

**Detailed Area Plan Provisions - Residential Development**

**DETAILED AREA PLAN - Lots 54-73, 108, 110, 112, 114, 117-121, 136-137 & 139-145**

This Detailed Area Plan is made pursuant to Clause 4.4 of the Metropolitan Redevelopment Authority (MRA) Wungong Urban Water Redevelopment Scheme 2007 (the Scheme) and provides variations to the acceptable development provisions of the Scheme and associated policies as shown on the plan and detailed below. The requirements of the Scheme and the Zone Development Policy - Residential Zones (ZDP) shall be satisfied in all other matters.

Consultation with adjoining or other landowners to achieve a variation to the Scheme and associated policies in accordance with the approved Detailed Area Plan is not required.

Lots 54-73, 108, 110, 112, 114, 117-121, 136-137 & 139-145 are identified as 'Suburban.'

**Public Open Space Interface:**

- Side boundary fencing between Lot 57 and the Public Open Space is required to be installed by the developer and is not to be altered by landowners. Fencing is to be:
  - no higher than 1.5m;
  - visually permeable above a height of 1.0m; and
  - with pier supports not higher than 1.6m.
- All dwelling walls abutting or overlooking Public Open Space shall have at least one major opening fronting the Public Open Space. A balcony overlooking the Public Open Space is encouraged.

**LOTS WITH A WIDTH OF 10 METRES - Lots 55, 58-64, 108, 110, 112, 114, 136-137 & 139-140**

**Setbacks:**

- Walls not higher than 3.5m for up to two thirds the length of the boundary are permitted to both side boundaries, excluding the secondary street setback for Lots 58 to 64.

**Double Garages:**

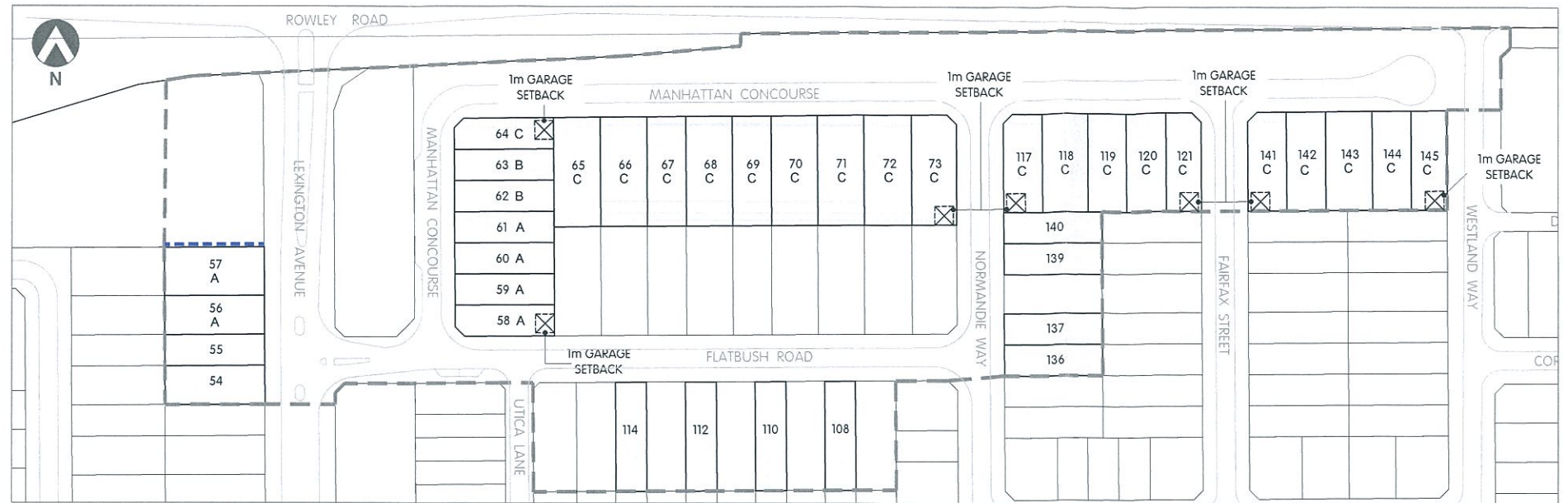
- Double garages are permitted to exceed 50% up to a maximum of 60% (including supporting structures) of the lot frontage subject to the following criteria being met:
  - Suitable articulation of the front façade to assist in reducing the dominant appearance of the garage from the primary street; and
  - Articulation elements should include (but are not limited to) at least one of the following:
    - porch;
    - front verandah;
    - portico;
    - front feature walls;
    - feature windows;
    - awnings.
  - Garages shall be setback a minimum of 1.0 metre behind the main building line (frontage).

**Single Garages:**

- Single garages shall be setback a minimum of 4.5 metres from the lot frontage to allow for a second car parking space in a tandem configuration.
- Single garages shall be setback a minimum of 0.5 metres behind the main building line.

**LOTS SUBJECT TO NOISE ATTENUATION PROVISIONS - Lots 56-73, 117-121 & 141-145**

- Dwellings on these lots are to be designed to comply with quiet house design guidelines and Noise Attenuation Provisions as displayed on this DAP.
- All Development Applications are to be accompanied with certification from a suitably qualified acoustic consultant (Association of Australian Acoustical Consultants).
- Any variations to the Noise Attenuation Provisions Façade Package may be considered subject to a report based on the proposed plans being undertaken by a suitably qualified acoustic consultant (Association of Australian Acoustical Consultants) that demonstrates:
  - Acceptable indoor noise levels in noise-sensitive areas being achieved; and
  - A 'reasonable' degree of acoustic amenity in at least one outdoor living area on each residential lot being achieved.
- All two-storey dwellings must be supported by an acoustic report based upon the proposed plans.

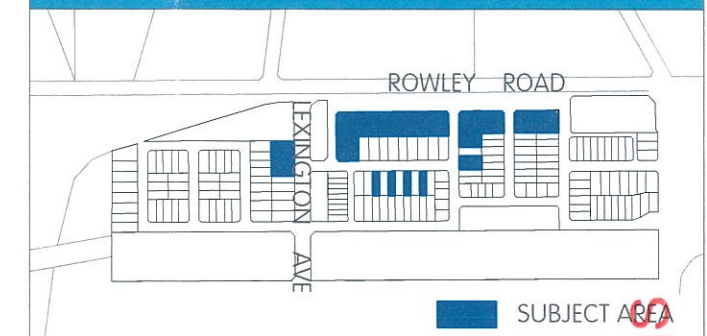


**Noise Attenuation Provisions:**

As per 'State Planning Policy 5.4: Road and Rail Transport Noise and Freight Considerations in Land Use Planning,' lots in close proximity to Rowley Road (as indicated on the DAP with A, B, C) may be affected by unreasonable levels of transport noise.

Area Type	Orientation	Measure	Façade Package		
			A	B	C
Bedrooms	Facing Road	Laminated Glazing	6mm (min)	10mm (min)	10.5mm (min) VLam Hush
		Fixed casement or awning windows with seals	✓	✓	✓
		No external doors	✓	✓	✓
		Closed eaves	✓	✓	✓
		No vents to outside walls/eaves	✓	✓	✓
		Mechanical ventilation/airconditioning	✓	✓	✓
Side on to Road	Side on to Road	Laminated Glazing	6mm (min)	10mm (min)	10.5mm (min) VLam Hush
		Closed eaves	✓	✓	✓
		Mechanical ventilation/air conditioning	✓	✓	✓
Living and Work Areas (Any habitable room other than a bedroom)	Facing Road	Laminated Glazing	6mm (min)	10mm (min)	10.5mm (min) VLam Hush
		Fixed casement or awning windows with seals	✓	✓	✓
		Solid core external doors with acoustic seals	35mm (min)	40mm (min)	40mm (min)
		Sliding doors must be fitted with acoustic seals	✓	✓	✓
		Closed eaves	✓	✓	✓
		No vents to outside walls/eaves	✓	✓	✓
Side-on to Road	Side-on to Road	Laminated glazing	6mm (min)	6mm (min)	10mm (min)
		Closed eaves	✓	✓	✓
		Mechanical ventilation/airconditioning	✓	✓	✓

**Location Plan**



**Legend**

- Subject Lots
- Proposed Lot Boundary
- Stage 1 / DAP Application Area
- Developer Fencing
- Preferred Garage Location

This Detailed Area Plan has been approved by the Metropolitan Redevelopment Authority in accordance with part 4.4 of the Wungong Urban Water Redevelopment Scheme

*[Signature]*  
 Chief Executive Officer  
 Metropolitan Redevelopment Authority  
 10 November 2014  
 Date Ref

**REVISED PLANS**

**RECEIVED**  
 METROPOLITAN REDEVELOPMENT AUTHORITY  
 12 SEP 2014

DATE



robertsday.com.au planning.design.place



**CADASTRAL INFORMATION**  
 SOURCE: WHELANS  
 YMMDD  
 DWG REF  
 PROJECTION: PCG 94

K	TEXT MODS	140911	RF	AM
J	1m SETBACK	140903	RF	AM
I	PROVISION MODS	140807	RF	AM
H	VARIOUS MODS	140722	RF	AM
G	REVISION	140508	MI	AM
E				
D	AMENDMENTS	140507	RF	AM
REV	DESCRIPTION	YMMDD	DRAWN	APPR'D

**DETAILED AREA PLAN**  
**Lots 54-73, 108, 110, 112, 114, 117-121, 136-137 & 139-145 Oakford**  
 City of Armadale

REF NO. **PEE OAK** DRAW NO. **RD1 401** REV. **K**