

Detailed Area Plan Provisions - Residential Development

THE AVENUE STAGE 2 - DETAILED AREA PLAN PROVISIONS

This Detailed Area Plan (DAP) is made pursuant to Clause 4.4 of the Metropolitan Redevelopment Authority (MRA) Wungong Urban Water Redevelopment Scheme 2007 (the Scheme), and provides variations to the acceptable development provisions of the Scheme and associated Policies as shown on the plan and detailed below. The requirements of the Scheme and the Zone Development Policy - Residential Zones (ZDP) shall be satisfied in all other matters.

ZONING

1 All lots subject of this DAP are zoned 'Suburban'

BOUNDARY FENCING - LOTS 1-7, 40, 83-91 & 205

- Fencing installed by the developer is not to be removed or altered by the landowners
- Side boundary fencing between the Public Open Space and Lots 40 & 205 is to be
 - No higher than 1.5m;
 - Visually permeable above a height of 1m; and
 - With pier supports not higher than 1.6m.
- Front boundary fencing between Lots 83-91 and the Public Open Space is to be
 - Measured from the finished site level of the adjacent Public Open Space;
 - No higher than 1.5m;
 - Visually permeable above a height of 1m;
 - With pier supports not higher than 1.6m; and
 - Extended a minimum of 3m alongside the boundary facing the road for Lots 83 and 91

- Rear boundary fencing for Lots 2-7 and 205 is to be a height of 2m and double sheeted to meet minimum noise amelioration requirements
- Rear and north boundary fencing for Lot 1 is to be a height of 2.4m and double sheeted to meet minimum noise amelioration requirements

POS INTERFACE

- All dwelling walls abutting or overlooking Public Open Space shall have at least one major opening fronting the Public Open Space
- A balcony overlooking the Public Open Space is encouraged

FRONT LOADED LOTS WITH A WIDTH OF 10 METRES - LOTS 9, 11, 17, 19, 25, 27, 33, 35, 42, 44 & 53

Boundary Setbacks

- Walls not higher than 3.5m for up to two thirds the length of the boundary are permitted to both side boundaries.

Double Garages

- Double garages are permitted to exceed 50% up to a maximum of 60% (including supporting structures) of the primary lot frontage subject to the following criteria being met
 - Suitable articulation of the front façade to assist in reducing the dominant appearance of the garage from the primary street; and
 - Articulation elements should be included (but are not limited to) at least one of the following
 - Porch;
 - Front verandah;
 - Portico;
 - Front feature walls;
 - Feature windows; and
 - Awnings
 - Garages shall be setback a minimum of 1m behind the dwelling alignment

LANEWAY LOTS - LOTS 83-91 UTICA LANE

Front Setback

- Minimum 50% of dwelling frontage to be within a 1.5m minimum and 3m maximum setback, with a major opening
- Minor incursion to a minimum of 1m into the setback is permitted to allow inclusion of articulation elements
 - Porch;
 - Front verandah;
 - Portico;
 - Front feature walls;
 - Roofline;
 - Feature windows; and
 - Awnings

- Pedestrian access to Public Open Space is required

Boundary Setback

- Variations to wall height, including double storey development, may be considered through MRA development approval processes

Laneway Streetscape

- Suitable articulation of roofline and façade to assist in reducing the dominant appearance of garages shall be provided
- Bin storage to be shown on development plans

Second Storey

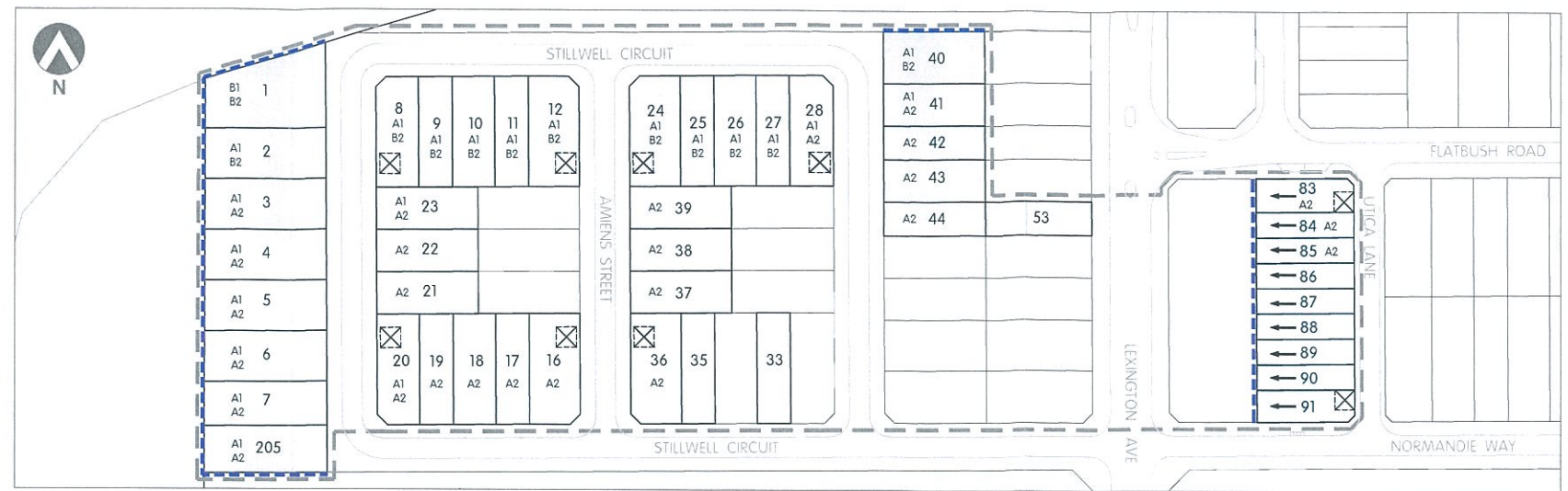
- Double storey development is encouraged, however, any development on the second storey should not compromise solar access and privacy of neighbouring lots
- Minimum 3m front setback

Outdoor Living Area

- Outdoor living area dimensions permitted to be reduced to 3.5m where the overall required minimum area is achieved

LOTS SUBJECT TO NOISE ATTENUATION PROVISIONS - LOTS 1-12, 16-28, 33, 35-44, 83-85 & 205

- Dwellings on these lots are to be designed to comply with quiet house design guidelines and Noise Attenuation Provisions as displayed on this DAP
- All Development Applications are to clearly indicate compliance with the Noise Attenuation Provisions based on this DAP
- Any variations to the Noise Attenuation Provisions Façade Package may be considered subject to a report based on the proposed plans being undertaken by a suitably qualified acoustic consultant (Association of Australian Acoustical Consultants) that demonstrates
 - Acceptable indoor noise levels in noise-sensitive areas being achieved; and
 - A 'reasonable' degree of acoustic amenity in at least one outdoor living area on each residential lot being achieved

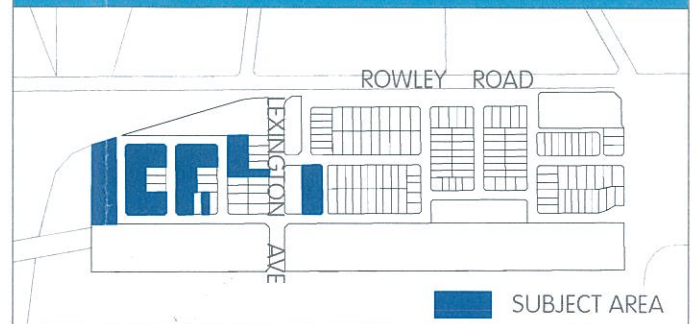


Noise Attenuation Provisions:

As per 'State Planning Policy 5.4: Road and Rail Transport Noise and Freight Considerations in Land Use Planning,' lots in close proximity to Rowley Road and Tonkin Highway (as indicated on the DAP with A or B) may be affected by unreasonable levels of transport noise. Dwellings on these lots are to be designed to comply with quiet house design guidelines and Noise Attenuation Provisions as displayed on this DAP.

Area Type	Orientation	Measure	Façade Package	
			A1/ A2	B1/ B2
Bedrooms	Facing Road	Laminated Glazing	6mm (min)	10mm (min)
		Fixed casement or awning windows with seals	Y	Y
		No external doors	Y	Y
		Closed eaves	Y	Y
		No vents to outside walls/ eaves	Y	Y
		Mechanical ventilation/ air-conditioning	Y	Y
Side-on to Road	Side-on to Road	Laminated Glazing	6mm (min)	10mm (min)
		Closed eaves	Y	Y
		Mechanical ventilation/ air-conditioning	Y	Y
Living and Work Areas (Any habitable room other than a bedroom)	Facing Road	Laminated Glazing	6mm (min)	10mm (min)
		Fixed casement or awning windows with seals	Y	Y
		Solid core external doors with acoustic seals	35mm (min)	40mm (min)
		Sliding doors must be fitted with acoustic seals	Y	Y
		Closed eaves	Y	Y
		No vents to outside walls/ eaves	Y	Y
Side-on to road	Side-on to road	Laminated glazing	6mm (min)	6mm (min)
		Closed eaves	Y	Y
		Mechanical ventilation/ air-conditioning	Y	Y

Location Plan



Legend

- Subject Lots
- Proposed Lot Boundary
- Stage 2 / DAP Application Area
- Developer Fencing
- Mandatory Garage Location
- A1 / B1 Noise Attenuation Treatments for Ground Floor Lots
- A2/ B2 Noise Attenuation Treatments for Upper Floor Lots
- Primary Dwelling Frontage

This Detailed Area Plan has been approved by the Metropolitan Redevelopment Authority in accordance with part 4.4 of the Wungong Urban Water Redevelopment Scheme

[Signature]
 Chief Executive Officer
 Metropolitan Redevelopment Authority

14 October 2015
 Date

MRA-04420
 Ref



robertsday.com.au planning-design-place

SIZE A3
 1:2000
 0 metres 20 40 60 80 100

CAUDASTRAL INFORMATION
 SOURCE: WHELANS
 YYMMDD
 DWG REF
 PROJECTION: PCG 94

REV	DESCRIPTION	DATE	BY	CHKD	APPD
L	PROVISIONS NOTES, FENCING	150817	RF	AM	
K	GARAGE AND TEXT MODS	150810	RF	AM	
J	MANDATORY GARAGE AND TEXT	150721	RF	AM	
I	VARIOUS TEXT & TABLE MODS	150717	RF	AM	
H	TEXT MODS	150708	RF	AM	
G	ADDITIONAL LOTS ADDED	150616	RF	AM	
F	UPDATED TEXT, SETBACKS	150615	RF	AM	
REV	DESCRIPTION	YYMMDD	DRAWN	APPD	

STAGE 2 THE AVENUE - DETAILED AREA PLAN
 Lots 1-12, 16-28, 33, 35-44, 53, 83-91 & 205 Oakford
 City of Armadale

REF NO. PEE OAK
 DRAW NO. RD1 402
 REV. L