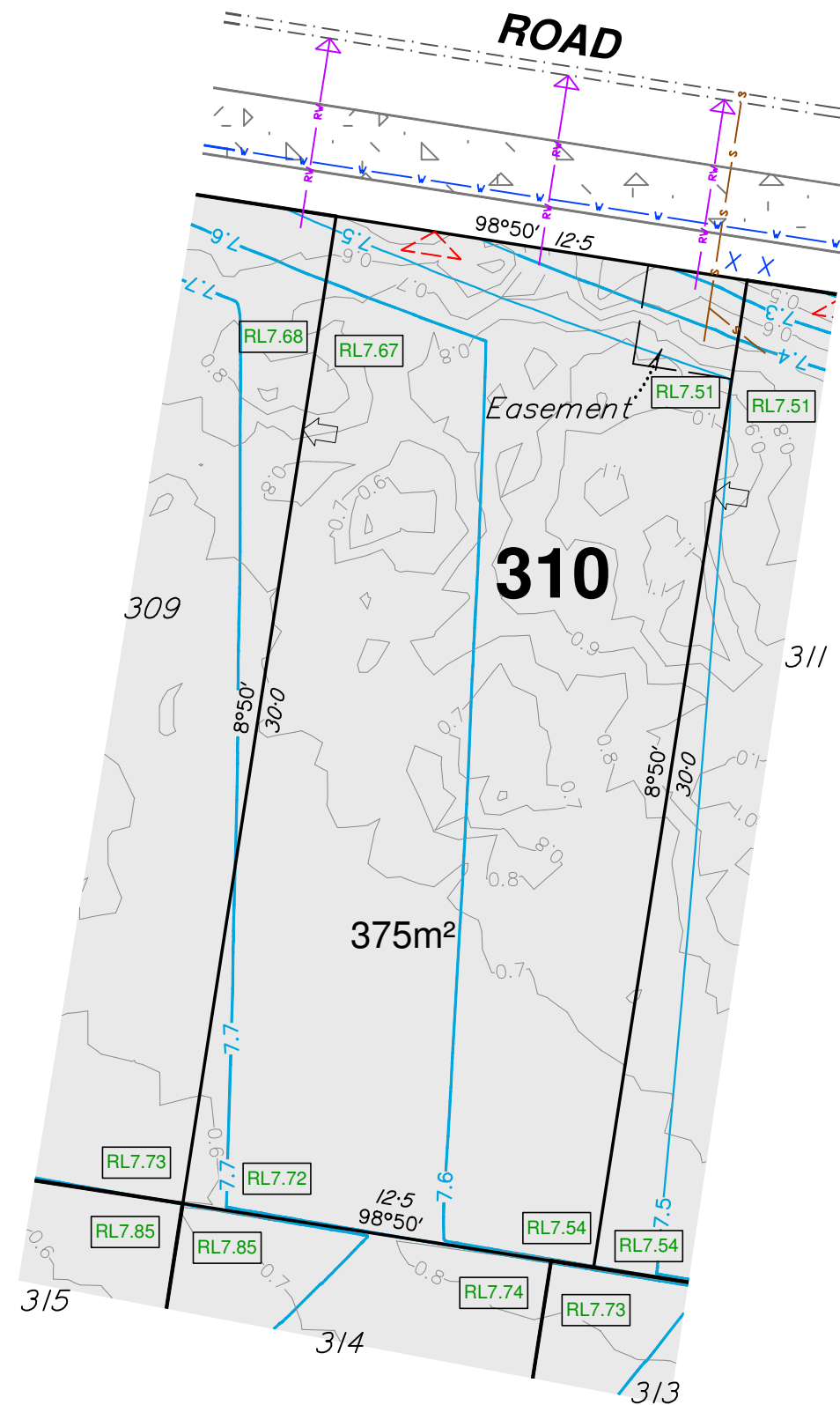
village
GREEN



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-310 VERSION B



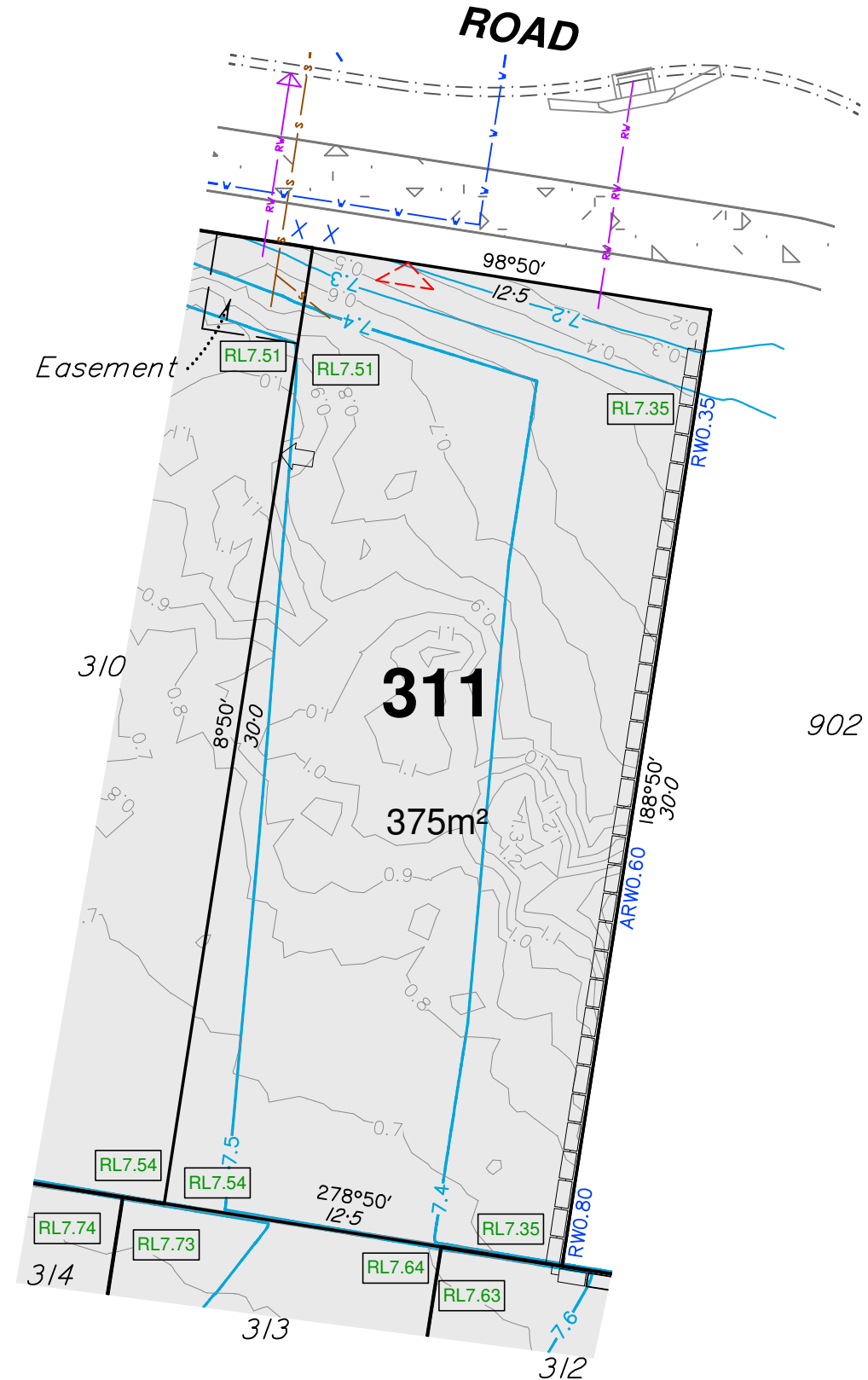
DISCLOSURE PLAN

For Proposed Lot 311
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



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HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-311 VERSION B

DISCLOSURE PLAN

For Proposed Lot 312
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s — s Sewer/Sewer Manhole
 - sv — sv — sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — rv Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v — v Water/Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

- Notes:**
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 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village

GREEN

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consulting group

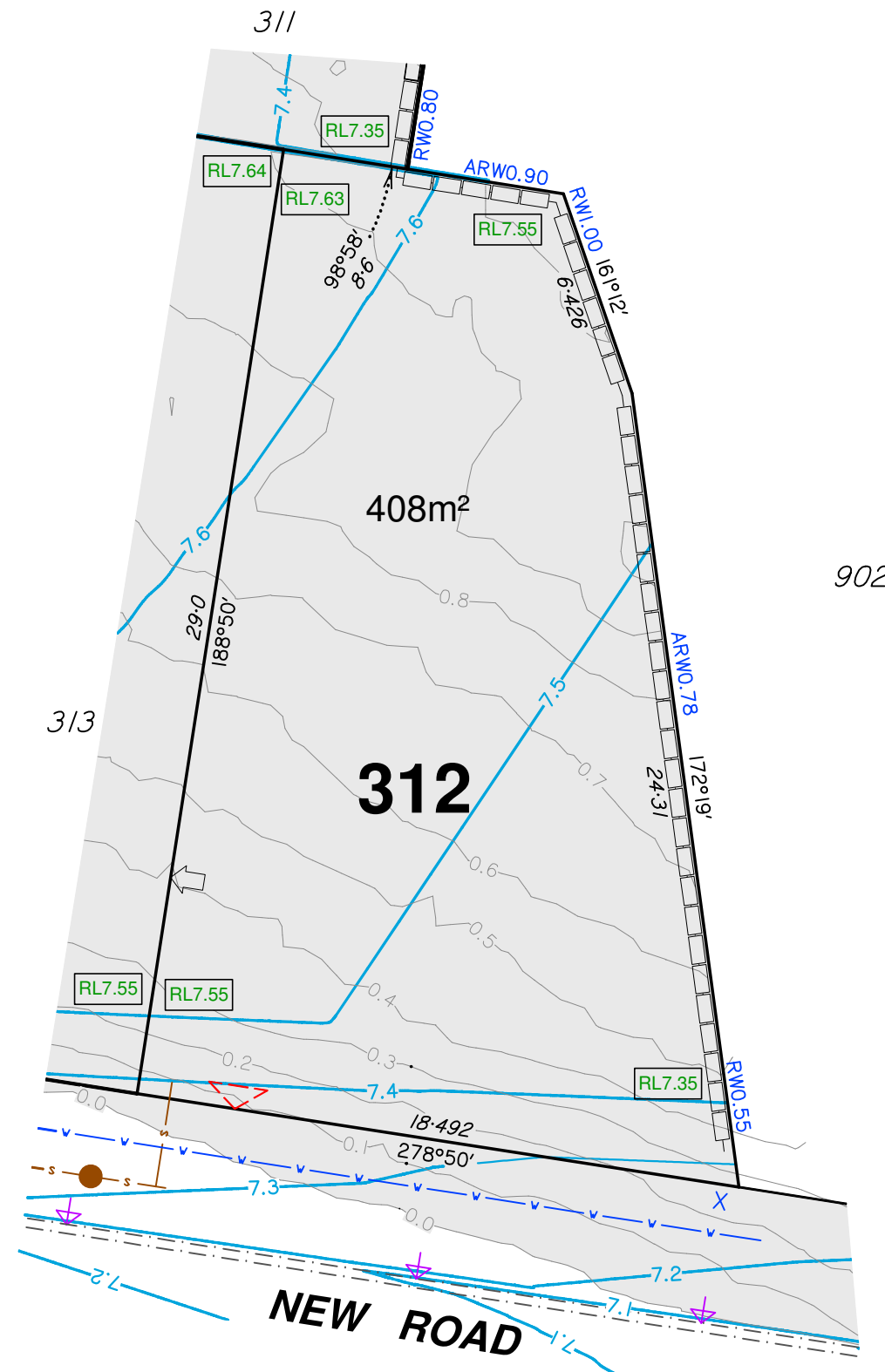
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-312 VERSION B



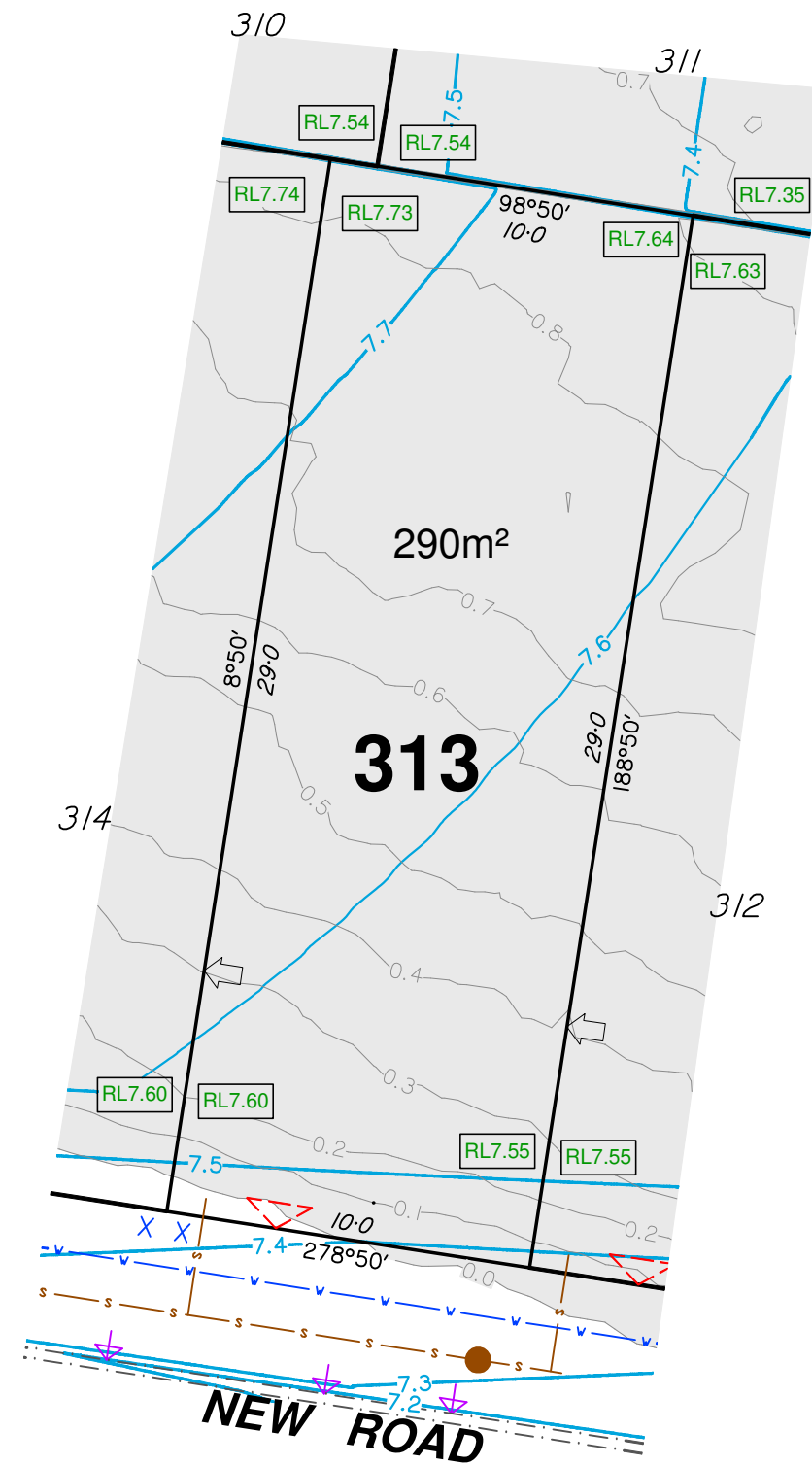
DISCLOSURE PLAN

For Proposed Lot 313
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



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village
GREEN

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consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022
DRAWING NO. SS3787_07A-01-313
VERSION B

DISCLOSURE PLAN

For Proposed Lot 314
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)

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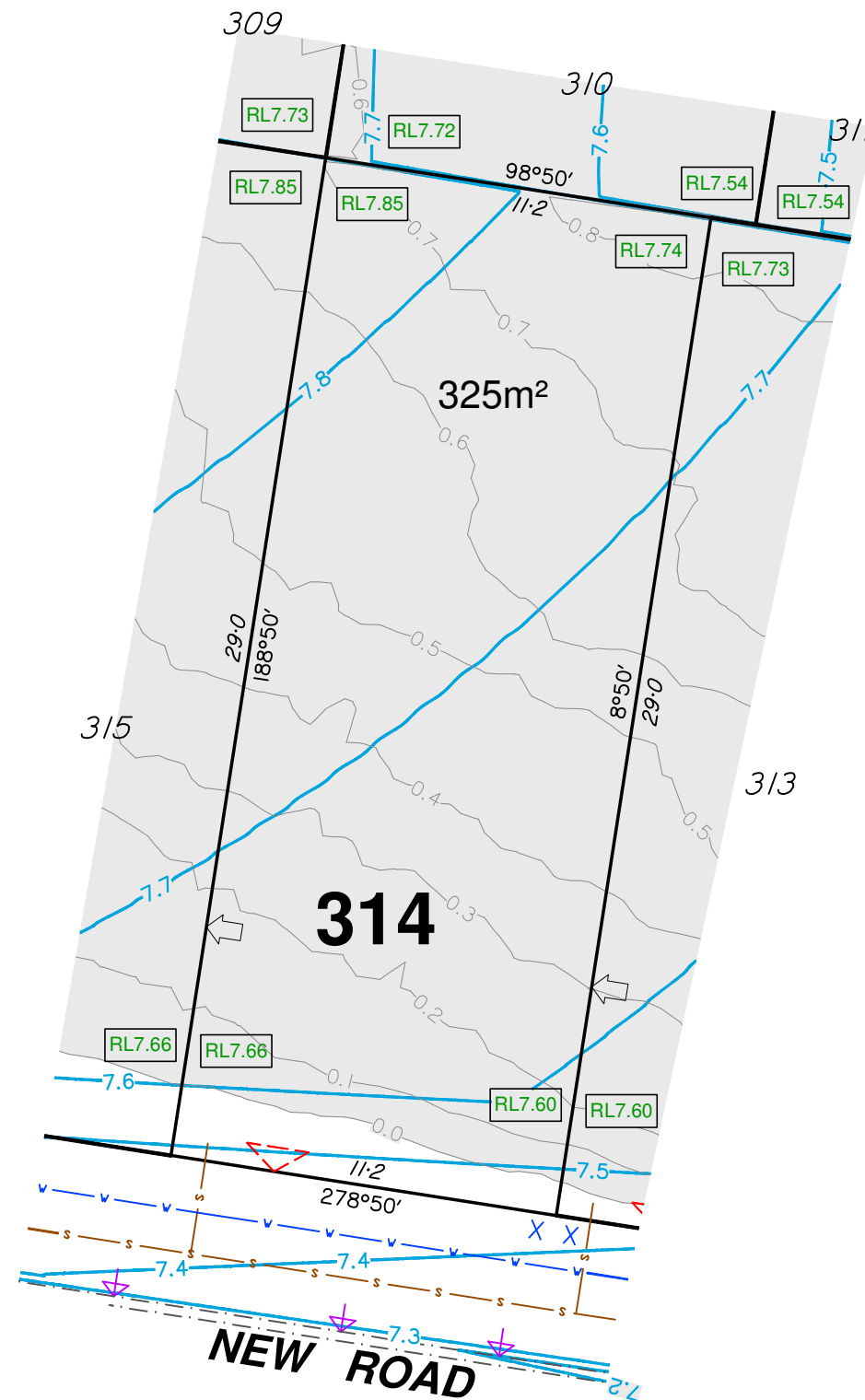
village
GREEN

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consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-314 VERSION B



DISCLOSURE PLAN

For Proposed Lot 315
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s — s Sewer/Sewer Manhole
 - sv — sv — sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — rv Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v — v Water/Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

- Notes:**
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village

GREEN



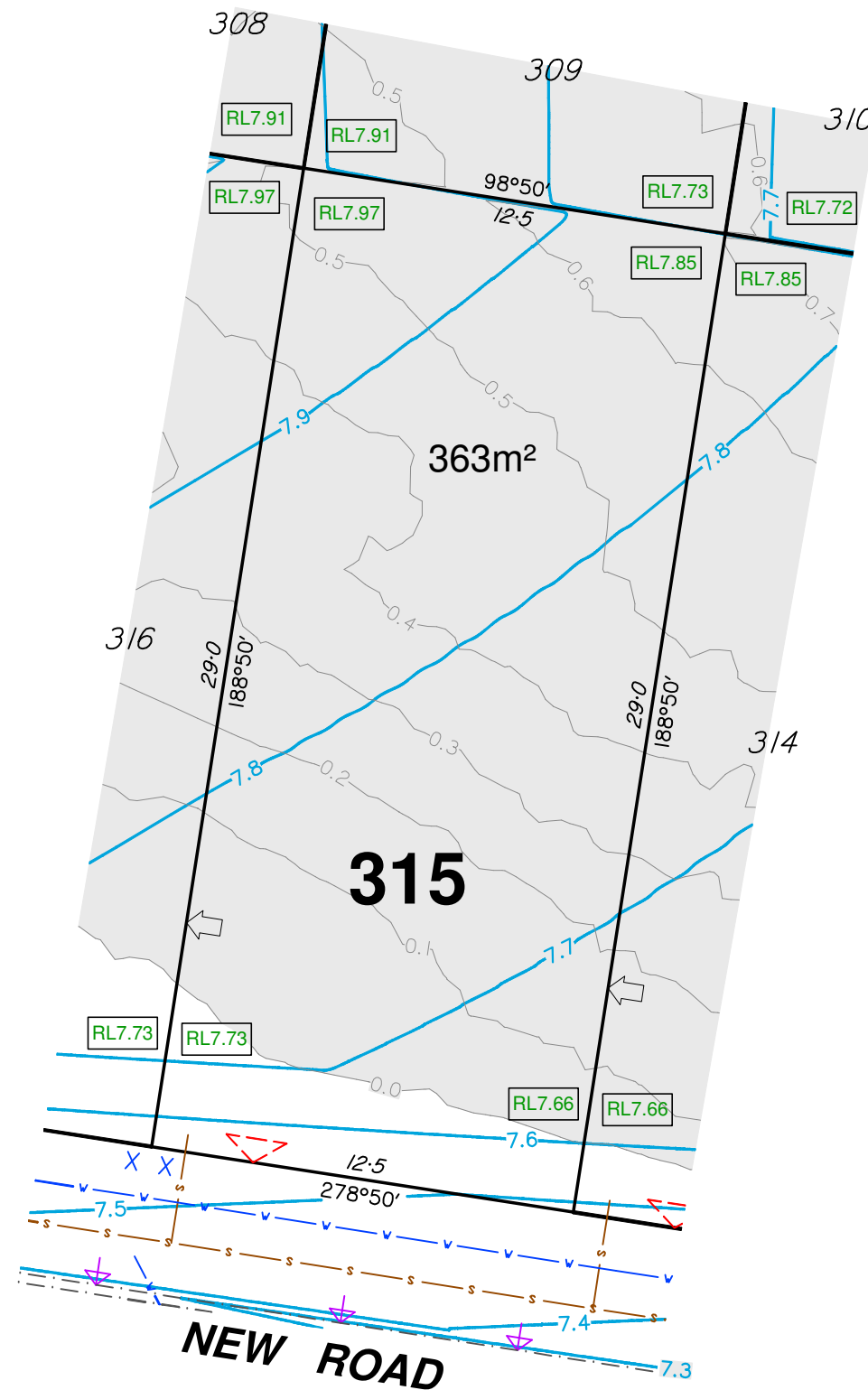
📐 Planning
 🏡 Urban Design
 🌿 Landscape
 🌍 Environment
 📏 Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-315 VERSION B



DISCLOSURE PLAN

For Proposed Lot 316
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)

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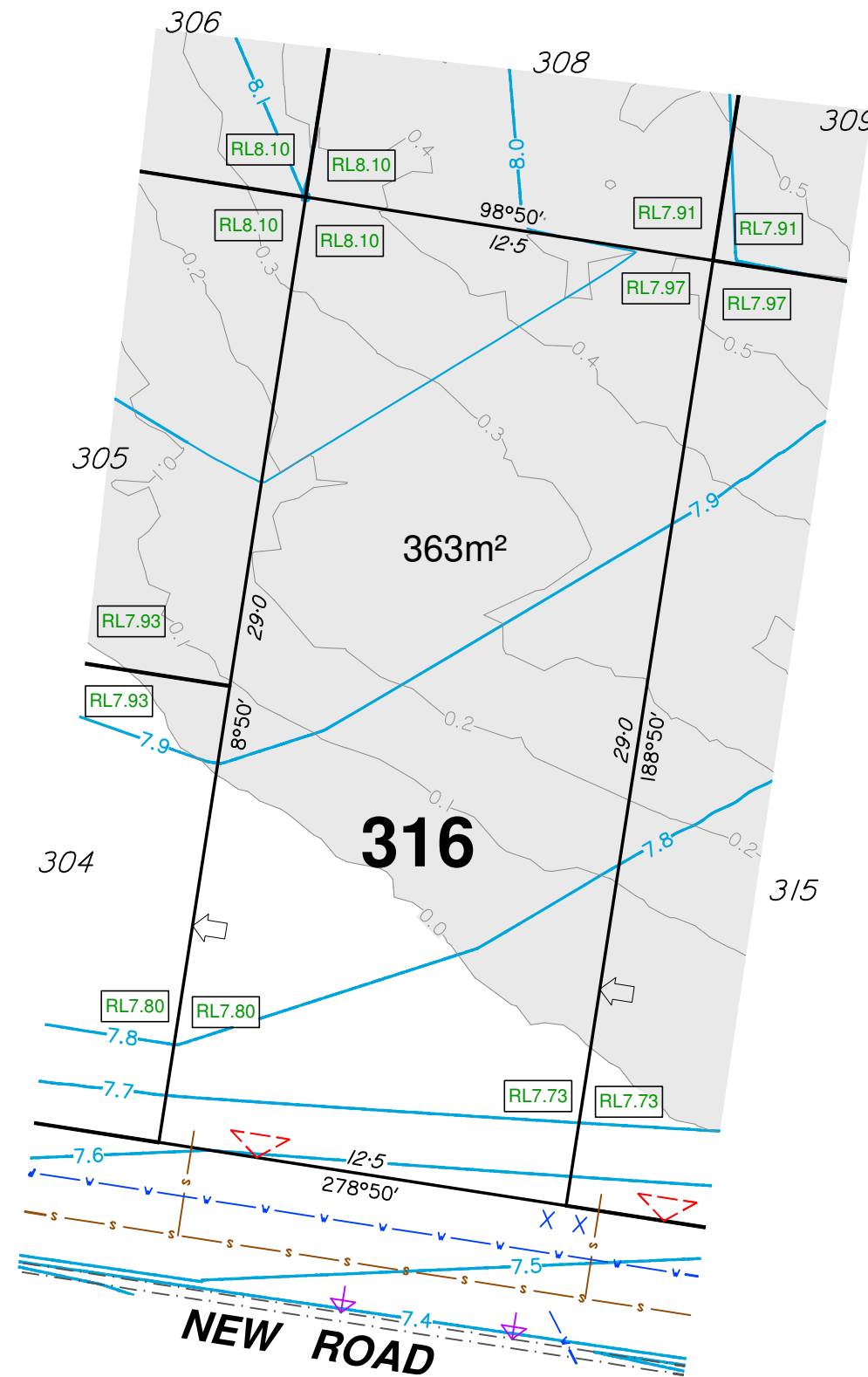
village
GREEN

WOLTER
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-316 VERSION B



DISCLOSURE PLAN

For Proposed Lot 317
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)

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village
GREEN



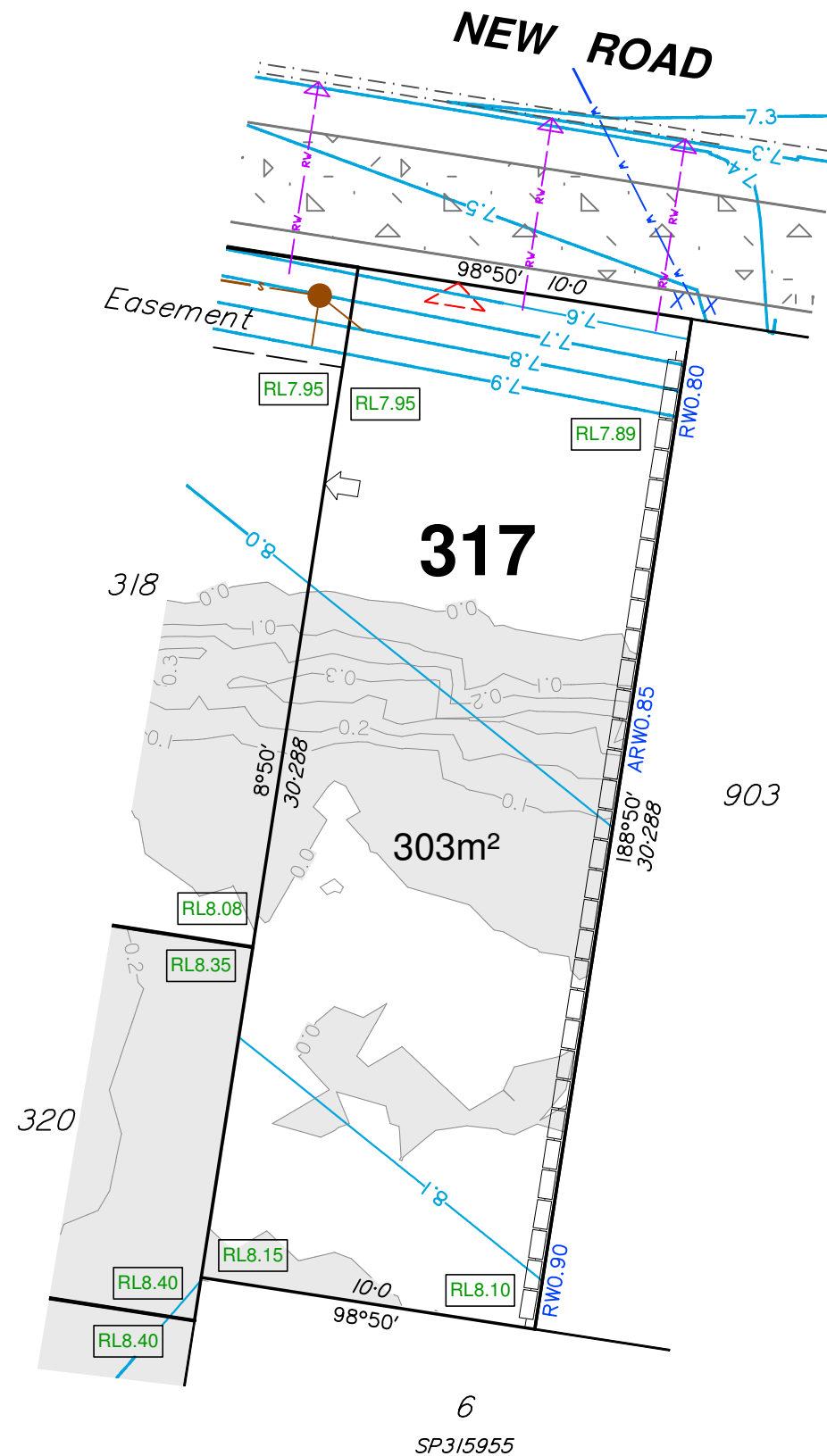
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-317 VERSION B



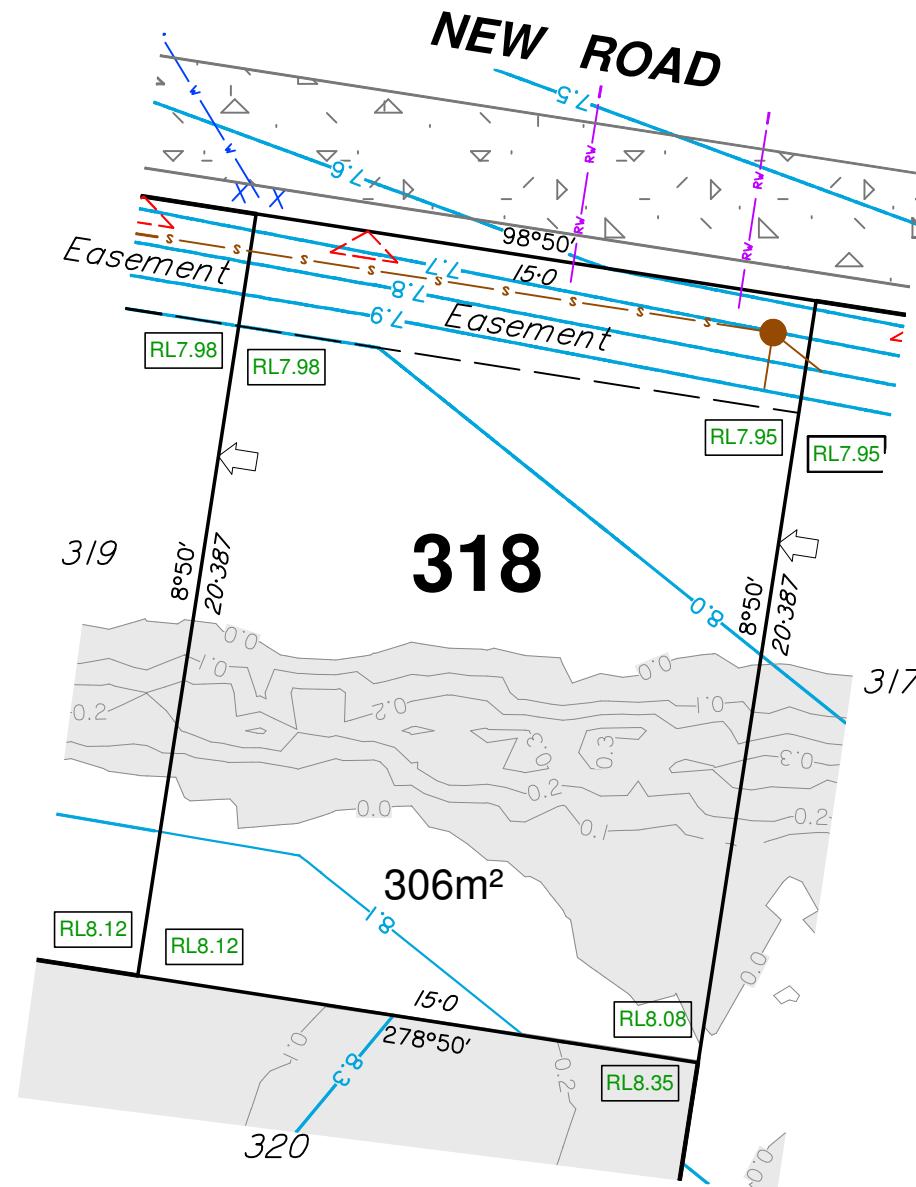
DISCLOSURE PLAN

For Proposed Lot 318
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



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village
GREEN



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 26-07-2022
DRAWING NO. SS3787_07A-01-318
VERSION C

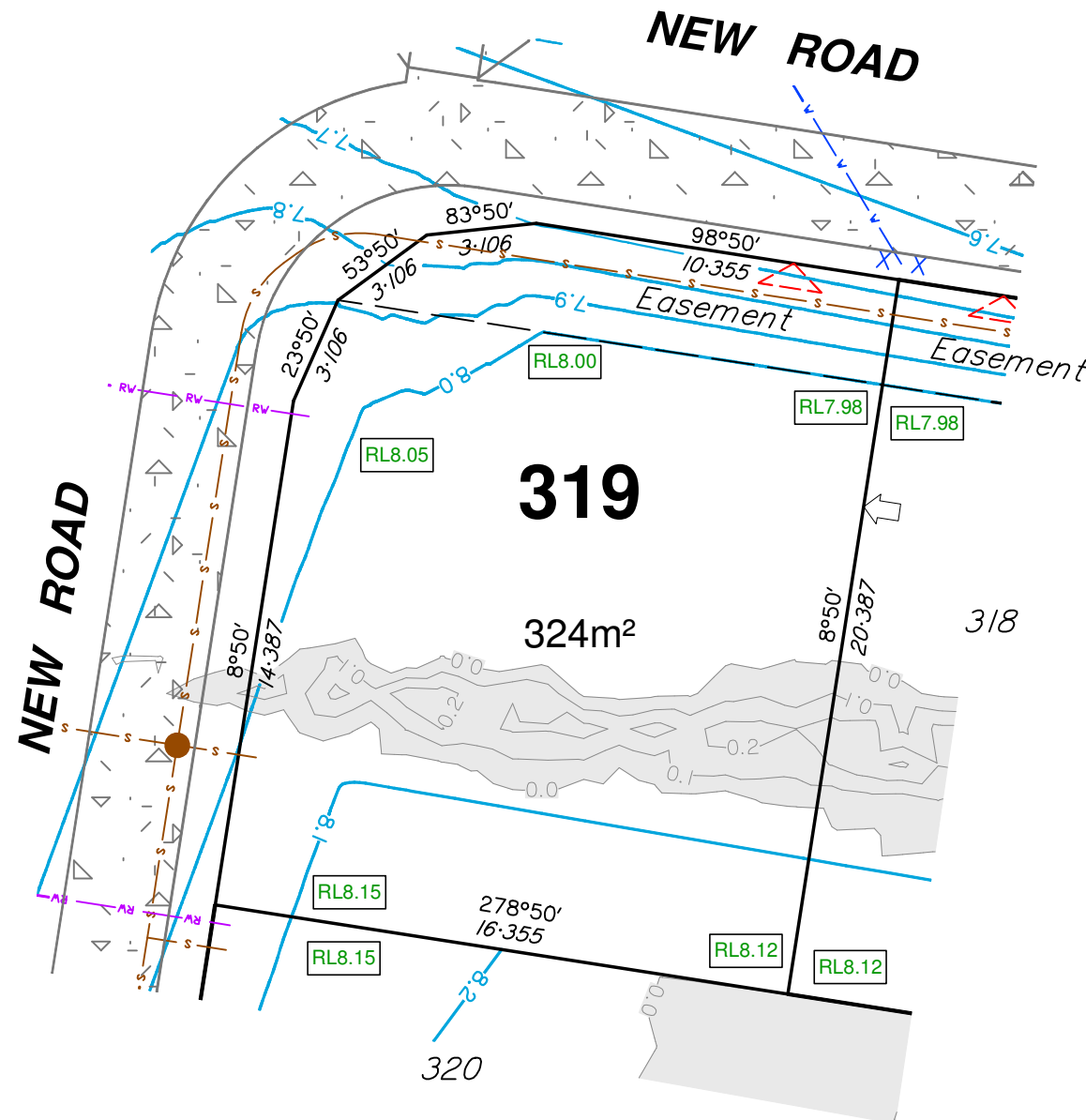
DISCLOSURE PLAN

For Proposed Lot 319
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



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village
GREEN



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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LEVEL DATUM
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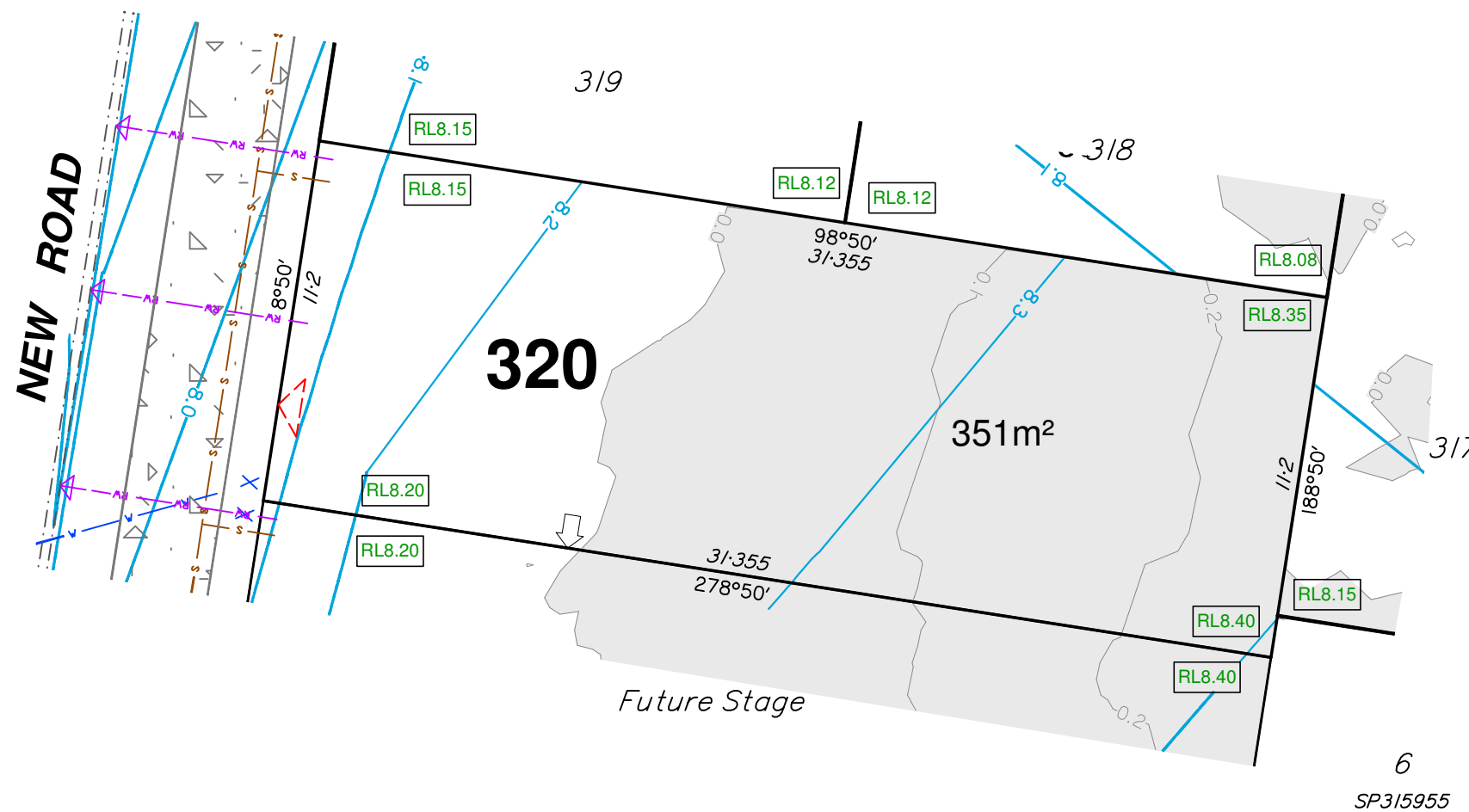
DATE DRAWN 25-07-2022 DRAWING NO. SS3787_07A-01-319 VERSION C

DISCLOSURE PLAN

For Proposed Lot 320
Village Green - Stage 7A

Currently Described As
RPD: Part of Lot 1003 on SP324949
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s — ● Sewer/Sewer Manhole
 - sv — sv — ⊕ Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — □ Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v — X Water/Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)



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village
GREEN



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 06-07-2022 DRAWING NO. SS3787_07A-01-320 VERSION B