

PRELIMINARY

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

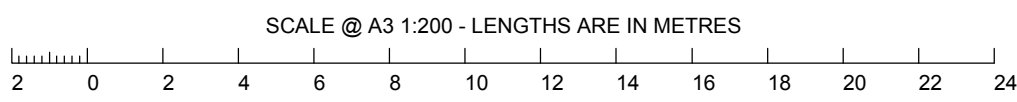
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The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 773 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

EDEN'S CROSSING
STAGE 17



PEET

No.	by	Date	Chkd	Description
A	TBG	04.03.24	PS	Original Issue

saunders havill group

Saunders Havill Group Pty Ltd ABN 24 144 972 949

Brisbane Springfield

head office 9 Thompson St Bowen Hills Q 4006

phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

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Disclosure Plan for Proposed Lot 773 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519

Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.

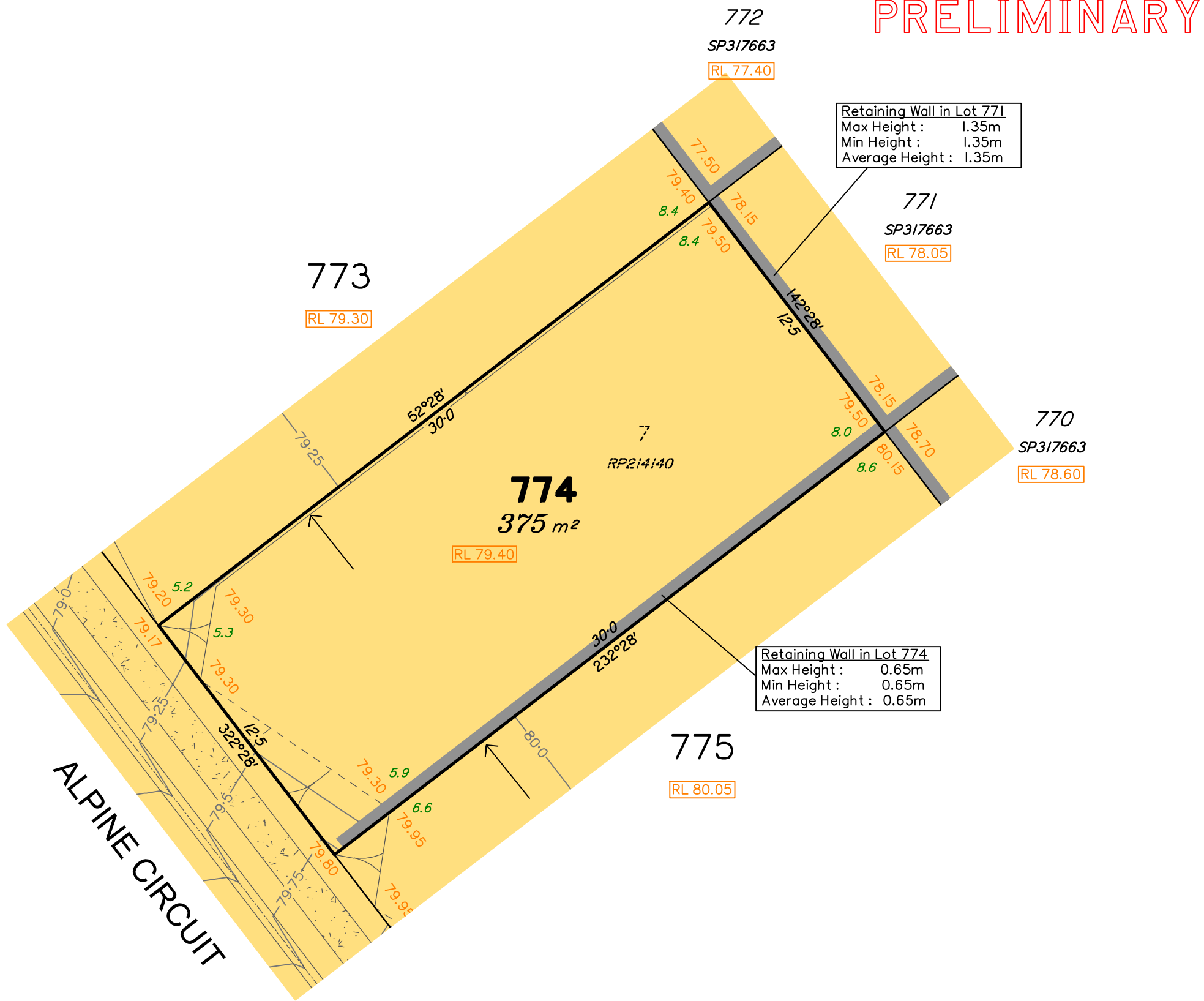
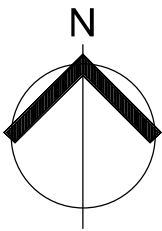
Origin of Levels: PM203676

RL of Origin: 74.071

Contour Interval: 0.25m

Scale @A3 1: 200

Plan No. 9112 S 40 DP A_773



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- 1:2 Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level (RL XX.XX)
- Finished Surface Design Level (XX.XX)
- Optional Built to Boundary Wall

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NOTES

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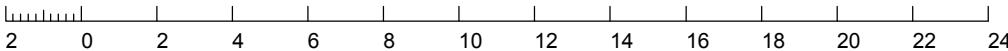
Lot 774 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue

EDEN'S CROSSING
STAGE 17

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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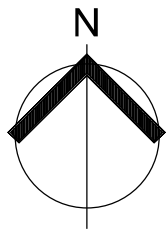
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Disclosure Plan for Proposed Lot 774 (Restricted) on SP335717

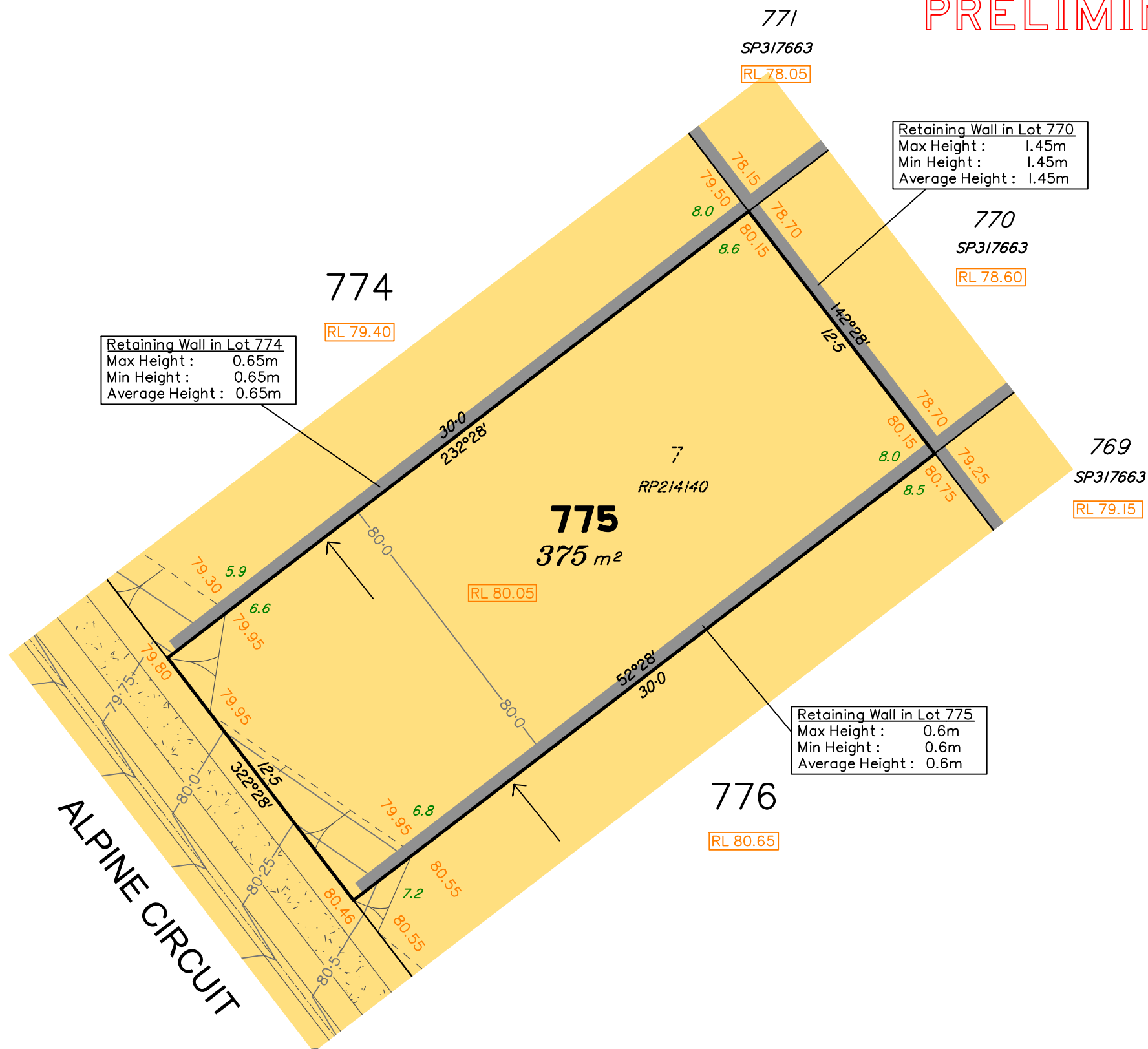
Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_774



PRELIMINARY



Retaining Wall in Lot 774
Max Height : 0.65m
Min Height : 0.65m
Average Height : 0.65m

Retaining Wall in Lot 770
Max Height : 1.45m
Min Height : 1.45m
Average Height : 1.45m

Retaining Wall in Lot 775
Max Height : 0.6m
Min Height : 0.6m
Average Height : 0.6m

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- 1:2 Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

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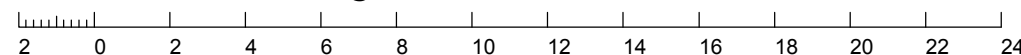
A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 775 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

EDEN'S
CROSSING
STAGE 17

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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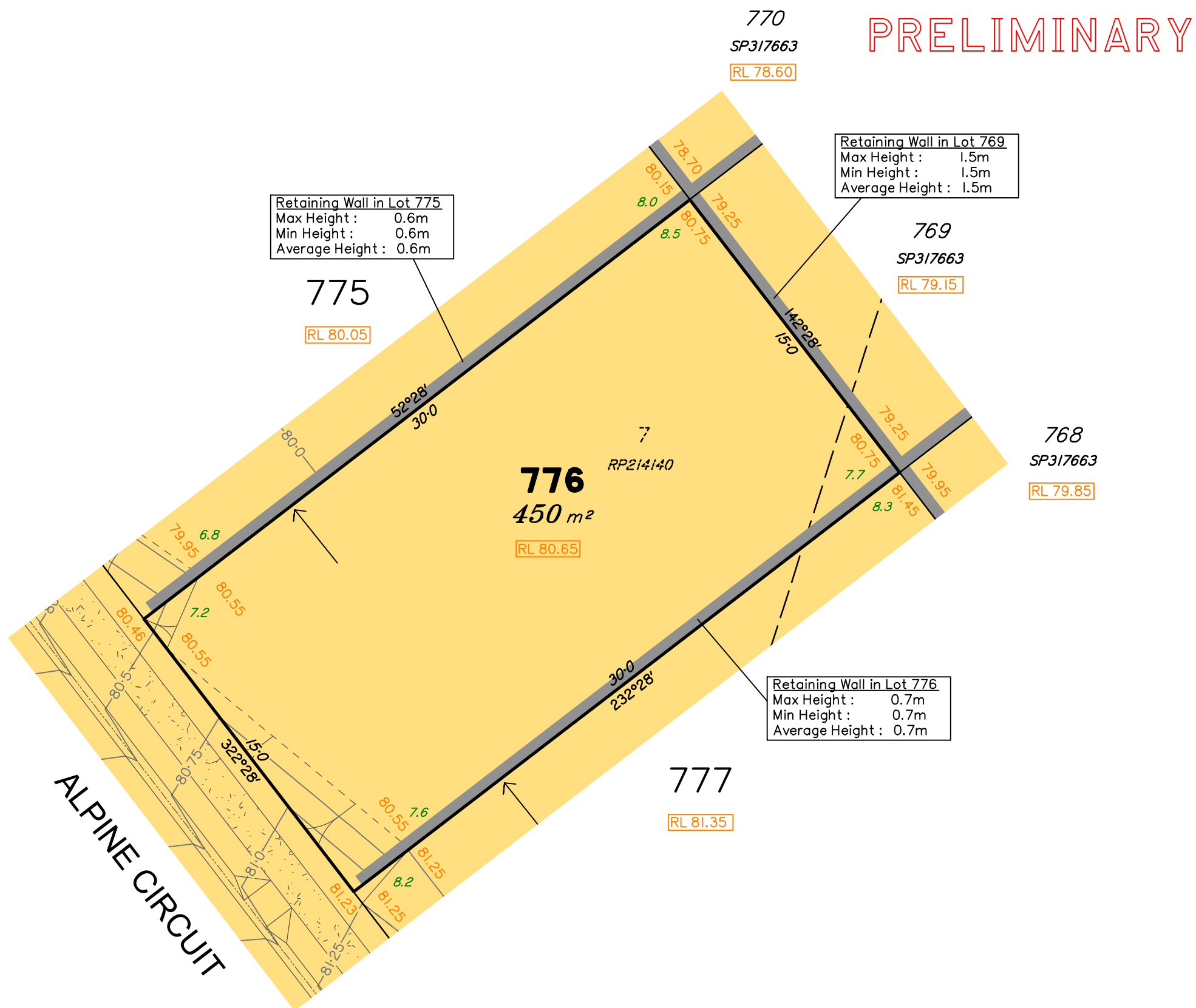
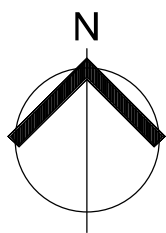
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Disclosure Plan for Proposed Lot 775 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

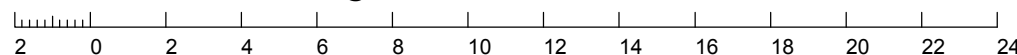
Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_775



EDEN'S CROSSING

STAGE 17

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 776 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

LEGEND



Area of Cut

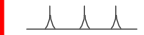


Area of Fill

Design Contours

1.2

Depth of Fill



Top of Batter



Toe of Batter



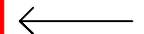
Retaining Wall

RL XX.XX

Preferred Earthworks Pad Level

XX.XX

Finished Surface Design Level



Optional Built to Boundary Wall

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The relevant authorities have granted operational works approval for this lot.

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Part of Lot 776 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

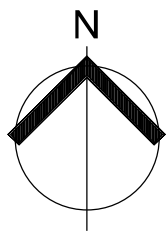
PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue

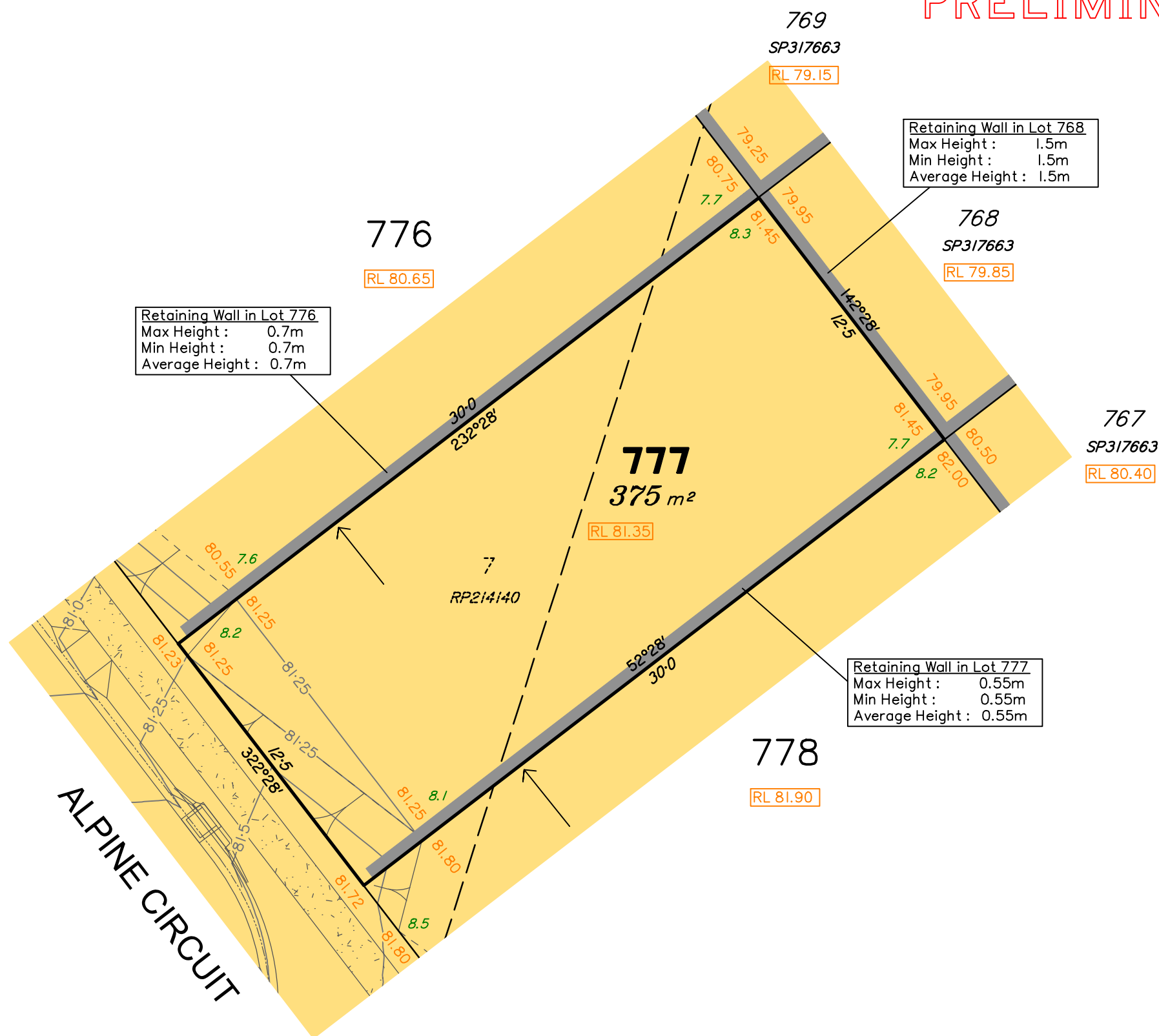
Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m

Scale @A3 1: 200

Plan No. 9112 S 40 DP A_776



PRELIMINARY



Retaining Wall in Lot 776
Max Height : 0.7m
Min Height : 0.7m
Average Height : 0.7m

Retaining Wall in Lot 768
Max Height : 1.5m
Min Height : 1.5m
Average Height : 1.5m

Retaining Wall in Lot 777
Max Height : 0.55m
Min Height : 0.55m
Average Height : 0.55m

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- 1:2 Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level (RL XX.XX)
- Finished Surface Design Level (XX.XX)
- Optional Built to Boundary Wall

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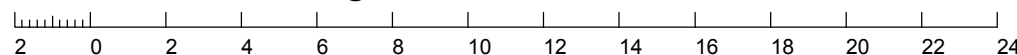
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Part of Lot 777 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

EDEN'S CROSSING
STAGE 17

SCALE @ A3 1:200 - LENGTHS ARE IN METRES

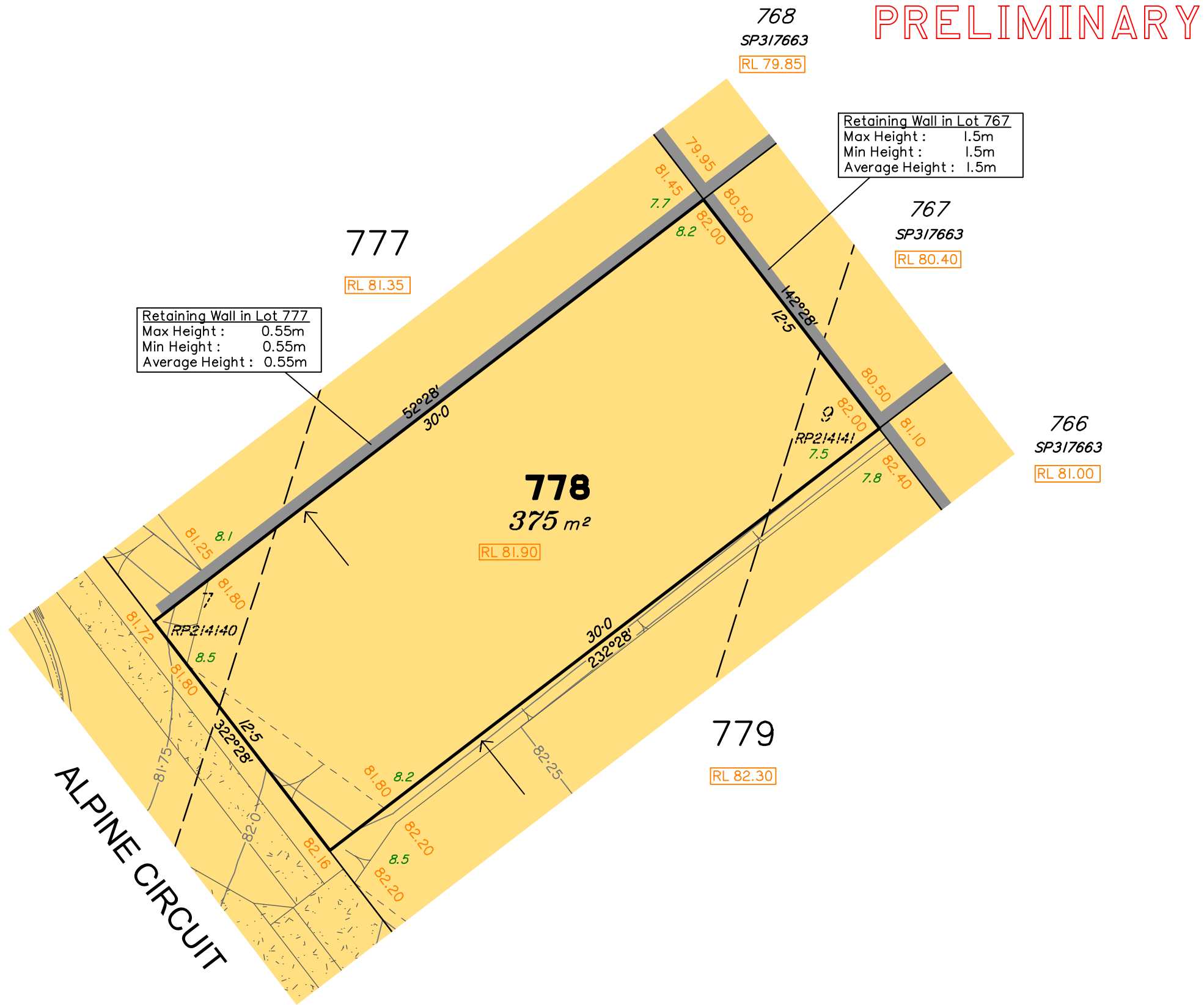
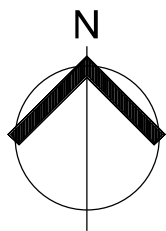


Disclosure Plan for Proposed Lot 777 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_777



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level (RL XX.XX)
- Finished Surface Design Level (XX.XX)
- Optional Built to Boundary Wall

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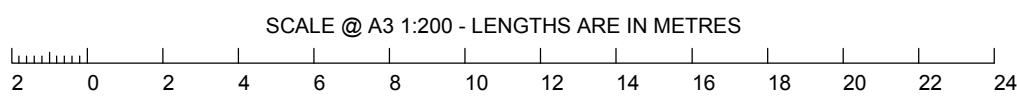
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The relevant authorities have granted operational works approval for this lot.

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Parts of Lot 778 are restricted to the depth of 15.24m & 18.288m from the surface, as defined by plan M3172.

EDEN'S CROSSING
STAGE 17



PEET

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Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
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phone 1300 123 SHG web www.saundershavill.com

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Disclosure Plan for Proposed Lot 778 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

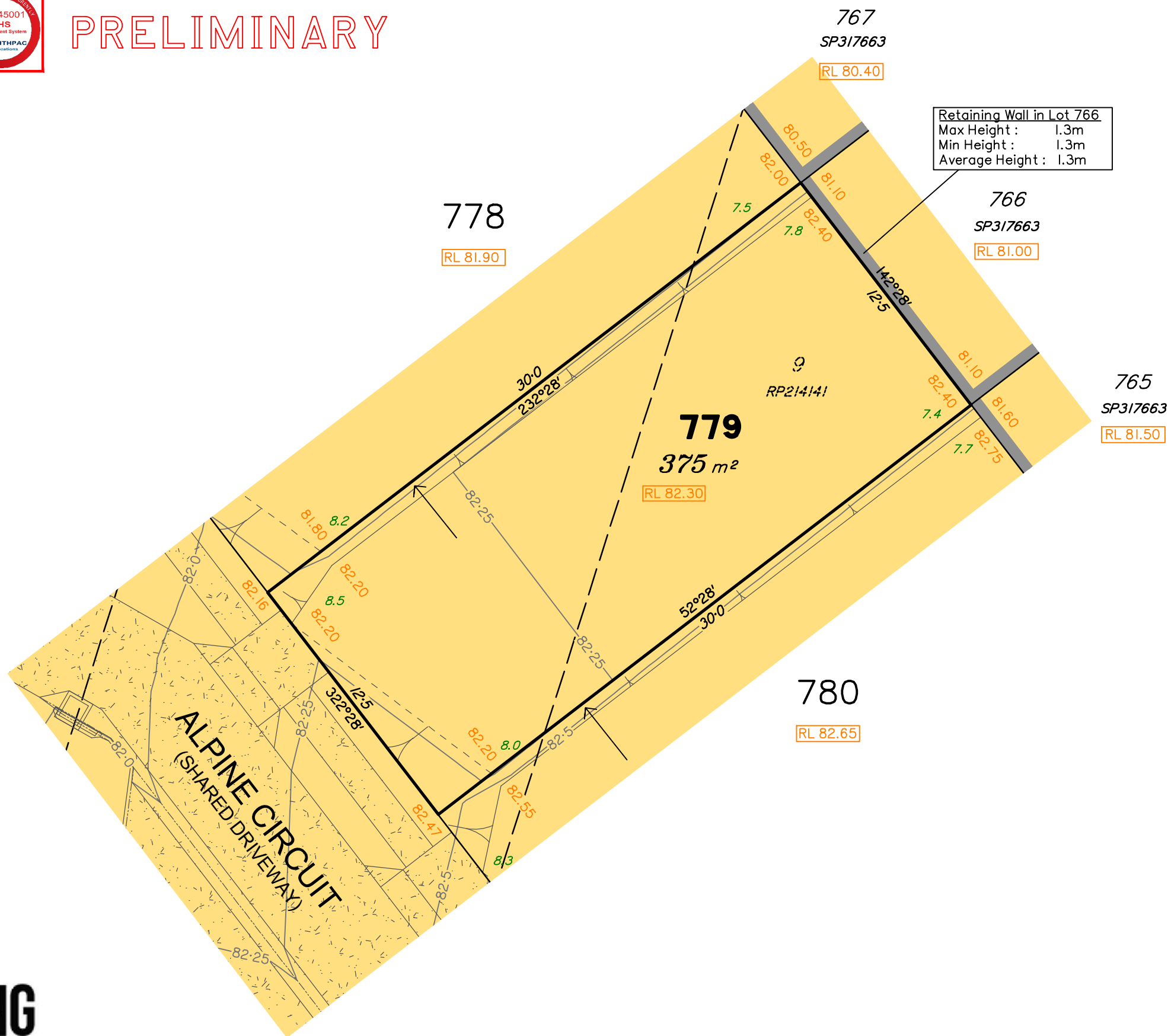
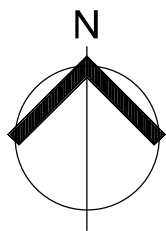
Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m

Scale @A3 1: 200
Plan No. 9112 S 40 DP A_778



PRELIMINARY



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

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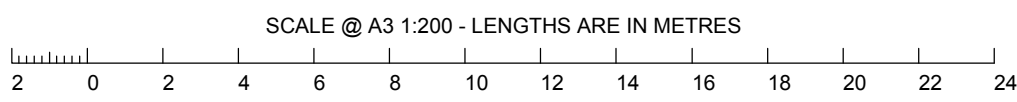
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Part of Lot 779 is restricted to the depth of 15.24 metres from the surface, as defined by plan M3172.

EDEN'S CROSSING
STAGE 17



PEET

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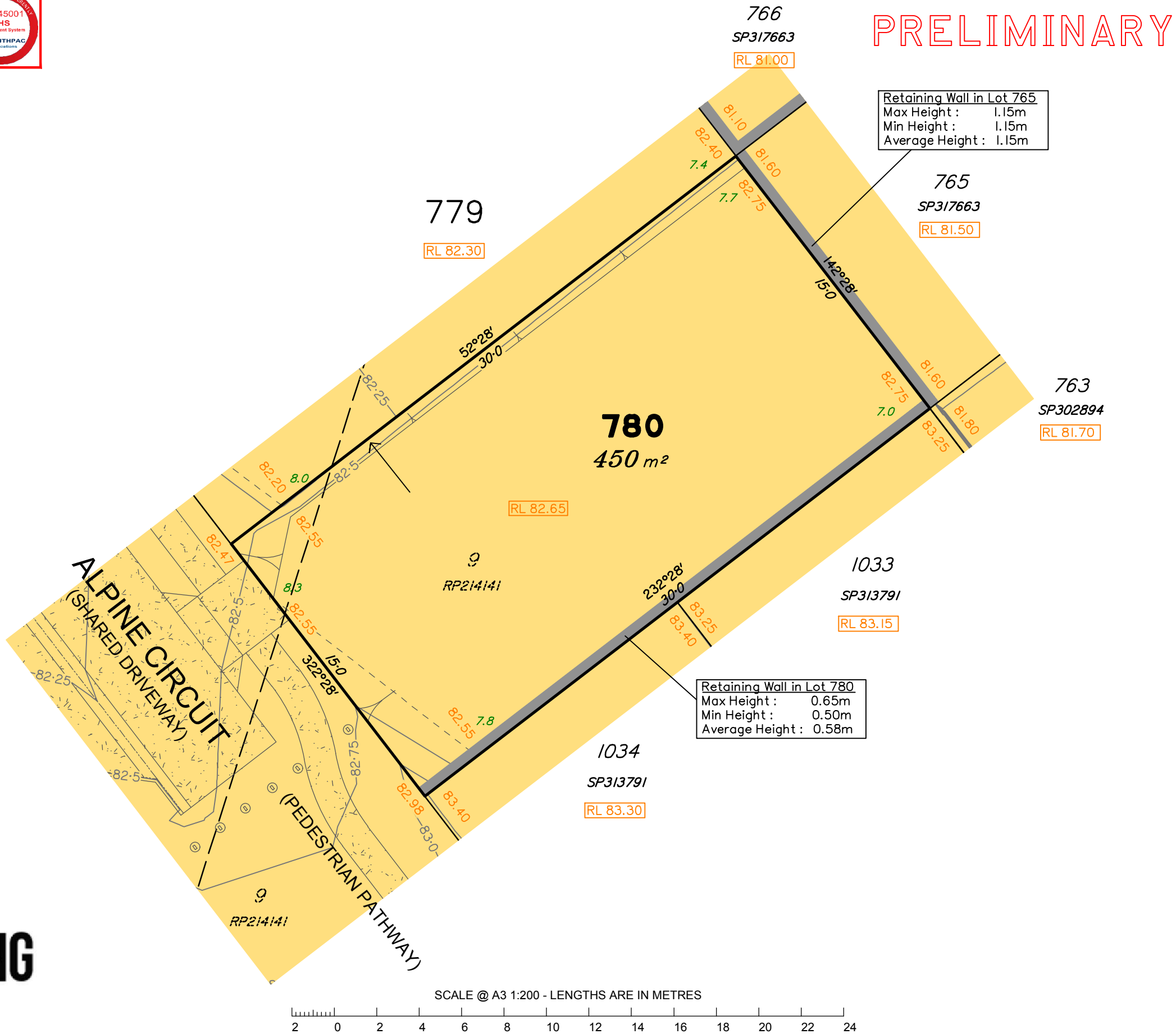
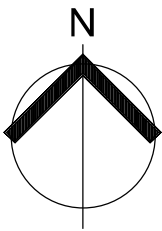
Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m

Scale @A3 1: 200
Plan No. 9112 S 40 DP A_779



PRELIMINARY

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

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A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Part of Lot 780 is restricted to the depth of 15.24 metres from the surface, as defined by plan M3172.

PEET

No.	by	Date	Chkd	Description
A	TBG	04.03.24	PS	Original Issue

EDEN'S CROSSING
STAGE 17



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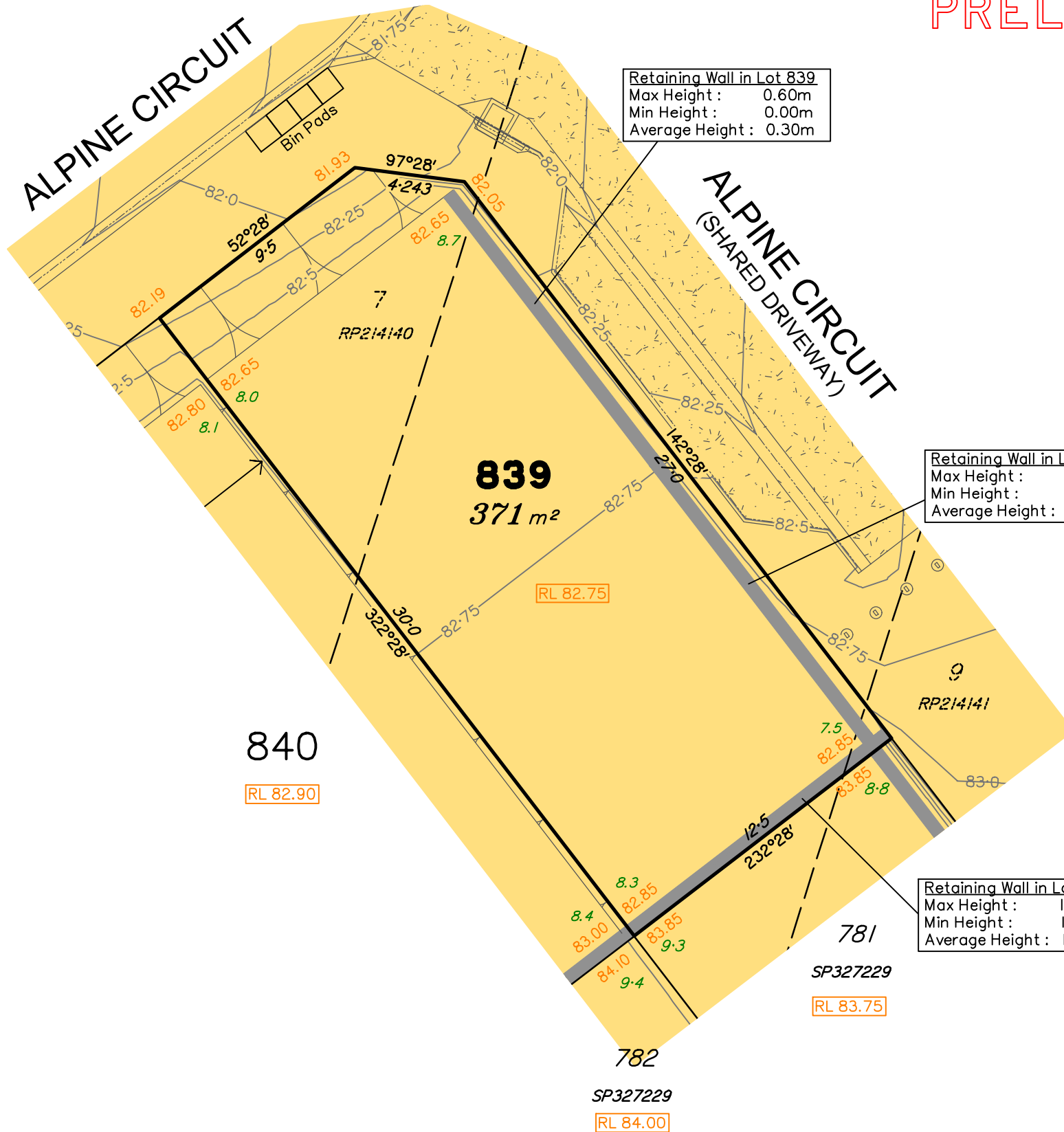
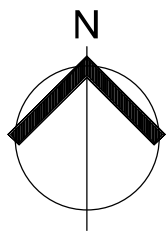
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Disclosure Plan for Proposed Lot 780 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_780



PRELIMINARY

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- 1:2 Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level (RL XX.XX)
- Finished Surface Design Level (XX.XX)
- Optional Built to Boundary Wall

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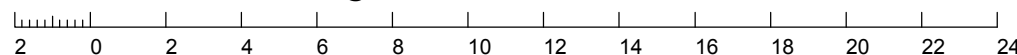
A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Parts of Lot 839 are restricted to the depth of 15.24m & 18.288m from the surface, as defined by plan M3172.

PEET

EDEN'S
CROSSING
STAGE 17

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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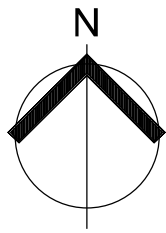
Disclosure Plan for Proposed Lot 839 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

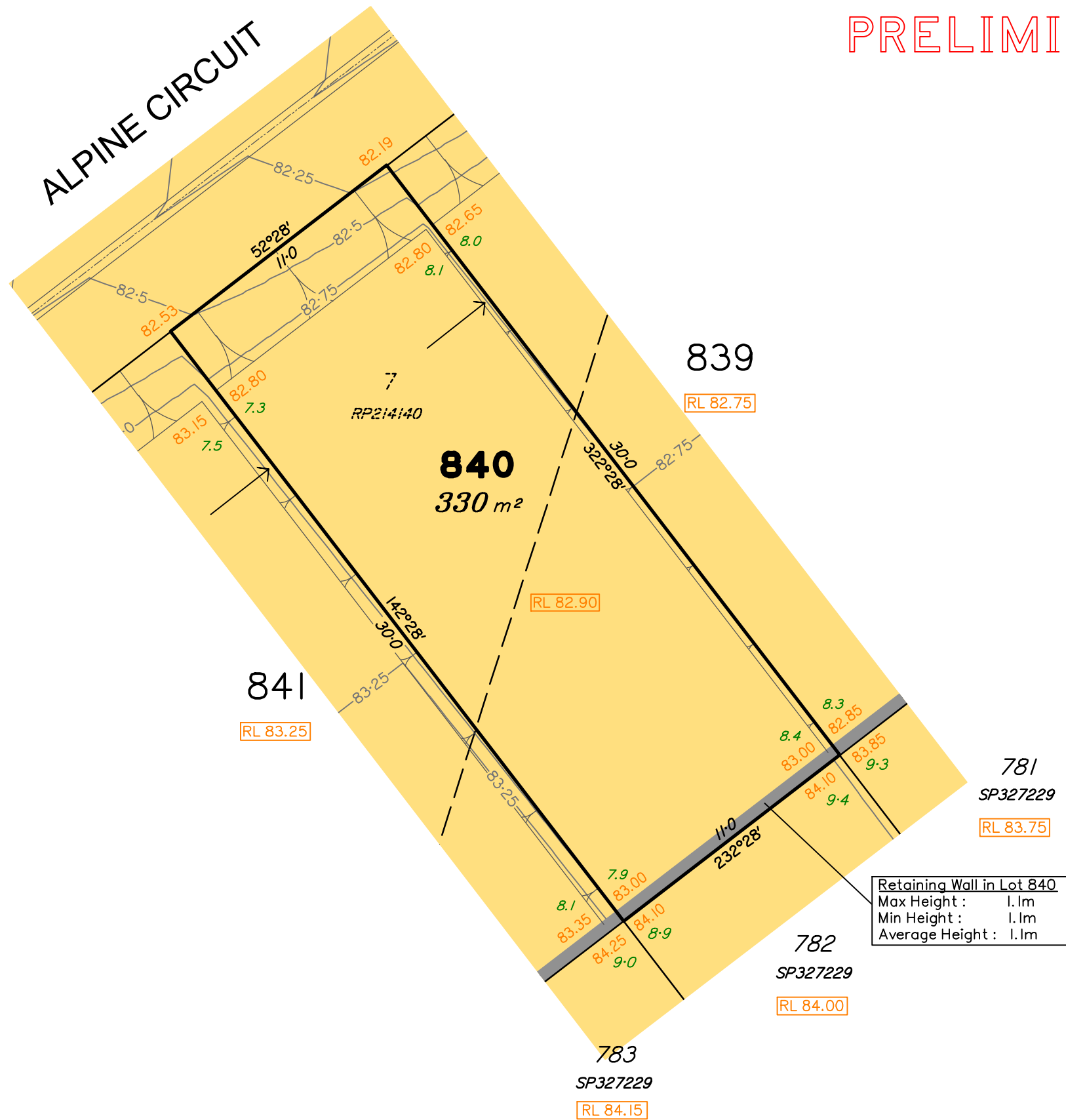
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m

Scale @A3 1: 200
Plan No. 9112 S 40 DP A_839



ALPINE CIRCUIT



PRELIMINARY

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
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The relevant authorities have granted operational works approval for this lot.

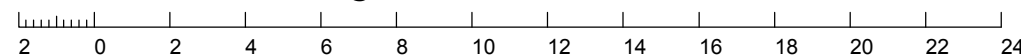
A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Part of Lot 840 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

EDEN'S
CROSSING
STAGE 17

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

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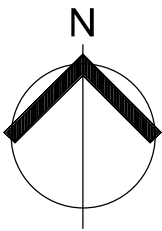
Disclosure Plan for Proposed Lot 840 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

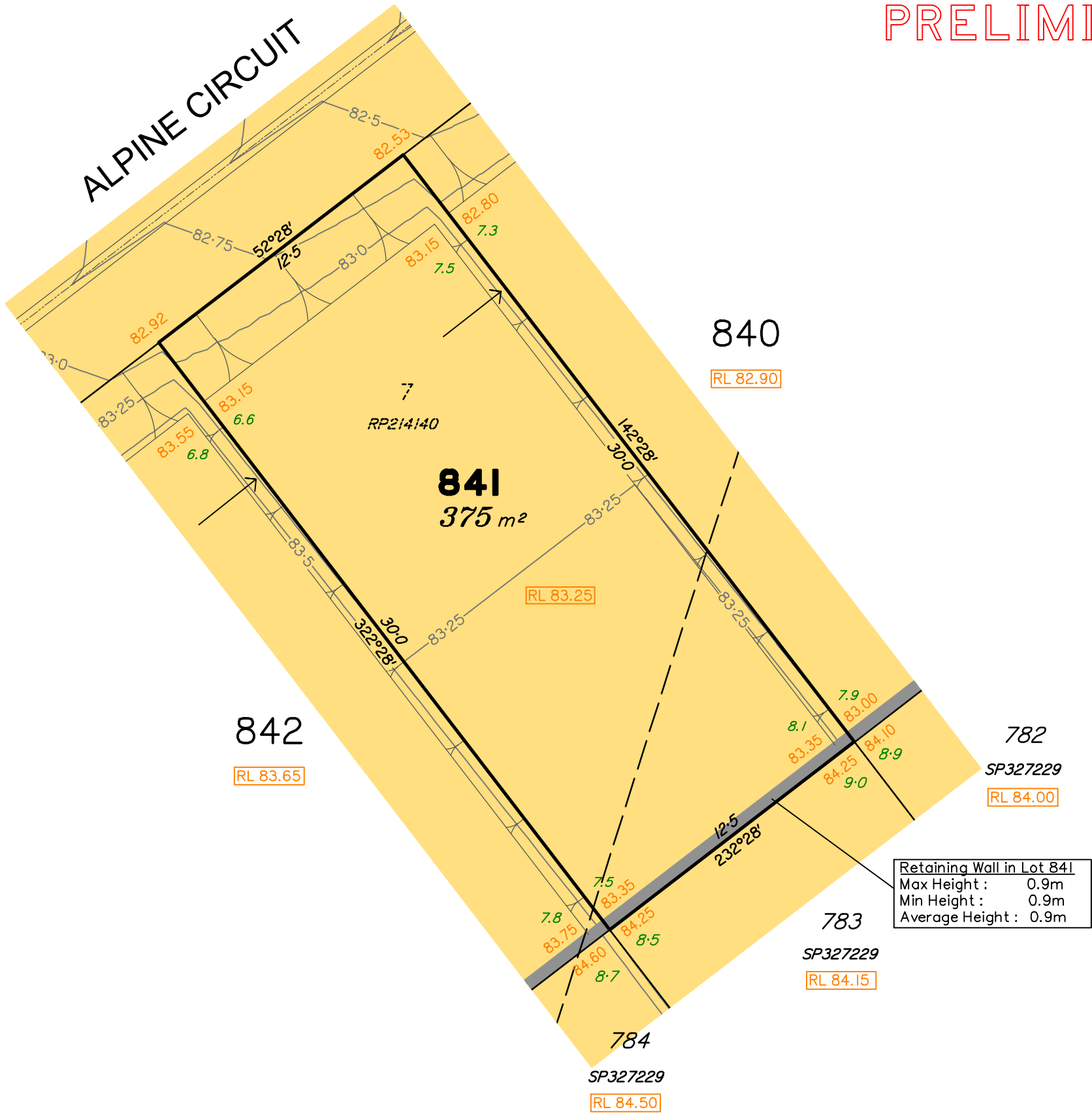
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_840

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue



PRELIMINARY



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Part of Lot 841 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

No.	by	Date	Chkd	Description
A	TBG	04.03.24	PS	Original Issue

EDEN'S CROSSING
STAGE 17



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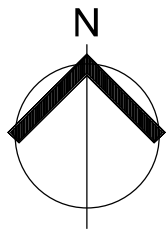
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Disclosure Plan for Proposed Lot 841 (Restricted) on SP335717

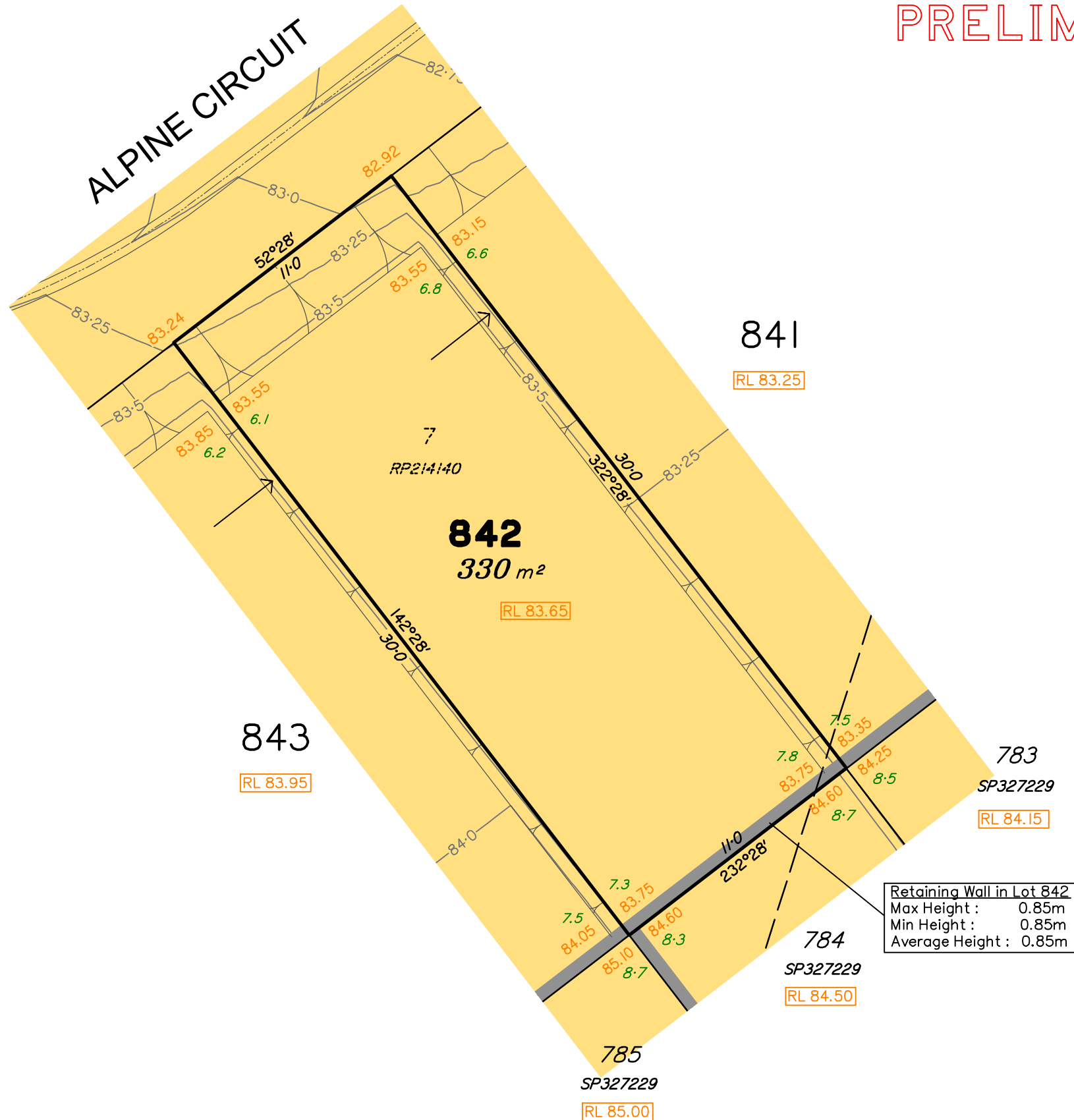
Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

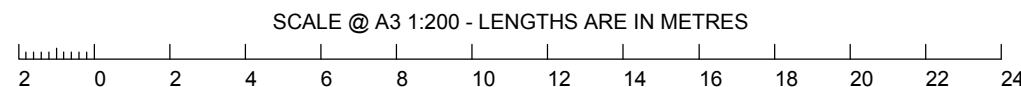
Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_841



PRELIMINARY



EDEN'S
CROSSING
STAGE 17



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

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The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Part of Lot 842 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

No.	by	Date	Chkd	Description
A	TBG	04.03.24	PS	Original Issue

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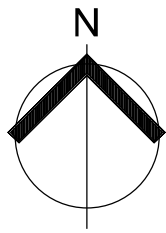
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Disclosure Plan for Proposed Lot 842 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_842



ALPINE CIRCUIT

PRELIMINARY

844

RL 84.20

843

535 m²

RL 83.95

842

RL 83.65

784

SP327229

RL 84.50

785

SP327229

RL 85.00

786

SP327229

RL 85.00

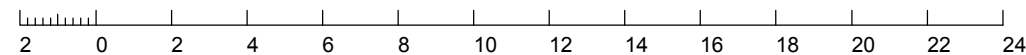
787

SP327229

RL 85.50

Retaining Wall in Lot 843
Max Height : 1.05m
Min Height : 1.05m
Average Height : 1.05m

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- 1:2 Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

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NOTES

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The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 843 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

No.	by	Date	Chkd	Description
A	TBG	04.03.24	PS	Original Issue



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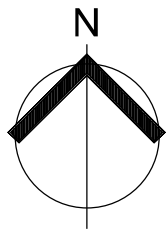
Disclosure Plan for Proposed Lot 843 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519

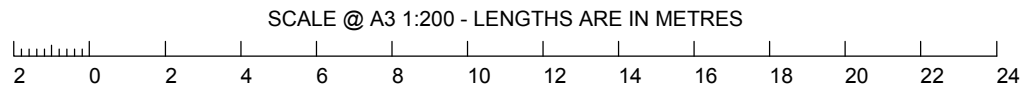
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_843



EDEN'S
CROSSING
STAGE 17



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Disclosure Plan for Proposed Lot 844 (Restricted) on SP335717

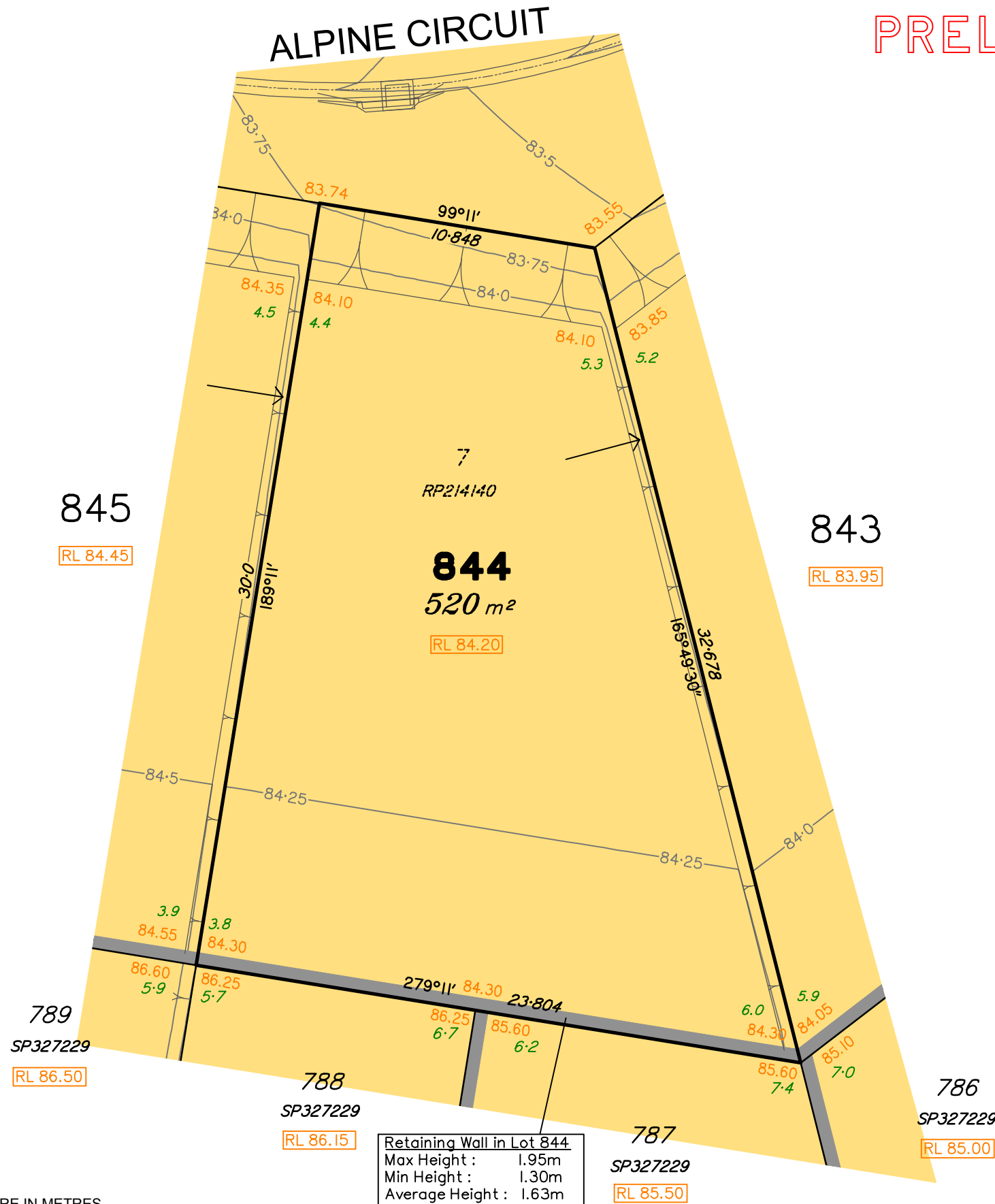
Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_844

ALPINE CIRCUIT

PRELIMINARY



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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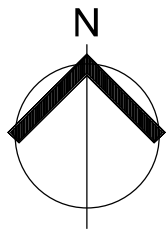
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 844 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue



EDEN'S
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STAGE 17

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846
RL 84.80

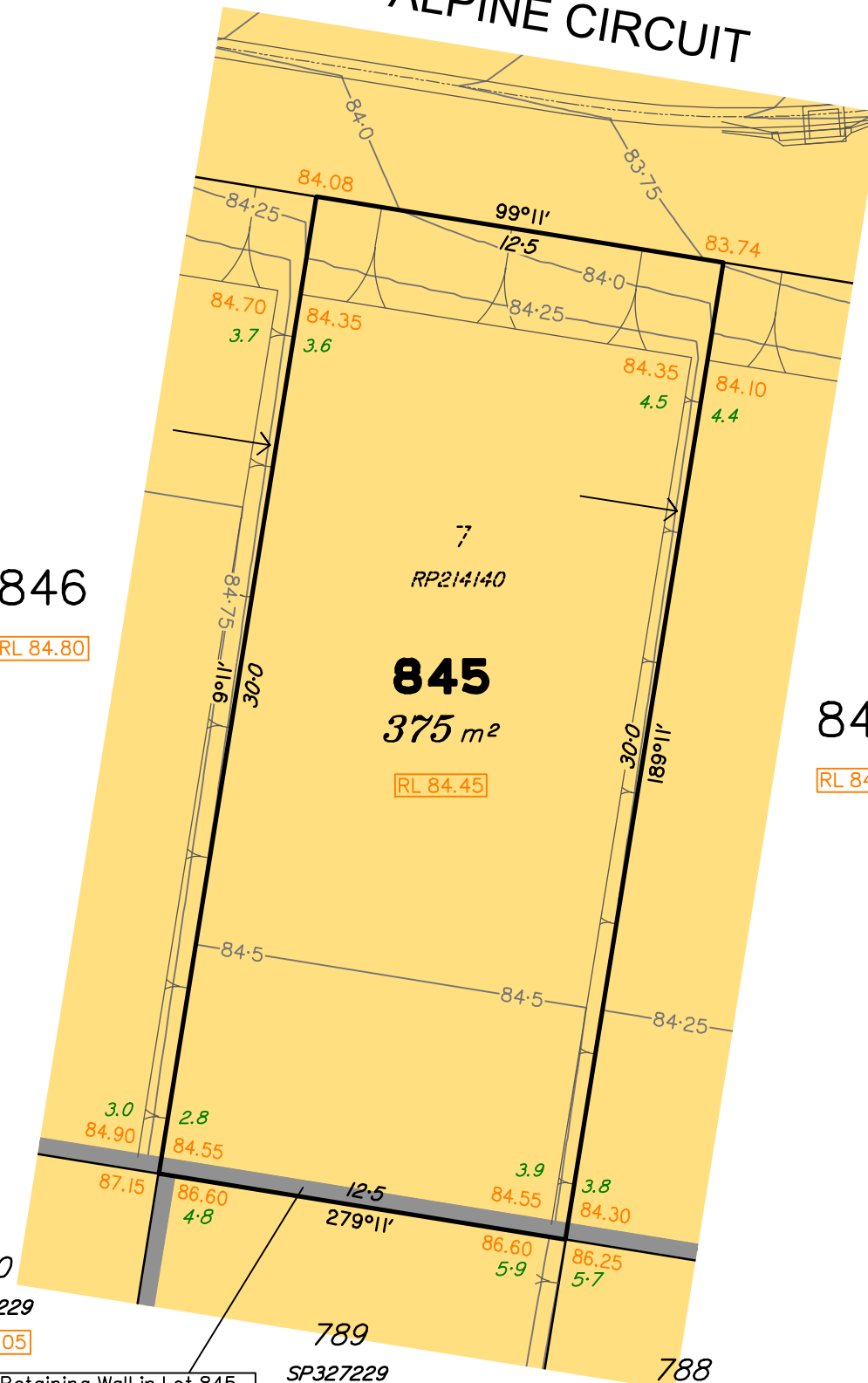
790
SP327229
RL 87.05

Retaining Wall in Lot 845
Max Height : 2.05m
Min Height : 2.05m
Average Height : 2.05m

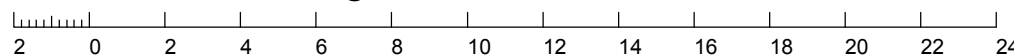
789
SP327229
RL 86.50

788
SP327229
RL 86.15

ALPINE CIRCUIT



SCALE @ A3 1:200 - LENGTHS ARE IN METRES



PRELIMINARY

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

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The relevant authorities have granted operational works approval for this lot.

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Lot 845 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue

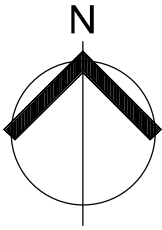
Disclosure Plan for Proposed Lot 845 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_845

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EDEN'S
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STAGE 17



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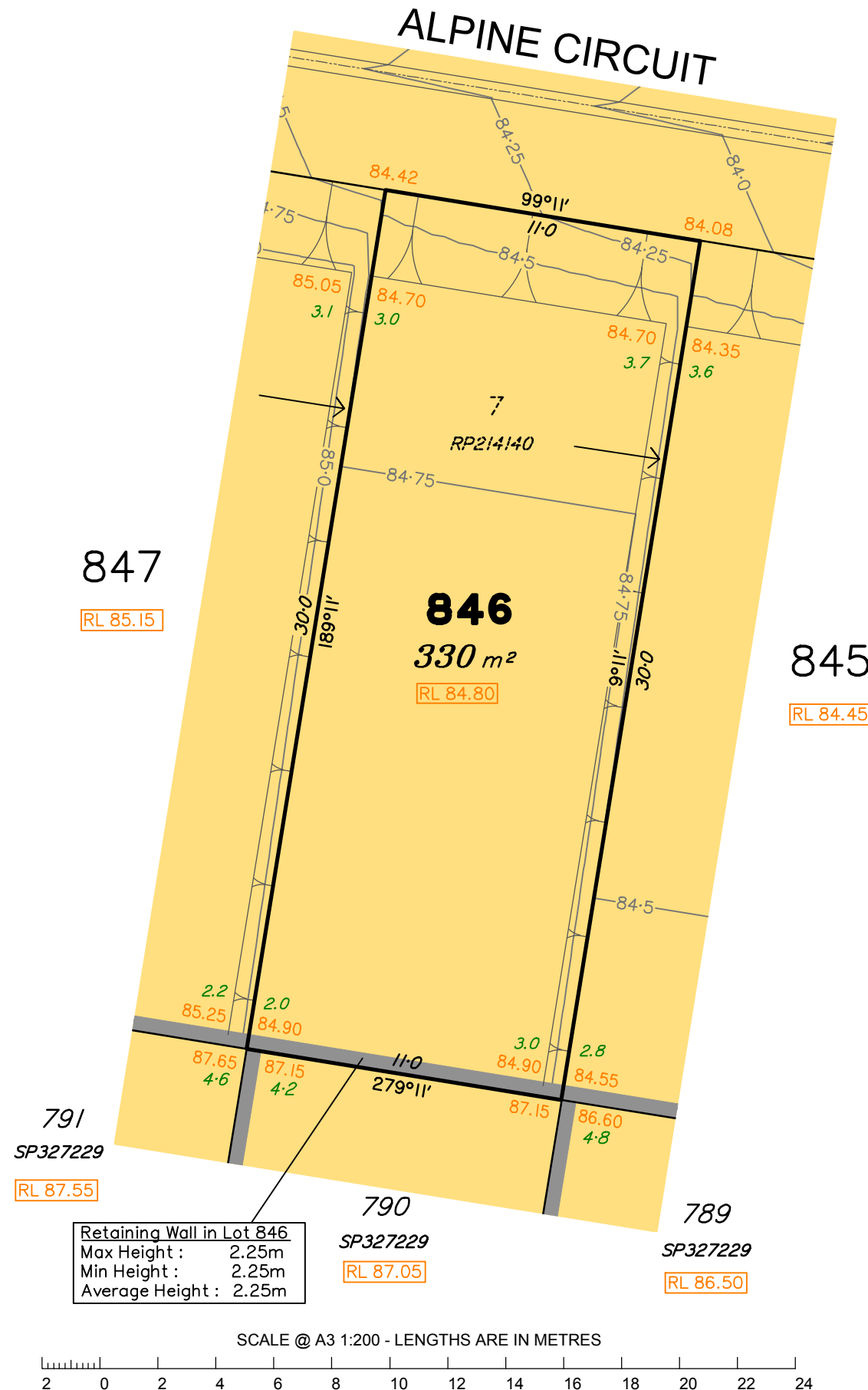
Disclosure Plan for Proposed Lot 846 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_846

PRELIMINARY



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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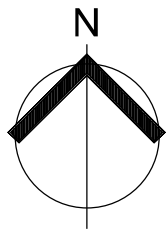
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 846 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

No.	by	Date	Chkd	Description
A	TBG	04.03.24	PS	Original Issue



EDEN'S
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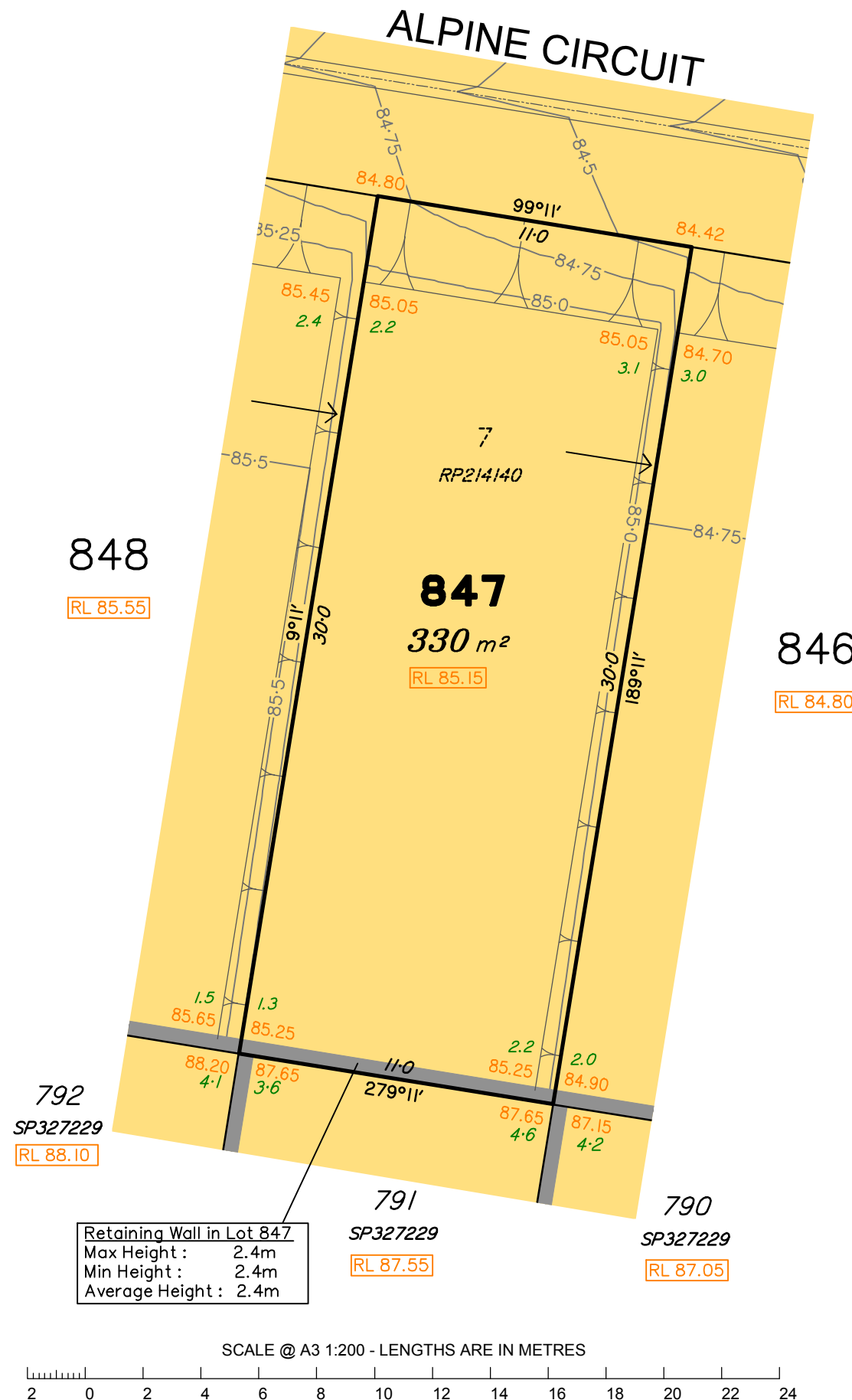
Disclosure Plan for Proposed Lot 847 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_847

PRELIMINARY



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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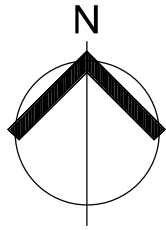
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 847 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

No.	by	Date	Chkd	Description
A	TBG	04.03.24	PS	Original Issue



Retaining Wall in Lot 848
Max Height : 0.55m
Min Height : 0.55m
Average Height : 0.55m

849

RL 86.10

848

375 m²

RL 85.55

847

RL 85.15

793

SP327229

RL 88.80

Retaining Wall in Lot 848
Max Height : 2.55m
Min Height : 2.55m
Average Height : 2.55m

792

SP327229

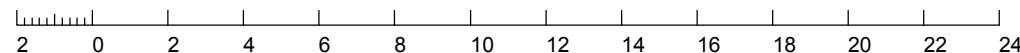
RL 88.10

791

SP327229

RL 87.55

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



EDEN'S
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STAGE 17



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Disclosure Plan for Proposed Lot 848 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_848

PRELIMINARY

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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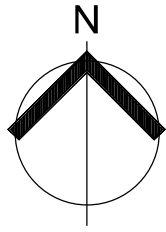
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 848 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue



**EDEN'S
CROSSING**
STAGE 17



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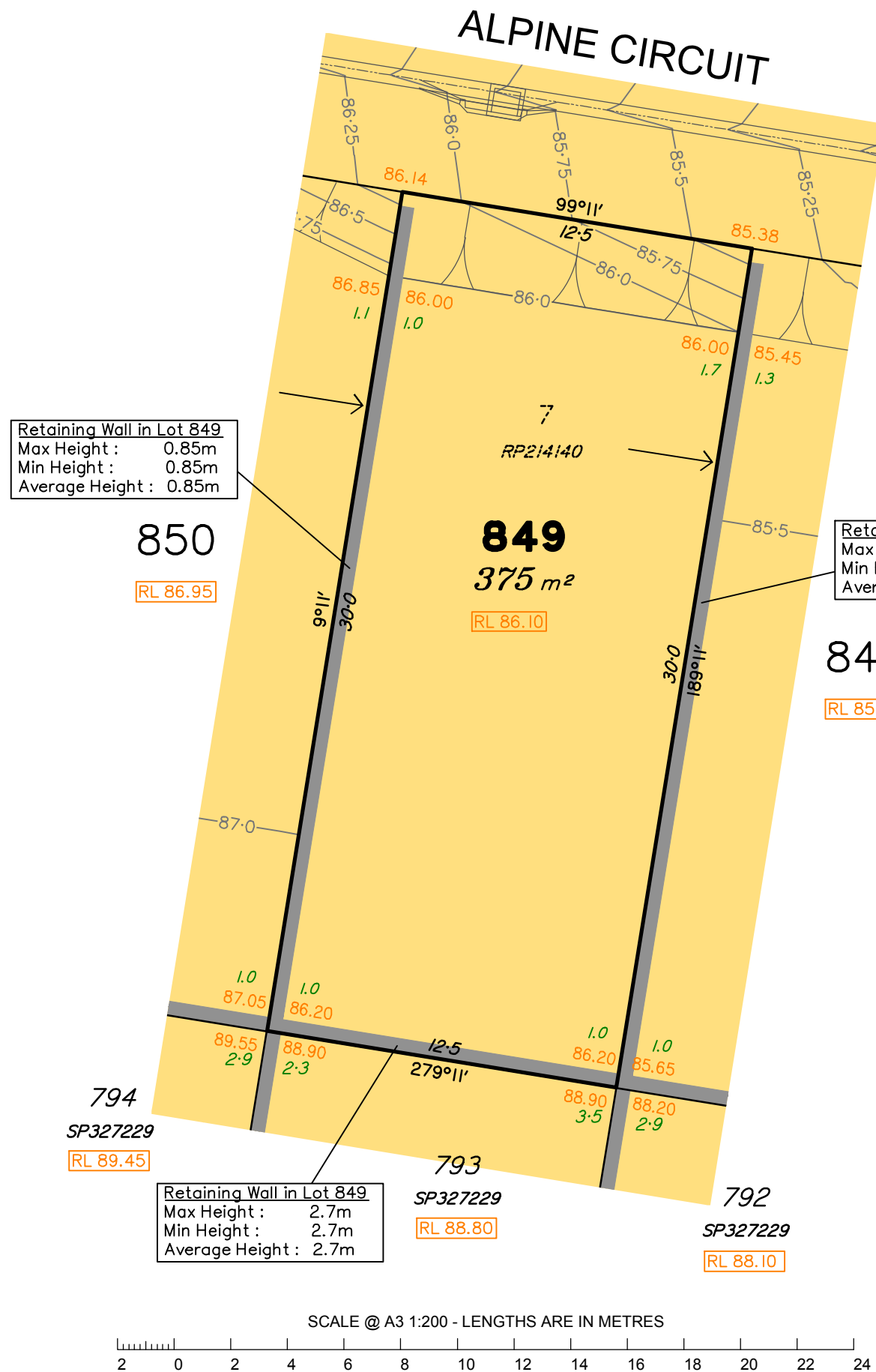
Disclosure Plan for Proposed Lot 849 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_849

PRELIMINARY



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

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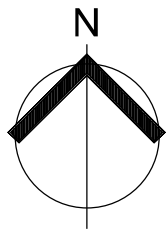
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 849 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue



EDEN'S
CROSSING
STAGE 17



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com
■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

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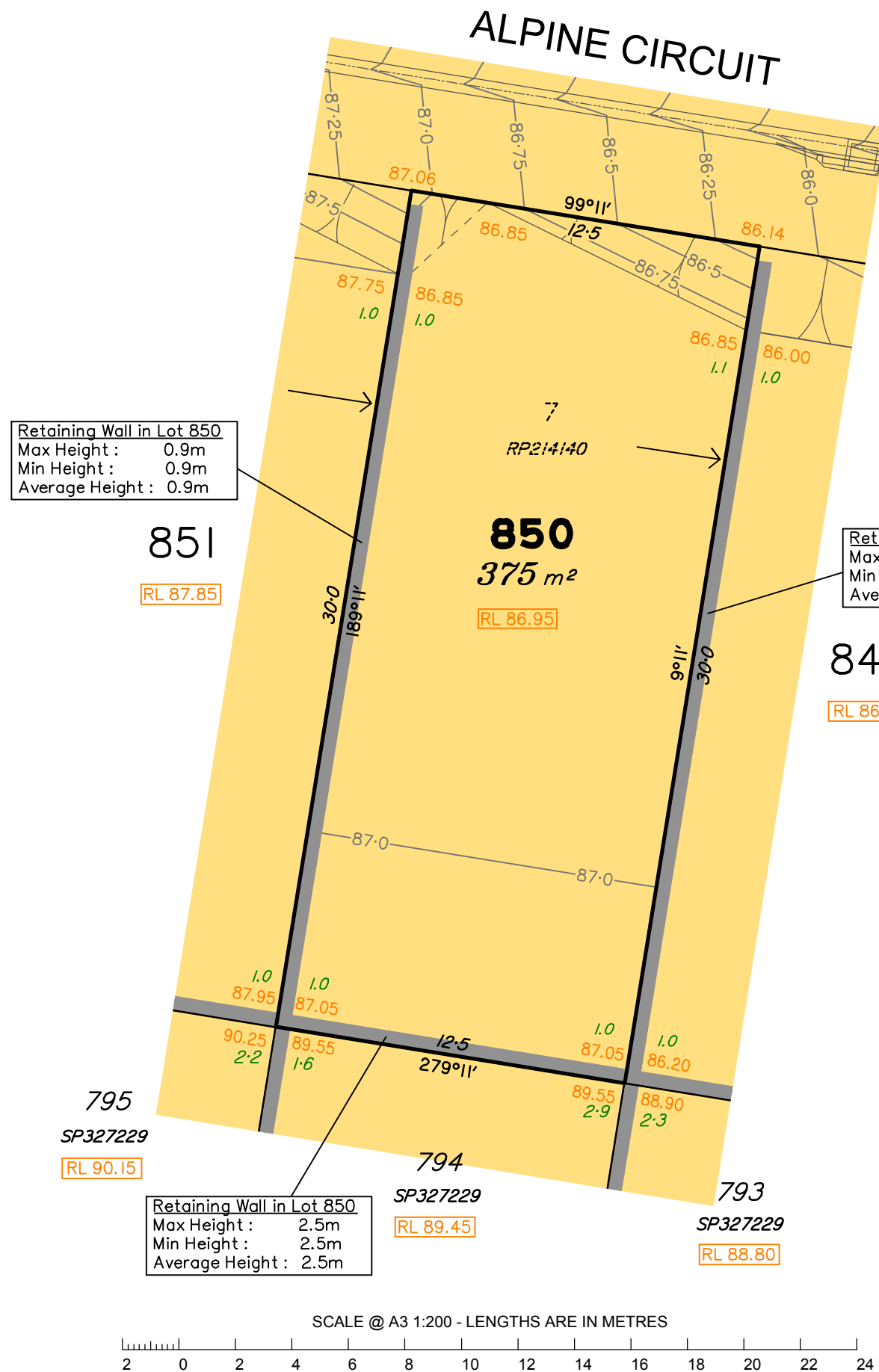
Disclosure Plan for Proposed Lot 850 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_850

PRELIMINARY

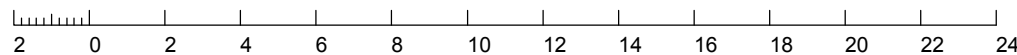


Retaining Wall in Lot 850
Max Height : 0.9m
Min Height : 0.9m
Average Height : 0.9m

Retaining Wall in Lot 849
Max Height : 0.85m
Min Height : 0.85m
Average Height : 0.85m

Retaining Wall in Lot 850
Max Height : 2.5m
Min Height : 2.5m
Average Height : 2.5m

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- 1:2 Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D). For updates to this approval visit www.ipswich.qld.gov.au

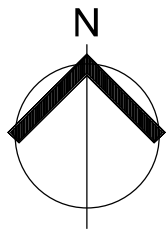
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 850 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

No.	by	Date	Chkd	Description
A	TBG	04.03.24	PS	Original Issue



**EDEN'S
CROSSING**
STAGE 17



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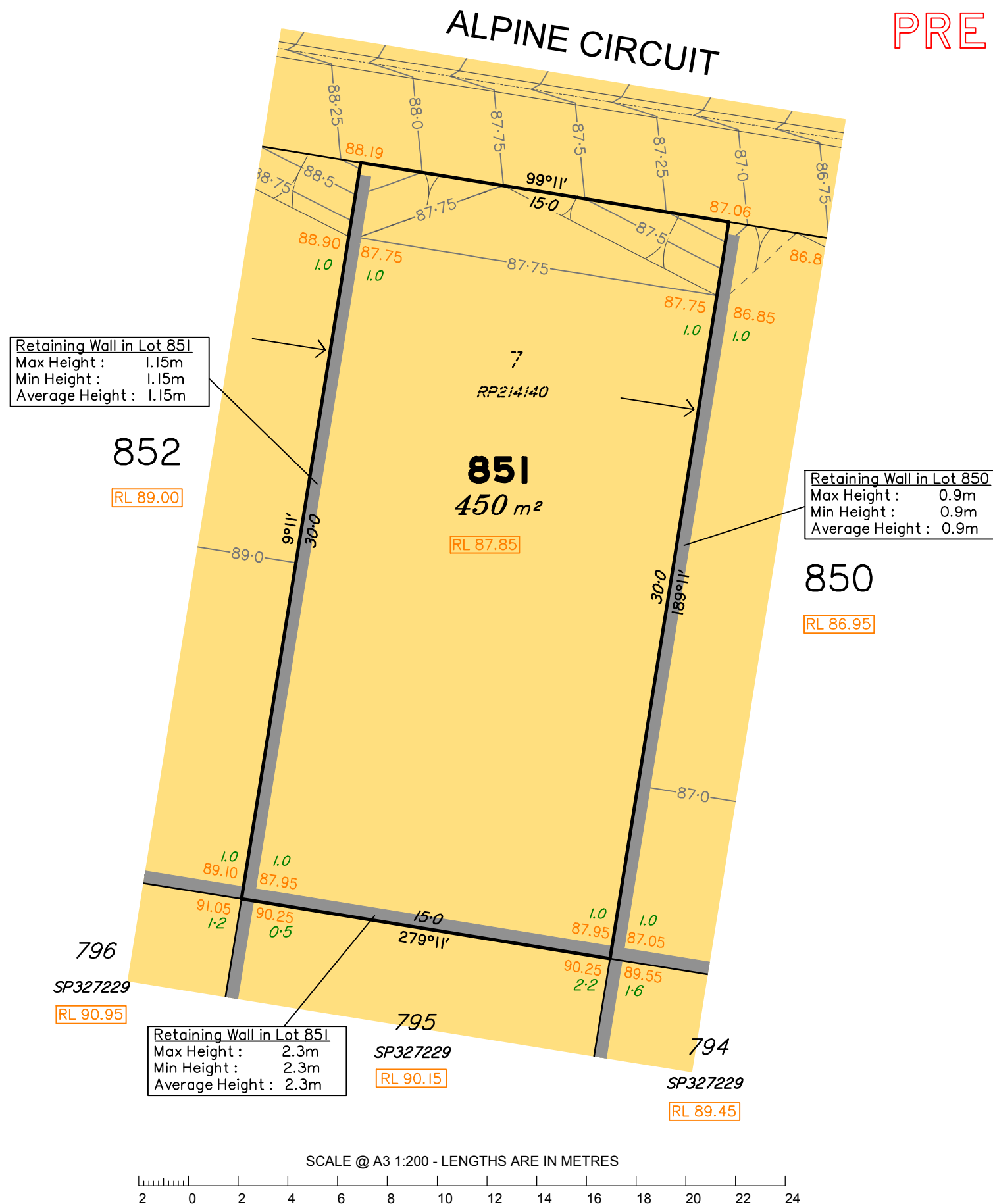
Disclosure Plan for Proposed Lot 851 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_851

PRELIMINARY



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- 1:2 Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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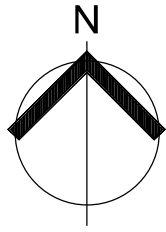
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

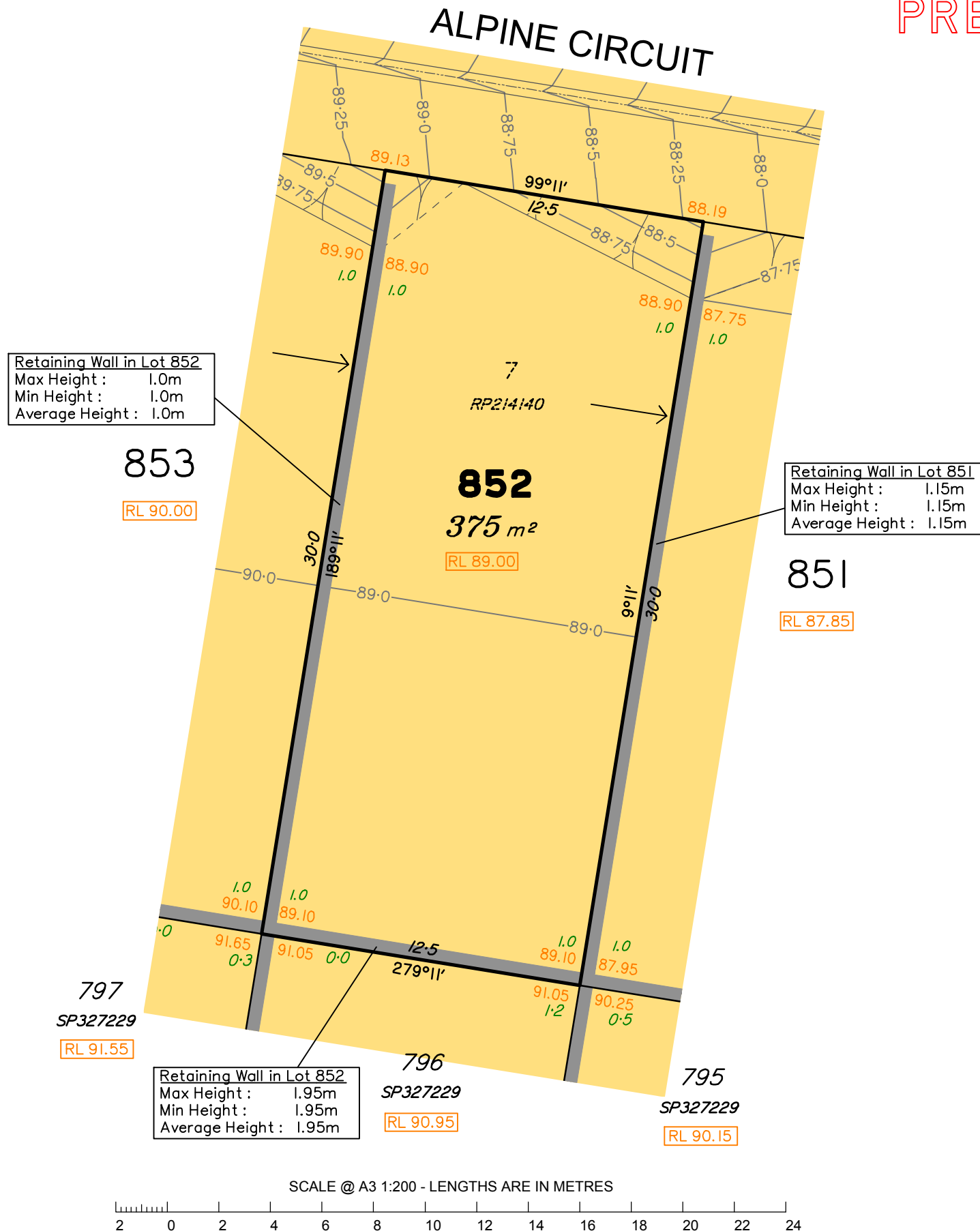
Lot 851 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

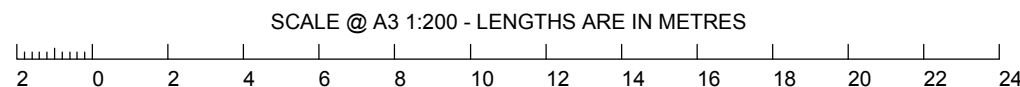
No.	by	Date	Chkd	Description
A	TBG	04.03.24	PS	Original Issue



PRELIMINARY



EDEN'S
CROSSING
STAGE 17



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- 1:2 Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D). For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 852 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue



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Brisbane Springfield
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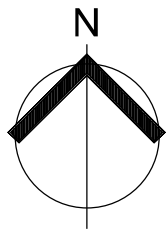
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Disclosure Plan for Proposed Lot 852 (Restricted) on SP335717

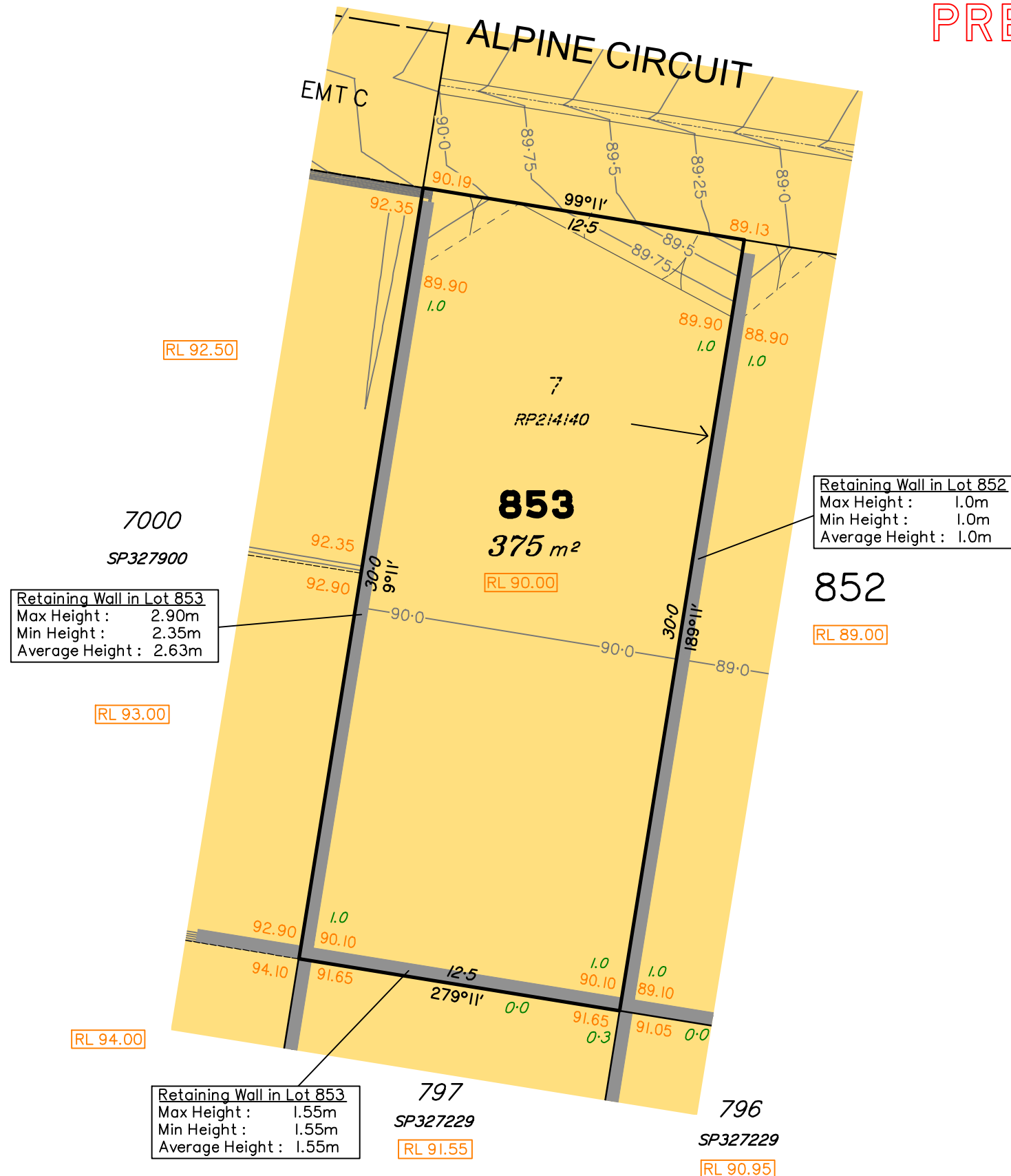
Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

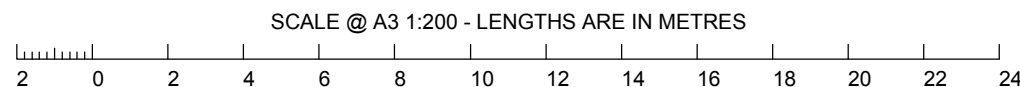
Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_852



PRELIMINARY



EDEN'S
CROSSING
STAGE 17



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D). For updates to this approval visit www.ipswich.qld.gov.au

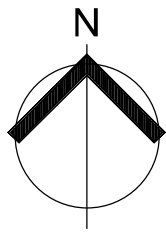
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 853 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue



EDEN'S
CROSSING
STAGE 17



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Brisbane Springfield
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phone 1300 123 SHG web www.saundershavill.com
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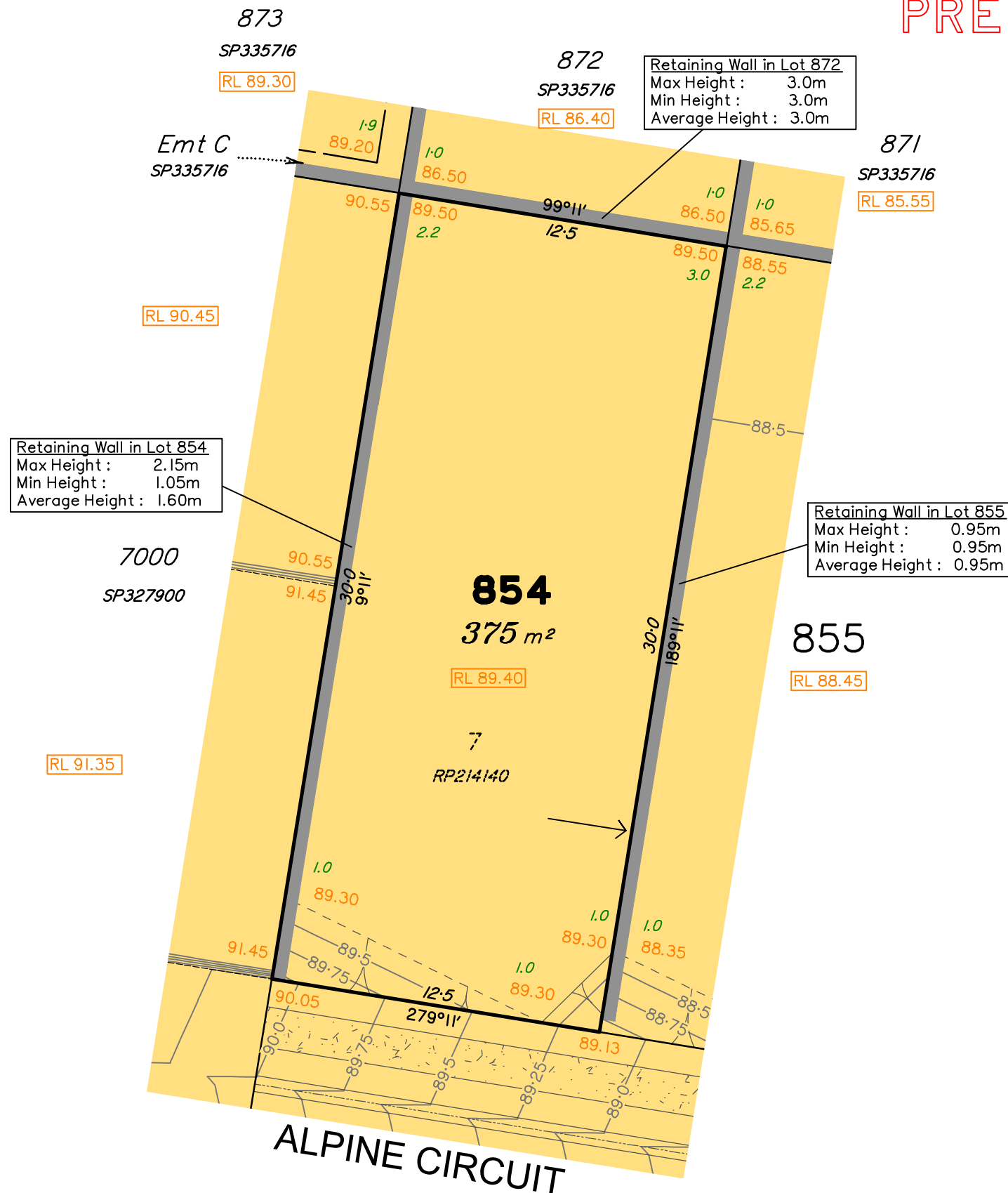
Disclosure Plan for Proposed Lot 854 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_854

PRELIMINARY



LEGEND

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Toe of Batter
	Retaining Wall
	Preferred Earthworks Pad Level
	Finished Surface Design Level
	Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D). For updates to this approval visit www.ipswich.qld.gov.au

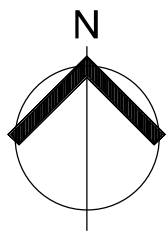
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 854 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

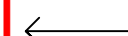
PEET

No.	by	Date	Chkd	Description
A	TBG	04.03.24	PS	Original Issue



PRELIMINARY

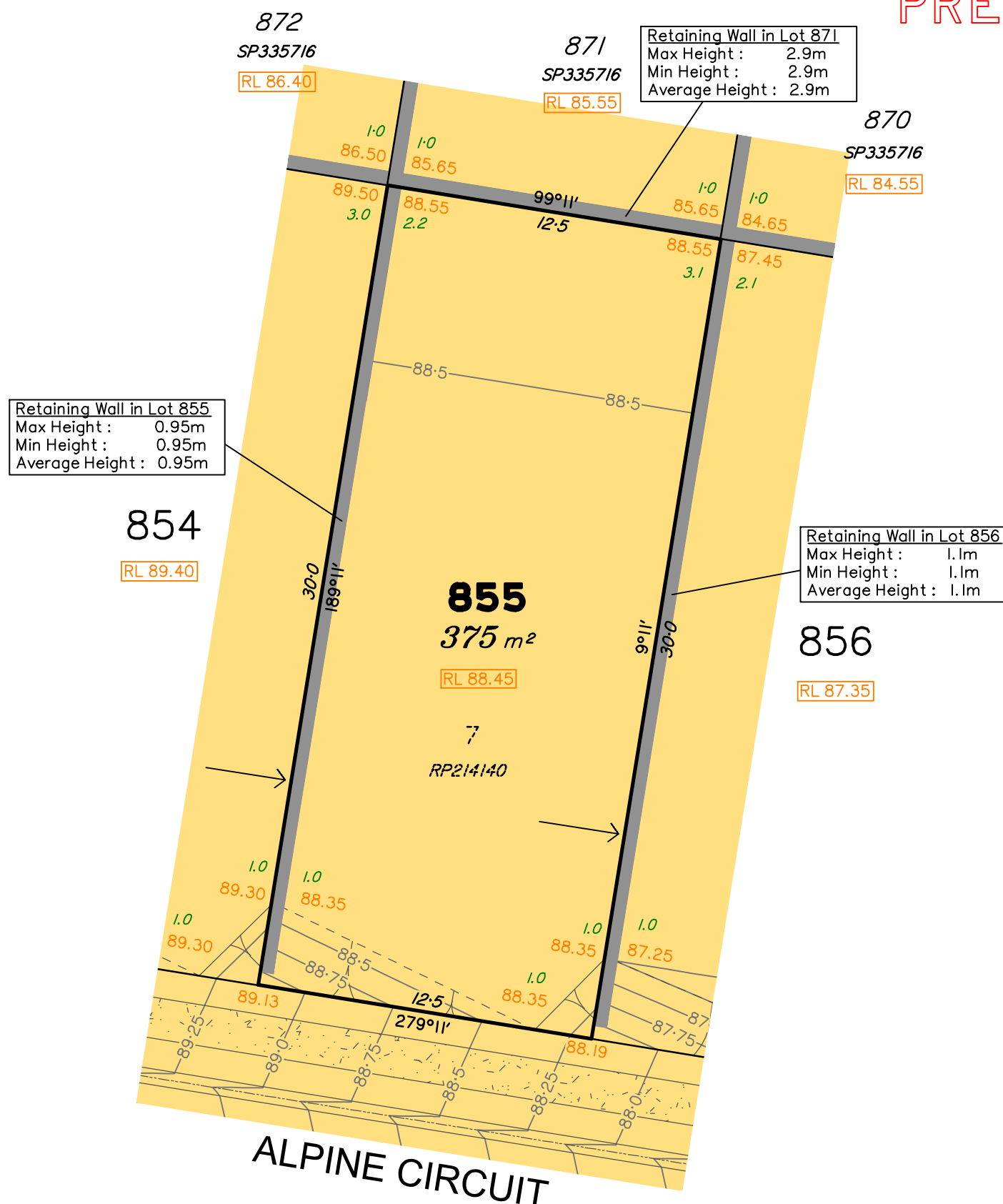
LEGEND



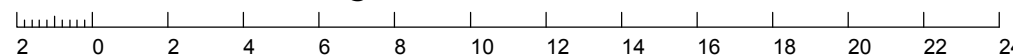
Optional Built to Boundary Wall

NOTES

Lot 855 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.



SCALE @ A3 1:200 - LENGTHS ARE IN METRES



EDEN'S
CROSSING
STAGE 17

PEET

	No.	by	Date	Chkd	Description
Issues	A	TBG	04.03.24	PS	Original Issue



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane ■ Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 5HG web www.saundershavill.com

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Disclosure Plan for Proposed Lot 855 (Restricted) on SP335717

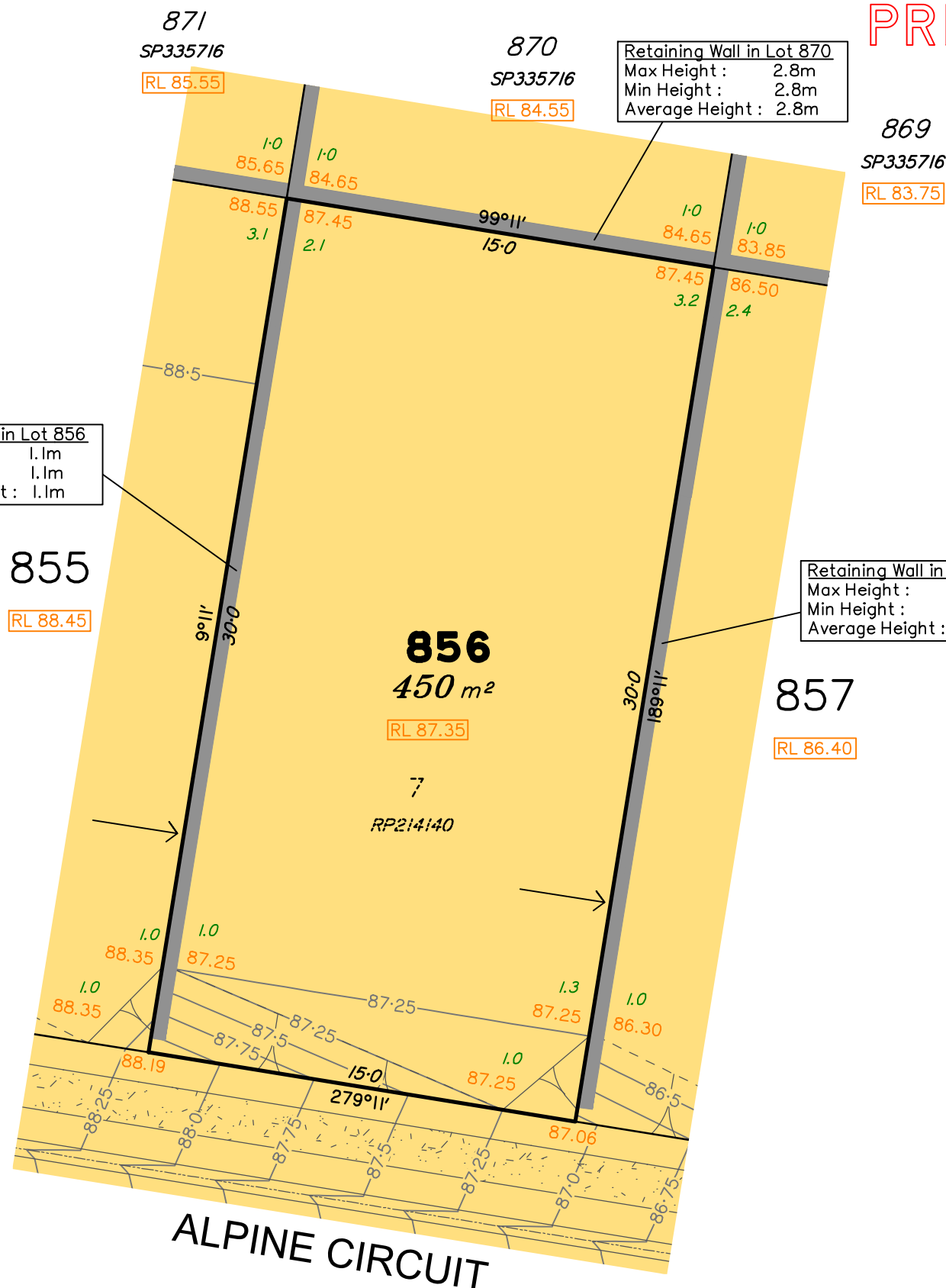
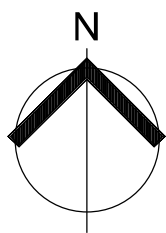
Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m











Scale @A3 1: 200

Plan No. 9112 S 40 DP A_855



PRELIMINARY

LEGEND

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Toe of Batter
	Retaining Wall
	Preferred Earthworks Pad Level
	Finished Surface Design Level
	Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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(Application No: 2098/2015/MAMC/D).
For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

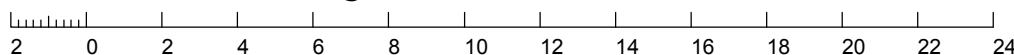
A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 856 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

EDEN'S CROSSING

STAGE 17

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 856 (Restricted) on SP335717

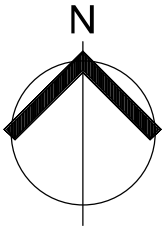
Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A 85

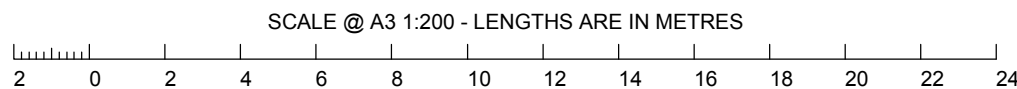
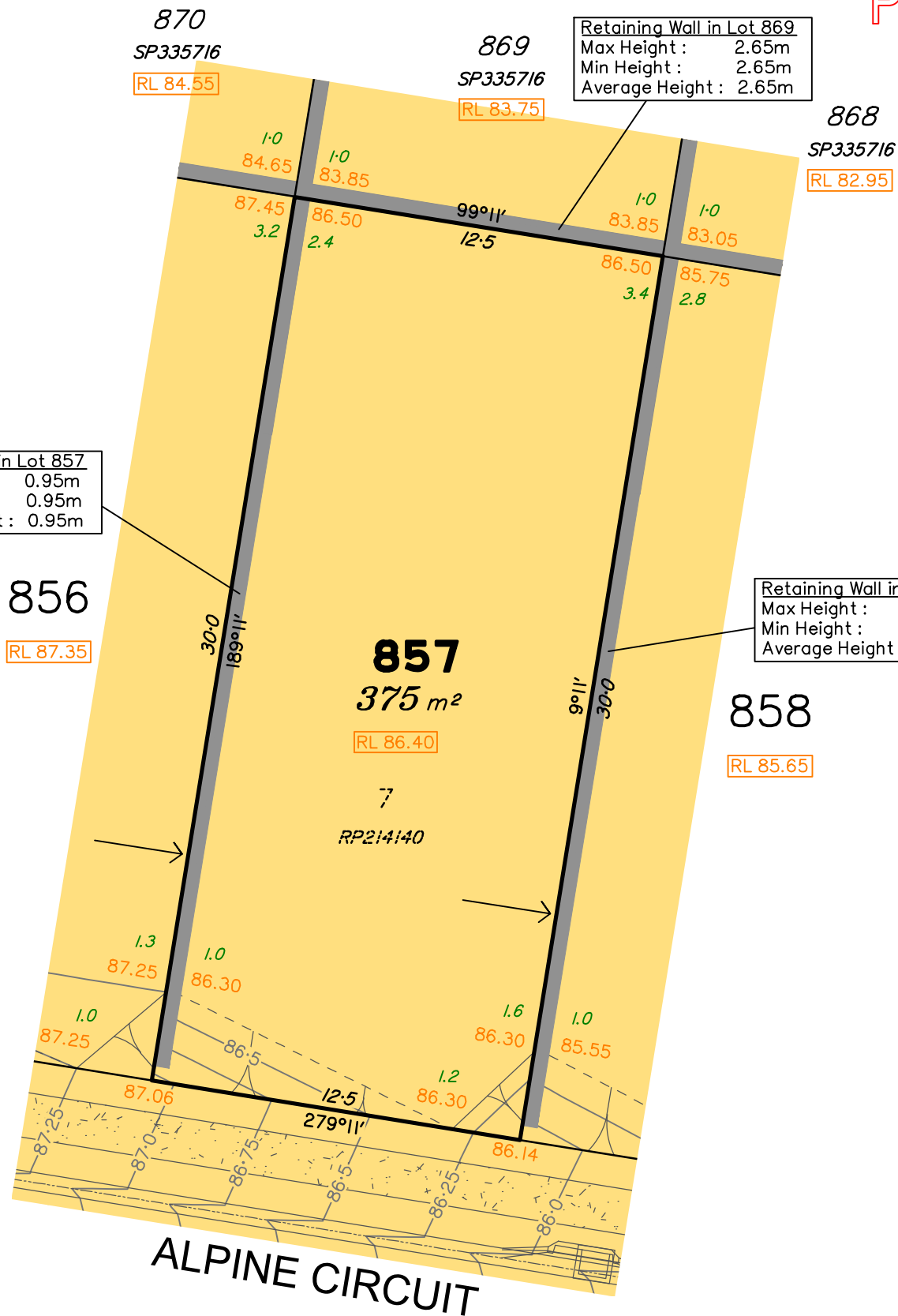


EDEN'S
CROSSING
STAGE 17



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PRELIMINARY

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 857 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

No.	by	Date	Chkd	Description
A	TBG	04.03.24	PS	Original Issue

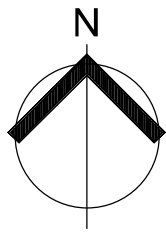
Disclosure Plan for Proposed Lot 857 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_857

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**EDEN'S
CROSSING**
STAGE 17



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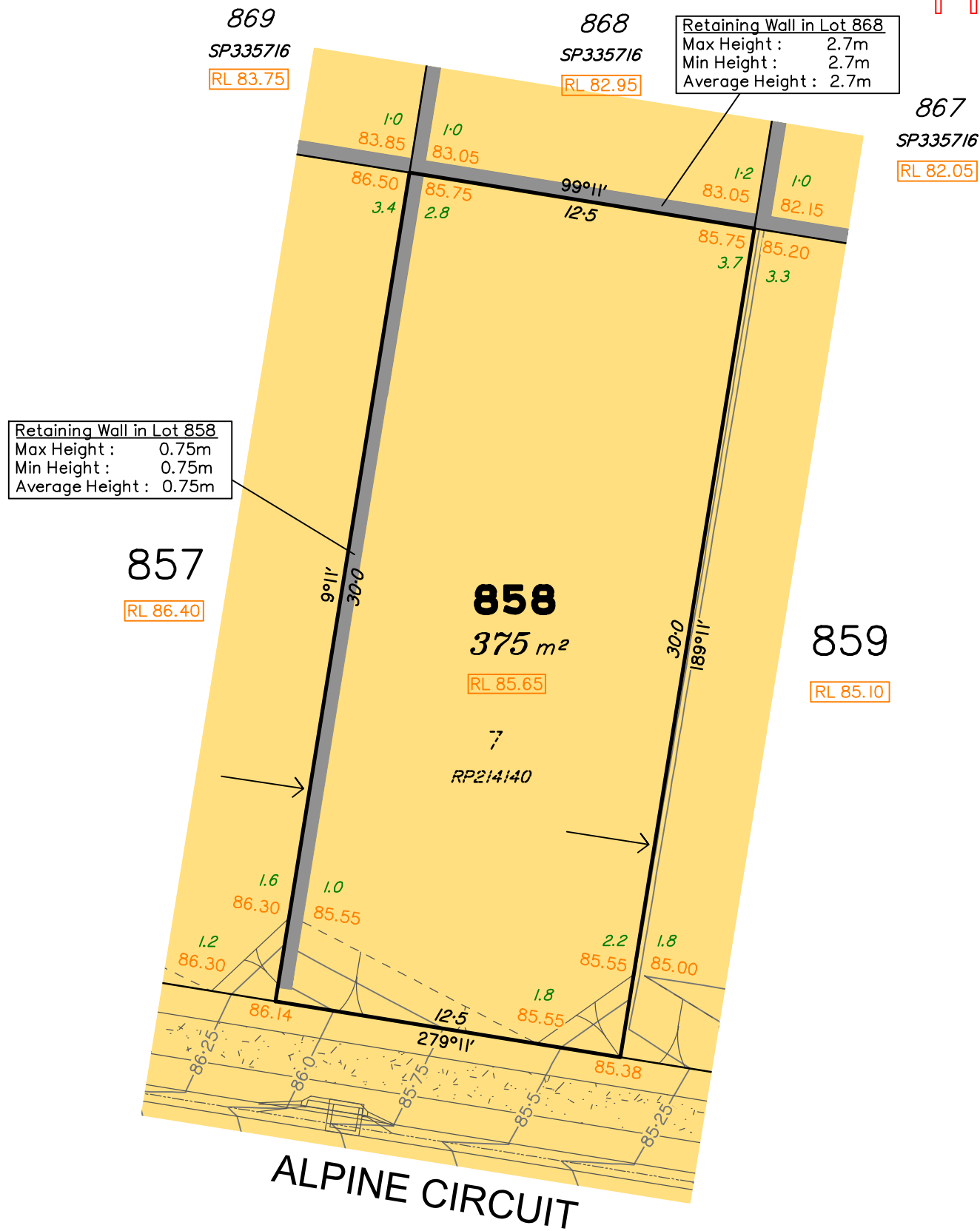
Disclosure Plan for Proposed Lot 858 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_858

PRELIMINARY



Retaining Wall in Lot 858
Max Height : 0.75m
Min Height : 0.75m
Average Height : 0.75m

Retaining Wall in Lot 868
Max Height : 2.7m
Min Height : 2.7m
Average Height : 2.7m

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022.
(Application No: 2098/2015/MAMC/D).
For updates to this approval visit www.ipswich.qld.gov.au

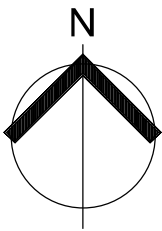
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 858 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue



EDEN'S
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STAGE 17



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Disclosure Plan for Proposed Lot 859 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_859

PRELIMINARY



SCALE @ A3 1:200 - LENGTHS ARE IN METRES

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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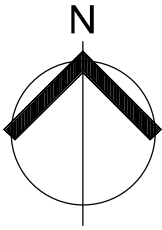
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 859 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue



**EDEN'S
CROSSING**
STAGE 17



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Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane ■ Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

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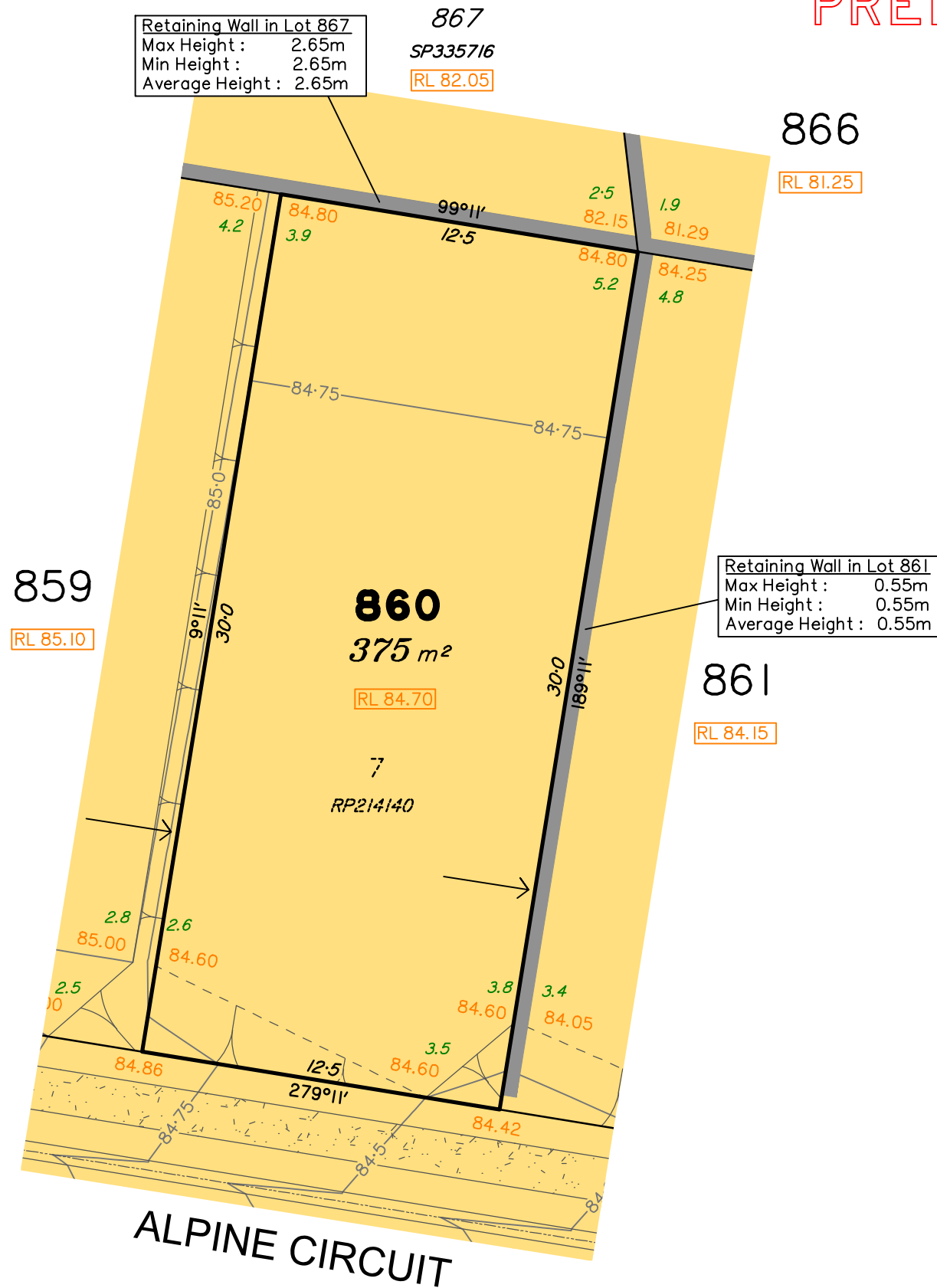
Disclosure Plan for Proposed Lot 860 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_860

PRELIMINARY



Retaining Wall in Lot 867
Max Height : 2.65m
Min Height : 2.65m
Average Height : 2.65m

867
SP335716
RL 82.05

866
RL 81.25

Retaining Wall in Lot 861
Max Height : 0.55m
Min Height : 0.55m
Average Height : 0.55m

861
RL 84.15

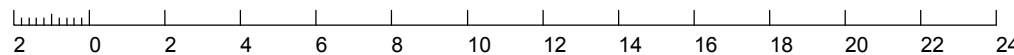
859
RL 85.10

860
375 m²
RL 84.70

7
RP214140

ALPINE CIRCUIT

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- 1:2 Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- RL XX.XX Preferred Earthworks Pad Level
- XX.XX Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D). For updates to this approval visit www.ipswich.qld.gov.au

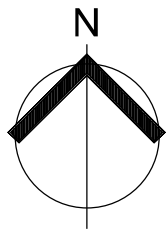
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 860 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue



**EDEN'S
CROSSING**
STAGE 17



■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

Saunders Havill Group Pty Ltd ABN 24 144 972 949
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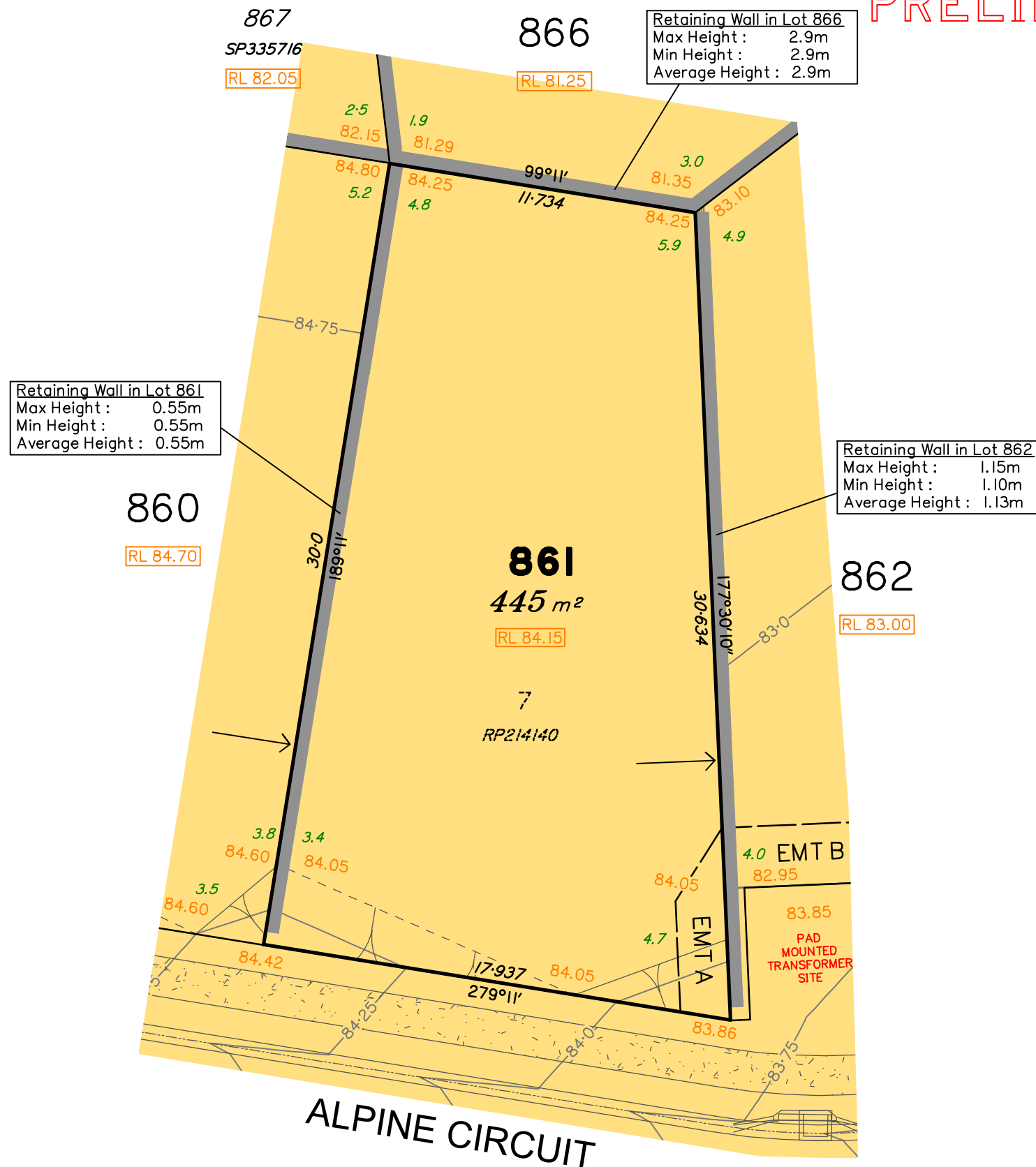
Disclosure Plan for Proposed Lot 861 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_861

PRELIMINARY



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The relevant authorities have granted operational works approval for this lot.

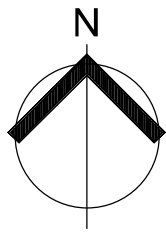
A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 861 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

Lot 861 contains Easement A on SP335717 for services benefiting Energex.

PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue



Retaining Wall in Lot 866
Max Height : 1.75m
Min Height : 1.75m
Average Height : 1.75m

Retaining Wall in Lot 862
Max Height : 1.15m
Min Height : 1.10m
Average Height : 1.13m

EDEN'S
CROSSING
STAGE 17



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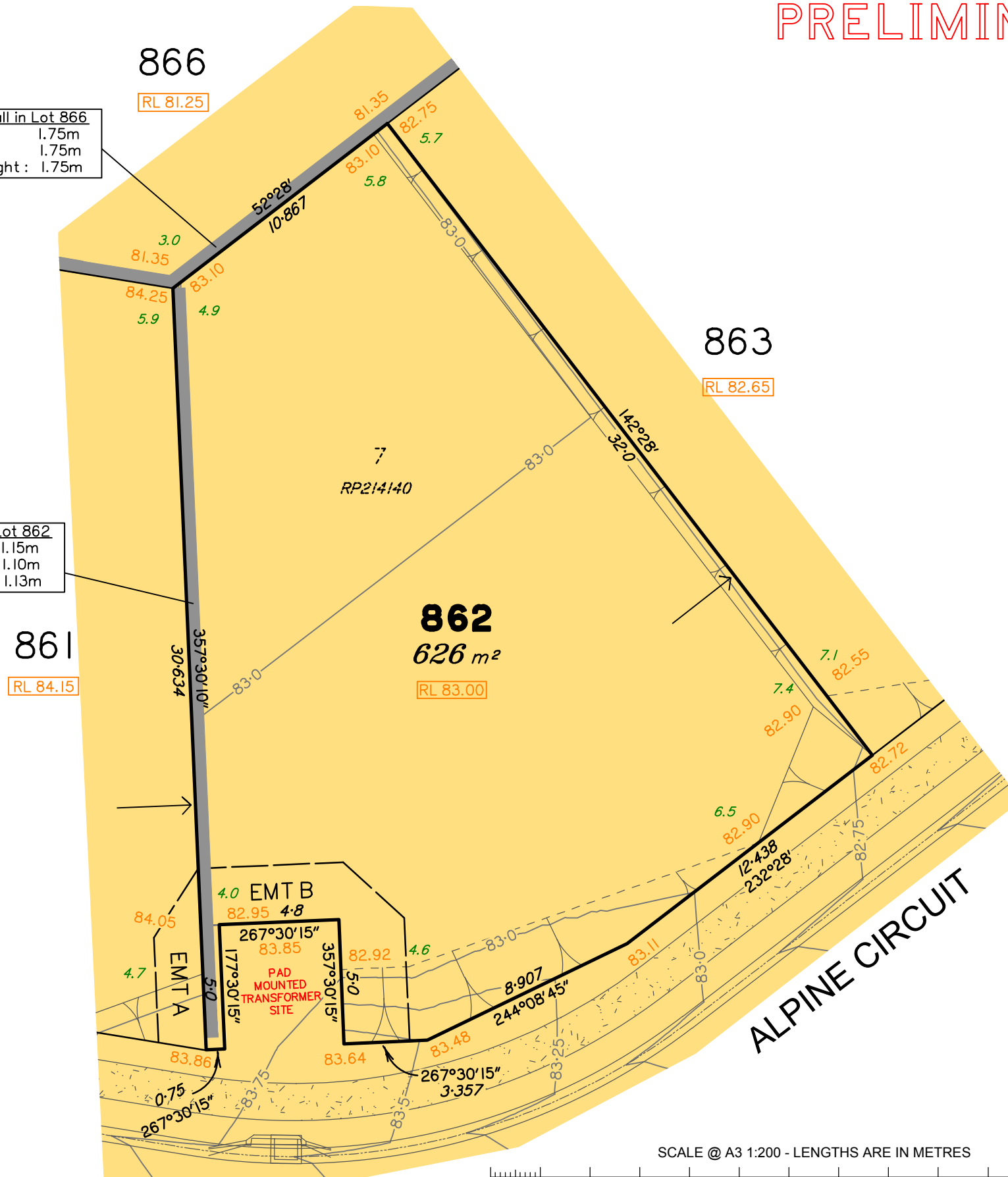
Disclosure Plan for Proposed Lot 862 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_862

PRELIMINARY



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- 1:2 Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The relevant authorities have granted operational works approval for this lot.

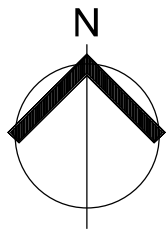
A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 862 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

Lot 862 contains Easement B on SP335717 for services benefiting Energex.

PEET

No.	by	Date	Chkd	Description
A	TBG	04.03.24	PS	Original Issue



Retaining Wall in Lot 866
Max Height : 1.4m
Min Height : 1.4m
Average Height : 1.4m

Retaining Wall in Lot 865
Max Height : 2.4m
Min Height : 2.4m
Average Height : 2.4m

Retaining Wall in Lot 864
Max Height : 1.1m
Min Height : 1.1m
Average Height : 1.1m

PRELIMINARY

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

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NOTES

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The relevant authorities have granted operational works approval for this lot.

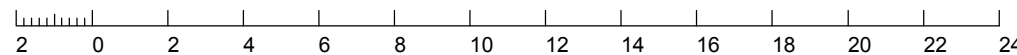
A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 863 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

EDEN'S
CROSSING
STAGE 17

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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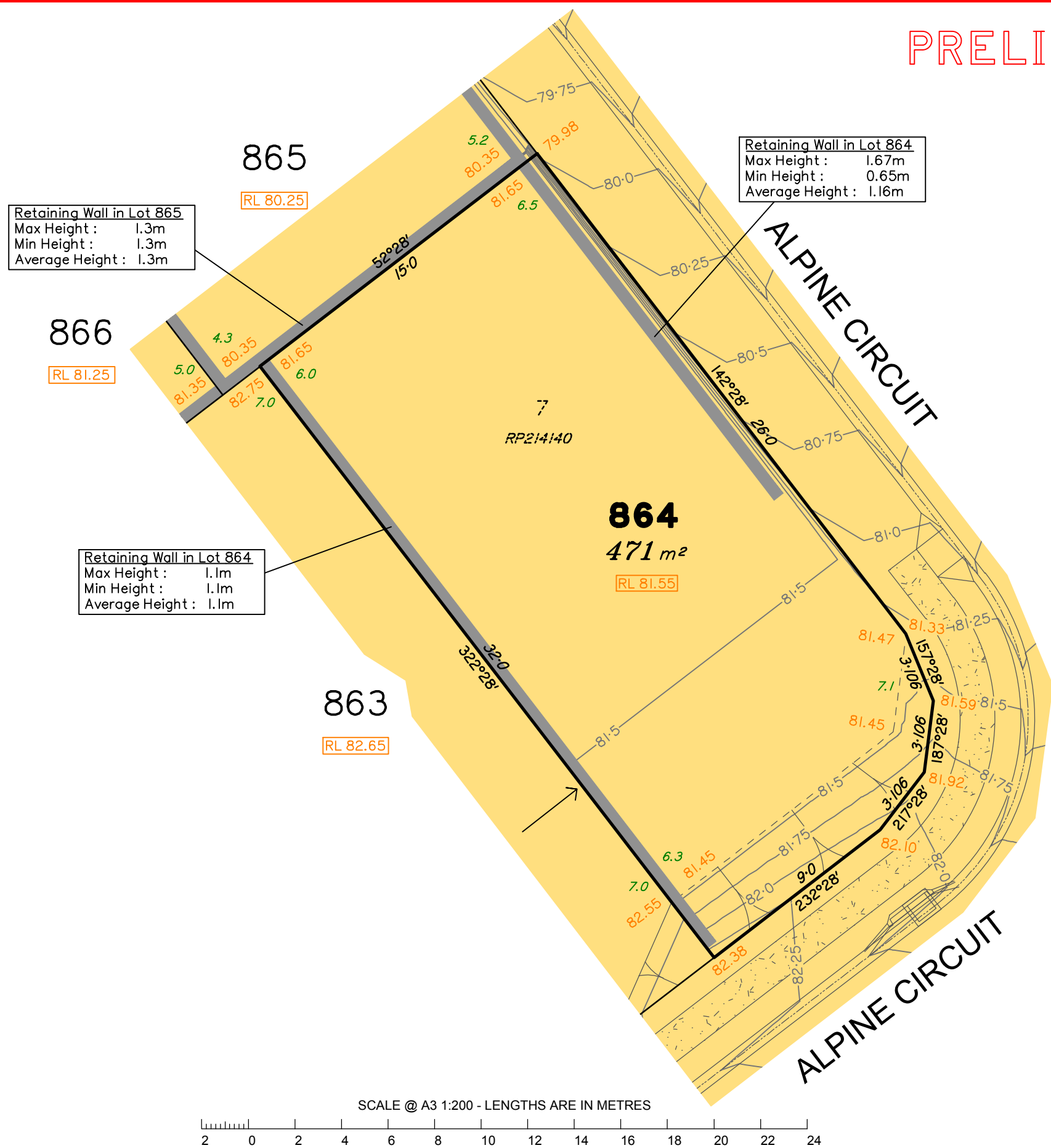
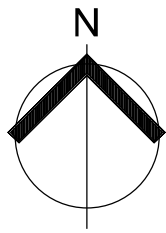
Disclosure Plan for Proposed Lot 863 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_863

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue



PRELIMINARY

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

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NOTES

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The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 864 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

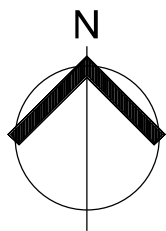
Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue

EDEN'S CROSSING
STAGE 17

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Disclosure Plan for Proposed Lot 864 (Restricted) on SP335717
Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_864



PRELIMINARY

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

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NOTES

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The relevant authorities have granted operational works approval for this lot.

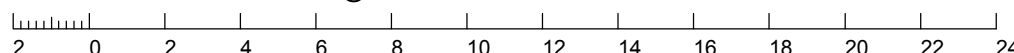
A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 865 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

EDEN'S CROSSING
STAGE 17

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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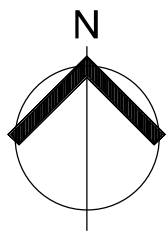
Disclosure Plan for Proposed Lot 865 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_865

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue



EDEN'S CROSSING

STAGE 17

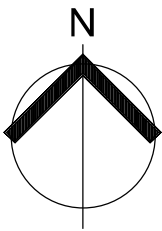


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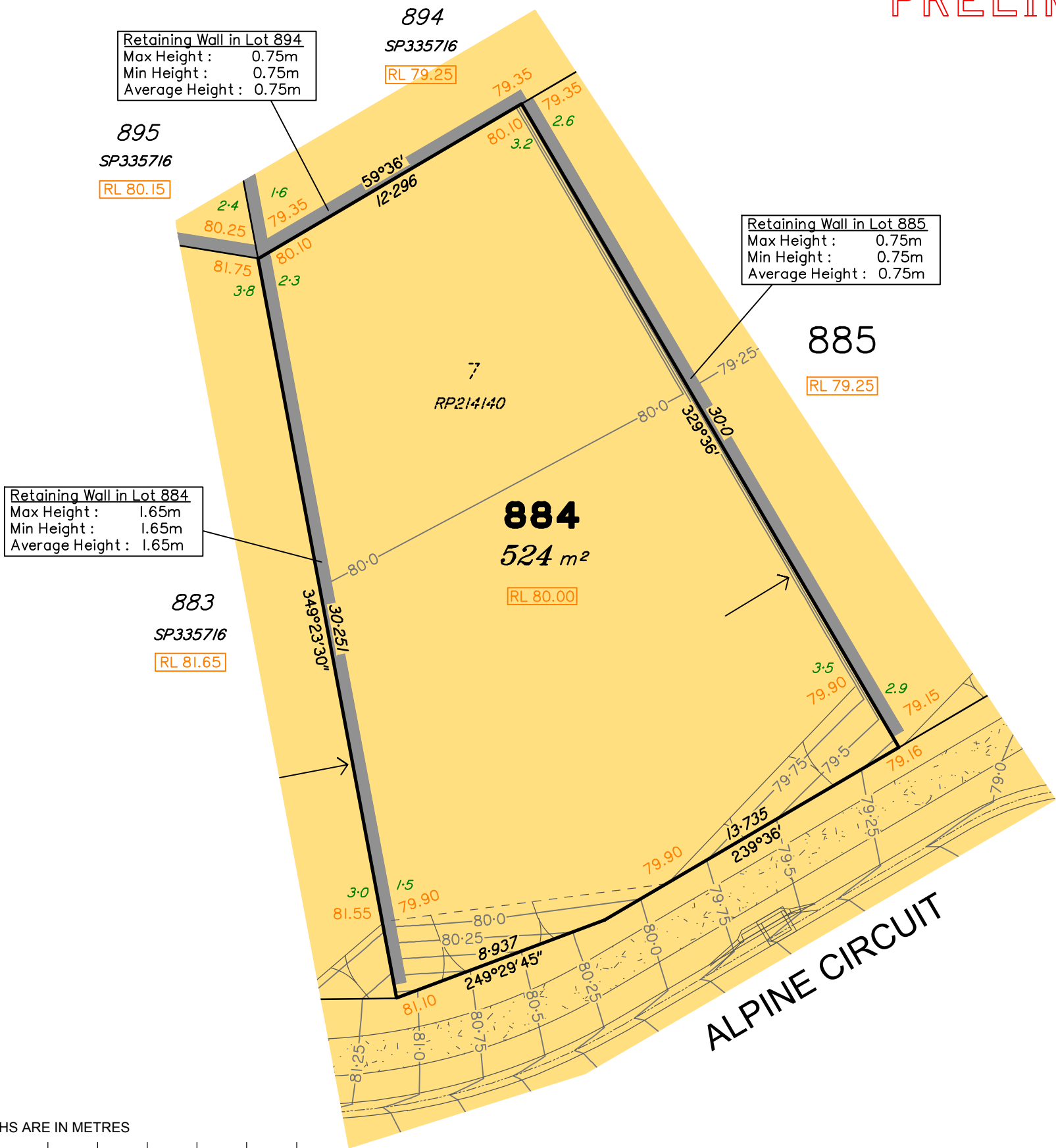
PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A 86



PRELIMINARY



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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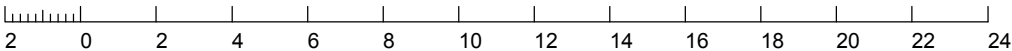
Lot 884 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

No.	by	Date	Chkd	Description
A	TBG	04.03.24	PS	Original Issue

EDEN'S
CROSSING
STAGE 17

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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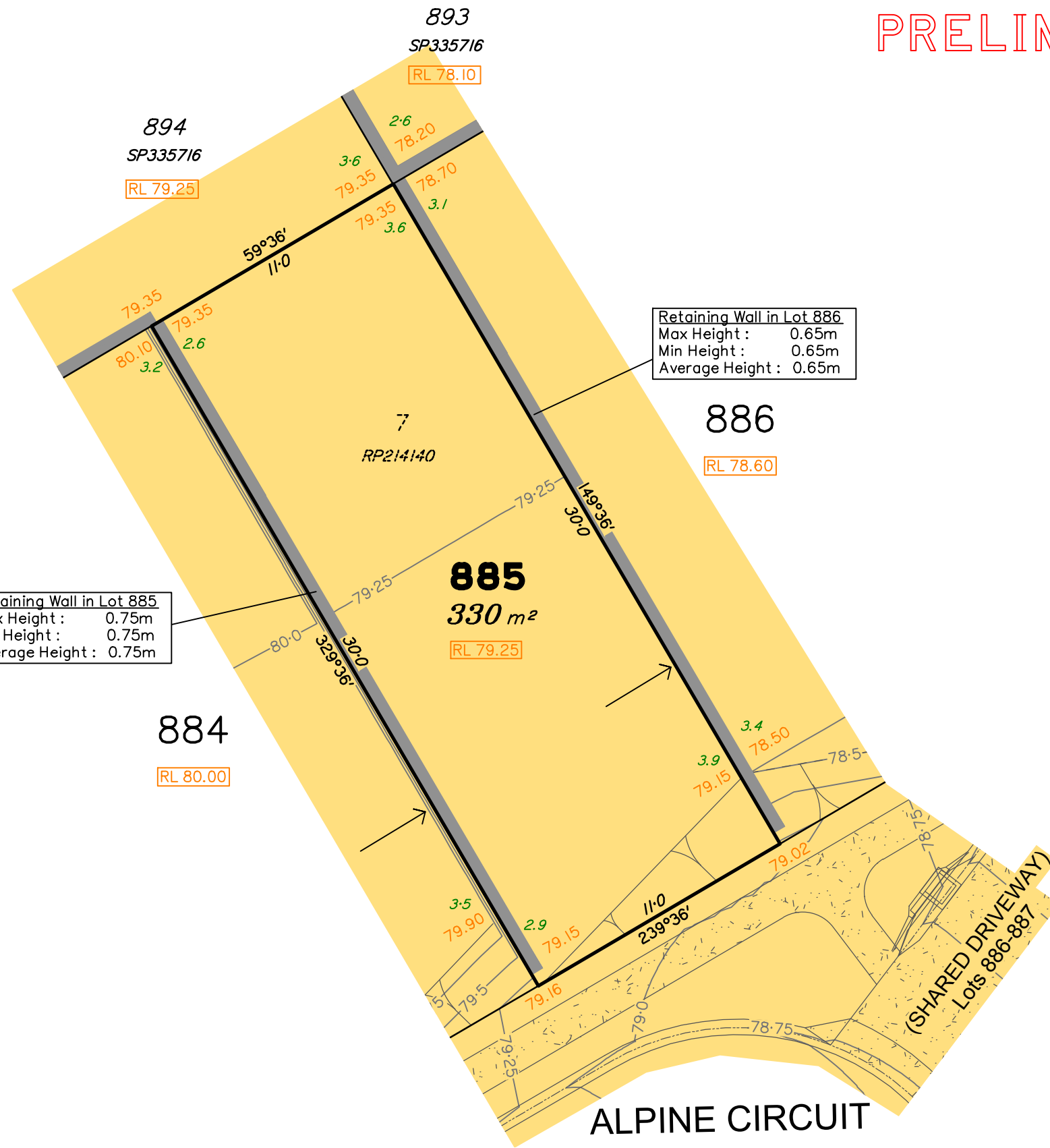
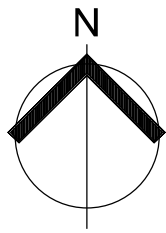
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Disclosure Plan for Proposed Lot 884 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_884



PRELIMINARY

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

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NOTES

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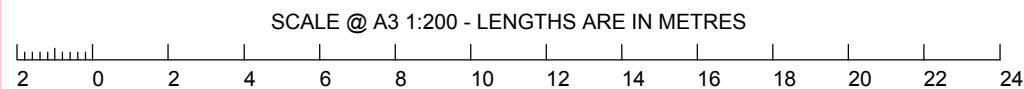
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 885 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

EDEN'S CROSSING
STAGE 17

PEET

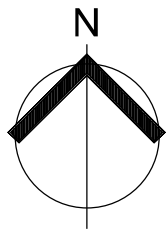


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Disclosure Plan for Proposed Lot 885 (Restricted) on SP335717
Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_885

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue



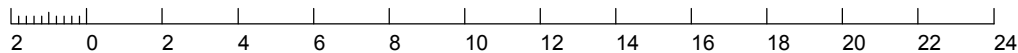
Retaining Wall in Lot 893
Max Height : 0.5m
Min Height : 0.5m
Average Height : 0.5m

Retaining Wall in Lot 887
Max Height : 1.0m
Min Height : 1.0m
Average Height : 1.0m

Retaining Wall in Lot 886
Max Height : 0.65m
Min Height : 0.65m
Average Height : 0.65m

EDEN'S
CROSSING
STAGE 17

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 886 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_886

PRELIMINARY

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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For updates to this approval visit www.ipswich.qld.gov.au

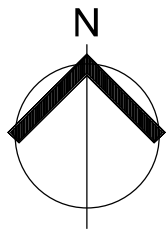
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 886 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue



Retaining Wall in Lot 892
Max Height : 0.7m
Min Height : 0.7m
Average Height : 0.7m

Retaining Wall in Lot 890
Max Height : 2.40m
Min Height : 2.36m
Average Height : 2.38m

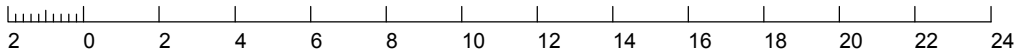
Retaining Wall in Lot 889
Max Height : 1.86m
Min Height : 1.78m
Average Height : 1.82m

Retaining Wall in Lot 888
Max Height : 1.28m
Min Height : 1.20m
Average Height : 1.24m

Retaining Wall in Lot 887
Max Height : 1.0m
Min Height : 1.0m
Average Height : 1.0m

EDEN'S
CROSSING
STAGE 17

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 887 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203676
RL of Origin: 74.071
Contour Interval: 0.25m
Scale @A3 1: 200
Plan No. 9112 S 40 DP A_887

PRELIMINARY

LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D). For updates to this approval visit www.ipswich.qld.gov.au

The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 887 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Chkd	Description
	A	TBG	04.03.24	PS	Original Issue