

For Proposed Lot 1441 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Caboolture South Locality:

Moreton Bay Regional

Legend:

Local Authority

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RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

Notes:

1. This note is an integral part of this plan.

2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 17-12-2021.

3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.

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only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with

AS3798-2007 under Level 1 supervision.

6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





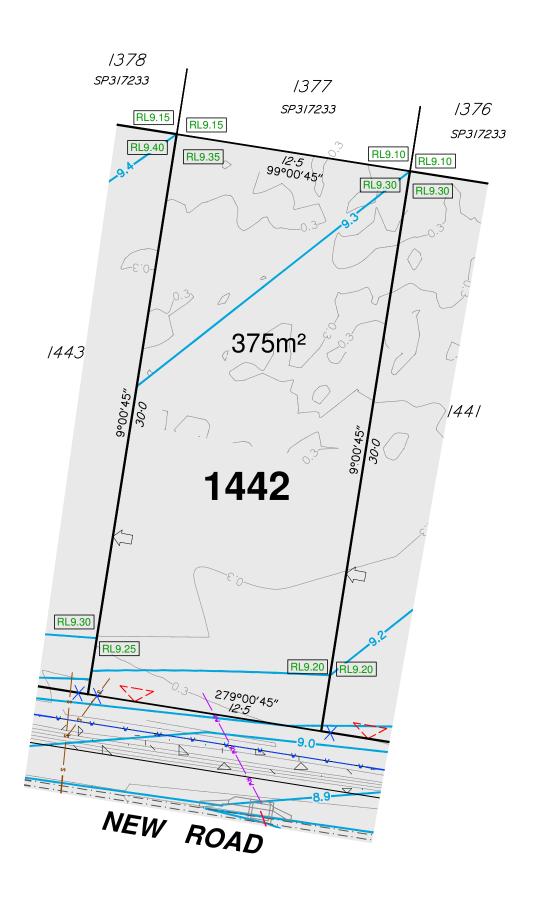




MGA LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 25-02-2022

DRAWING NO. SB3594-20-01-1441



For Proposed Lot 1442 Riverbank - Stage 20

Currently Described As

Χ

Part of Lot 1028 on SP321913 Locality:

Caboolture South Local Authority Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32

Design Pad Level Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

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Planning Urban Design Alandscape Environment A Surveying

HORIZONTAL MERIDIAN MGA

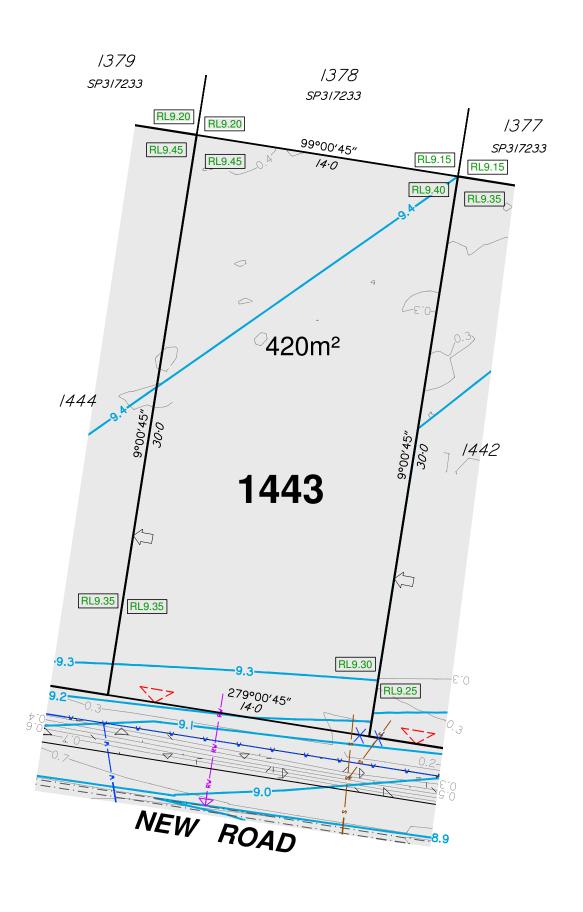
LEVEL DATUM AHD.

DATE DRAWN 25-02-2022

Scale 1:200

DRAWING NO. SB3594-20-01-1442

@A3



For Proposed Lot 1443 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority

Χ

RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

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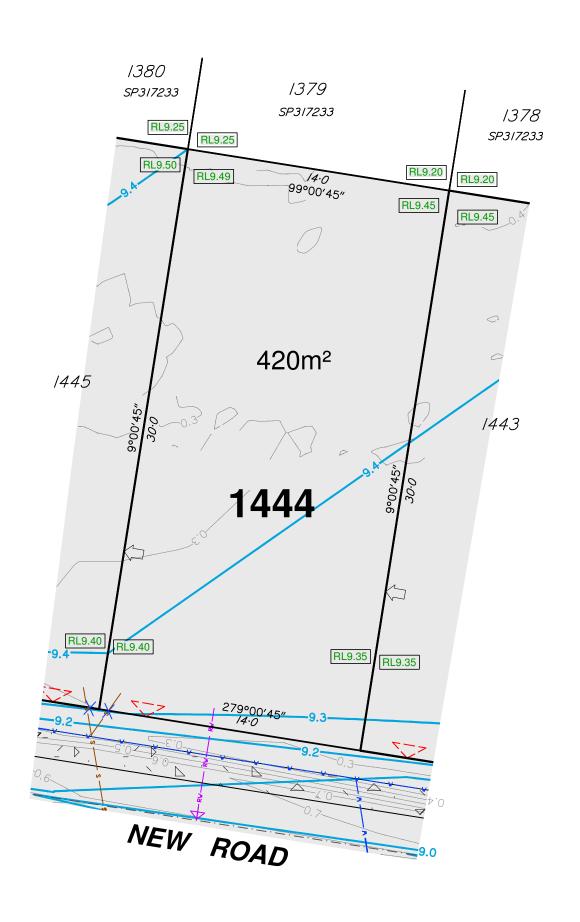
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LEVEL DATUM @A3 AHD.

DATE DRAWN 25-02-2022

Scale 1:200

DRAWING NO. SB3594-20-01-1443



For Proposed Lot 1444 Riverbank - Stage 20

Currently Described As

Χ

RL57.32

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Part of Lot 1028 on SP321913 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

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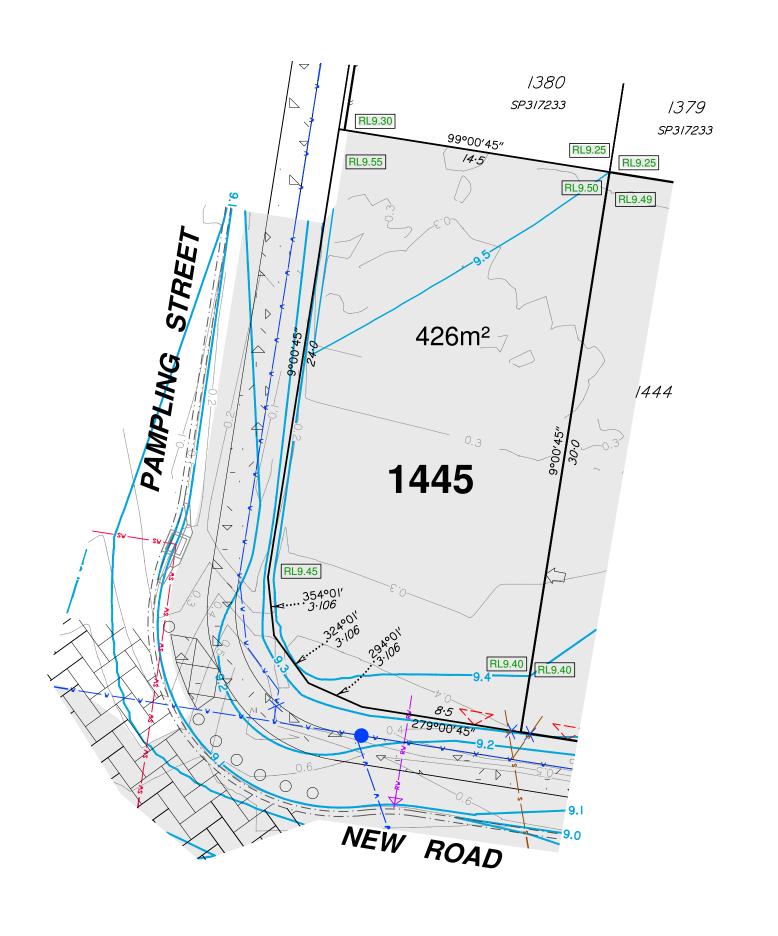
LEVEL DATUM AHD.

DATE DRAWN 25-02-2022

Scale 1:200

DRAWING NO. SB3594-20-01-1444

@A3



For Proposed Lot 1445 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Caboolture South Locality:

Local Authority Moreton Bay Regional

Legend:

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RL57.32

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N

Depth of Fill Contours (0.2m Interval)

Finished Surface Contours (0.1m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

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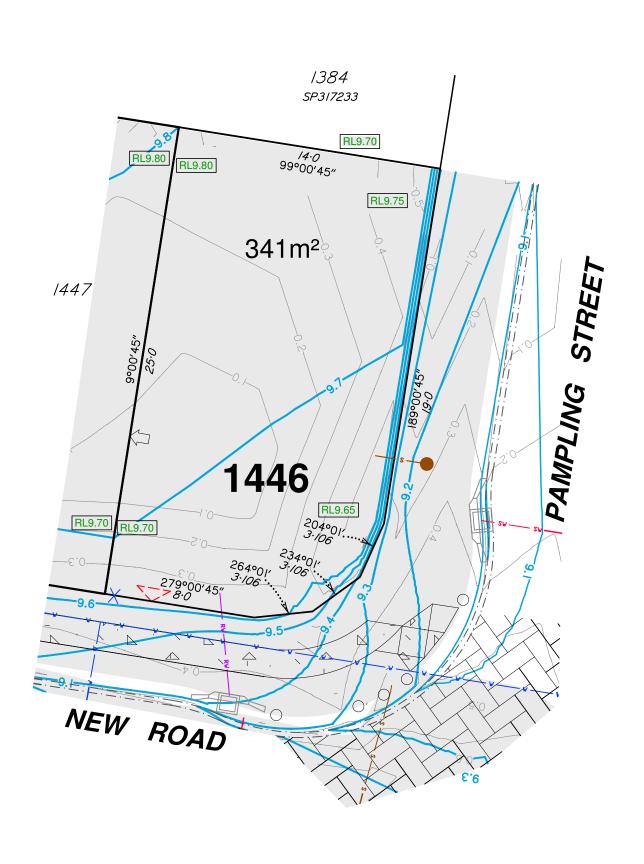
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> LEVEL DATUM AHD.

DATE DRAWN 25-02-2022

Scale 1:200

DRAWING NO. SB3594-20-01-1445



For Proposed Lot 1446 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

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RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

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Planning Urban Design Alandscape Environment A Surveying

HORIZONTAL MERIDIAN MGA

LEVEL DATUM AHD.

DATE DRAWN 25-02-2022

Scale 1:200

DRAWING NO. SB3594-20-01-1446



For Proposed Lot 1447 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality: Caboolture South

Local Authority: Moreton Bay Regional

Legend:

N

Depth of Fill Contours (0.2m Interval)

Finished Surface Contours (0.1m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Water Meter Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

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Planning Urban Design Alandscape Environment A Surveying

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25-02-2022

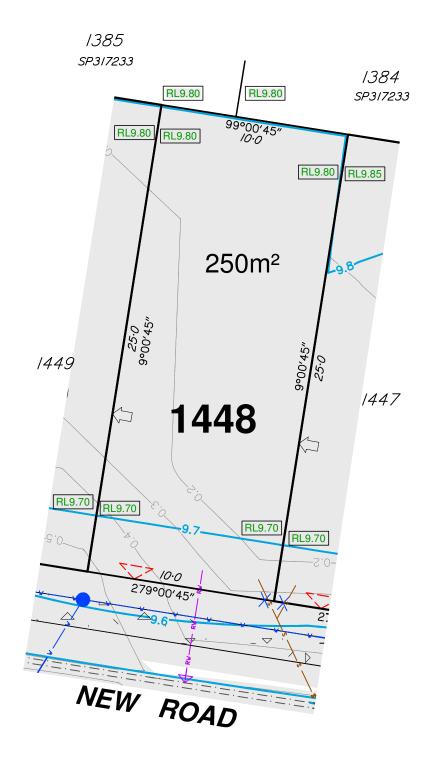
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MGA LEVEL DATUM Scale 1:200 @A3

DATE DRAWN DRAWING NO.

VERSION SB3594-20-01-1447



For Proposed Lot 1448 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

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RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Water Meter Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

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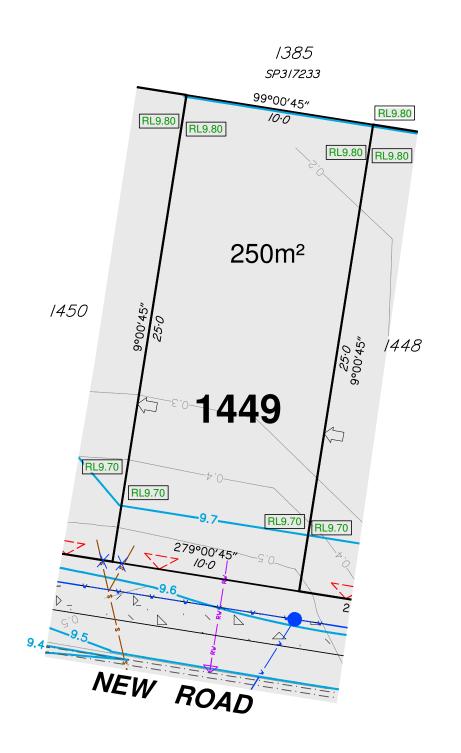
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DATE DRAWN 25-02-2022

DRAWING NO. SB3594-20-01-1448 **VERSION**

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AHD.



For Proposed Lot 1449 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality: Caboolture South

Local Authority: Moreton Bay Regional

Legend:

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RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

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HORIZONTAL MERIDIAN MGA

LEVEL DATUM AHD.

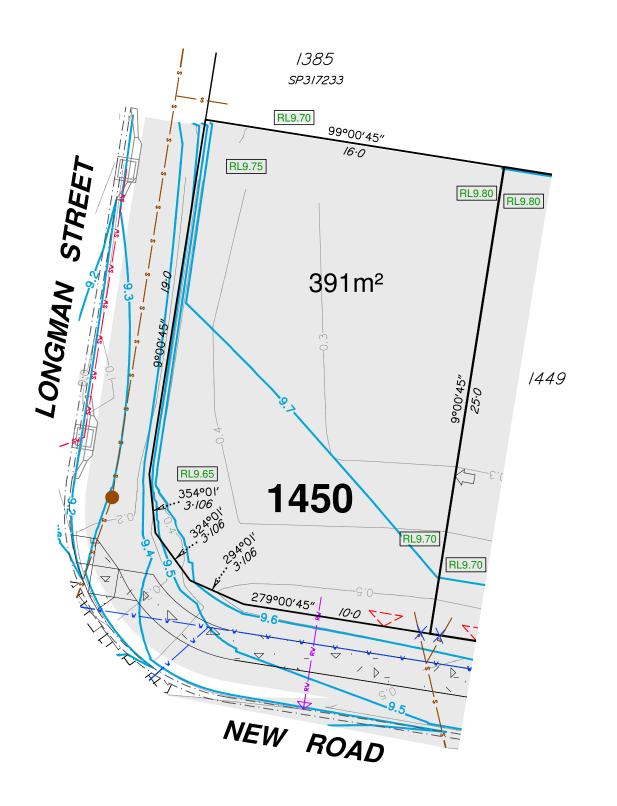
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Scale 1:200

DRAWING NO. SB3594-20-01-1449

@A3



For Proposed Lot 1450 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

Χ

RL57.32

N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter Water/Water Fitting

Area to be Filled Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

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HORIZONTAL MERIDIAN

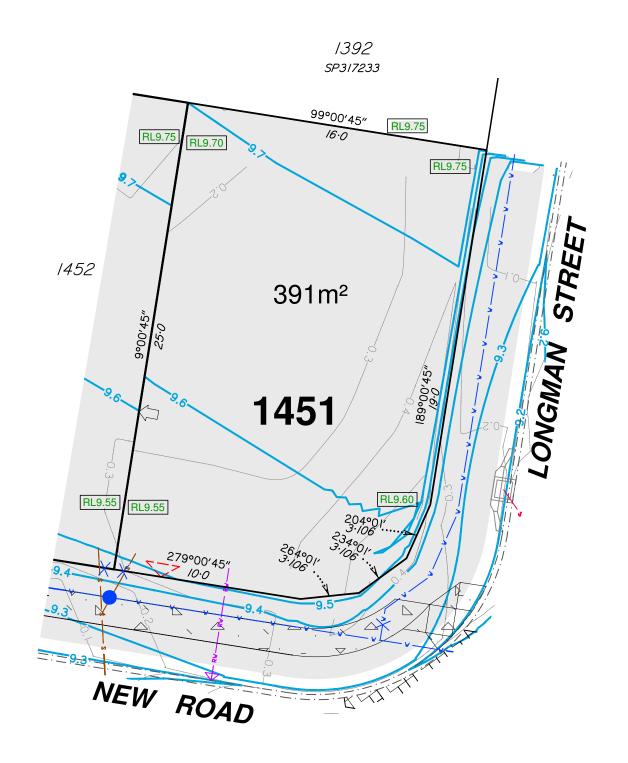
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LEVEL DATUM AHD.

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DATE DRAWN 25-02-2022

DRAWING NO. SB3594-20-01-1450



For Proposed Lot 1451 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

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RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

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HORIZONTAL MERIDIAN MGA ليتبيلينينا

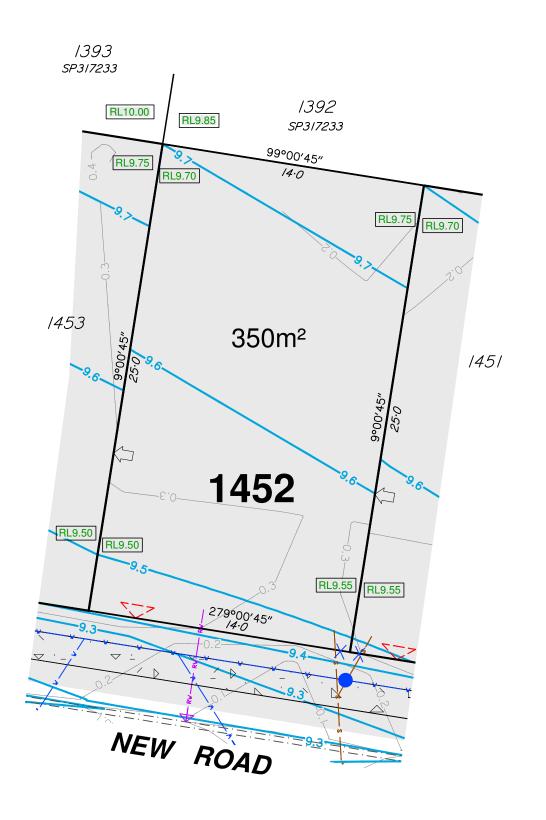
LEVEL DATUM AHD.

DATE DRAWN 25-02-2022

Scale 1:200

DRAWING NO. SB3594-20-01-1451

@A3



For Proposed Lot 1452 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

Χ

RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Water Meter Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

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Planning Urban Design Alandscape Environment A Surveying

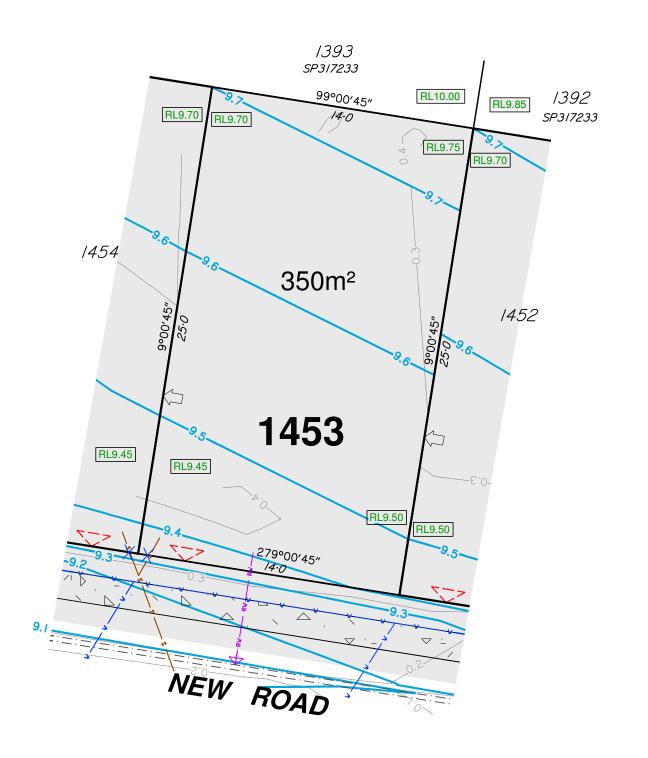
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MGA ليتبيلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN 25-02-2022

DRAWING NO. SB3594-20-01-1452



For Proposed Lot 1453 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality: Caboolture South

Local Authority: Moreton Bay Regional

Legend:

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RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

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HORIZONTAL MERIDIAN MGA

LEVEL DATUM AHD.

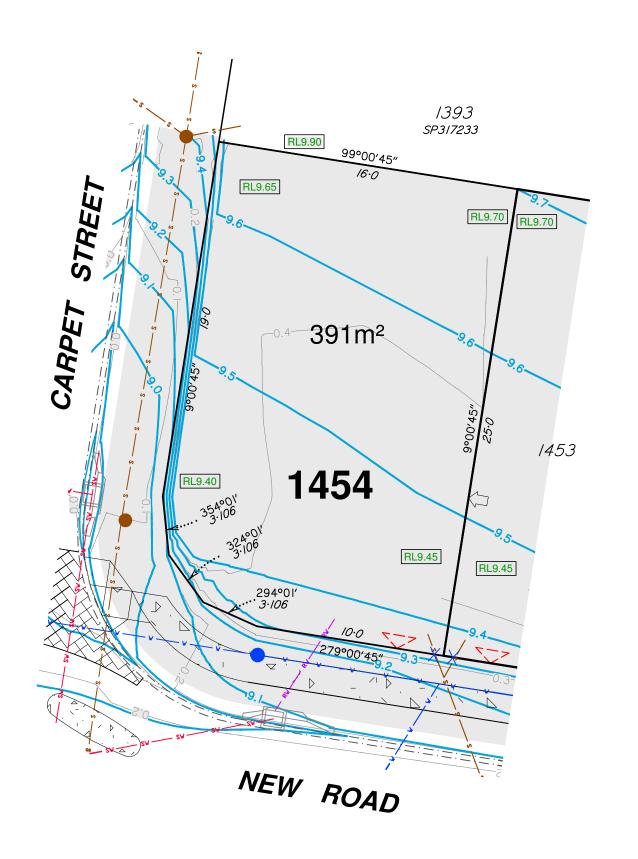
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Scale 1:200

DRAWING NO. SB3594-20-01-1453

@A3



For Proposed Lot 1454 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

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6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





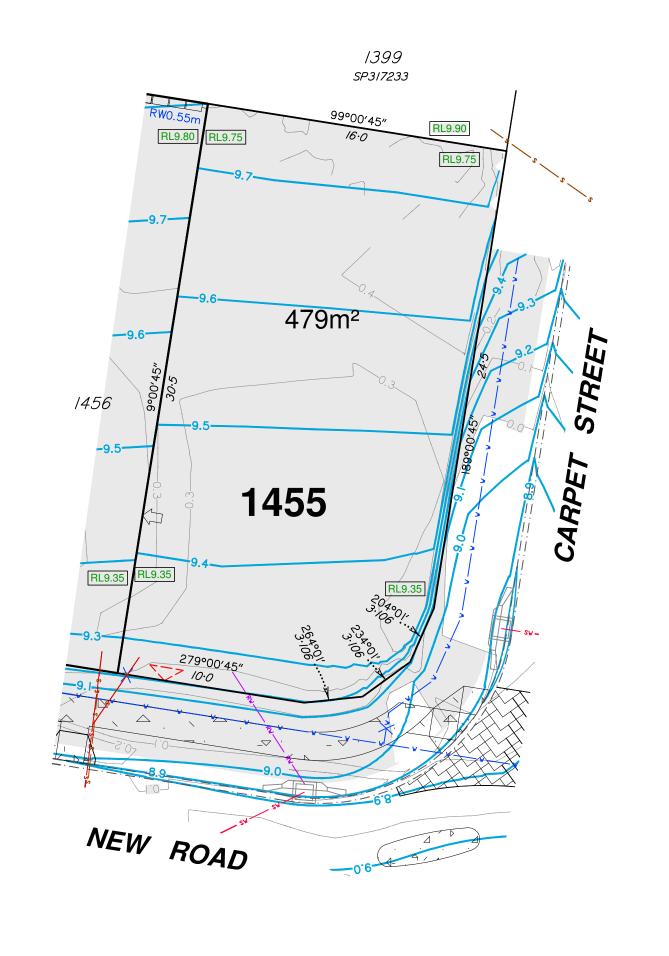
HORIZONTAL MERIDIAN

MGA

LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 25-02-2022

DRAWING NO. SB3594-20-01-1454



For Proposed Lot 1455 Riverbank - Stage 20

Currently Described As

RL57.32

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Part of Lot 1028 on SP321913 Caboolture South Locality:

Moreton Bay Regional

Legend:

Local Authority

N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter Water/Water Fitting

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

Notes:

1. This note is an integral part of this plan.

2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 17-12-2021.

3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material,

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AS3798-2007 under Level 1 supervision.

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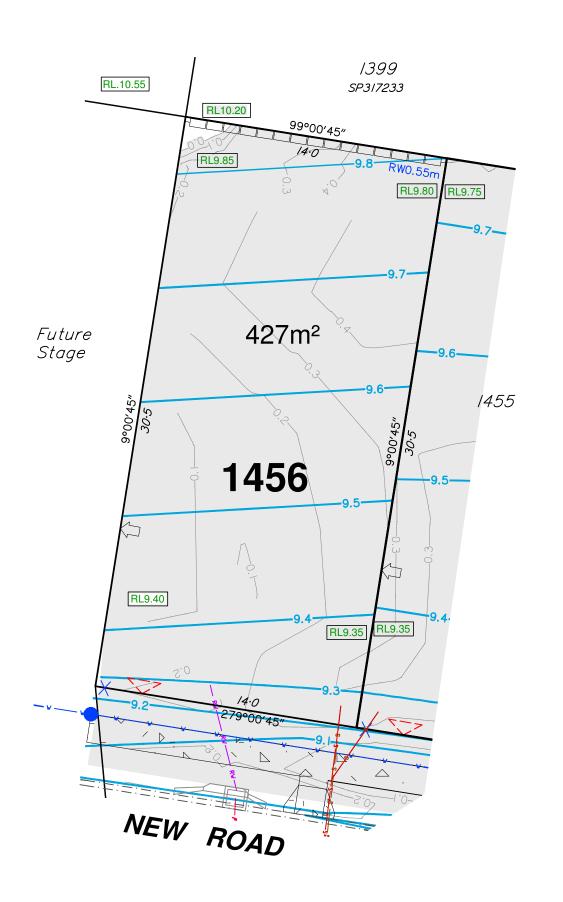
HORIZONTAL MERIDIAN

MGA Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 25-02-2022

DRAWING NO. SB3594-20-01-1455



For Proposed Lot 1456 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Local Authority Moreton Bay Regional

Legend:

Χ

RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

Notes:

1. This note is an integral part of this plan.

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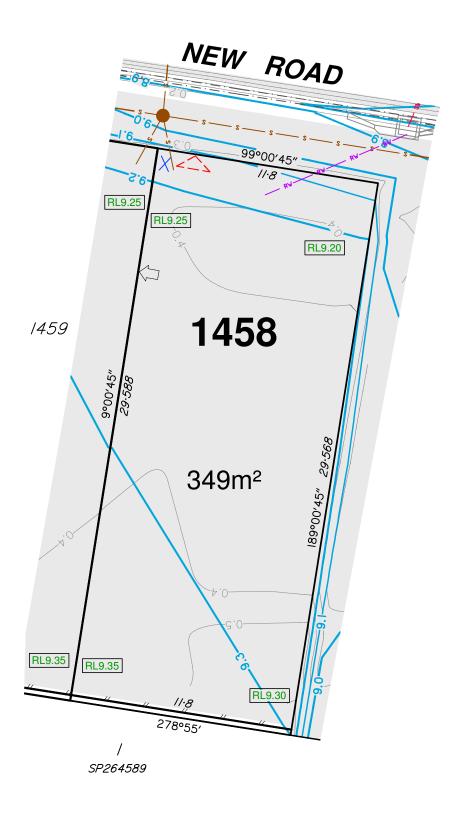
HORIZONTAL MERIDIAN MGA

LEVEL DATUM @A3 AHD.

DATE DRAWN 25-02-2022

Scale 1:200

DRAWING NO. SB3594-20-01-1456



For Proposed Lot 1458 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality: Caboolture South

Local Authority: Moreton Bay Regional

Legend:

Χ

RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

Notes:

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HORIZONTAL MERIDIAN

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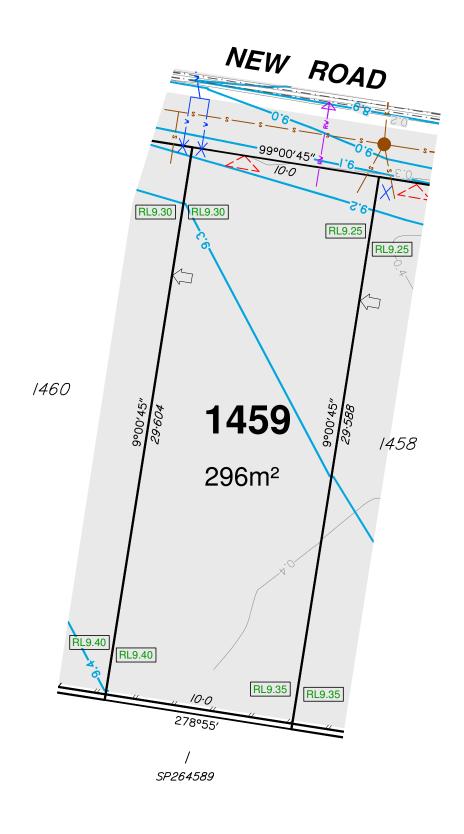
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LEVEL DATUM AHD.

DATE DRAWN 25-02-2022

Scale 1:200

DRAWING NO. SB3594-20-01-1458



For Proposed Lot 1459 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality: Caboolture South

Local Authority: Moreton Bay Regional

Legend:

Χ

RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Water Meter Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

Notes:

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AS3798-2007 under Level 1 supervision.

6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





HORIZONTAL MERIDIAN

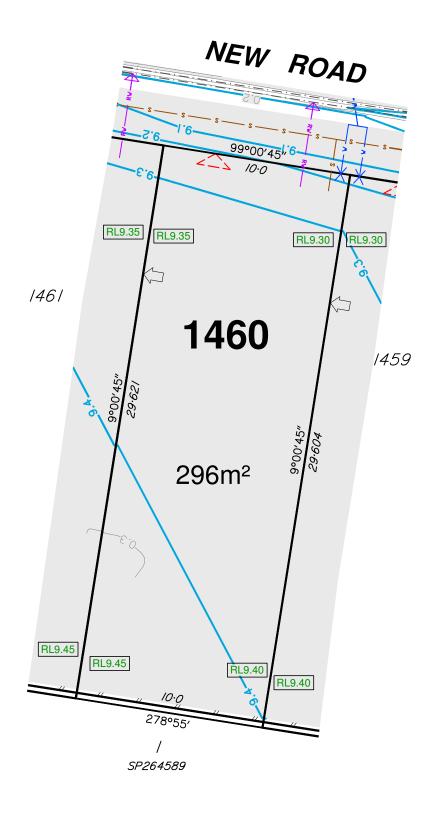
MGA

LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 25-02-2022

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DRAWING NO. SB3594-20-01-1459



For Proposed Lot 1460 Riverbank - Stage 20

Currently Described As

Χ

RL57.32

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Part of Lot 1028 on SP321913 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter Water/Water Fitting

Water Meter

Area to be Filled

Design Pad Level Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

Notes:

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Planning Urban Design Alandscape Environment A Surveying

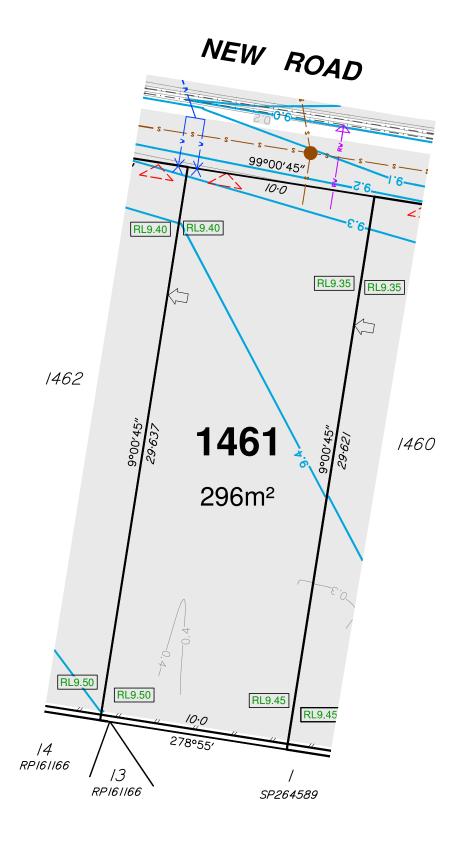
HORIZONTAL MERIDIAN

MGA ليتبيلينينا Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 25-02-2022

DRAWING NO. SB3594-20-01-1460



For Proposed Lot 1461 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality: Caboolture South

Moreton Bay Regional

Legend:

Local Authority:

Χ

RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

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AS3798-2007 under Level 1 supervision.

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HORIZONTAL MERIDIAN

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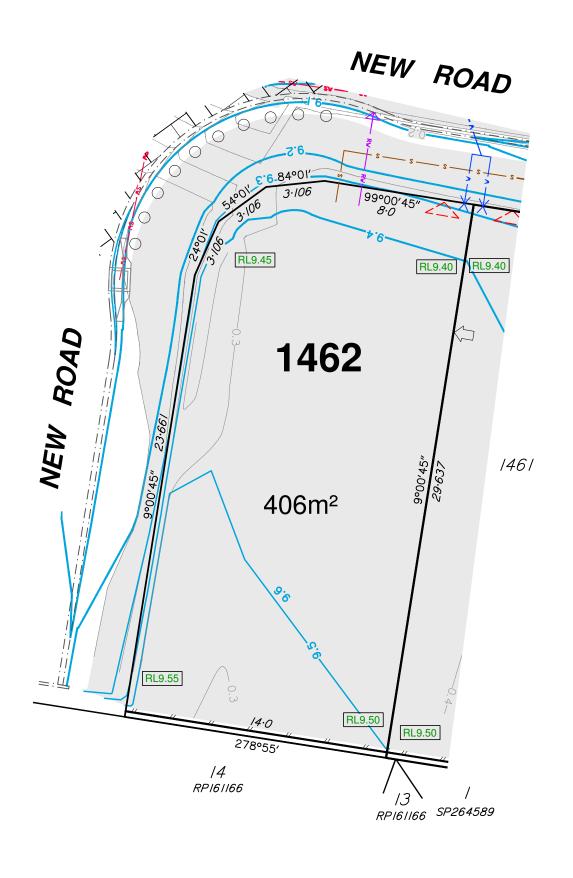
LEVEL DATUM @A3 AHD.

DATE DRAWN 25-02-2022

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Scale 1:200

DRAWING NO. SB3594-20-01-1461



For Proposed Lot 1462 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

Χ

RL57.32

N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter Water/Water Fitting

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

Notes:

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Planning 🕂 Urban Design 🐼 Landscape 💭 Environment 🔥 Surveying

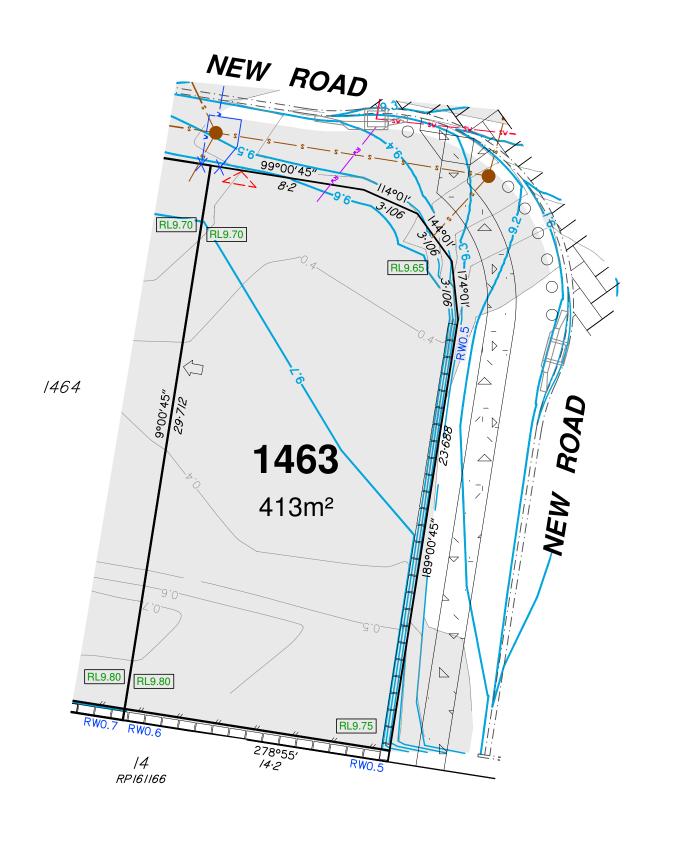
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ليتبيلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 25-02-2022

DRAWING NO. SB3594-20-01-1462



For Proposed Lot 1463 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

Χ

RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter Water/Water Fitting

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

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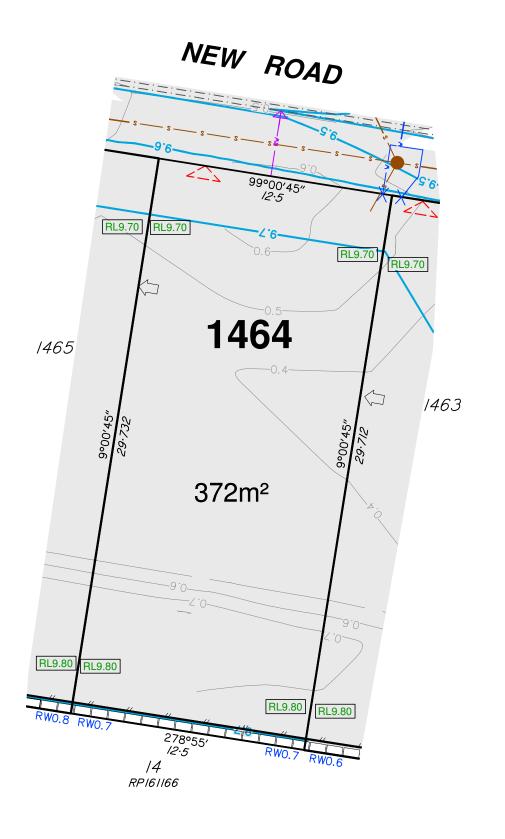
HORIZONTAL MERIDIAN MGA

LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 25-02-2022

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DRAWING NO. SB3594-20-01-1463



For Proposed Lot 1464 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

Χ

RL57.32

N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

 \bigcirc Bollard

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- Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).







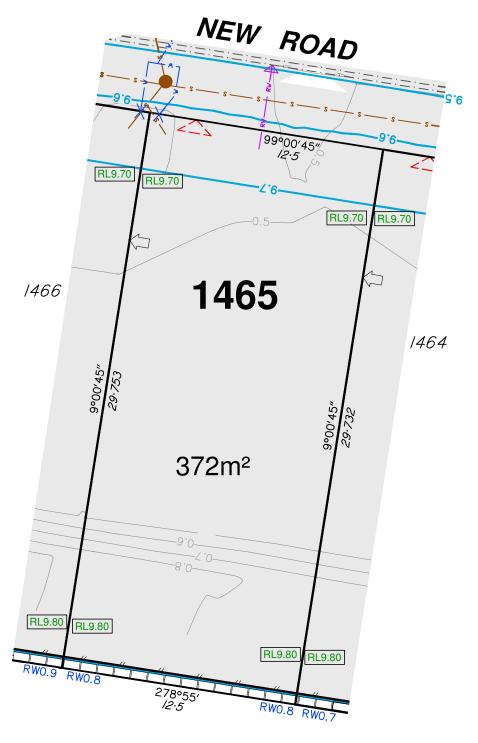


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MGA LEVEL DATUM AHD.

DATE DRAWN 25-02-2022

DRAWING NO. SB3594-20-01-1464



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For Proposed Lot 1465 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

Χ

RL57.32

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N

Depth of Fill Contours (0.2m Interval)

Finished Surface Contours (0.1m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

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LEVEL DATUM AHD.

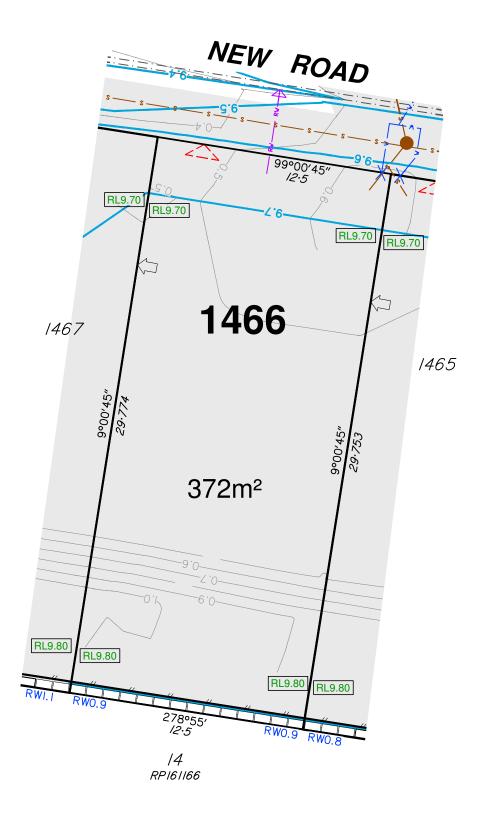
DATE DRAWN 25-02-2022

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Scale 1:200

DRAWING NO. SB3594-20-01-1465

@A3



For Proposed Lot 1466 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

Χ

RL57.32

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N

Depth of Fill Contours (0.2m Interval)

Finished Surface Contours (0.1m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Water Meter Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

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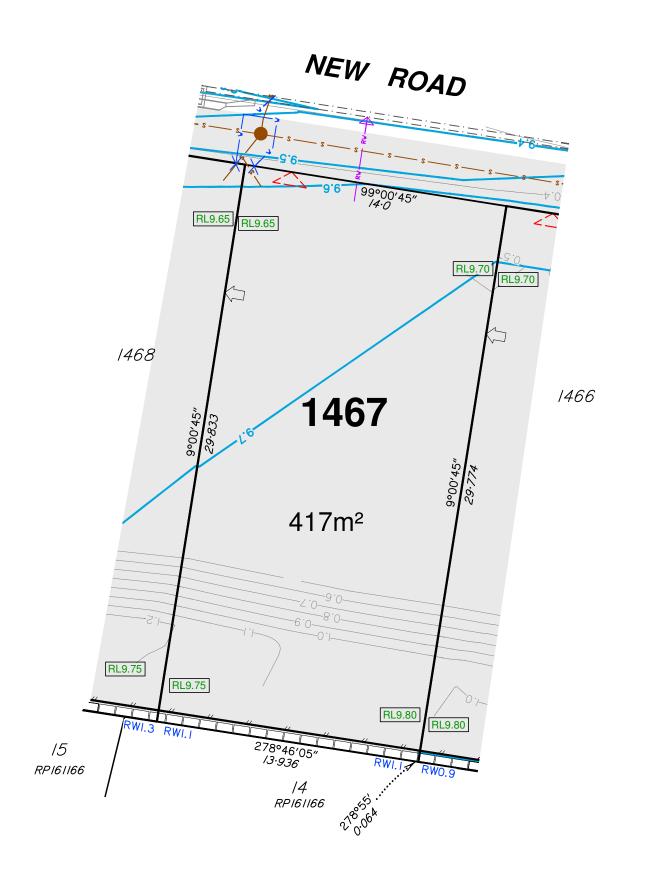
HORIZONTAL MERIDIAN

MGA ليستلينينا Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 25-02-2022

DRAWING NO. SB3594-20-01-1466



For Proposed Lot 1467 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

Χ

RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Water Meter Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

Notes:

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AS3798-2007 under Level 1 supervision.

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HORIZONTAL MERIDIAN MGA

> LEVEL DATUM AHD.

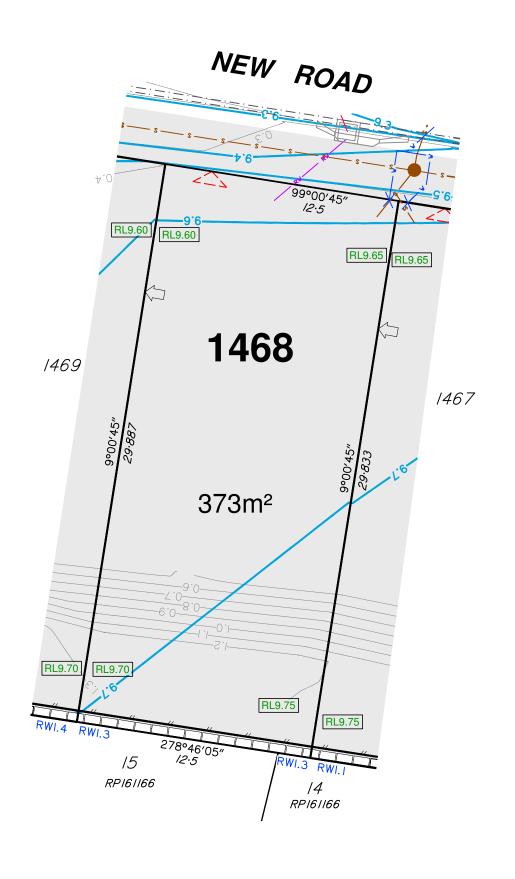
DATE DRAWN 25-02-2022

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Scale 1:200

DRAWING NO. SB3594-20-01-1467

@A3



For Proposed Lot 1468 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

Χ

RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

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Act QLD 1984 (as amended).



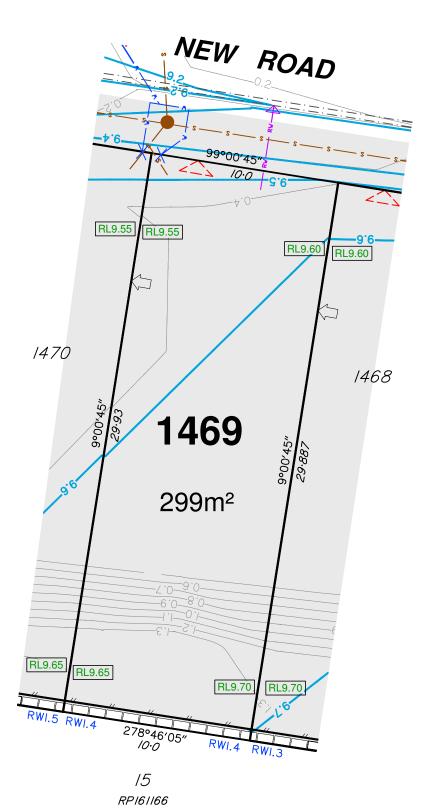


HORIZONTAL MERIDIAN

MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN

DRAWING NO. 25-02-2022 SB3594-20-01-1468



For Proposed Lot 1469 Riverbank - Stage 20

Currently Described As

X

RL57.32

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Part of Lot 1028 on SP321913 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Water Meter Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

Notes:

1. This note is an integral part of this plan.

2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 17-12-2021.

3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.

4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information

only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with

AS3798-2007 under Level 1 supervision.

6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



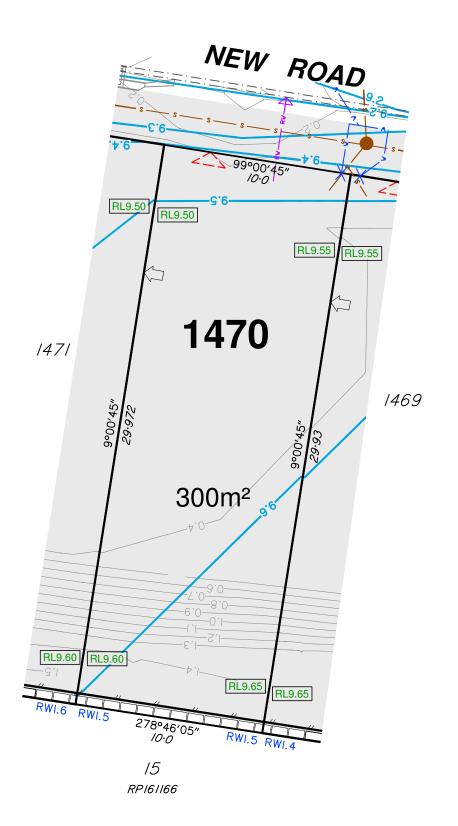


HORIZONTAL MERIDIAN MGA ليستلينينا

LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 25-02-2022

DRAWING NO. SB3594-20-01-1469



For Proposed Lot 1470 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality: Caboolture South

Moreton Bay Regional

Legend:

Local Authority:

X

RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter Water/Water Fitting

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

Notes:

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- 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).







HORIZONTAL MERIDIAN MGA

> LEVEL DATUM AHD.

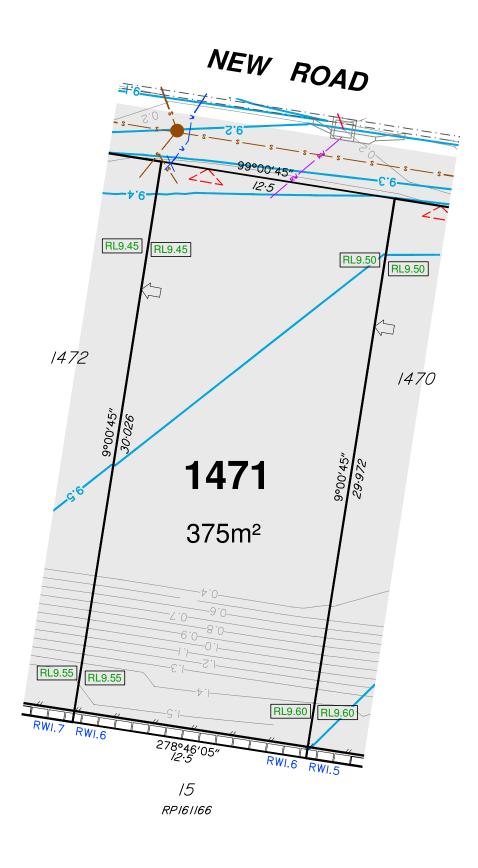
DATE DRAWN 25-02-2022

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Scale 1:200

DRAWING NO. SB3594-20-01-1470

@A3



For Proposed Lot 1471 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

X

RL57.32

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N

Depth of Fill Contours (0.2m Interval)

Finished Surface Contours (0.1m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

Notes:

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Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



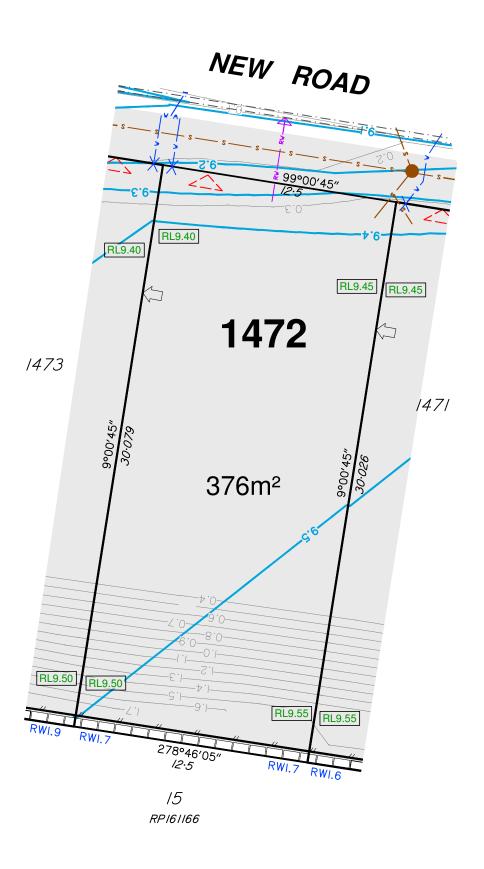


HORIZONTAL MERIDIAN MGA

ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 25-02-2022

DRAWING NO. SB3594-20-01-1471



For Proposed Lot 1472 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

X

RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

Notes:

1. This note is an integral part of this plan.

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AS3798-2007 under Level 1 supervision.

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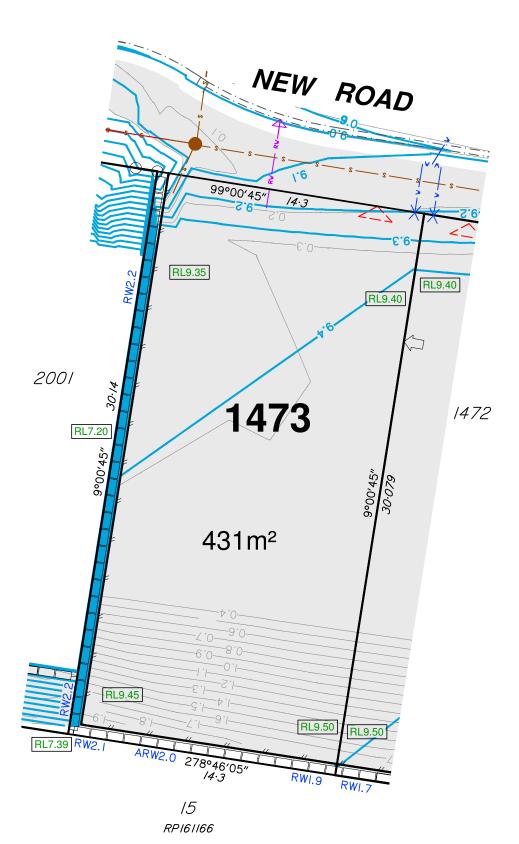


HORIZONTAL MERIDIAN

MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 25-02-2022

DRAWING NO. SB3594-20-01-1472



For Proposed Lot 1473 Riverbank - Stage 20

Currently Described As

Part of Lot 1028 on SP321913 Locality: Caboolture South

Local Authority: Moreton Bay Regional

Legend:

X

RL57.32

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N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.2m Interval)

Easement Boundary

Kerb Line

Edge of Pad

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Roofwater Pit

Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled

Design Pad Level Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Bollard

Notes:

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HORIZONTAL MERIDIAN MGA

> LEVEL DATUM AHD.

DATE DRAWN 25-02-2022

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Scale 1:200

DRAWING NO. SB3594-20-01-1473

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