

Endorsement Table

This Detailed Area Plan has been certified by Council under clause 9.14.3(d) of District Planning Scheme No.2

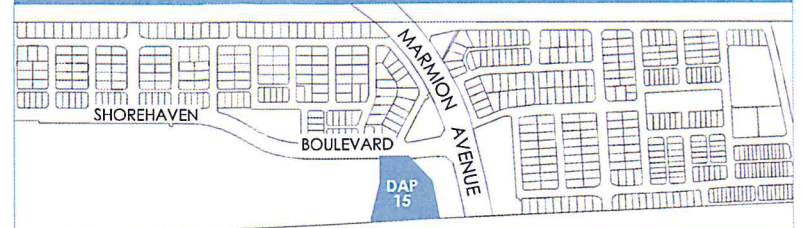
Manager, Planning Implementation  
City of Wanneroo

Date

Legend

- Extent of Detailed Area Plan
- R40 Subject Lots
- 2m minimum Building Setback
- 6m minimum Building Setback
- Primary Entrance (not exit) (Indicative location only and subject to detailed design)
- Visually Permeable Fencing (by developer)
- Primary Frontage
- Secondary Frontage
- Building Exclusion Zone for lot service connections (1.2mW x 1.2mD) - no building structures (as per R-Codes definition) permitted to be constructed. Hard and soft landscaping is permitted.
- Vehicle entry/exit (indicative locations only, final locations are subject to demonstrating compliance with City standards)
- Development addressing streetscape/POS
- No Vehicle Access Permitted
- Designated Garage Location
- Proposed Easement for future sewer alignment - no permanent building or structures permitted to be constructed to maintain easement access
- Noise Attenuation Requirements (Refer Provisions Table)
- Facade Package A
- Facade Package B
- Facade Package C
- Ground Floor
- First Floor

Location Plan



Noise Attenuation Provisions

Lots in close proximity to Marmion Avenue (as indicated on the DAP with A, B or C) may be affected by vehicle noise. Dwellings on these lots are to be designed to comply with quiet house design guidelines and Noise Attenuation Provisions as displayed on this DAP.

		Facade Package		
		A	B	C
Bedrooms	Dwelling Wall Facing Road Corridor	Laminated glazing	6 mm (min)	10.5 mm VLam Hush (or equivalent)
		Fixed, casement or awning windows with seals	✓	✓
		No external doors	✓	✓
		Closed eaves	✓	✓
		No vents to outside walls/eaves	✓	✓
		Mechanical ventilation/air conditioning	✓	✓
	Dwelling Wall Perpendicular to Road Corridor	Laminated glazing	6 mm (min)	10.5 mm VLam Hush (or equivalent)
		Closed eaves	✓	✓
		Mechanical ventilation/air conditioning	✓	✓
Living and Work Areas (habitable room excludes bedrooms)	Dwelling Wall Facing Road Corridor	Laminated glazing	6 mm (min)	10.5 mm VLam Hush (or equivalent)
		Fixed, casement or awning windows with seals	✓	✓
		Solid core external doors with acoustic seals	35 mm (min)	40 mm (min)
		Sliding doors must be fitted with acoustic seals	✓	✓
		Closed eaves	✓	✓
		No vents to outside walls/eaves	✓	✓
	Dwelling Wall Perpendicular to Road Corridor	Laminated glazing	6 mm (min)	10 mm (min)
		Closed eaves	✓	✓
		Mechanical ventilation/air conditioning	✓	✓
Outdoor Living Areas	Facing & Perpendicular to Road Corridor	Solid fence (e.g. Hardfence, Pinelap or Colorbond) - min 2.0m high	✓	Not Permitted
		Solid fence (e.g. brick, limestone, Hardfence) - min 2.4m high	N/A	Not Permitted
	Perpendicular to Road Corridor	Dwelling must provide shielding (e.g. via alcove, semi enclosed alfresco)	N/A	✓



DETAILED AREA PLAN 15 (SHEET 1 OF 2)  
MARMION AVENUE CENTRE  
Shorehaven, Alkimos  
A Peet Alkimos Pty Ltd Project

PEET



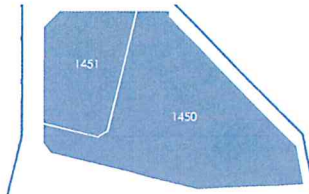
Taylor Burrell Barnett Town Planning and Design  
187 Roberts Road Subiaco Western Australia 6008  
p: (08) 9382 2911 f: (08) 9382 4586  
e: admin@tbbplanning.com.au



## Detailed Area Plan Provisions - Lots 1450 and 1451

## 1.0 GENERAL PROVISIONS

- 1.1 The requirements of the City of Wanneroo District Planning Scheme No 2 and the Residential Design Codes (R-Codes) apply, unless otherwise provided below.
- 1.2 The following standards are relevant to commercial development proposals only for Lots 1450 and 1451. Where these lots are developed for residential purposes then the R-Codes will prevail.
- 1.3 Compliance with this Detailed Area Plan (DAP) does not replace the need for planning approval for Lots 1450 and 1451.

refer Sheet 1  
for detail

## 2.0 R-CODING

Lots Applicable	R-Code Density
Lots 1450 and 1451	R40

## 3.0 SETBACK REQUIREMENTS

- 3.1 All building setbacks to streets, side boundaries and POS (where applicable) are depicted on the DAP plan.
- 3.2 For Lot 1450, a porch, balcony or verandah is permitted to project to a minimum setback of 1.0m from the POS boundary.

## 4.0 BUILT FORM REQUIREMENTS

- 4.1 Development shall:
- Articulate all building facade elevations adjacent to primary pedestrian routes or streets through detailing, design and materials appropriate to the point(s) of view from which they are visible.
  - All building walls that are adjacent to primary pedestrian linkages or streets shall contain openings and/or glazed areas and shall not be blank.
  - Where dwelling(s) exist on an adjoining property, the building must not overshadow more than 50% of the total outdoor living area on the adjoining property at midday, 21 June.

## 5.0 BUILDING SERVICING REQUIREMENTS

- 5.1 All bin storage areas and service areas shall be located away from public view or suitably screened to improve amenity of adjacent public spaces and dwellings.

## 6.0 BUILDING HEIGHT REQUIREMENTS

- 6.1 A maximum building height of 12.0m (not inclusive of pylon signage) applies for Lots 1450 and 1451.

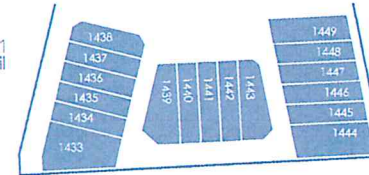
## 7.0 PATHWAY(S)

- 7.1 Pedestrian connection(s) shall be provided from the adjacent Primary Street pathway network to building development for Lots 1450 and 1451.

## Detailed Area Plan Provisions - Lots 1433-1449

## 1.0 GENERAL PROVISIONS

- 1.1 The requirements of the City of Wanneroo District Planning Scheme No 2 and the Residential Design codes (R-Codes) apply, unless otherwise provided below.
- 1.2 The following standards are relevant to residential development proposals only for Lots 1433 - 1449. Where these lots are developed for commercial purposes then the City of Wanneroo District Planning Scheme No 2 and technical standards will prevail.
- 1.3 The following standards are deemed to meet the relevant Design Principles of the R-Codes and do not require consultation with adjacent owners.
- 1.4 Compliance with this Detailed Area Plan (DAP) replaces the need for planning approval for a single house (Display Village uses will require a planning approval).

refer Sheet 1  
for detail

## 2.0 R-CODING

Lots Applicable	R-Code Density
Lots 1433 - 1449	R40

## 3.0 STREET SETBACK REQUIREMENTS

Lots Applicable	Building Setbacks	Minimum (no maximum applicable and averaging is not permitted)
Lots 1433 - 1438	Pacific Promenade	2.0m
Lots 1439 - 1443	Primary Street	2.0m
Lot 1438	Primary Street (northern lot boundary)	1.0m
Lots 1433 - 1449	Laneway (and laneway truncation where applicable)	0.5m

- 3.1 The Primary Frontage shall provide access to the major entry (front door) to the dwelling.
- 3.2 The Secondary Frontage for Lot 1438 shall provide street walls and fences to the side of the lot adjoining a secondary street that are visually permeable for the extent that allows an unobstructed view of the secondary street from at least one major opening (and not being a door) of the dwelling facing the secondary street.

## 4.0 LOT BOUNDARY SETBACK REQUIREMENTS (OTHER THAN STREET BOUNDARIES)

Lots Applicable	Building Type	Minimum (no maximum applicable and averaging is not permitted)	Requirements
Lots 1433 and 1444	Ground Level (first level of building)	Nil	<ul style="list-style-type: none"><li>Permitted to northern side boundary only</li><li>Maximum wall height 3.6m (no averaging)</li><li>Maximum total length determined by front and rear setbacks</li></ul>
	Second level of building	Nil	<ul style="list-style-type: none"><li>Permitted to northern side boundary only</li><li>Maximum total 2/3 of the boundary length determined by front and rear setbacks</li></ul>
	All levels	4.5m	<ul style="list-style-type: none"><li>Required to southern side boundary only</li></ul>
Lots 1434-1443 and 1445-1449	Ground Level (first level of building)	Nil	<ul style="list-style-type: none"><li>Buildings built up to two side boundaries are permitted</li><li>Maximum wall height 3.6m (no averaging)</li><li>Maximum total length determined by front and rear setbacks</li></ul>
	Second level of building	Nil	<ul style="list-style-type: none"><li>Buildings built up to one side boundary are permitted for a maximum total 2/3 of the boundary length determined by front and rear setbacks</li><li>Buildings built up to a second side boundary are permitted for a maximum total 1/3 of the boundary length determined by front and rear setbacks</li></ul>
Lots 1433-1449	Third level of building	14.0m	<ul style="list-style-type: none"><li>Required to rear lot boundary</li><li>Side setback as per R-Codes</li></ul>

## 5.0 SPECIAL PROVISIONS FOR LOTS ADJOINING POS

Lots Applicable	Building Setbacks	Minimum (no maximum applicable and averaging is not permitted)
Lots 1444-1449	Public Open Space (POS) <small>[denoted Primary Frontage on DAP]</small>	2.0m

- 5.1 A porch, balcony or verandah are permitted to project to a minimum setback of 1.0m from the POS boundary.
- 5.2 The Primary Frontage for lots 1444-1449 shall provide dwellings with one or more major opening(s) (and not being a door) facing and allowing an unobstructed view of the POS.

## 6.0 OPEN SPACE REQUIREMENTS

Lots Applicable	Dwelling Type	Minimum	Requirements
Lots 1433-1449	Single level dwellings	25%	<ul style="list-style-type: none"><li>Outdoor Living Area (OLA) minimum area is 24m<sup>2</sup></li><li>OLA shall be located to maximise northern or eastern solar access</li></ul>
Lots 1433-1449	Two and three level dwellings	25%	<ul style="list-style-type: none"><li>OLA minimum area is 24m<sup>2</sup>, with a minimum dimension of 3.0m</li><li>OLA permanent roof cover permitted to maximum 2/3 of area</li><li>A balcony with the minimum dimensions of 2.5m x 2.5m or verandah with the minimum dimensions of 2.5 x 4.0m is provided to the front of the dwelling</li><li>OLA shall be directly accessible from and contiguous with a habitable room (being a lounge or living room and not a bedroom) and shall be located to maximise northern or eastern solar access</li></ul>
Lots 1433-1449		30%	<ul style="list-style-type: none"><li>OLA minimum area is 24m<sup>2</sup></li><li>OLA shall be located to maximise northern or eastern solar access</li></ul>

- 6.1 For Lots 1433-1438 a balcony (roofed or open) with the minimum dimensions of 2.5m x 2.5m located overlooking the primary street is permitted to be included as part of the open space provision.
- 6.2 Outdoor living areas are permitted to be located within the street setback area.

## 7.0 BUILDING HEIGHT REQUIREMENTS

- 7.1 Maximum building heights are as follows:

Lots Applicable	Criteria	Category B
Lots 1433-1449	Top of external wall (roof above)	7m maximum
	Top of external wall (concealed roof)	8m maximum
	Top of pitched roof	10m maximum

## 8.0 SOLAR ACCESS FOR ADJOINING SITES

- 8.1 For Lots 1433 - 1449, there is no limitation on the amount of shadow cast at midday, 21 June onto any adjoining property.

## 9.0 INCIDENTAL DEVELOPMENT REQUIREMENTS

- 9.1 Outbuildings shall be designed and constructed from materials to match the dwelling when visible from the public realm.