



Area of Cut

Area of Fill

Design Contours Depth of Fill

Top of Batter

Toe of Batter Retaining Wall

Preferred Earthworks Pad Level

Finished Surface Design Level

Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on

### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 773 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

	No.	by	Date	Chkd	Description
တ္သ	Α	TBG	04.03.24	PS	Original Issue
Issues					
<u>s</u>					



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unless otherwise stated, and therefore is subject to final survey and construction of operational works.

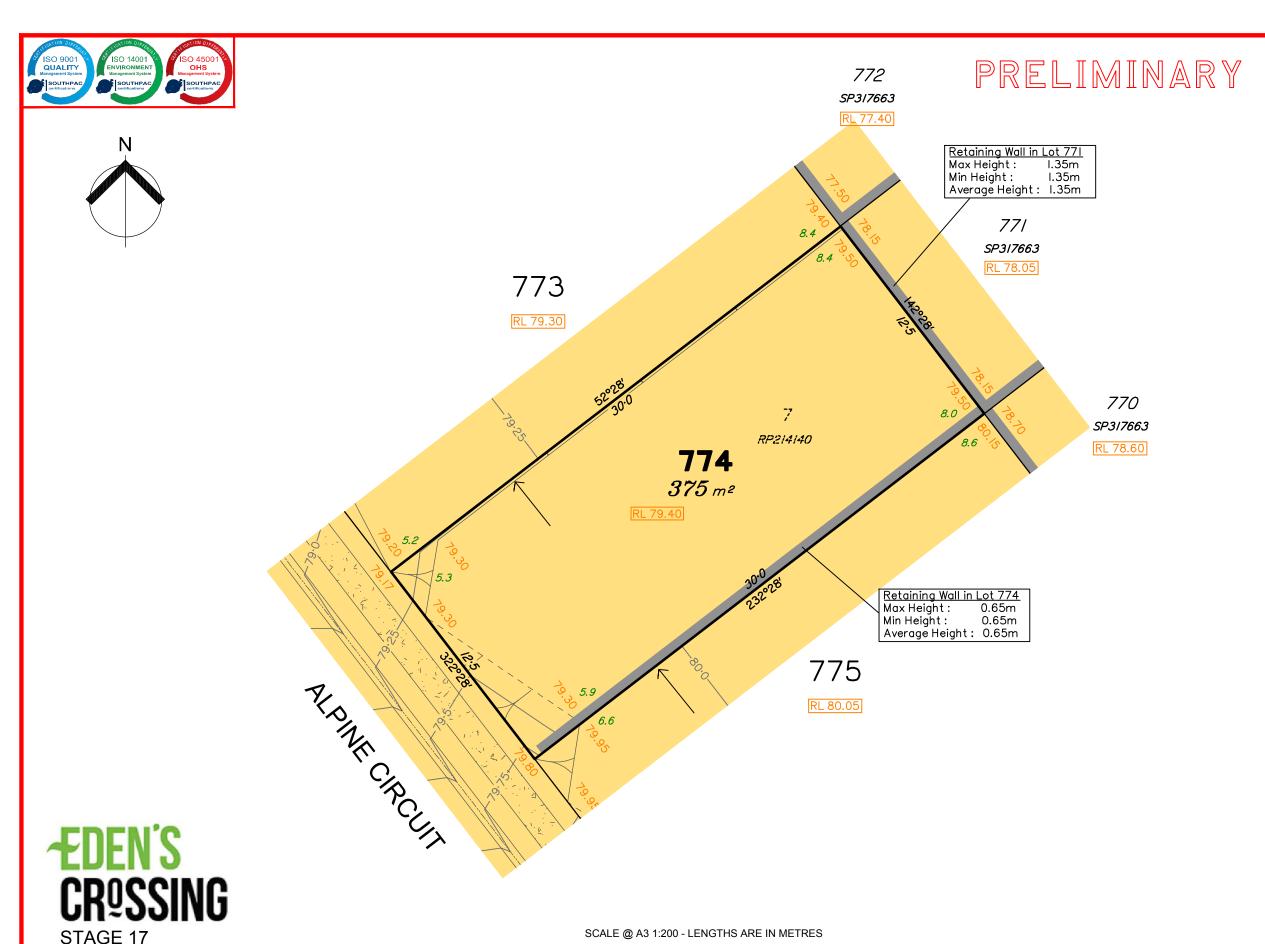
### Disclosure Plan for Proposed Lot 773 (Restricted) on SP335717

Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200



**LEGEND** 

Area of Cut

Area of Fill

Design Contours

Depth of Fill

Top of Batter Toe of Batter

Retaining Wall

Preferred Earthworks Pad Level

Finished Surface Design Level

(Not all items in this legend may be relevant to the lot shown on

Optional Built to Boundary Wall

### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 774 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



	No.	by	Date	Chkd	Description
SS	Α	TBG	04.03.24	PS	Original Issue
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This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

# Disclosure Plan for Proposed Lot 774 (Restricted) on SP335717

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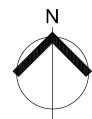
Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200





# RL 78.05 Retaining Wall in Lot 770 Max Height: I.45m Min Height: 1.45m Average Height: 1.45m 770 SP317663 RL 78.60 774 RL 79.40 Retaining Wall in Lot 774 Max Height: 0.65m Min Height: 0.65m Average Height: 0.65m 769 SP317663 RP214140 RL 79.15 775 375 m2 RL 80.05 Retaining Wall in Lot 775 Max Height: 0.6m Min Height: 0.6m 0.6m Average Height: 0.6m 776 RL 80.65

771

SP317663

### **LEGEND**

PRELIMINARY

Area of Cut Area of Fill Design Contours Depth of Fill

Top of Batter Toe of Batter

Retaining Wall

Preferred Earthworks Pad Level

Finished Surface Design Level

Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on

#### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 775 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

# PEET

	No.	by	Date	Chkd	Description				
တ္သ	Α	TBG	04.03.24	PS	Original Issue				
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SCALE @ A3 1:200 - LENGTHS ARE IN METRES 20 22 18

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This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

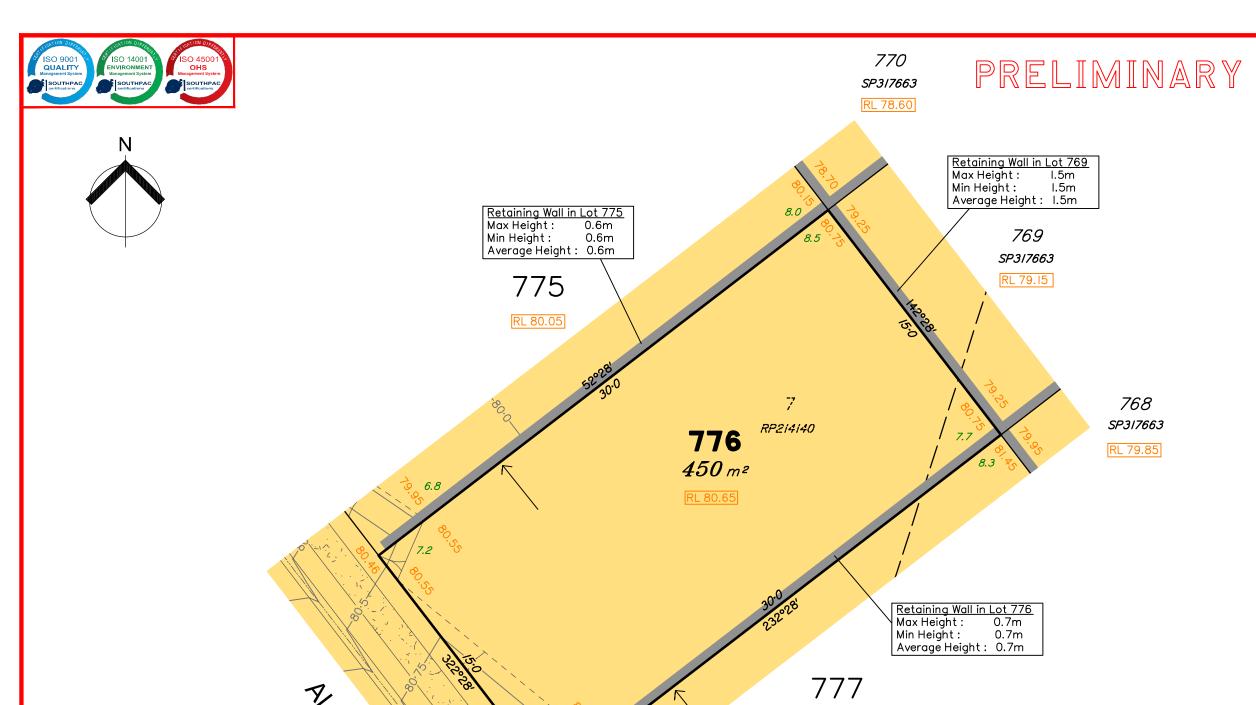
# Disclosure Plan for Proposed Lot 775 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200



**CROSSING** STAGE 17

SCALE @ A3 1:200 - LENGTHS ARE IN METRES 20 22

RL 81.35

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the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

# Disclosure Plan for Proposed Lot 776 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

LEGEND	
	Area of Cut
	Area of Fill
	Design Contours
I·2	Depth of Fill
	Top of Batter
	Toe of Batter
	Retaining Wall
RL XX.XX	Preferred Earthworks Pad Level
XX.XX	Finished Surface Design Level
$\leftarrow$	Optional Built to Boundary Wall
(Not all items in the this plan)	nis legend may be relevant to the lot shown on

### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Part of Lot 776 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



	No.	by	Date	Chkd	Description
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Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200

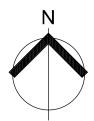
Plan No. 9112 S 40 DP A 776



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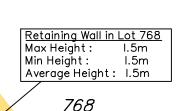




767

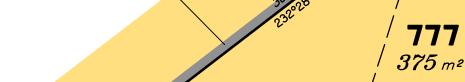
SP317663

RL 80.40









RL 81.35

RP214140

Retaining Wall in Lot 777 Max Height : Min Height : 0.55m0.55m

Average Height: 0.55m 778

RL 81.90

769

SP317663

RL 79.15

**CROSSING** 

SCALE @ A3 1:200 - LENGTHS ARE IN METRES 20 18

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey

# Disclosure Plan for Proposed Lot 777 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

**LEGEND** 

Area of Cut

Area of Fill

Design Contours Depth of Fill

Top of Batter

Toe of Batter Retaining Wall

Preferred Earthworks Pad Level

Finished Surface Design Level

(Not all items in this legend may be relevant to the lot shown on

Optional Built to Boundary Wall

#### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022.

(Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Part of Lot 777 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



	No.	by	Date	Chkd	Description
တ္သ	Α	TBG	04.03.24	PS	Original Issue
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STAGE 17

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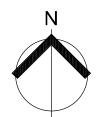
and construction of operational works.

22

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200





# RL 79.85 Retaining Wall in Lot 767 Max Height: I.5m Min Height: I.5m Average Height: 1.5m 767 SP317663 777 RL 80.40 RL 81.35 Retaining Wall in Lot 777 Max Height: 0.55m Min Height: 0.55m Min Height : Average Height: 0.55m

768

SP317663

778 375 m²

RL 81.90

779

RL 82.30

20

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SCALE @ A3 1:200 - LENGTHS ARE IN METRES

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purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

PEET

**LEGEND** 

NOTES

approval for this lot.

21/02/2023 by KN Group Pty Ltd.

in accordance with A3798-2007.

the Ipswich City Council on 30/08/2022.

(Application No: 2098/2015/MAMC/D).

Area of Cut

Area of Fill Design Contours

Depth of Fill Top of Batter

Toe of Batter Retaining Wall

Preferred Earthworks Pad Level

Finished Surface Design Level

Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the

Development approval was granted for this subdivision by

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification

Parts of Lot 778 are restricted to the depth of 15.24m & 18.288m from the surface, as defined by plan M3172.

PRELIMINARY

766 SP317663

RL 81.00

		No.	by	Date	Chkd	Description
	တ္သ	Α	TBG	04.03.24	PS	Original Issue
	Issues					



STAGE 17

**CROSSING** 

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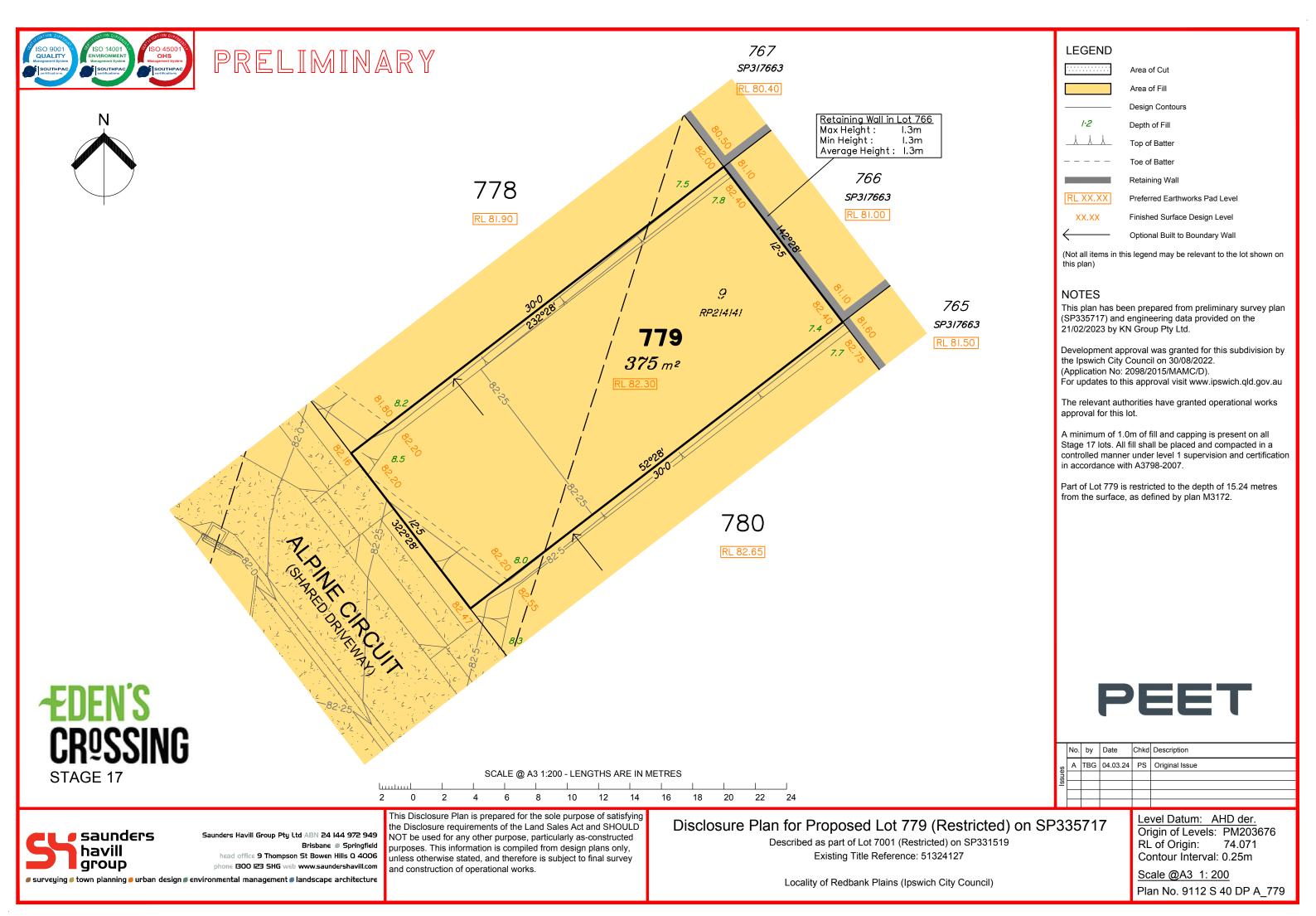
phone 1300 123 SHG web www.saundershavill.com

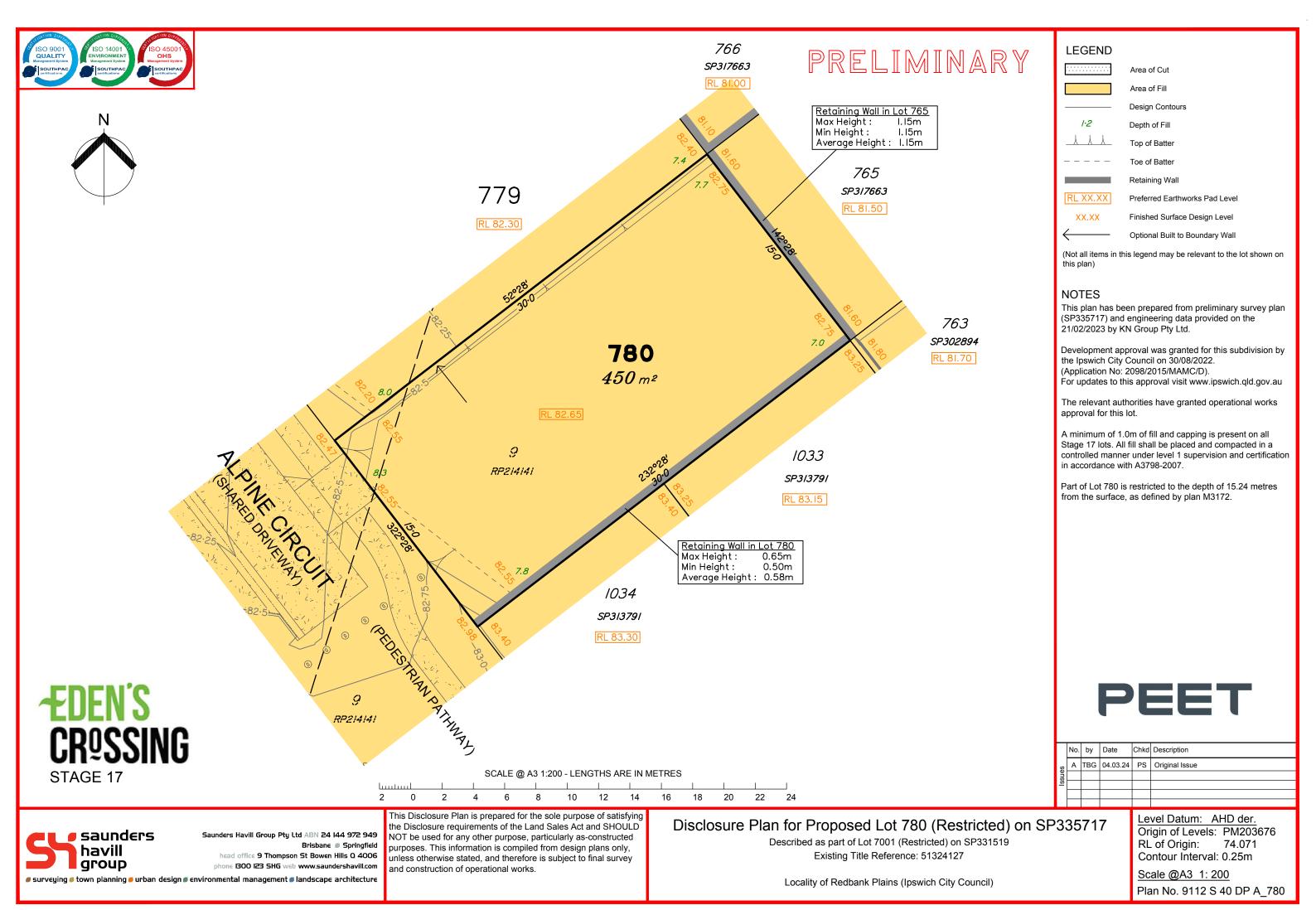
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Disclosure Plan for Proposed Lot 778 (Restricted) on SP335717

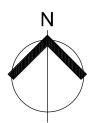
Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

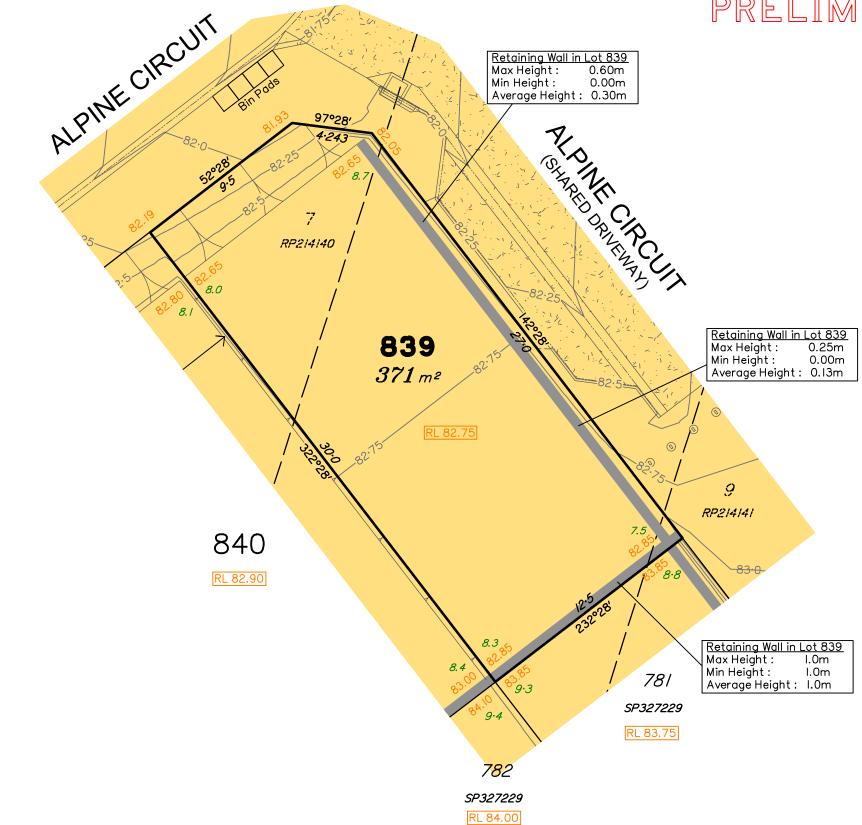
Scale @A3 1: 200













Area of Cut Area of Fill Design Contours Depth of Fill Top of Batter Toe of Batter Retaining Wall Preferred Earthworks Pad Level Finished Surface Design Level

(Not all items in this legend may be relevant to the lot shown on

Optional Built to Boundary Wall

#### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Parts of Lot 839 are restricted to the depth of 15.24m & 18.288m from the surface, as defined by plan M3172.



	No.	by	Date	Chkd	Description				
SS	Α	TBG	04.03.24	PS	Original Issue				
Issues									



SCALE @ A3 1:200 - LENGTHS ARE IN METRES 22 18 20

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# Disclosure Plan for Proposed Lot 839 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

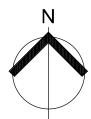
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200







# PRELIMINARY 839 RL 82.75 RP214140 840 330 m² RL 82.90 84 RL 83.25 781 SP327229 RL 83.75 Retaining Wall in Lot 840 Max Height: I. Im Min Height: Average Height: I.Im 782 SP327229 RL 84.00 783 SP327229 RL 84.15

### LEGEND

Area of Cut

Area of Fill

Design Contours

1:2

Depth of Fill

Top of Batter

Toe of Batter

Retaining Wall

RL XX.XX

Preferred Earthworks Pad Level

XX.XX

Finished Surface Design Level

Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

(Application No: 2098/2015/MAMC/D).
For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works

approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Part of Lot 840 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



	No.	by	Date	Chkd	Description				
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SCALE @ A3 1:200 - LENGTHS ARE IN METRES

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Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Disclosure Plan for Proposed Lot 840 (Restricted) on SP335717

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m

Scale @A3 1: 200

Plan No. 9112 S 40 DP A\_840



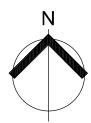
Saunders Havill Group Pty Ltd ABN 24 144 972 949

Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

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the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.







**CROSSING** STAGE 17

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SCALE @ A3 1:200 - LENGTHS ARE IN METRES

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# Disclosure Plan for Proposed Lot 841 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

No. by Date Chkd Description A TBG 04.03.24 PS Original Issue

PEET

**LEGEND** 

NOTES

Area of Cut Area of Fill Design Contours Depth of Fill Top of Batter Toe of Batter Retaining Wall

Preferred Earthworks Pad Level Finished Surface Design Level Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on

This plan has been prepared from preliminary survey plan

Development approval was granted for this subdivision by

For updates to this approval visit www.ipswich.qld.gov.au The relevant authorities have granted operational works

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification

Part of Lot 841 is restricted to the depth of 18.288 metres

from the surface, as defined by plan M3172.

(SP335717) and engineering data provided on the

21/02/2023 by KN Group Pty Ltd.

in accordance with A3798-2007.

the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).



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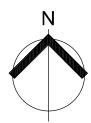
head office 9 Thompson St Bowen Hills Q 4006 phone 1300 123 SHG web www.saundershavill.com

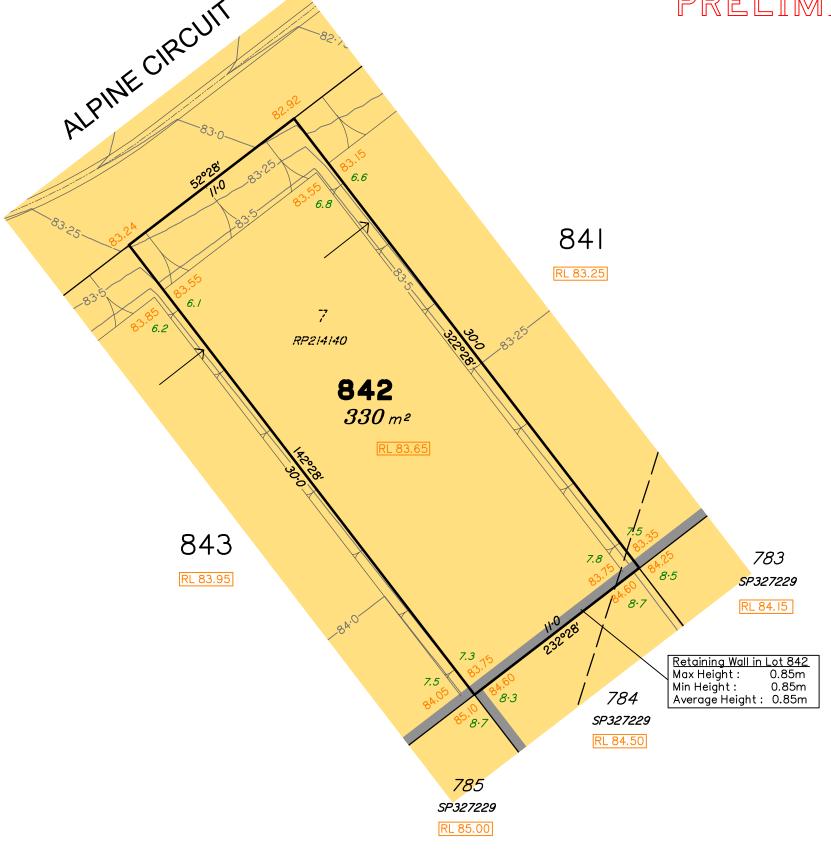
🏿 surveying 🎜 town planning 🗗 urban design 🗗 environmental management 🗗 landscape architecture

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200







**LEGEND** Area of Cut Area of Fill Design Contours Depth of Fill Top of Batter Toe of Batter Retaining Wall Preferred Earthworks Pad Level Finished Surface Design Level Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on

### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Part of Lot 842 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



	sanss	No.	by	Date	Chkd	Description
		Α	TBG	04.03.24	PS	Original Issue
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SCALE @ A3 1:200 - LENGTHS ARE IN METRES 20 22 18

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# Disclosure Plan for Proposed Lot 842 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

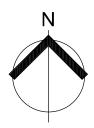
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

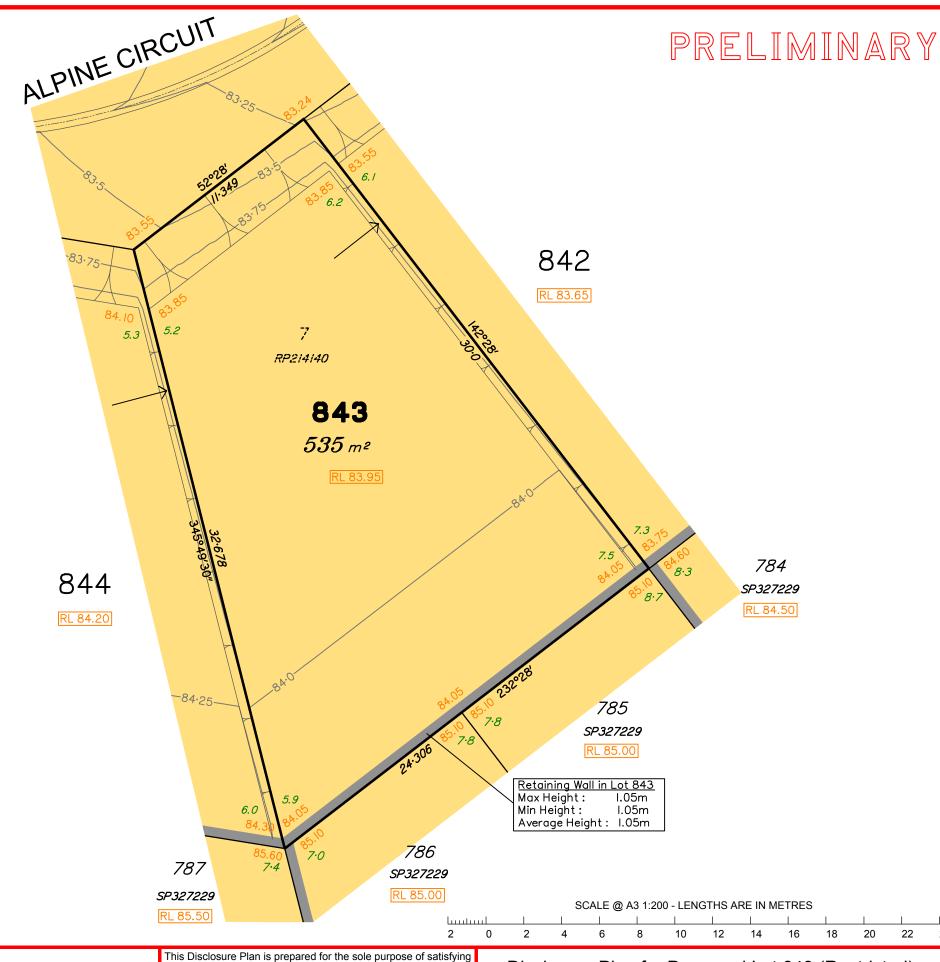
Scale @A3 1: 200













Area of Cut Area of Fill Design Contours Depth of Fill Top of Batter Retaining Wall Preferred Earthworks Pad Level Finished Surface Design Level

(Not all items in this legend may be relevant to the lot shown on

Optional Built to Boundary Wall

### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 843 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



	No.	by	Date	Chkd	Description
ຜູ	Α	TBG	04.03.24	PS	Original Issue
Issues					
<u>s</u>					



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head office 9 Thompson St Bowen Hills Q 4006 phone 1300 123 SHG web www.saundershavill.com

the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

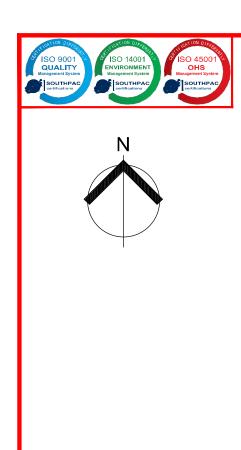
### Disclosure Plan for Proposed Lot 843 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

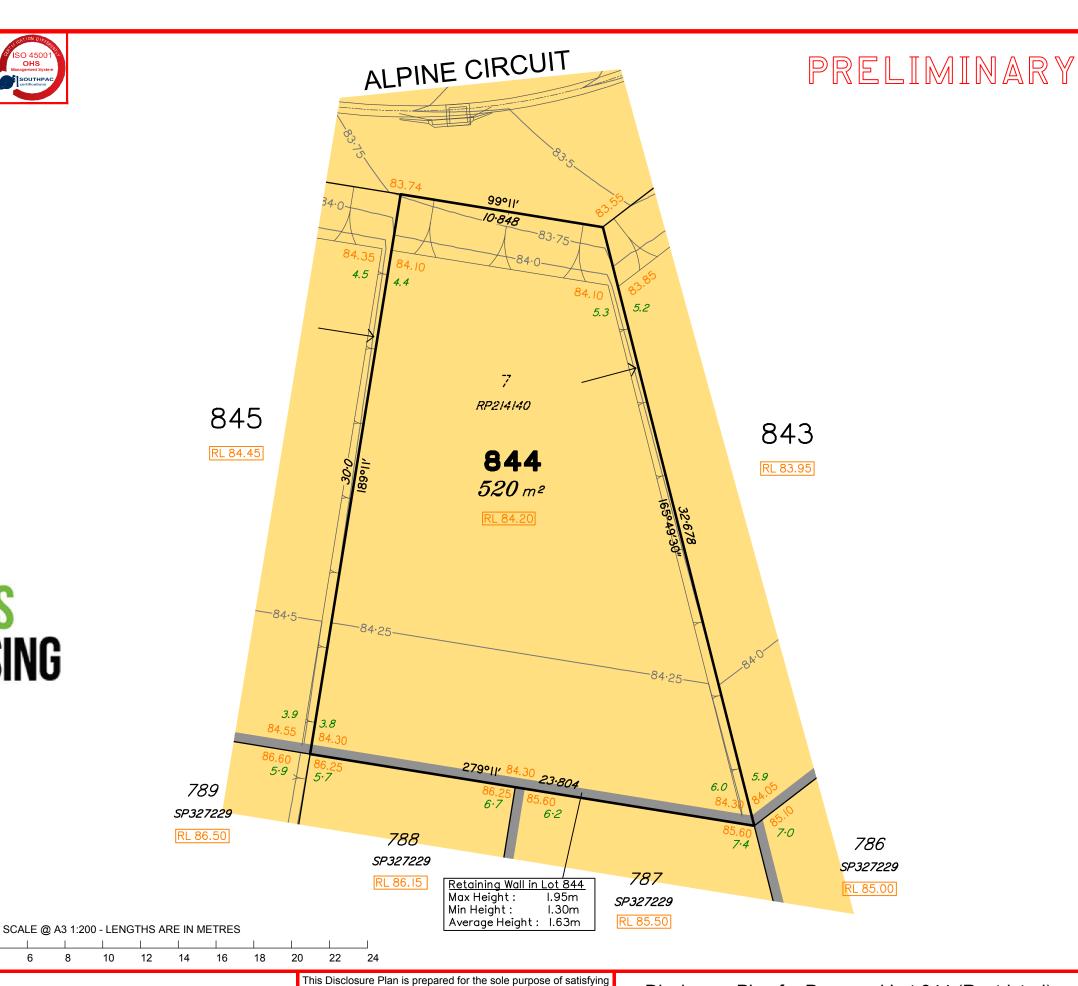
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200



# EDEN'S CROSSING





Area of Cut

Area of Fill

Design Contours

*l*⋅2 Depth of Fill

\_ \_ \_ Toe of Batter

Retaining Wall

.XX

Preferred Earthworks Pad Level

Top of Batter

XX.XX Finished Surface Design Level

(Not all items in this legend may be relevant to the lot shown on this plan)

Optional Built to Boundary Wall

### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 844 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



	No.	by	Date	Chkd	Description				
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Brisbane ● Springfield
head office 9 Thompson St Bowen Hills Q 4006

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● surveying ● town planning ● urban design ● environmental management ● landscape architecture

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### Disclosure Plan for Proposed Lot 844 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

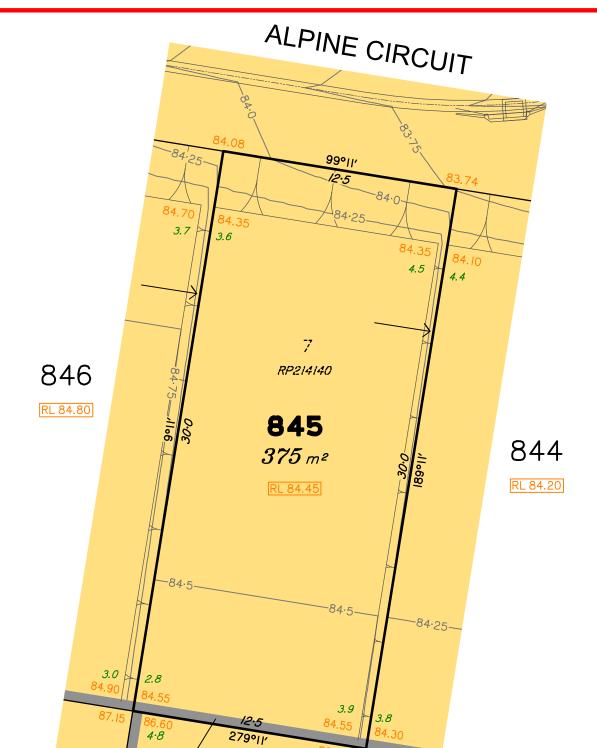
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m

Scale @A3 1: 200







# **LEGEND** Area of Cut Area of Fill Design Contours Depth of Fill Top of Batter Toe of Batter Retaining Wall Preferred Earthworks Pad Level Finished Surface Design Level Optional Built to Boundary Wall (Not all items in this legend may be relevant to the lot shown on

#### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 845 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



	No.	by	Date	Chkd	Description
တ္သ	Α	TBG	04.03.24	PS	Original Issue
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SCALE @ A3 1:200 - LENGTHS ARE IN METRES لسنسنا 22 20 0

5.9

788

SP327229

RL 86.15

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Retaining Wall in Lot 845

Average Height: 2.05m

2.05m

2.05m

Max Height:

Min Height:

790

SP327229

RL 87.05

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789

SP327229

RL 86.50

# Disclosure Plan for Proposed Lot 845 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

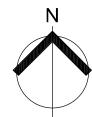
Locality of Redbank Plains (Ipswich City Council)

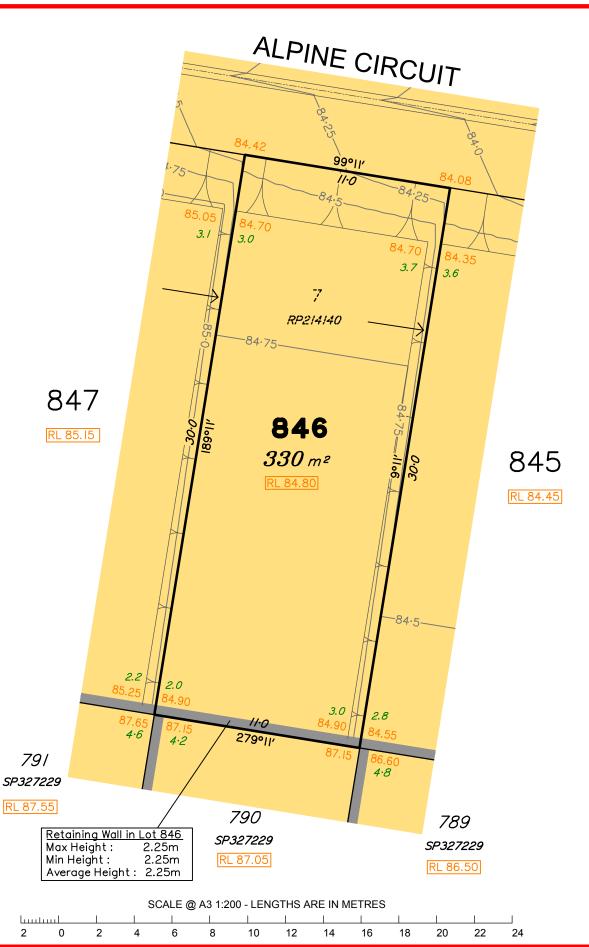
Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200









Area of Cut Area of Fill Design Contours Depth of Fill Top of Batter Toe of Batter Retaining Wall Preferred Earthworks Pad Level Finished Surface Design Level Optional Built to Boundary Wall (Not all items in this legend may be relevant to the lot shown on

#### NOTES

**LEGEND** 

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 846 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



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and construction of operational works.

Disclosure Plan for Proposed Lot 846 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200

Plan No. 9112 S 40 DP A 846



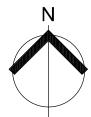
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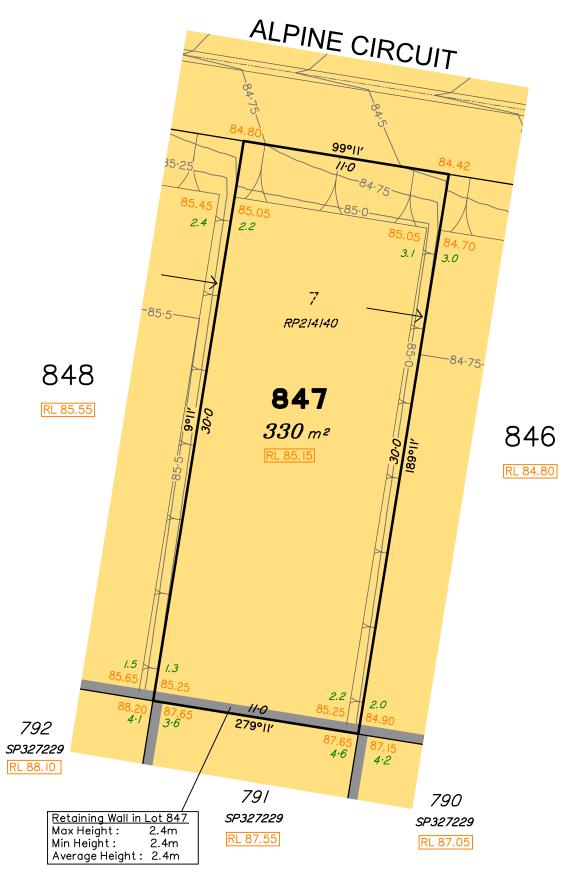
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Locality of Redbank Plains (Ipswich City Council)







Area of Cut Area of Fill Design Contours Depth of Fill Top of Batter Toe of Batter Retaining Wall Preferred Earthworks Pad Level Finished Surface Design Level Optional Built to Boundary Wall (Not all items in this legend may be relevant to the lot shown on

### NOTES

**LEGEND** 

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022.

(Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 847 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



	No.	by	Date	Chkd	Description
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# Disclosure Plan for Proposed Lot 847 (Restricted) on SP335717

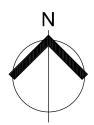
Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200





# ALPINE CIRCUIT Retaining Wall in Lot 848 Max Height: 0.55m RP214140 Min Height : 0.55mAverage Height: 0.55m 849 848 RL 86.10 375 m² 847 RL 85.55 RL 85.15 793 3.6 SP327229 RL 88.80 792 Retaining Wall in Lot 848 Max Height: 2.55m Min Height: 2.55m 791 SP327229 SP327229 RL 88.10 Average Height: 2.55m RL 87.55

# PRELIMINARY

Area of Cut Area of Fill Design Contours Depth of Fill Top of Batter Toe of Batter Retaining Wall Preferred Earthworks Pad Level Finished Surface Design Level Optional Built to Boundary Wall (Not all items in this legend may be relevant to the lot shown on

#### NOTES

**LEGEND** 

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 848 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



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SCALE @ A3 1:200 - LENGTHS ARE IN METRES لسنسنا 20 22 0

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# Disclosure Plan for Proposed Lot 848 (Restricted) on SP335717

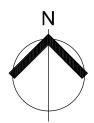
Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200





# ALPINE CIRCUIT PRELIMINARY Retaining Wall in Lot 849 Max Height: 0.85m RP214140 Min Height: 0.85m Average Height: 0.85m 849 850 Retaining Wall in Lot 848 Max Height: 0.55m Min Height: 0.55m 375 m2 Average Height: 0.55m RL 86.95 RL 86.10 848 RL 85.55 2.9 794 3.5 2.9 SP327229 RL 89.45 793 Retaining Wall in Lot 849 Max Height: 2.7m 792 SP327229 RL 88.80 SP327229 Min Height: 2.7m Average Height: 2.7m RL 88.10

#### **LEGEND**

Area of Cut Area of Fill

Design Contours

Depth of Fill Top of Batter

> Toe of Batter Retaining Wall

Preferred Earthworks Pad Level

Finished Surface Design Level Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on

### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 849 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

# PEET

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Disclosure Plan for Proposed Lot 849 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200

Plan No. 9112 S 40 DP A 849

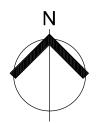


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# ALPINE CIRCUIT PRELIMINARY Retaining Wall in Lot 850 Max Height: 0.9m RP214140 Min Height: 0.9m Average Height: 0.9m 850 851 Retaining Wall in Lot 849 Max Height: 0.85m 375 m2 Min Height: 0.85m RL 87.85 Average Height: 0.85m RL 86.95 849 RL 86.10 795 2.9 SP327229 794 RL 90.15 793 SP327229 Retaining Wall in Lot 850 SP327229 2.5m 2.5m Max Height: RL 89.45 Min Height : RL 88.80 Average Height: 2.5m



Area of Cut Area of Fill Design Contours Depth of Fill Top of Batter Toe of Batter Retaining Wall

Preferred Earthworks Pad Level

Finished Surface Design Level Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on

### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 850 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

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Disclosure Plan for Proposed Lot 850 (Restricted) on SP335717

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Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200

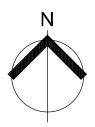
Plan No. 9112 S 40 DP A 850

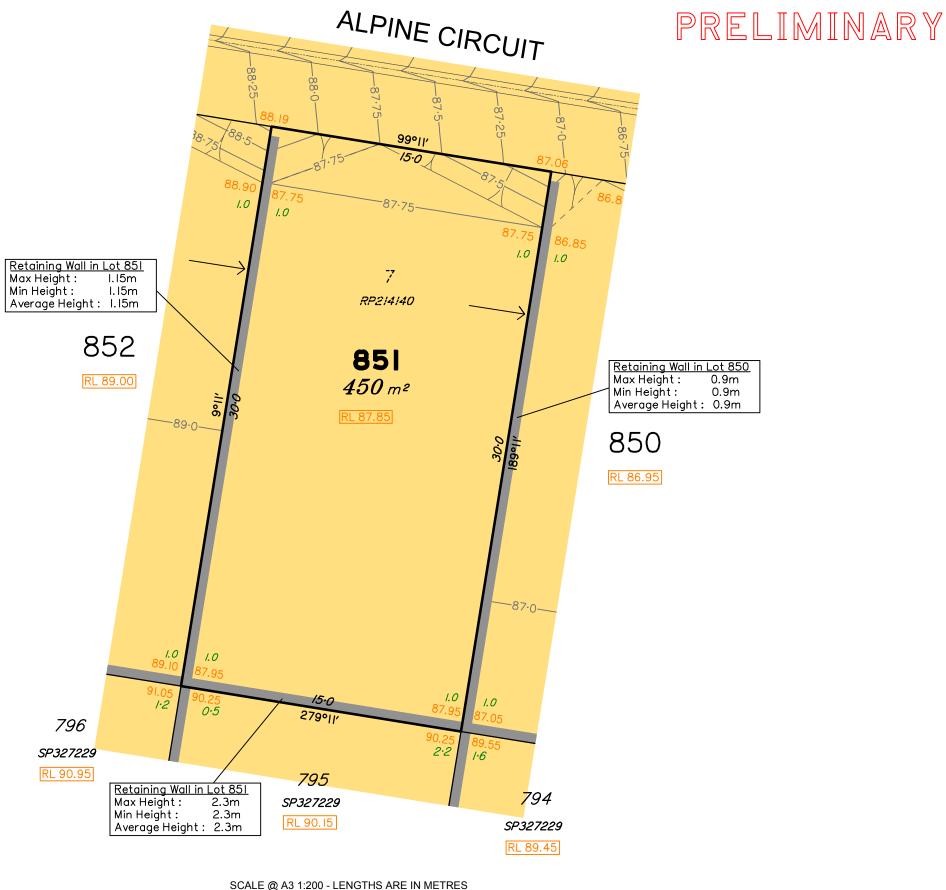


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Locality of Redbank Plains (Ipswich City Council)







LEGEND

Area of Cut

Area of Fill

Area of Fill

Design Contours

1-2 Depth of Fill

- - - Toe of Batter

Retaining Wall

Preferred Earthworks Pad Level

Top of Batter

XX.XX Finished Surface Design Level

(Not all items in this legend may be relevant to the lot shown on

Optional Built to Boundary Wall

#### NOTES

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Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022.

(Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 851 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

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SCALE @ A3 1:200 - LENGTHS ARE IN METRES

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# Disclosure Plan for Proposed Lot 851 (Restricted) on SP335717

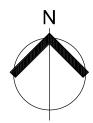
Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m

Scale @A3 1: 200





# PRELIMINARY ALPINE CIRCUIT Retaining Wall in Lot 852 7 Max Height: I.0m Min Height : RP214140 Average Height: 1.0m 853 Retaining Wall in Lot 851 852 Max Height: 1.15m Min Height: 1.15m RL 90.00 375 m² Average Height: 1.15m RL 89.00 851 RL 87.85 797 0.5 SP327229 RL 91.55 796 Retaining Wall in Lot 852 795 SP327229 Max Height: 1.95m SP327229 Min Height: 1.95m RL 90.95 Average Height: 1.95m RL 90.15 SCALE @ A3 1:200 - LENGTHS ARE IN METRES

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#### **LEGEND**

Area of Cut Area of Fill Design Contours Depth of Fill Top of Batter Toe of Batter Retaining Wall Preferred Earthworks Pad Level Finished Surface Design Level

(Not all items in this legend may be relevant to the lot shown on

Optional Built to Boundary Wall

#### NOTES

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For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 852 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

# PEET

	No.	by	Date	Chkd	Description
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### Disclosure Plan for Proposed Lot 852 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

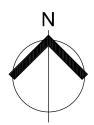
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200







# PRELIMINARY ALPINE/CIRCUIT EMTC RL 92.50 RP214140 Retaining Wall in Lot 852 853 Max Height : Min Height : 7000 I.0m Average Height: I.Om 375 m2 SP327900 852 RL 90.00 Retaining Wall in Lot 853 Max Height: Min Height: 2.35m RL 89.00 Average Height: 2.63m -89.0\_ RL 93.00 0.3 RL 94.00 797 Retaining Wall in Lot 853 796 Max Height: 1.55m SP327229 1.55m Min Height : SP327229 Average Height: 1.55m RL 91.55 RL 90.95 SCALE @ A3 1:200 - LENGTHS ARE IN METRES لسنسنا

**LEGEND** 

Area of Cut

Area of Fill

Design Contours

Depth of Fill Top of Batter

Toe of Batter Retaining Wall

Preferred Earthworks Pad Level

Finished Surface Design Level

(Not all items in this legend may be relevant to the lot shown on

Optional Built to Boundary Wall

#### NOTES

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Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022.

(Application No: 2098/2015/MAMC/D).

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The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 853 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

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STAGE 17

**CROSSING** 

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# Disclosure Plan for Proposed Lot 853 (Restricted) on SP335717

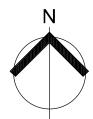
Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

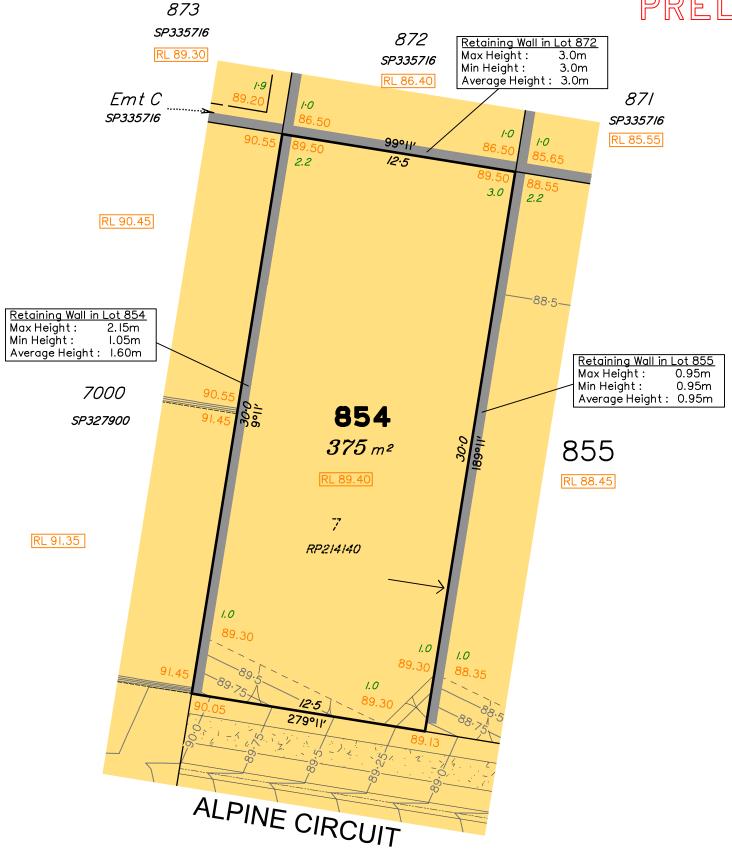
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071

Contour Interval: 0.25m Scale @A3 1: 200







### Area of Fill Design Contours Depth of Fill Top of Batter Toe of Batter Retaining Wall Preferred Earthworks Pad Level Finished Surface Design Level Optional Built to Boundary Wall (Not all items in this legend may be relevant to the lot shown on

Area of Cut

#### NOTES

**LEGEND** 

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022.

(Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 854 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



	No.	by	Date	Chkd	Description
SS	Α	TBG	04.03.24	PS	Original Issue
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STAGE 17

**CROSSING** 

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SCALE @ A3 1:200 - LENGTHS ARE IN METRES

18

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22

### Disclosure Plan for Proposed Lot 854 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

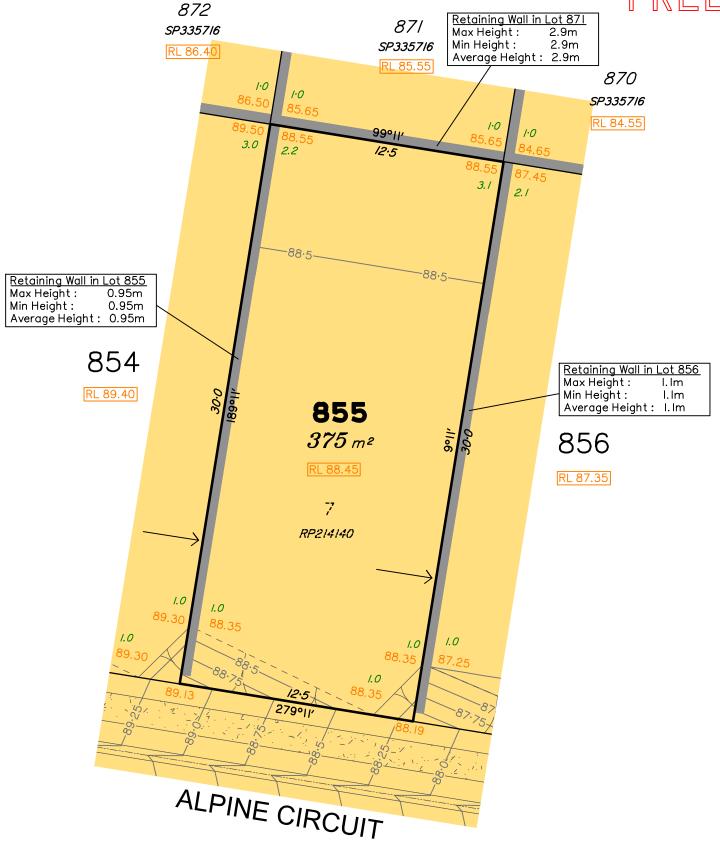
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200







### Area of Fill Design Contours Depth of Fill Top of Batter Toe of Batter Retaining Wall Preferred Earthworks Pad Level Finished Surface Design Level

Area of Cut

(Not all items in this legend may be relevant to the lot shown on

Optional Built to Boundary Wall

#### NOTES

**LEGEND** 

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 855 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



	No.	by	Date	Chkd	Description
es	Α	TBG	04.03.24	PS	Original Issue
Issues					



This Disclosure Plan is prepared for the sole purpose of satisfying

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SCALE @ A3 1:200 - LENGTHS ARE IN METRES

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### Disclosure Plan for Proposed Lot 855 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200

Plan No. 9112 S 40 DP A 855

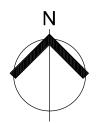


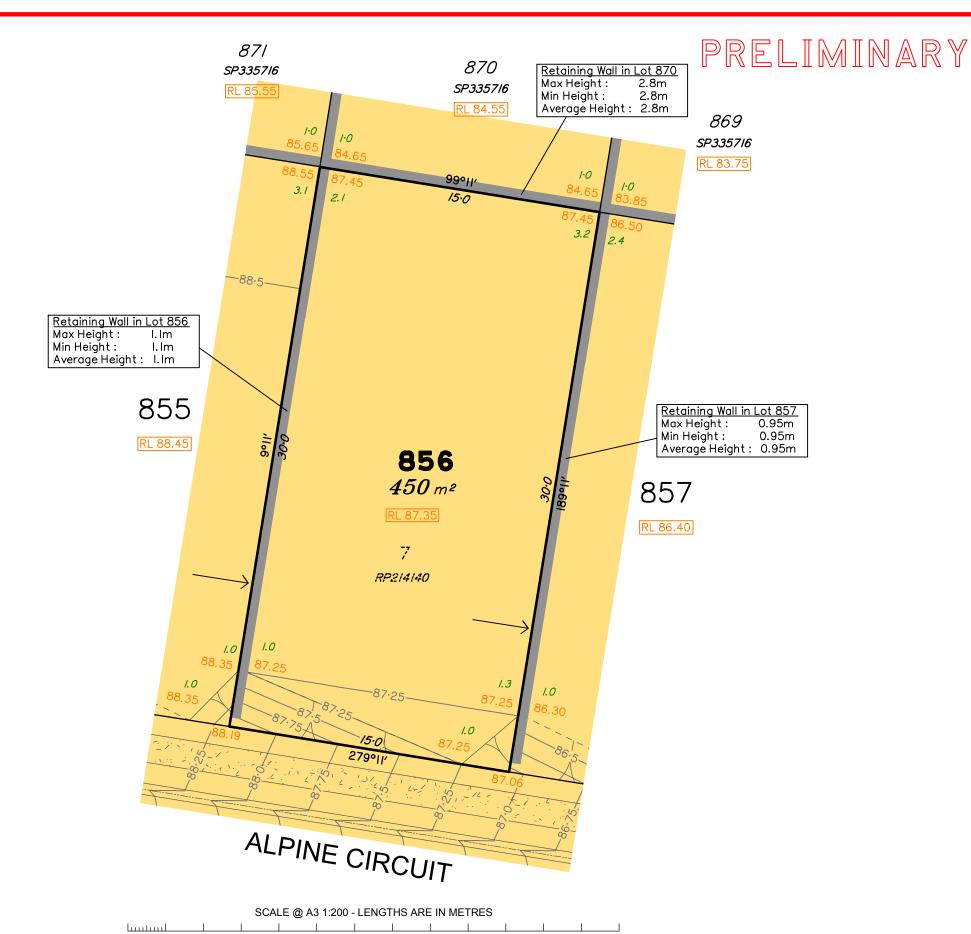
Saunders Havill Group Pty Ltd ABN 24 144 972 949 Brisbane Springfield head office 9 Thompson St Bowen Hills Q 4006 phone 1300 123 SHG web www.saundershavill.com

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Locality of Redbank Plains (Ipswich City Council)







20

22

**LEGEND** 

Area of Cut

Area of Fill

Design Contours Depth of Fill

Top of Batter Toe of Batter

Retaining Wall

Preferred Earthworks Pad Level

Finished Surface Design Level Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on

#### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 856 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



	No.	by	Date	Chkd	Description
SS	Α	TBG	04.03.24	PS	Original Issue
Issues					



STAGE 17

**CROSSING** 

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# Disclosure Plan for Proposed Lot 856 (Restricted) on SP335717

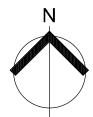
Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

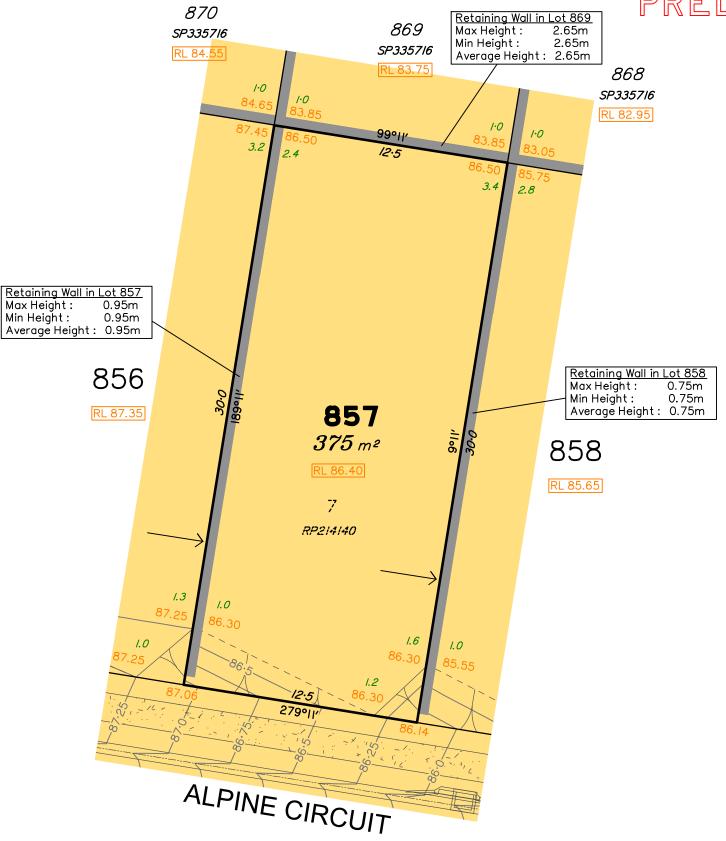
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200







Area of Fill

Design Contours

1-2
Depth of Fill

Top of Batter

Toe of Batter

Retaining Wall

RL XX.XX
Preferred Earthworks Pad Level

Area of Cut

(Not all items in this legend may be relevant to the lot shown on this plan)

Finished Surface Design Level
Optional Built to Boundary Wall

#### NOTES

**LEGEND** 

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works

approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 857 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



	No.	by	Date	Chkd	Description
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SCALE @ A3 1:200 - LENGTHS ARE IN METRES

2 0 2 4 6 8 10 12 14 16 18 20 22 24

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# Disclosure Plan for Proposed Lot 857 (Restricted) on SP335717

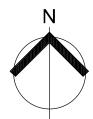
Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

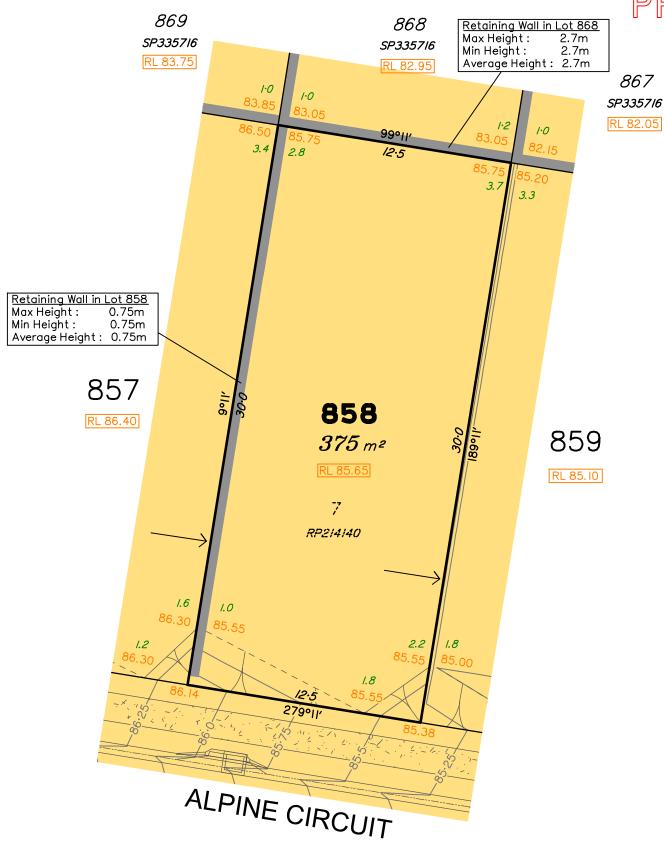
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m

Scale @A3 1: 200







# Area of Cut Area of Fill Design Contours 1-2 Depth of Fill Top of Batter Toe of Batter Retaining Wall RL XX.XX Preferred Earthworks Pad Level

(Not all items in this legend may be relevant to the lot shown on this plan)

Finished Surface Design Level
Optional Built to Boundary Wall

#### NOTES

**LEGEND** 

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works

approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 858 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



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SCALE @ A3 1:200 - LENGTHS ARE IN METRES

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### Disclosure Plan for Proposed Lot 858 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

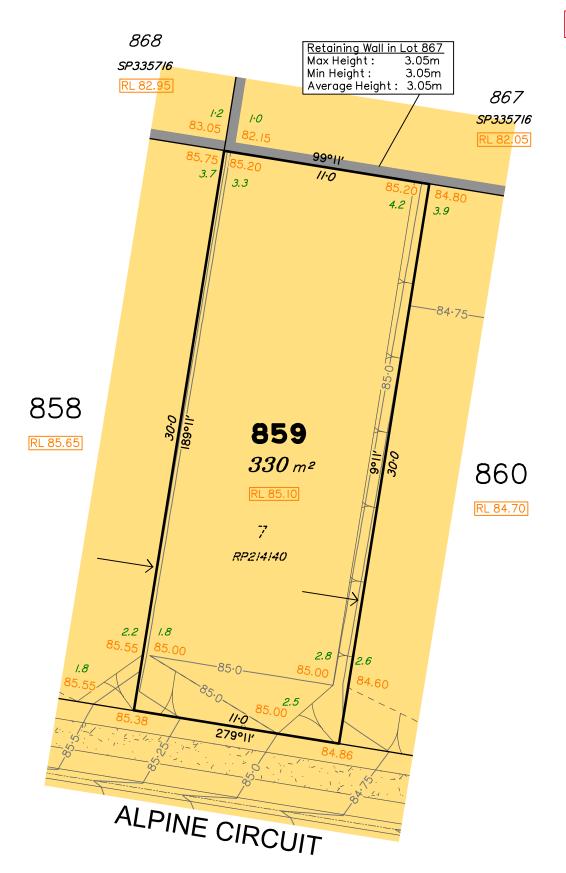
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m

Scale @A3 1: 200







# **LEGEND** Area of Cut Area of Fill Design Contours Depth of Fill Top of Batter Toe of Batter Retaining Wall Preferred Earthworks Pad Level Finished Surface Design Level Optional Built to Boundary Wall (Not all items in this legend may be relevant to the lot shown on

#### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

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(Application No: 2098/2015/MAMC/D).

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The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 859 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



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### Disclosure Plan for Proposed Lot 859 (Restricted) on SP335717

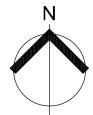
Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

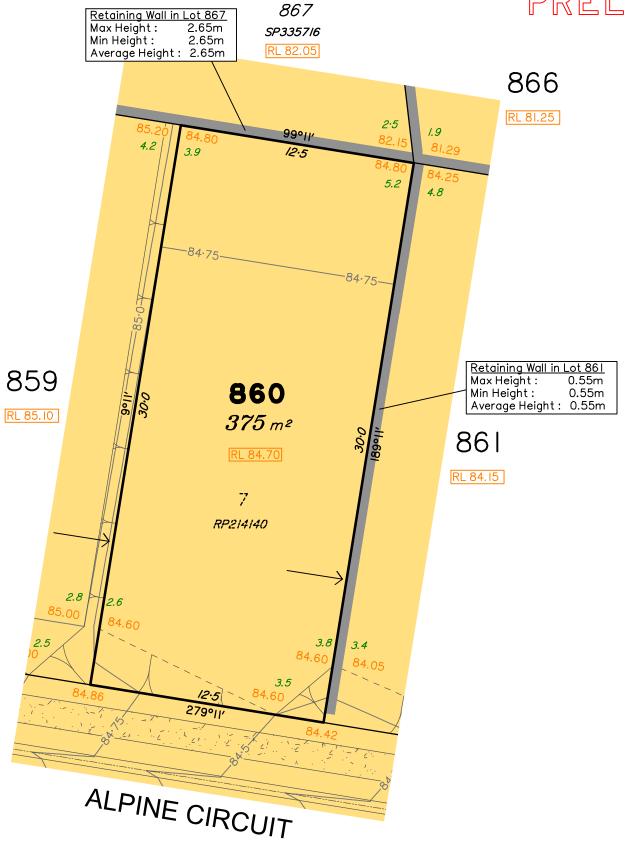
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200







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22



Area of Cut Area of Fill

Design Contours

Depth of Fill

Top of Batter Toe of Batter

Retaining Wall

Preferred Earthworks Pad Level

Finished Surface Design Level Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on

#### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022.

(Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 860 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



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Disclosure Plan for Proposed Lot 860 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071

Contour Interval: 0.25m

Scale @A3 1: 200

Plan No. 9112 S 40 DP A 860



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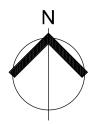
phone 1300 123 SHG web www.saundershavill.com

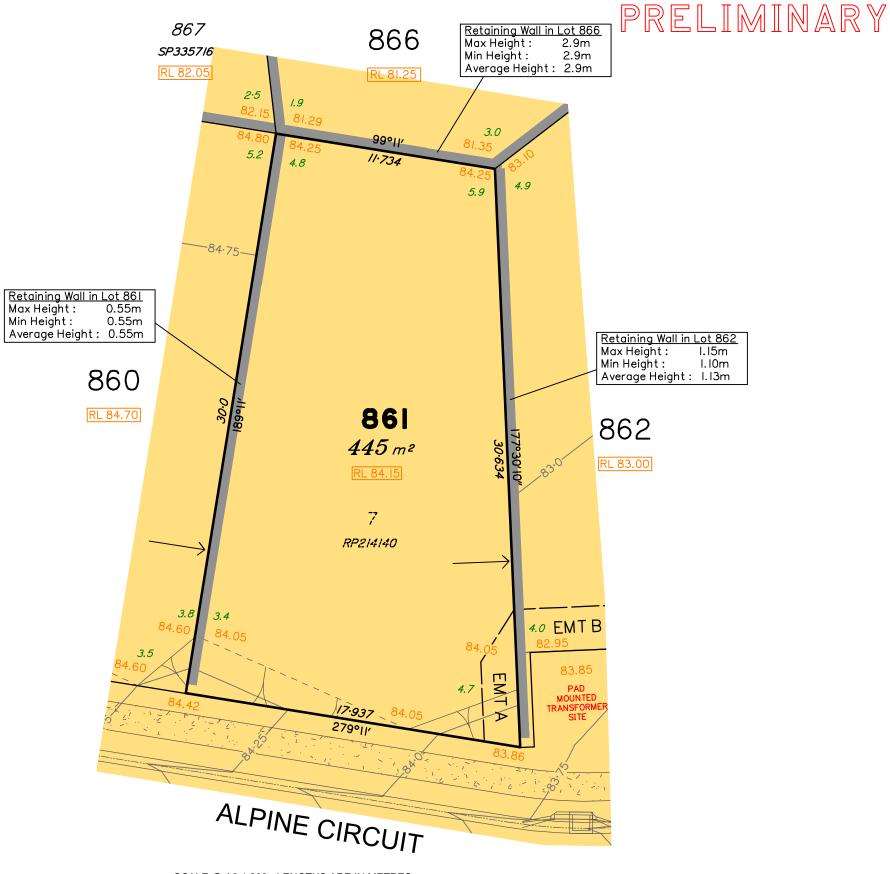
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SCALE @ A3 1:200 - LENGTHS ARE IN METRES









Area of Cut Area of Fill

Design Contours

Depth of Fill Top of Batter

> Toe of Batter Retaining Wall

Preferred Earthworks Pad Level

Finished Surface Design Level Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on

#### NOTES

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The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 861 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

Lot 861 contains Easement A on SP335717 for services benefiting Energex.



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SCALE @ A3 1:200 - LENGTHS ARE IN METRES لتستنسا 18 20 22 0

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# Disclosure Plan for Proposed Lot 861 (Restricted) on SP335717

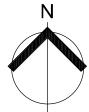
Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

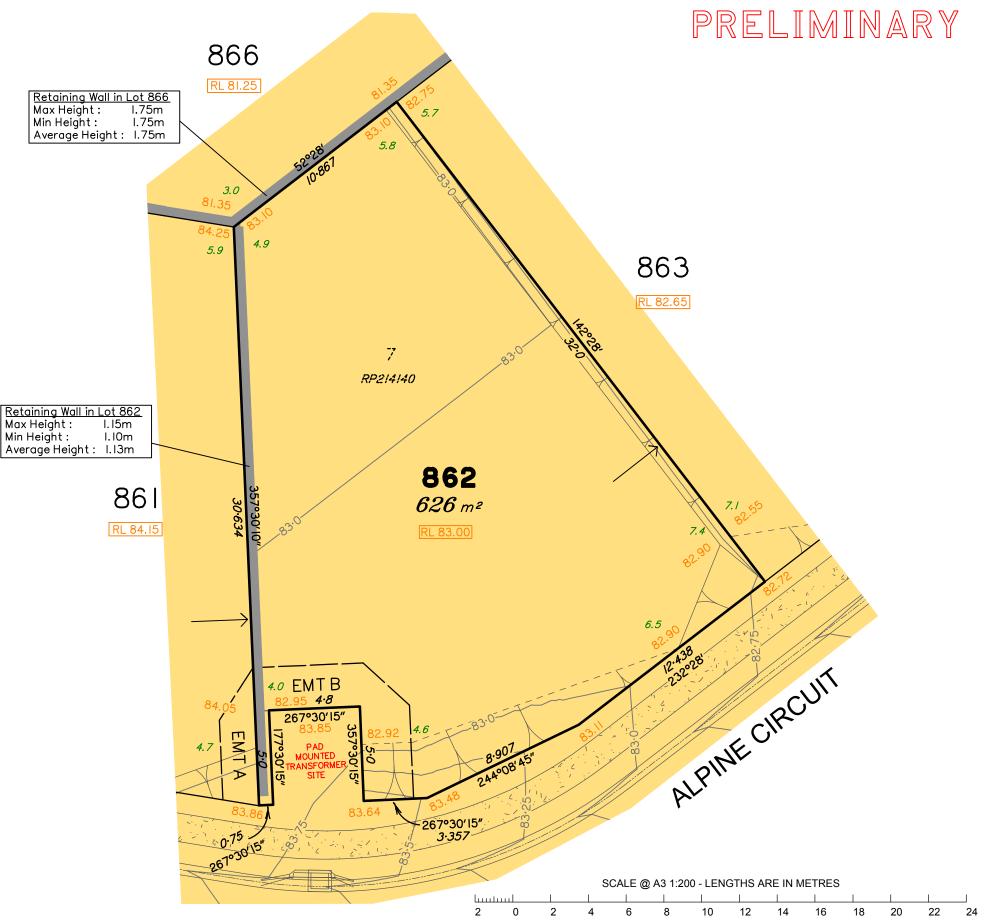
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200









Area of Cut Area of Fill

Design Contours

Depth of Fill

Top of Batter Toe of Batter

Retaining Wall

Preferred Earthworks Pad Level

Finished Surface Design Level

Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on

### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 862 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

Lot 862 contains Easement B on SP335717 for services benefiting Energex.



		No.	by	Date	Chkd	Description
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STAGE 17

**CROSSING** 

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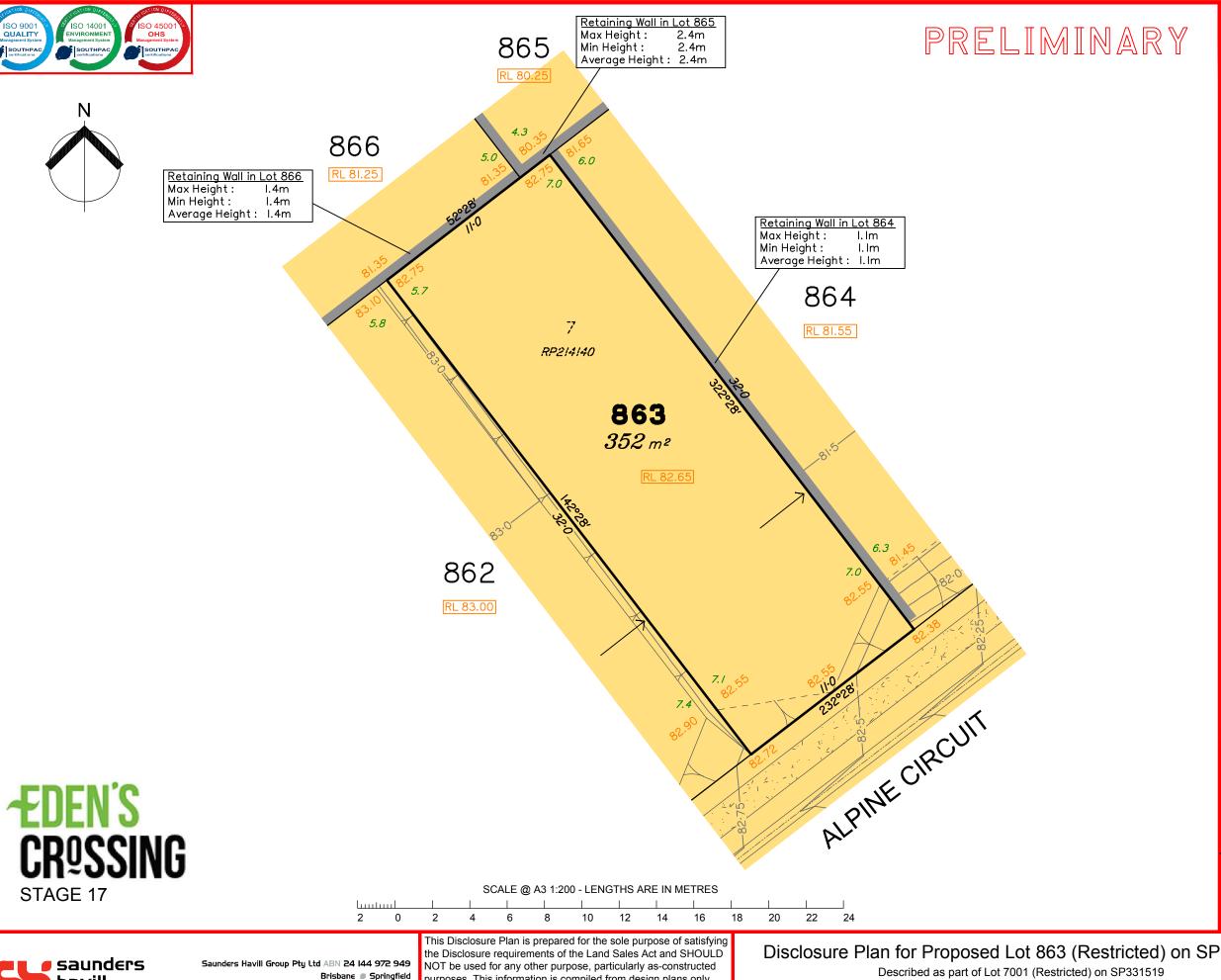
# Disclosure Plan for Proposed Lot 862 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200





Area of Cut Area of Fill Design Contours Depth of Fill Top of Batter Toe of Batter Retaining Wall Preferred Earthworks Pad Level Finished Surface Design Level

(Not all items in this legend may be relevant to the lot shown on

Optional Built to Boundary Wall

#### NOTES

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Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 863 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



	No.	by	Date	Chkd	Description
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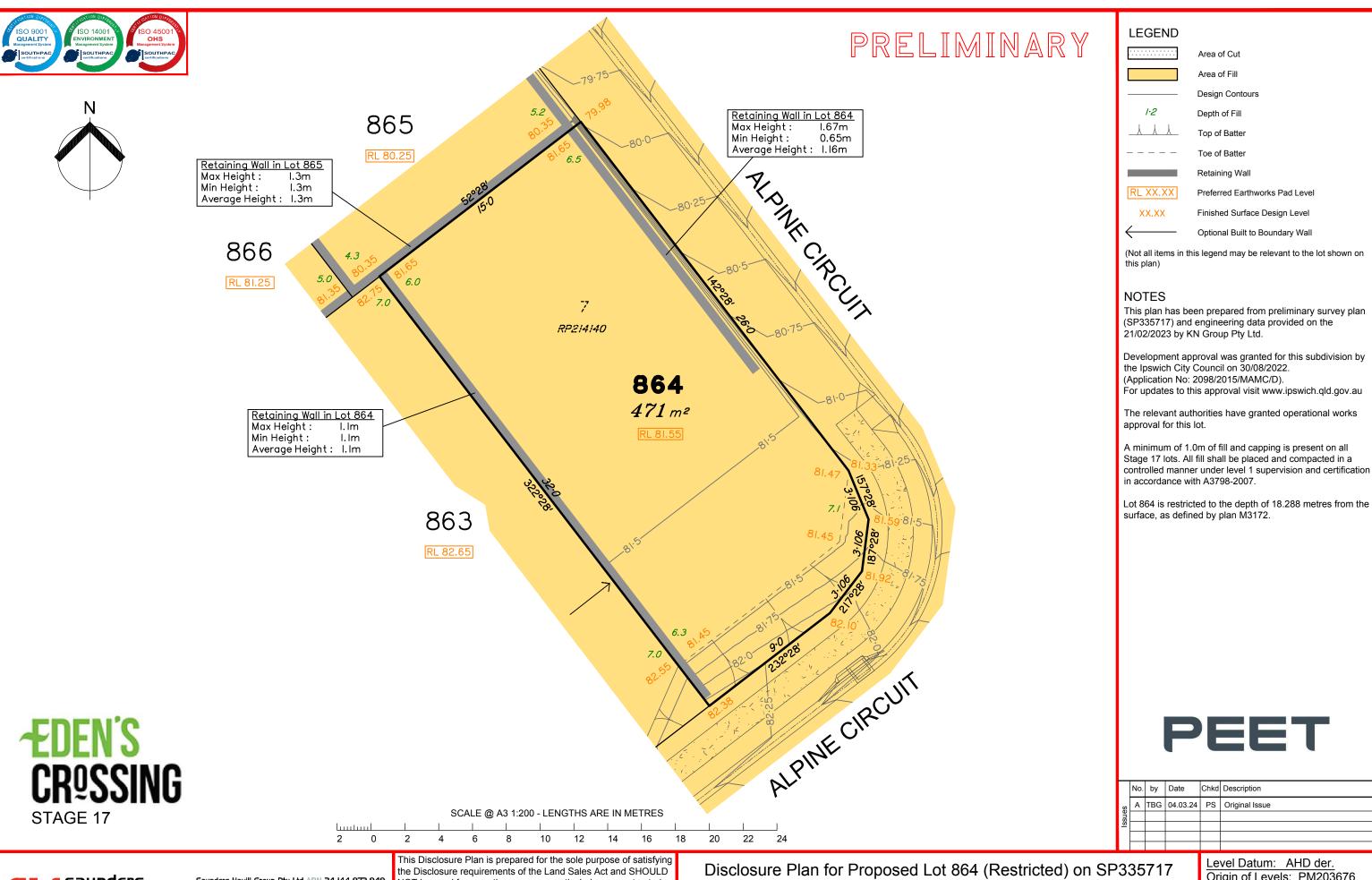
# Disclosure Plan for Proposed Lot 863 (Restricted) on SP335717

Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200



Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071

Scale @A3 1: 200

Plan No. 9112 S 40 DP A 864



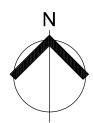
Saunders Havill Group Pty Ltd ABN 24 144 972 949 Brisbane Springfield

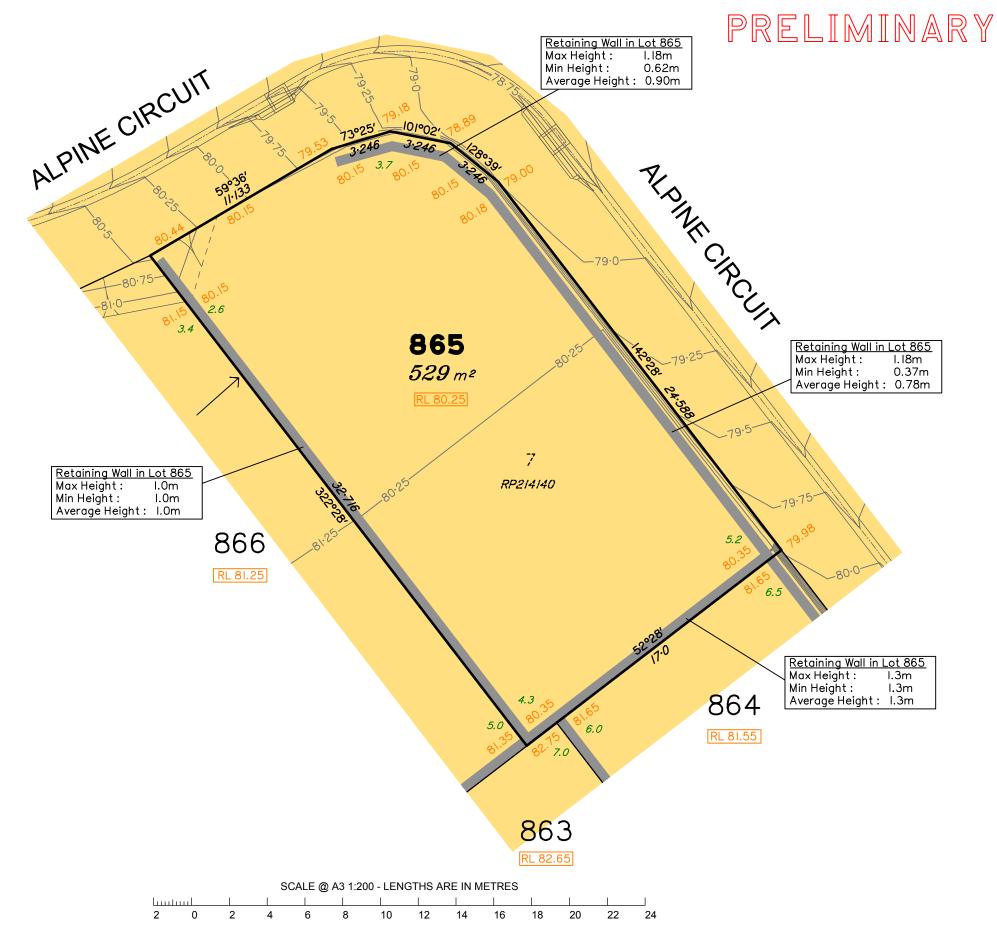
head office 9 Thompson St Bowen Hills Q 4006 phone 1300 123 SHG web www.saundershavill.com

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NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.









Area of Cut Area of Fill

Depth of Fill

Design Contours

Top of Batter

Toe of Batter Retaining Wall

Preferred Earthworks Pad Level

Finished Surface Design Level

Optional Built to Boundary Wall (Not all items in this legend may be relevant to the lot shown on

### **NOTES**

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 865 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



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STAGE 17

**EDEN'S** 

**CROSSING** 

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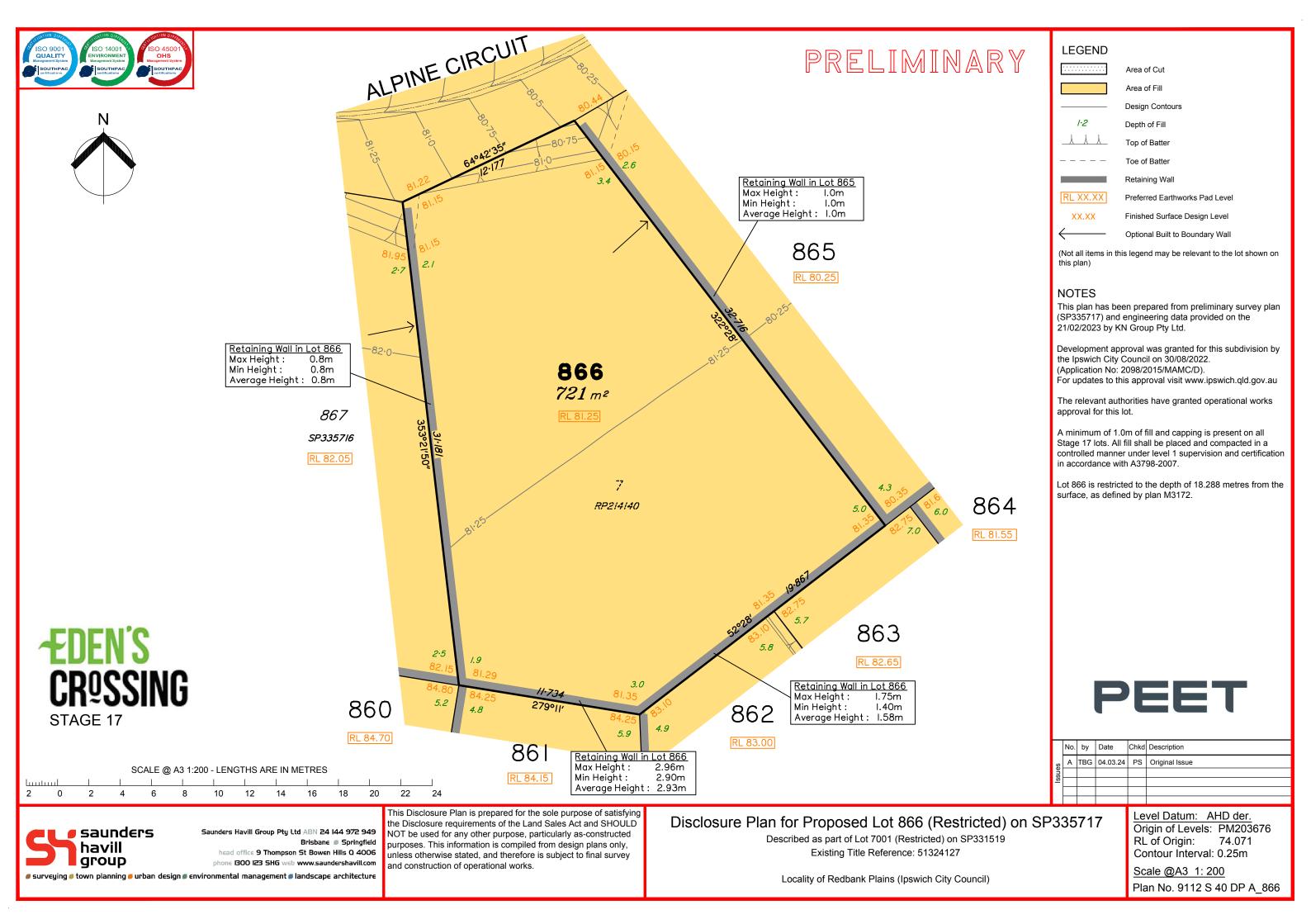
# Disclosure Plan for Proposed Lot 865 (Restricted) on SP335717

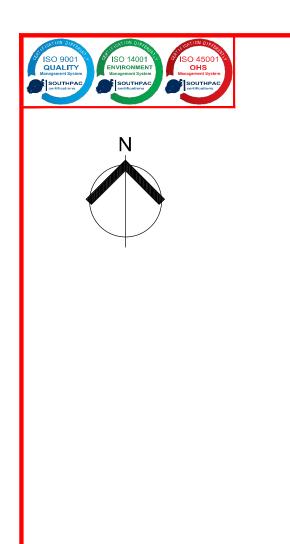
Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

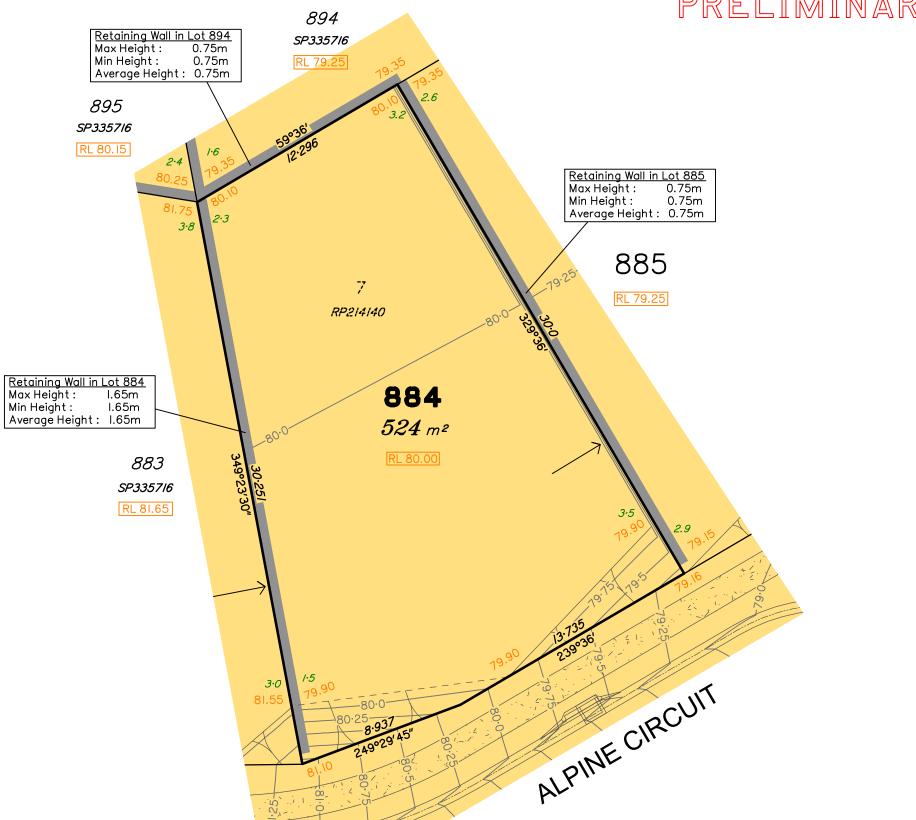
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200







### **LEGEND**

Area of Cut Area of Fill Design Contours Depth of Fill Top of Batter Toe of Batter Retaining Wall Preferred Earthworks Pad Level Finished Surface Design Level

(Not all items in this legend may be relevant to the lot shown on

Optional Built to Boundary Wall

#### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 884 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

# PEET

	No.	by	Date	Chkd	Description					
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**EDEN'S** 

STAGE 17

**CROSSING** 

Saunders Havill Group Pty Ltd ABN 24 144 972 949 Brisbane Springfield head office 9 Thompson St Bowen Hills Q 4006

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phone 1300 123 SHG web www.saundershavill.com

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SCALE @ A3 1:200 - LENGTHS ARE IN METRES

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

# Disclosure Plan for Proposed Lot 884 (Restricted) on SP335717

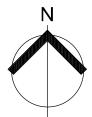
Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

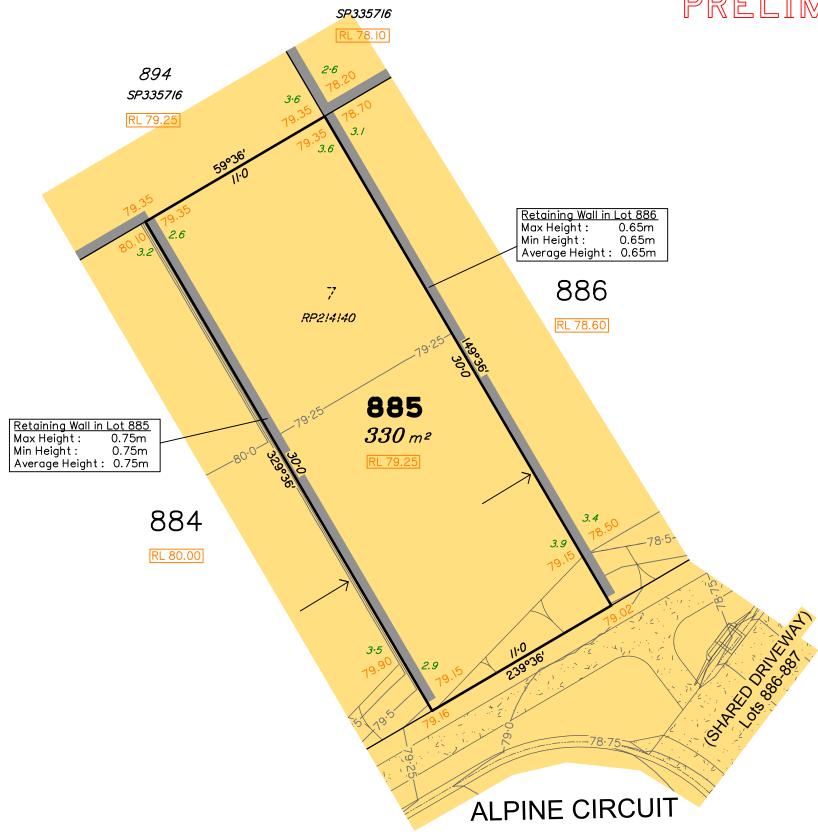
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200







893

# 

Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on

Preferred Earthworks Pad Level
Finished Surface Design Level

### NOTES

**LEGEND** 

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

(Application No: 2098/2015/MAMC/D).
For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 885 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



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**EDEN'S** 

STAGE 17

**CROSSING** 

Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006

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SCALE @ A3 1:200 - LENGTHS ARE IN METRES

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the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

This Disclosure Plan is prepared for the sole purpose of satisfying

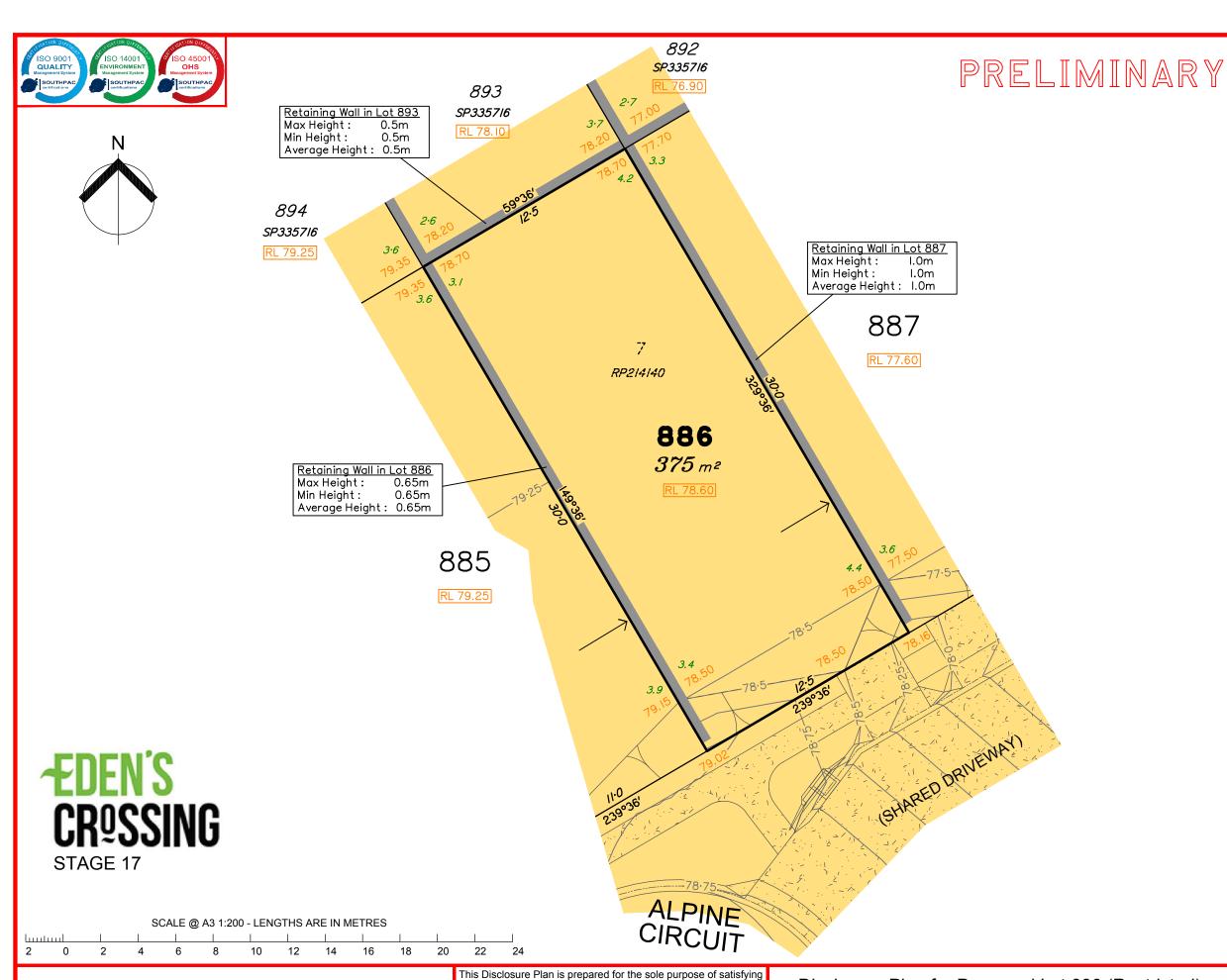
# Disclosure Plan for Proposed Lot 885 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m

Scale @A3 1: 200





Area of Cut Area of Fill

Design Contours Depth of Fill

Top of Batter

Toe of Batter Retaining Wall

Preferred Earthworks Pad Level

Finished Surface Design Level Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on

#### NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D).

For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works

approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 886 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

# PEET

	No.	by	Date	Chkd	Description
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the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

### Disclosure Plan for Proposed Lot 886 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519 Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PM203676 RL of Origin: 74.071 Contour Interval: 0.25m

Scale @A3 1: 200

