# **Development Statistics**

	Stage 5A	Stage 5B	Stage 5C	Overall
Stage Area	2.544 ha	1.453 ha	9.916 ha	13.913 ha
Saleable Area				
Single Family Allotments	1.500 ha	1.081 ha	1.696 ha	4.277 ha
Total Area of Allotments	1.500 ha	1.081 ha	1.696 ha	4.277 ha
Open Space				

Open Space				
Pedestrian Linkage/Road Reserve	0.090 ha	0.010 ha	0.009 ha	0.109 ha
Regional Open Space	_	_	7.416 ha	7.416 ha
Drainage Reserve	0.441 ha	_	_	0.441 ha
Total Open Space	0.531 ha	0.010 ha	7.425 ha	7.966 ha

Area of New Road	0.513 ha	0.362 ha	0.795 ha	1.670 h

Residential Allotments					
30m Deep Allotments	Typical Size	Lots	Lots	Lots	Lots
Villa Allotment Type 2	11.2m x 30m	1	3	5	9
Premium Villa Allotment	12.5m x 30m	17	12	12	41
Courtyard Allotment	15m x 30m	11	9	15	35
Traditional Allotment	20m x 30m	3	2	6	11

32 26 38 96

Indicative On-Street Parking

☐ ☐ Indicative Future Allotment Layout

48m

223m 510m 1048m

48m

Length of New Road				
15m Wide Esplanade Road	_	_	110m	110m
16.5 Wide New Road	315m	223m	352m	890m

Total Length of New Road
Legend

Shared Access Driveway

Site Boundary

Stage Boundary — 0.5m Contours

Mandatory Built to Boundary Wall

Nominal Built to Boundary Wall Preferred Driveway Location

Preferred Private Open Space Location

♦ Indicative Bin Pad Location for Lot 1616-1618

### SITE COVER

Building Height	Lot Size						
Building Height	300m² or less	301 - 400m²	401 - 500m²	501m² +			
8.5m or less	75%	70%	60%	60%			

	Frontage						Side	Rear
Height of Wall	Primary			Secondary to street			Non-built to boundary wall	To OMP and wall
	To Wall	To OMP*	To covered car parking space	To Wall	To OMP*	To covered car parking space	To Wall	To OMP* and Wall
Less than 4.5m	Min. 3m	Min. 2m	Min. 5.4m	Min. 2m	Min. 1m	Min. 5.4m	Min. 1m**	As per QDC
4.5m to 8.5m	Min. 3m	Min. 2m	N/A	Min. 2m	Min. 1m	N/A	#Min. 1m**	As per QDC

# One side must be setback a min. 1.5m to the wall.

MP1.2, A1 (a), (b) and (c), A2 (a), (b) and (d). Non-compliance with this provision for a Dwelling house requires a concurrence agency

640m²

1616

425m² 1615

375m² 1614

335m² 1613 £

335m² 1612

425m2 1611

364

363

362

375m2 1610

1617

1619

1620 1621 1622

1635 1634 1633

360

359

358

361

Z15m2

329

All Lot Numbers, Dimensions and subject to survey and Council

Dimensions have been rounded to

The boundaries shown on this plan should not be used for final detailed

Source Information:

Coast

### PLAN OF DEVELOPMENT SETBACKS

leight of Wall	Frontage						Side	Rear
	Primary			Secondary to street			Non-built to boundary wall	To OMP and wall
	To Wall	To OMP*	To covered car parking space	To Wall	To OMP*	To covered car parking space	To Wall	To OMP* and Wall
ss than 4.5m	Min. 3m	Min. 2m	Min. 5.4m	Min. 2m	Min. 1m	Min. 5.4m	Min. 1m**	As per QDC
5m to 8.5m	Min. 3m	Min. 2m	N/A	Min. 2m	Min. 1m	N/A	#Min. 1m**	As per QDC

\* OMP includes architectural features such as piers, pylons, eaves, etc.

Note - This is a qualifiable standard that is an alternative provision to QDC, part MP1.1, A1 (a), (b) and (c), A2 (a), (b) and (d) and part

Areas are approximate only, and are

the nearest 0.1 metres

the nearest 5m2.

engineers design.

Site boundaries: Wolter Consulting Adjoining information: DCDB

# 8

### **GARAGE AND CARPORT OPENINGS**

= 2.0m Pathway

■■■ 1.5m Pathway

- Indicative Pedestrian/

Shared Pathways

	Covered car space opening	g(s) per street frontage	
	Less Than 12.5m	12.5m to 18m	Greater than 18m
Single Storey Dwelling	a. maximum 50% of the front frontage width (being the frontage vehicle access is from); and	a. recessed at least 1.0m     behind the main building line	
Additional Requirements for Single Storey Dwelling	b. recessed: i. at least 1.0m behind the or ii. at least 1.0m behind a fro than 2.0m in front of the r		
Two Storey Dwelling	a. 6.0m wide maximum; and     b. recessed 1.0m behind the f     upper level.  Editor's note - Front wall is to     of 40% of the adjoining frontage.		
DIIII 1	TO BOUNDARY WAI	I C DECIDENTIAL	HEES

### **BUILT TO BOUNDARY WALLS RESIDENTIAL USES**

Lot frontage width	Mandatory / Optional	Length and Height of Built to Boundary Wall
More than 7.5m to	Mandatory - one side	Max Length: 60% of the length of the boundary
12.5m		Max Height: 4.5m
More than 12.5m to 18m	Optional: i. on 1 boundary only;	Max Length: the lesser of 15m or 60% of the length of the boundary
	ii. where the built to boundary wall adjoins a lot with a frontage less than 18m.	Max Height: 4.5m
	Not permitted - Otherwise	
Greater than 18m	Not permitted	Not permitted*

Note - Max Length includes the length of walls of any other buildings on the same boundary. e.g. detached

Note - For the maximum height of domestic outbuildings refer to the examples that achieve aspects of the performance outcomes for building height and domestic outbuildings.

\*Note - Built to boundary walls are not permitted, however, reduced side and rear boundary clearances may be permitted as prescribed (e.g. QDC).

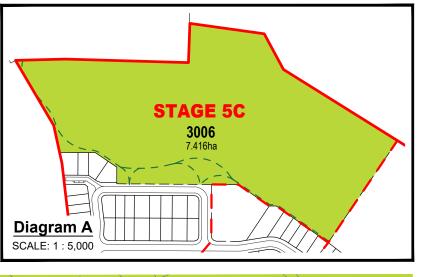
## PLAN REF: 7025 - 298

DATE: 29 APRIL 2025 PEET CLIENT: DRAWN BY: JC/NF CHECKED BY: DG



100 1:1.500 @ A3

**STAGE 5 OVERALL** 



See Diagram A

16.5m

**STAGE 5C** 

7.416ha

1625

No. 15

1628

353

Road

338

No.12

311

Road

No. 13

350

1626

600m<sup>2</sup>

1629

Wide

354

337

New

15m Wide New Esplanade Road

1623

600m<sup>2</sup>

1632

357

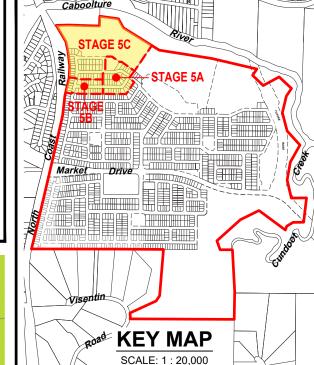
16.5m

1631

1630

355

600m<sup>2</sup>



### Notes:

 Maximum building location envelopes shown are subject to future proposed easements and/or other underground services.

Site cover (excluding eaves, sun shading devices, patios, balconies and other unenclosed structures) does not exceed that outlined in the

Car Parking Spaces
3. Minimum of 2 onsite car parking spaces are provided per dwelling.

# Garages and Carports 4. Garage and carport openings shall be as per

Garage and Carport Openings Table.

5. Driveway crossovers are located in accordance with this Plan of Development. 6. Driveways do not include a reversing bay

manoeuvring area or visitor parking space(s) (other than tandem spaces) in the front setback

7. Each dwelling includes a bin storage area that:

- is not visible from public areas or screened from public areas; - has a minimum area of 1.0m x 2.0m
- if located within the garage, the area must be
- if located within the front setback, must be stored in a small enclosure

Dwellings generally must address primary frontages with a minimum of a window and either a front door or pedestrian entrance. Dwellings on corner lots may have a front door addressing the secondary frontage but must still address the primary frontage with a window on each level.

The building must have a window with an area of at least 1m<sup>2</sup> or multiple habitable room windows having a combined area of at least 2.5m² that face the street.

For corner lots, the Primary Frontage shall be considered the narrow frontage addressing a

Built to Boundary Walls

11. Built to boundary walls shall be as per Built to
Boundary Walls Residential Uses Table, unless indicated otherwise on this Proposal Plan.

12. Minimum setbacks shall be as per Plan of



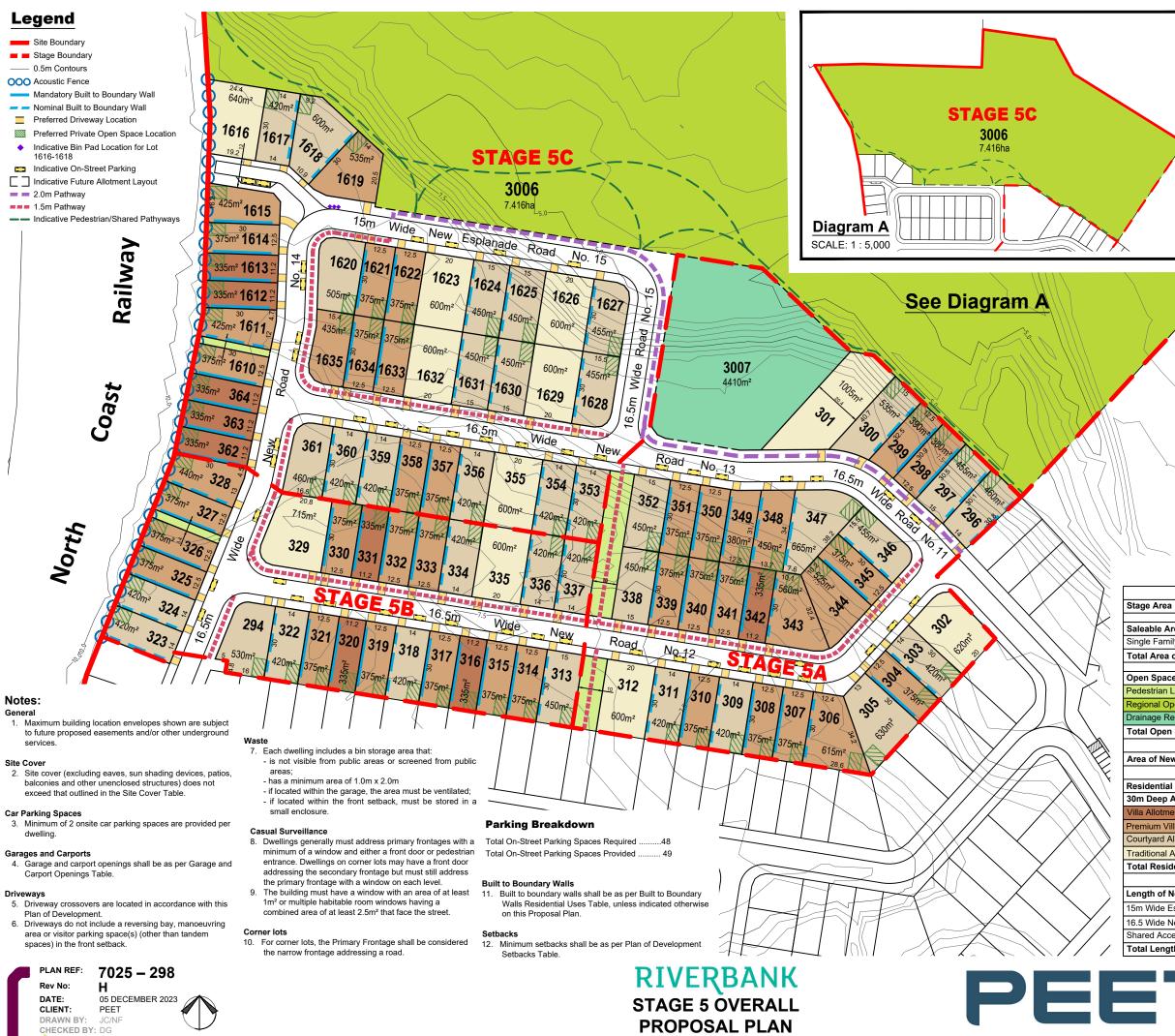
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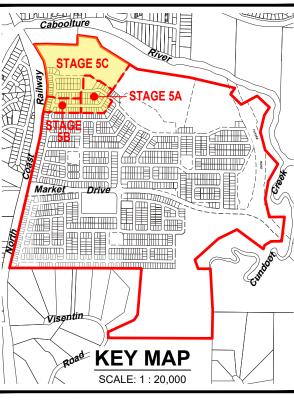


**PROPOSAL PLAN** 

<sup>\*\*</sup> Eaves may encroach to a maximum of 450mm



MORETON BAY



Source Information:

Site boundaries: Wolter Consulting

Adjoining information: DCDB

Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m2

The boundaries shown on this plan should not be used for final detailed engineers design.

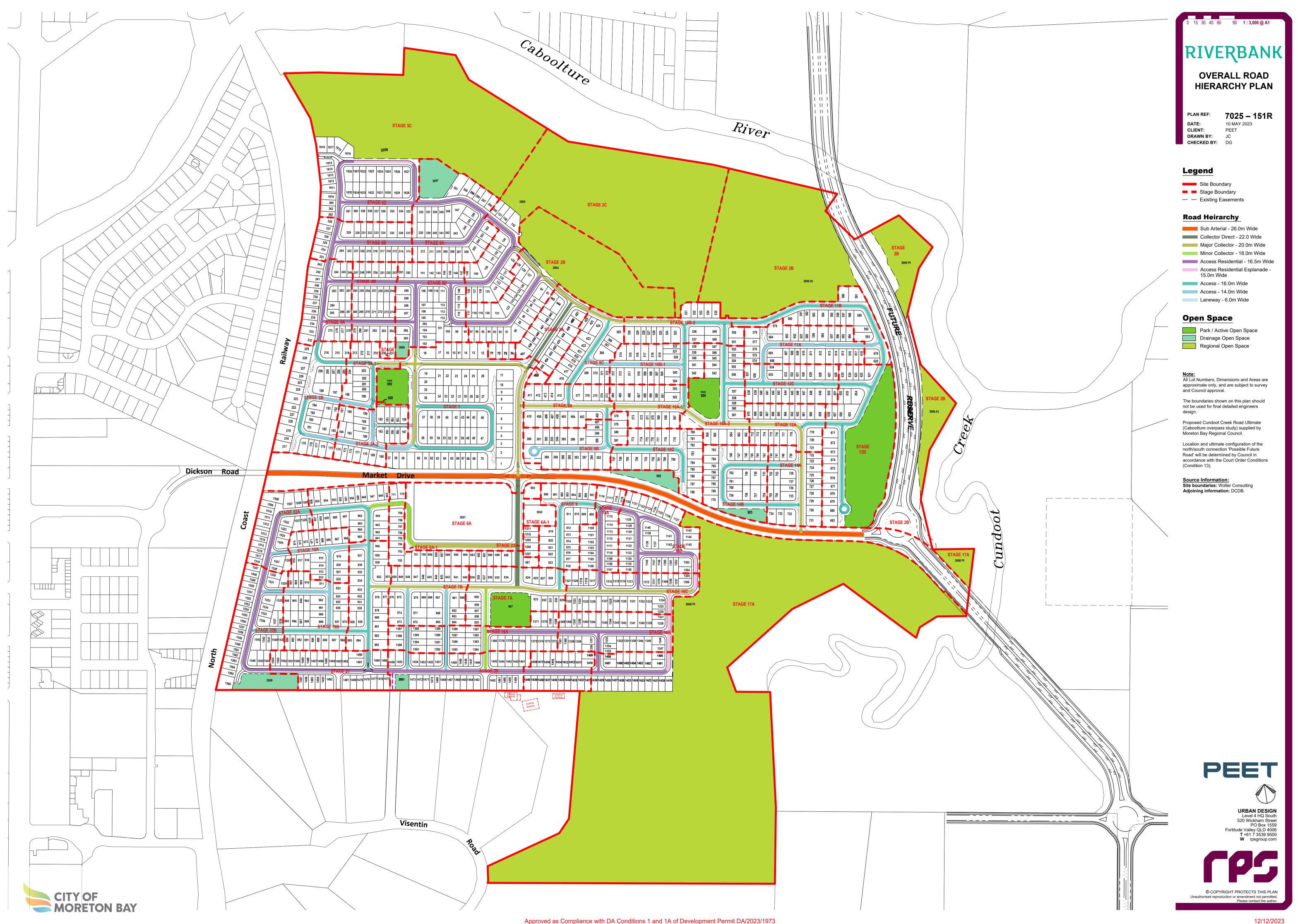
# **Development Statistics**

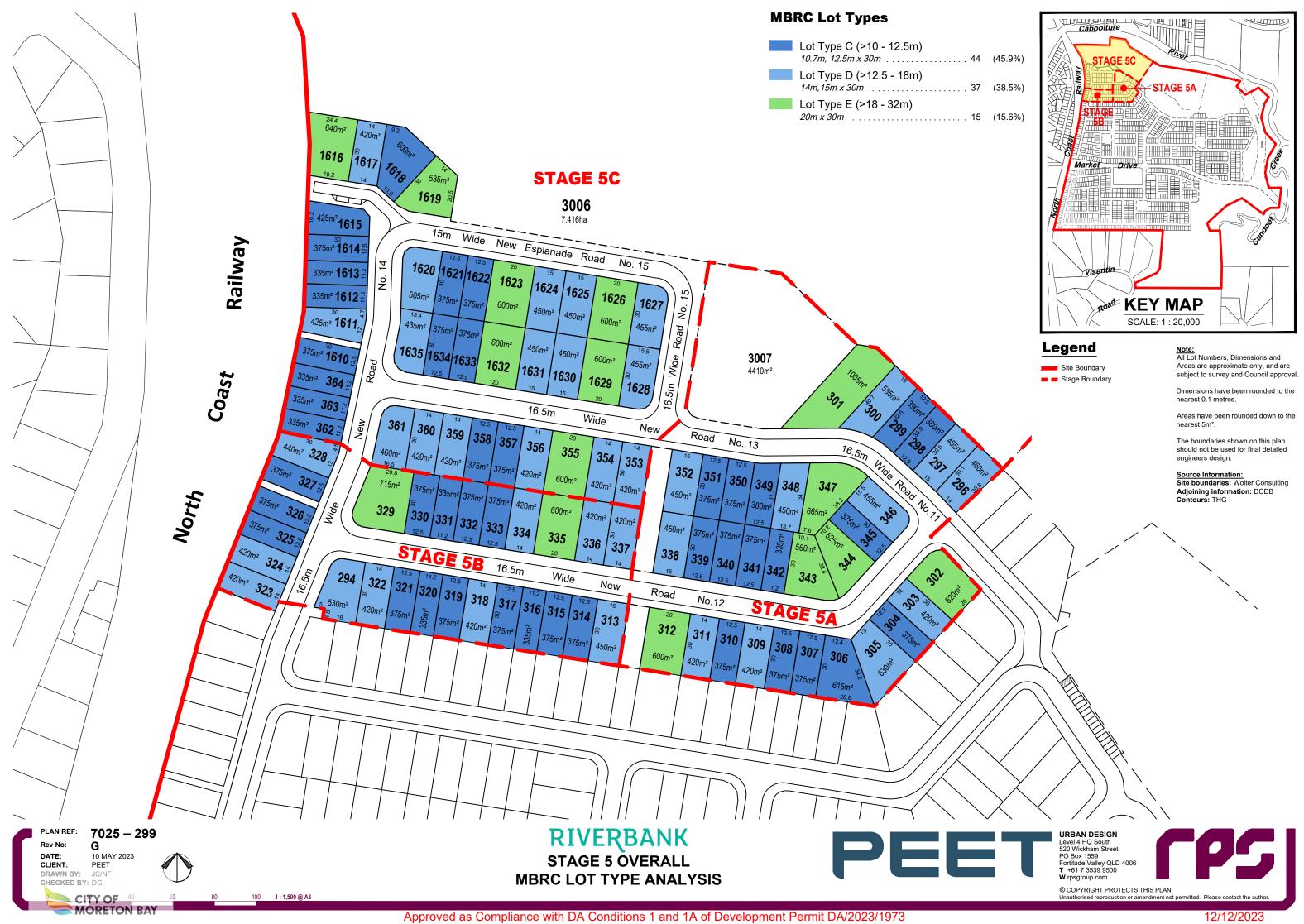
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			!	!	
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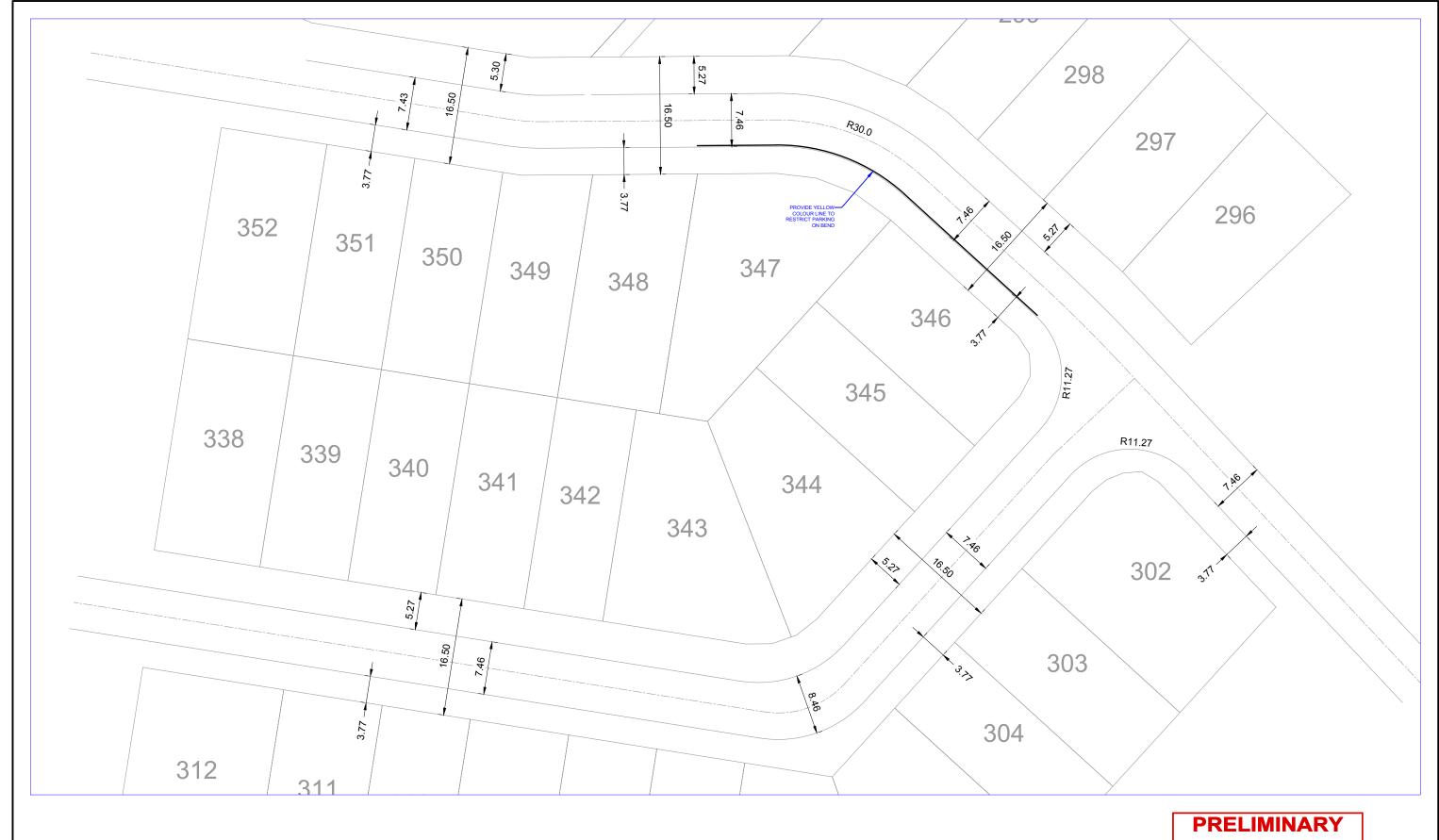
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