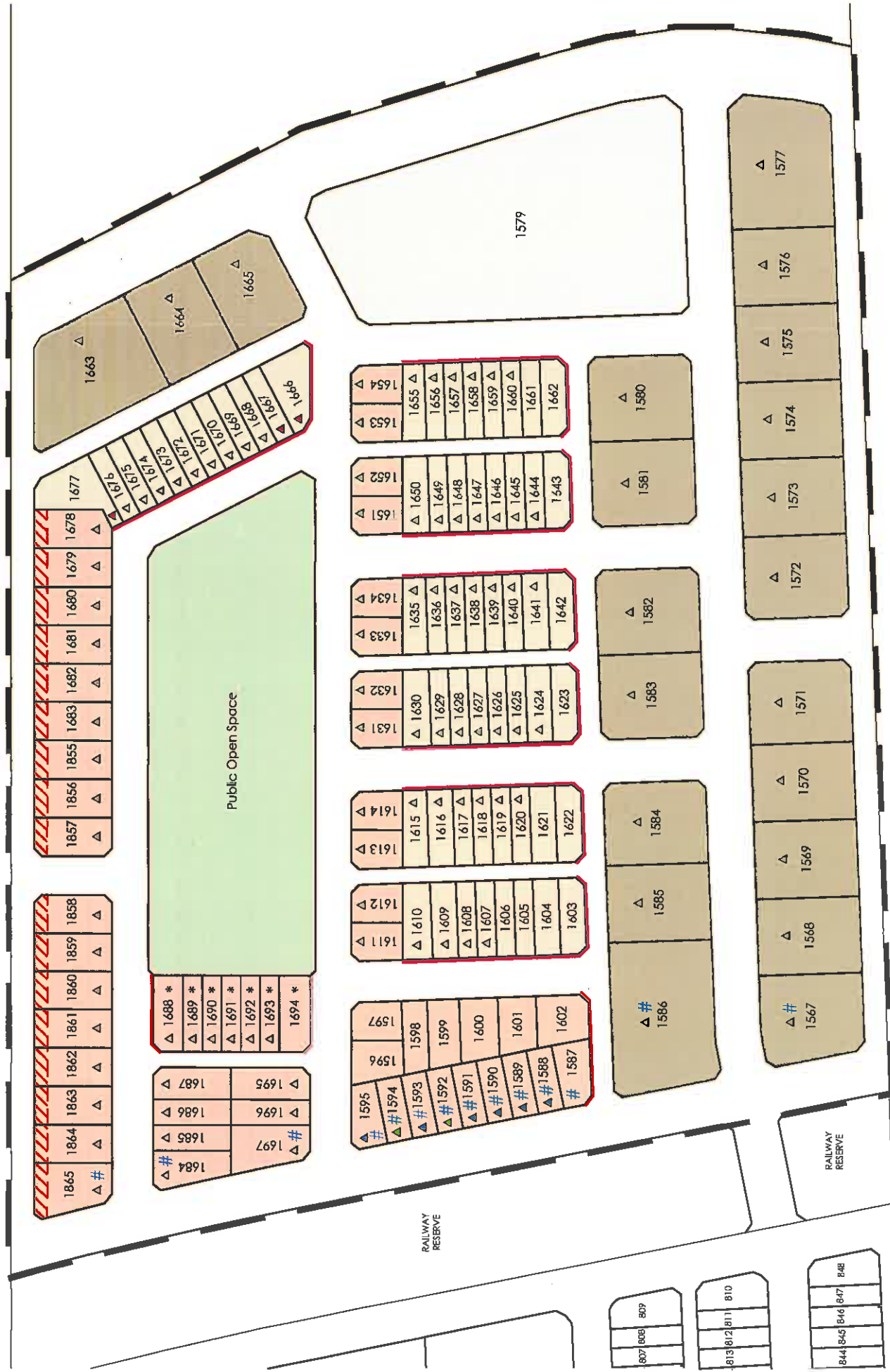


shorehaven

ALKIMOS



LEGEND

- Subject Area
- No Vehicular Access
- Future Active Interface (5m)
refer, provision 1.2
- Noise Amelioration
refer, provision 1.3
- POS Interface
refer, provision 2.8
- #
- *

Residential / Mixed Use
refer, provision 2

Cottage Business
refer, provision 3

Mixed Use Walkup
refer, provision 4

High Care Facility
refer, provision 5

Bushfire Management
refer, provision 1.4

- BAL 12.5
- BAL 19
- BAL 29



LOCAL DEVELOPMENT PLAN PROVISIONS

- a) The following standards are deemed to meet the relevant Design Principles of the R-Codes and do not require consultation with the adjoining landowners.
- b) Unless provided for below, the provisions of the City of Wanneroo District Planning Scheme No. 2 (DPS 2) and the R-Codes apply.

1. GENERAL PROVISIONS

1.1 Land Use Permissibility

Land use permissibility is as per the Mixed Use zone of DPS 2.

1.2 Future Active Interface

Ultimate development within this area is to provide an active commercial interface with the proposed service commercial area to the north. This interface could include Home Based Business, or other commercial land uses permitted within the Mixed Use Zone.

Any non-residential development proposed within this area shall comply with Provision 2.8.

Any residential development within this area shall be supported by justification as how proposed structures could be removed or converted to meet provision 2.8. Garages are not permitted within this area.

1.3 Noise Amelioration

Quiet house design requirements are applicable to those lots identified on this plan. Details of Quiet House Design Packages are outlined and summarised below on page 3 of this LDP.

| Quiet House Design Requirements | |
|---------------------------------|--|
| Ground Floor Package A | Lot 1547, 1584-1595, 1684, 1697 & 1865 |
| Upper Floor Package A | Lot 1596, 1685, 1695-1696, 1863-1864 |
| Upper Floor Package B | Lot 1557, 1586 |
| Note | Lot 1587-1595, 1684, 1697 & 1865 are restricted to single storey construction. In accordance with the Lloyd George Acoustic Transportation Noise Assessment dated February 2015. |

1.4 Bushfire Management

Construction in accordance with AS3959 is applicable to those lots identified on this plan.

This Local Development Plan has been approved by Council under clause 52(1)(a) of the deemed provisions of District Planning Scheme No.2

Manager Approval Services
City of Wanneroo

Date: 29/11/16

2.8 Non-Residential Development within Future Active Interface
All non-residential development shall provide -

- Direct access to the northern road reserve.
- An elevation, facing the northern road reserve, glazed to a minimum of 60% or 8m² (whichever is lesser) with a visually permeable material.
- No parking is required for non-residential land uses of 30m² or less net leasible area. Parking for non-residential land uses greater than 30m² NLA is to be provided in accordance with DPS 2, and may be provided as on-street parking.
- A nil setback to the northern boundary, with the exception of:
 - areas along the building frontage providing access;
 - variations that improve building articulation as determined by the City; or
 - instances where lot construction (ie. retaining walls) or lot services prevent the required setback from being provided.

3. COTTAGE BUSINESS

- 3.1 Setbacks**
Street Setbacks
A setback of between nil and 1.0m to the street boundary is required, with the exception of:
- areas along the building frontage providing access;
 - variations that improve building articulation as determined by the City; or
 - instances where lot construction (ie. retaining walls) or lot services prevent the required setback from being provided.

- Side Setbacks**
Buildings are required to be built to side boundaries (as viewed from the street), with no maximum length for a wall height of 3.5m or less, with the exception of:
- buildings to secondary streets (not including laneways) as viewed from the street;
 - access provision (or other justification as agreed with the City).

- Boundary walls with a height of 3.5m and above are permitted to both side boundaries (excluding secondary street boundaries with the exception of laneways) subject to a maximum height of 6.5m and maximum length of 12m.
- For any portion of building not viewed from the street and where a side setback is proposed, the following boundary setbacks apply:
- 1.0m minimum setback for walls with a wall height of 3.5m or less without major openings.
 - 1.2m minimum setback for walls with a wall height of 3.5m or less with major openings.
 - Walls with a wall height greater than 3.5m to be setback in accordance with the R-Codes.

- Rear Laneway Setbacks**
Buildings (including garages) are to be setback a minimum of 1.0m from the laneway (6m and 9m laneways).
- 3.2 Streetscape Interaction**
A designated room, with a minimum of 12m² gross floor area, shall be provided at the front of the building on the ground floor. This room shall include:
- Direct access to the street and separate access from the street to the balance of the building; and
 - An elevation facing the primary street glazed to a minimum of 60% or 8m² (whichever is the lesser) on the elevation with a visually permeable material.

- 3.3 Site Cover**
Single House / Grouped Dwellings
For buildings incorporating a residential land use as a single house or grouped dwelling (as defined by the R-Codes), the plot ratio may be increased to 1.0 with a maximum site cover of 80%, subject to the provision of an outdoor living area (OLA) with the following:
- An area of 10% of the lot size or 20m², whichever is greater;
 - Directly accessible from a habitable room of the dwelling;
 - Located behind the street setback area;
 - At least 70% of the OLA must be uncovered (uncovered areas include areas under eaves which adjoin other uncovered areas); and
 - A minimum length and width dimension of 3m.

- Multiple Dwellings**
For buildings incorporating a residential land use as a multiple dwelling (as defined by the R-Codes), the plot ratio may be increased to 1.0 with a maximum site cover of 80%, subject to the provision of an outdoor living area (including balconies) per unit with:
- A minimum useable space of 10m²;
 - A minimum dimension of 2.4m; and
 - May include the nominated secondary street setback area.

- Plot ratio area excludes any floor area designated for non-residential land uses.
- Non-residential land uses
No maximum site cover is applicable for any development that proposes non-residential land uses only.

2. RESIDENTIAL / MIXED USE

- 2.1 Street Setback**
Building
In recognition of the potential for mixed use buildings the following setbacks to the primary street boundary apply:
- A nil setback is permitted; and
 - An average setback (excluding garages) not more than 3m.

- 2.2 Lot Boundary Setback**
Boundary Setbacks
1.0m minimum setback for walls with a wall height of 3.5m or less without major openings.

- 1.2m minimum setback for walls with a wall height of 3.5m or less with major openings.

- Walls with a wall height greater than 3.5m to be setback in accordance with the R-Codes.

- Boundary Walls**
Boundary walls with a wall height of 3.5m or less are permitted behind the front setback line, to both side boundaries (excluding secondary street boundaries other than laneways) subject to:
- No maximum length to one side boundary; and
 - A maximum of 2/3 the length of the boundary to a second boundary.

- 2.3 Open Space / Outdoor Living Area**
The open space provisions of the R-Codes do not apply subject to the provision of an outdoor living area (OLA) with the following:
- An area of 10% of the lot size or 20m², whichever is greater;
 - Directly accessible from a habitable room of the dwelling;
 - Located behind the street setback area;
 - At least 70% of the OLA must be uncovered (uncovered areas include areas under eaves which adjoin other uncovered areas); and
 - A minimum length and width dimension of 3m.

- 2.4 Garage Setback**
Rear Load
0.5m minimum garage setback to the laneway (6m and 9m laneways).

- Front Load**
4.5m garage setback from the street, excluding garages parallel to the primary street; and
For front loaded lots with a frontage between 10m and 12m, a double garage is permitted to a maximum width of 6m as viewed from the street subject to:
- Garage setback a minimum of 0.5m behind the building alignment;
 - Provision of a major opening to a habitable room directly facing the primary street; and
 - Provision of an entry feature consisting of a porch or veranda with a minimum depth of 1.2m.

- Lots with a frontage of between 10m and 12m not compliant with above, or a frontage of less than 10m require single or tandem garaging.

- 2.5 Overshadowing**
Single Storey
No maximum overshadowing for wall height 3.5m or less.

- Two Storey and Greater**
No maximum overshadowing for wall height greater than 3.5m where overshadowing is confined to the front half of the lot. If overshadowing intrudes into rear half of the lot, shadow cast does not exceed 35%.

- 2.6 Privacy**
A minimum setback of 3m from major openings located in bedrooms and studies where finished floor levels exceed 0.5m above natural ground level.

- A minimum setback of 4.5m from all other major openings (including balconies or similar) where finished floor levels exceed 0.5m above natural ground level.

- 2.7 Lots adjoining Public Open Space (POS)**
Buildings are to be setback a minimum of 1.0m from the POS boundary.

- The provision of at least one habitable room with a major opening facing the POS boundary.

- Visually permeable fencing is to be provided and maintained facing the POS boundary.

- All clothes drying areas and hot water systems shall not be located between the buildings and the POS boundary (except where screened and integrated into the building design).

- Outdoor living areas may be located directly adjoining the POS.

- 3.4 Parking**
Residential
Parking for residential land uses is to be provided in accordance with the R-Codes, with the exception of visitor parking.

- No on-site visitor parking is required where street parking is provided adjacent to the site.

- Non-residential
No on-site parking is required for non-residential land uses of 30m² or less net leasible area (NLA).

- Parking for non-residential land uses greater than 30m² NLA is to be provided in accordance with DPS 2, and may include on-street parking where provided adjacent to the site.

- 3.5 Overshadowing**
Single House / Grouped Dwellings
• No maximum overshadowing for wall height 3.5m or less.
• No maximum overshadowing for wall height greater than 3.5m where overshadowing is confined to the front half of the lot. If overshadowing intrudes into rear half of the lot, shadow cast does not exceed 35%.

- Multiple Dwellings**
No maximum overshadowing.

- 3.6 Privacy**
Single House / Grouped Dwellings
A minimum setback of 3m from major openings located in bedrooms or studies where finished floor levels exceed 0.5m above natural ground level.

- A minimum setback of 4.5m from all other major openings (including balconies or similar) where finished floor levels exceed 0.5m above natural ground level.

- Multiple Dwellings**
No privacy provisions apply.

- 3.7 Signage**
Signage is to be integrated into the building elevation with an area not less than 0.5m² being identified for the provision of signage.

4. MIXED USE WALK UP

- 4.1 Setbacks**
Street Setbacks
A nil setback to the primary street boundary is required, with the exception of:
- areas along the building frontage providing access;
 - variations that improve building articulation as determined by the City; or
 - instances where lot construction (ie. retaining walls) or lot services prevent the required setback from being provided.

- Side Setbacks**
Buildings are required to be built to the side boundaries (as viewed from the street), with no maximum length for a wall height of 3.5m or less, with the exception of:
- buildings to secondary streets (not including laneways) as viewed from the street; or
 - access provision (or other justification as agreed with the City).

- Boundary walls with a height of 3.5m and above are permitted to both side boundaries (excluding secondary street boundaries with the exception of laneways) subject to a maximum height of 6.5m and maximum length of 12m.

- For any portion of building not viewed from the street and where a side setback is proposed, the following boundary setbacks apply:
- 1.0m minimum setback for walls with a wall height of 3.5m or less without major openings.
 - 1.2m minimum setback for walls with a wall height of 3.5m or less with major openings.
 - Walls with a wall height greater than 3.5m to be setback in accordance with the R-Codes.

- 4.2 Streetscape Interaction**
A designated room, minimum of 12m² gross floor area, shall be provided at the front of the building abutting the primary street on the ground floor. This room shall include:
- Direct access to the primary street and separate pedestrian access from the primary street to the balance of the building; and
 - An elevation facing the primary street glazed to a minimum of 60% or 8m² (whichever is lesser) on the elevation with a visually permeable material.

- 4.3 Site Cover**
Single House / Grouped Dwellings
For buildings incorporating a residential land use as a single house or grouped dwelling (as defined by the R-Codes), the open space provisions of the R-Codes do not apply subject to the provision of an outdoor living area (OLA) with the following:
- An area of 10% of the lot size or 20m², whichever is greater;
 - Directly accessible from a habitable room of the dwelling;
 - Located behind the street setback area;
 - At least 70% of the OLA must be uncovered (uncovered areas include areas under eaves which adjoin other uncovered areas); and
 - A minimum length and width dimension of 3m.

- Multiple Dwellings**
For buildings incorporating a residential land use as a multiple dwelling (as defined by the R-Codes), the plot ratio may be increased to 1.0 with a maximum site cover of 80%, subject to the provision of an outdoor living area (including balconies) per unit with:
- A minimum useable space of 10m²;
 - A minimum dimension of 2.4m; and
 - May include the nominated secondary street setback area.

- Plot ratio area excludes any floor area designated for non-residential land uses.
- Non-residential land uses
No maximum site cover is applicable for any development that proposes non-residential land uses only.

- Multiple Dwellings**
For buildings incorporating a residential land use as a multiple dwelling (as defined by the R-Codes), the plot ratio may be increased to 1.25 with a maximum site cover of 80%, subject to the provision of an Outdoor Living Area (including balconies) per unit with:
- A minimum useable space of 10m²;
 - A minimum dimension of 2.4m; and
 - May include the nominated secondary street setback area.

- Plot ratio area excludes any floor area designated for non-residential land uses.

- Non-residential land uses
No maximum site cover is applicable for any development that proposes non-residential land uses only.

- 4.4 Parking**
Residential
Parking for residential land uses is to be provided in accordance with the R-Codes, with the exception of visitor parking.

- No on-site visitor parking is required where street parking is provided adjacent to the site.

- Non-residential
No on-site parking is required for non-residential land uses of 30m² or less net leasible area (NLA).

- Parking for non-residential land uses greater than 30m² NLA is to be provided in accordance with DPS 2, and may include on-street parking where provided adjacent to the site.

- 4.5 Pedestrian Shelter**
An awning is to be provided along portions of the building with a nil setback to the street boundary, with a:
- Minimum height of 3.0m above the footpath; and
 - Minimum depth of 2.5m or to the outer edge of a footpath, whichever is the lesser, as measured from the lot boundary.

- 4.6 Overshadowing**
No maximum overshadowing.

- 4.7 Privacy**
No privacy provisions apply.

- 4.8 Signage**
Signage is to be integrated into the building elevation with an area not less than 0.5m² being identified for the provision of signage.

5. HIGH CARE FACILITY

- 5.1 Street Setbacks**
A nil setback to the street boundary is permitted.

- 5.2 Parking**
Parking is to be provided in accordance with Schedule 2 of DPS 2 and may include on-street parking directly abutting the site.

- 5.3 Development Interface**
An appropriate interface between development and adjoining streets shall be provided through the use of major openings, front verandas, porches and outdoor living areas, creation of on-street parallel parking embayments and pedestrian access to dwellings from the street to maximise surveillance and uses addressing the street.

- 5.4 Services**
Bin enclosures, storage areas and drying courts are to be screened from view from the adjacent street.

- 5.5 Pedestrian Shelter**
An awning is to be provided along portions of the building with a nil setback to the street boundary, with a:
- Minimum height of 3m above the footpath; and
 - Minimum depth of 2.5m or to the outer edge of a footpath, whichever is the lesser, as measured from the lot boundary.



This Local Development Plan has been approved by Council under clause 52(1)(a) of the deemed provisions of District Planning Scheme No.2

27/4/16

.....
Date

.....
Manager Approval Services
City of Wanneroo

PROVISIONS AS PER LLOYD GEORGE TRANSPORTATION NOISE ASSESSMENT, DATED FEBRUARY 2015

| Package A: Noise Levels within the margin | | |
|--|---------------------------|---|
| The following noise insulation package is designed to meet the indoor noise standards for residential developments in areas where noise levels exceed the noise target but are within the limit. | | |
| Area Type | Orientation | Noise Control Measures |
| Indoors | | |
| Bedrooms | Facing road/rail corridor | 6mm (minimum) laminated glazing Fixed, casement or awning windows with seals No external doors Closed eaves No vents to outside walls/eaves Mechanical ventilation/air-conditioning ¹ |
| | Side-on to corridor | 6mm (minimum) laminated glazing Closed eaves Mechanical ventilation/air-conditioning |
| | Away from corridor | No requirements |
| Living and work areas ² | Facing corridor | 6mm (minimum) laminated glazing Fixed, casement or awning windows with seals 35mm (minimum) solid core external doors with acoustic seals ³ Sliding doors must be fitted with acoustic seals Closed eaves No vents to outside walls/eaves Mechanical ventilation/air-conditioning |
| | Side-on to corridor | 6mm (minimum) laminated glazing Closed eaves Mechanical ventilation/air-conditioning |
| | Away from corridor | No requirements |
| Other indoor areas | Any | No requirements |
| Package B: Noise levels above the limit but within 3dB | | |
| The following noise insulation package is designed to meet the indoor noise standards for residential developments in areas where noise levels exceed the limit but by no more than 3 dB | | |
| Area Type | Orientation | Noise Control Measures |
| Indoors | | |
| Bedrooms | Facing road/rail corridor | 10mm (minimum) laminated glazing Fixed, casement or awning windows with seals No external doors Closed eaves No vents to outside walls/eaves Mechanical ventilation/air-conditioning ⁴ |
| | Side-on to corridor | 10mm (minimum) laminated glazing Closed eaves Mechanical ventilation/air-conditioning |
| | Away from corridor | No requirements |
| Living and work areas ⁵ | Facing corridor | 10mm (minimum) laminated glazing Fixed, casement or awning windows with seals 40mm (minimum) solid core external doors with acoustic seals ⁶ Sliding doors must be fitted with acoustic seals Closed eaves No vents to outside walls/eaves Mechanical ventilation/air-conditioning |
| | Side-on to corridor | 6mm (minimum) laminated glazing Closed eaves Mechanical ventilation/air-conditioning |
| | Away from corridor | No requirements |
| Other indoor areas | Any | No requirements |

¹ See section on Mechanical ventilation/airconditioning for further details and requirements

² These deemed-to-comply guidelines adopt the definitions of indoor spaces used in AS 2107-2000. A comparable description for bedrooms, living and work areas is that defined by the Building Code of Australia as a "habitable room". The Building Code of Australia may be referenced if greater clarity is needed. A living or work area can be taken to mean any "habitable room" other than a bedroom. Note that there are no noise insulation requirements for utility areas such as bathrooms. The Building Code of Australia describes these utility spaces as "non-habitable rooms"

³ Glazing panels are acceptable in external doors facing the transport corridor. However these must meet the minimum glazing requirements.

⁴ See section on Mechanical ventilation/airconditioning for further details and requirements.

⁵ These deemed-to-comply guidelines adopt the definitions of indoor spaces used in AS 2107-2000. A comparable description for bedrooms, living and work areas is that defined by the Building Code of Australia as a "habitable room". The Building Code of Australia may be referenced if greater clarity is needed. A living or work area can be taken to mean any "habitable room" other than a bedroom. Note that there are no noise insulation requirements for utility areas such as bathrooms. The building code of Australia describes these utility spaces as "non-habitable rooms".

⁶ Glazing panels are acceptable in external doors facing the transport corridor. However these must meet the minimum glazing requirements.