

Detailed Area Plan R-Code Variations

THE DISTRICT PLANNING SCHEME NO 2 AND R-CODES ARE VARIED AS FOLLOWS:

1 SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

- 1.1 The following criteria take precedence over, and operate as variations to, the relevant R-Code standards and thereby constitute Acceptable Development.
- 1.2 Compliance with this Detailed Area Plan (DAP) replaces the need for planning approval for a single house (Display Village uses will require a planning approval).
- 1.3 Any variations to acceptable development standards (as outlined in this DAP or relevant R-Codes), can be addressed through an application for a codes variation submitted with a building permit application.

2 R-CODING

Lots Applicable	R-Code Density
Lots 1404-1431	R30
Lots 1396-1403	R40

3 STREETScape REQUIREMENTS

Lots Applicable	Setbacks	Minimum (no maximum applicable and averaging is not permitted)
Lots 1396-1403	Primary Street (Shorehaven Boulevard)	Building 2.0m
	Laneway (and laneway truncation where applicable)	Garage or Carport 1.5m Building (excluding garage or carport) 0.5m
	Secondary Street (Quayside Avenue)	Building 1.0m
Lots 1404-1408 & 1417-1420	Primary Street (Canister Rise)	Building 2.0m
Lots 1404-1409	Secondary Frontage (Shorehaven Boulevard)	Building 2.0m
Lot 1409	Canister Rise (Southern lot boundary)	Building 2.0m
	Canister Rise (Eastern lot boundary)	Building 1.0m
Lots 1410 & 1421	Canister Rise (Northern lot boundaries)	Building 1.0m
Lots 1416 & 1421	Canister Rise (Western lot boundaries)	Building 2.0m
Lots 1415, 1416 & 1426	Skysail Avenue (Southern lot boundaries)	Building 1.0m
Lots 1410-1421	Laneway (and laneway truncation where applicable)	Garage or Carport 3.0m Building (excluding garage or carport) 0.5m
	Laneway (and laneway truncation where applicable)	Garage or Carport 1.5m Building (excluding garage or carport) 0.5m
Lots 1422 & 1431	Laneway (and laneway truncation where applicable)	Building (excluding garage or carport) 0.5m

- 3.1 For lots 1396-1409, dwellings shall have one or more major opening(s) (and not being a door) facing and allowing an unobstructed view of the Viggo Trail.
- 3.2 The Primary Frontage shall provide access to the major entry (front door) to the dwelling.
- 3.3 Where a lot has two street frontages and/or a primary frontage and secondary frontage, street walls and fences to the side of the lot adjoining or abutting a secondary street/frontage (not a laneway) shall be visually permeable for the extent that allows an unobstructed view of the secondary street/frontage from at least one major opening (and not being a door) of the dwelling facing the secondary street/frontage.

4 BOUNDARY SETBACK REQUIREMENTS

Setbacks	Lots Applicable	Requirements
Buildings on boundary (other than Street boundaries)	Lots 1404-1410, 1415-1416, & 1421-1431	<ul style="list-style-type: none"> Buildings built up to one side boundary are permitted for a maximum total length determined by front and rear setbacks. Buildings built up to a second side boundary are permitted for purposes of garage/store only - 8.0m maximum length. Maximum wall height 3.6m (no averaging).
	R40 Lots and Lots 1411-1414 and 1417-1420	<ul style="list-style-type: none"> Buildings built up to two side boundaries are permitted. Maximum wall height 3.6m (no averaging). Maximum total length determined by front and rear setbacks.
Third level of building	All Lots	<ul style="list-style-type: none"> 14.0m minimum setback measured from rear lot boundary. No averaging permitted to minimum.

5 SPECIAL PROVISIONS FOR LOTS ADJOINING POS

Setbacks	Lots Applicable	Minimum (no maximum applicable and averaging is not permitted)
Public Open Space (POS) (Reserved Primary Frontage on DAP)	Building	Lots 1410-1415 2.0m

- 5.1 For lots 1410-1415 dwellings shall have one or more major opening(s) (and not being a door) facing and allowing an unobstructed view of the POS.

6 OPEN SPACE REQUIREMENTS

Open Space Provision	Lots Applicable	Minimum	Requirements
	R30 Lots	35%	<ul style="list-style-type: none"> Outdoor Living Area (OLA) shall be located to maximise northern or eastern solar access. OLA minimum area is 24m². OLA shall be located to maximise northern or eastern solar access.
	R40 Lots	30%	

- 6.1 For Lots 1396-1415 a balcony (roofed or open) with the minimum dimensions of 2.5m x 2.5m located overlooking the Viggo Trail and/or the POS is permitted to be included as part of the open space provision.
- 6.2 Outdoor living areas are permitted to be located within the street setback area.

7 BUILDING HEIGHT REQUIREMENTS

- 7.1 Maximum building heights are as follows:

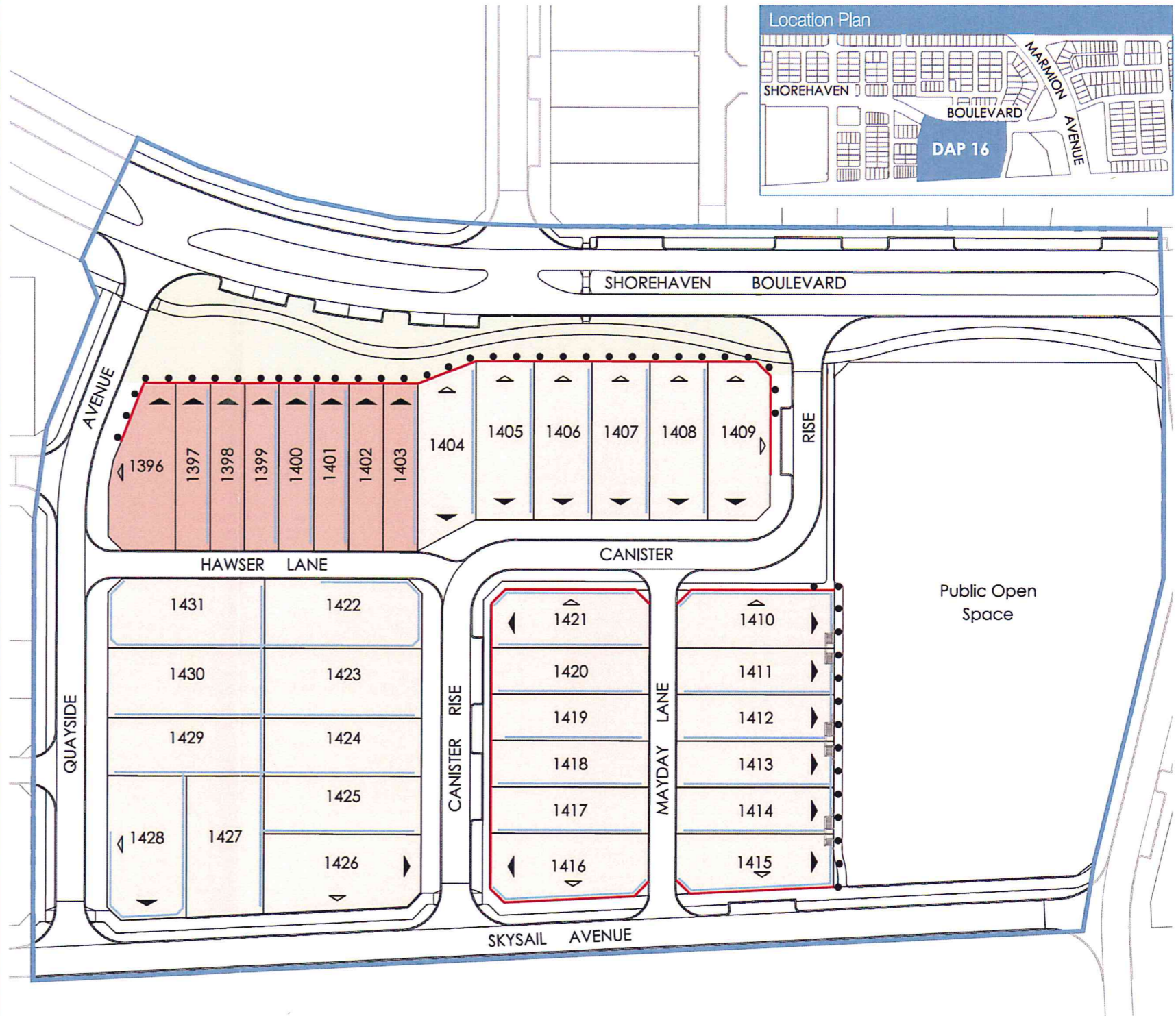
Lots Applicable	Criteria	Category B
All lots	Top of external wall (roof above)	7m maximum
	Top of external wall (concealed roof)	8m maximum
	Top of pitched roof	10m maximum

8 DESIGN FOR CLIMATE REQUIREMENTS

- 8.1 Lots on this DAP are exempt from R-Code provisions determining solar access for adjoining sites.

9 INCIDENTAL DEVELOPMENT REQUIREMENTS

- 9.1 Outbuildings shall be designed and constructed from materials to match the dwelling when visible from the public realm.
- 9.2 R30 lots shall provide a storage area (min 4m² area) under the main roof (accessible from outside) or within the garage area.



Endorsement Table

This Detailed Area Plan has been certified by Council under clause 9.14.3(d) of District Planning Scheme No.2

Manager, Planning Implementation
City of Wanneroo

Date

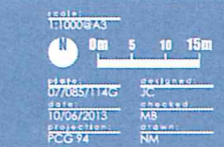
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28/6/13

Legend

- Extent of Detailed Area Plan
- R30 Subject Lots
- R40 Subject Lots
- Viggo Trail
- Retaining Walls (by developer)
- Indicative Stair Access Location
- Visually Permeable Fencing (by developer)
- No Vehicle Access Permitted
- Primary Frontage
- Secondary Frontage



DETAILED AREA PLAN 16 - SHOREHAVEN RISE
Shorehaven, Alkimos
A Peet Alkimos Pty Ltd Project



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