

## Detailed Area Plan Provisions

### GENERAL PROVISIONS

1. a) The requirements of the City of Wanneroo District Planning Scheme No.2 and the R-Codes apply, unless otherwise provided below.
- b) The following standards are deemed to meet the relevant Design Principles of the R-Codes and do not require consultation with adjacent owners.
- c) Compliance with this Detailed Area Plan (DAP) replaces the need for planning approval for a single house (Display Village uses will require a planning approval).
- d) Where single house development is proposed, variations to the standards outlined in the DAP and/or relevant 'deemed to comply' standards of the R-Codes are discouraged; however, if justified can be addressed through an application for a Codes Variation submitted with a building licence application.

### R-CODING

2. Density Coding is R30 generally, except Lots 509-511 where Density Coding is R20.

### STREETSCAPE REQUIREMENTS

3. a) Primary Street setback is a minimum of 4.0m (this setback can be averaged as per the R-Codes).
- b) A 1.0m setback is permitted to a secondary street for corner lots.
- c) Dwellings must address the Primary Street by way of design and must contain a major opening(s) to a living area and/or master bedroom.
- d) For lots with multiple street frontages, the dwelling must address both the Primary Street and the Secondary Street through design, materials and major opening(s).
- e) Designated garage locations are mandatory (where indicated on the DAP).
- f) A 0.5m minimum garage setback (inclusive of a store where applicable) is required to the laneway boundary.
- g) A 1.5m minimum rear dwelling setback is required to the ground floor level from the laneway boundary.
- h) A nil rear setback is permitted to the dwelling upper floor level on a laneway boundary.
- i) Where two storey development is proposed for Lot 498, a second storey element (studio and/or balcony) abutting the balcony is required to ensure passive surveillance of the laneway.

### BOUNDARY SETBACK REQUIREMENTS

4. a) A nil side setback is permitted to the ground floor level of a dwelling to a maximum wall height of 3.6m (no average) for a maximum length determined by the required front and rear setbacks, to one side boundary only (as indicated on the DAP).
- b) A second nil side setback is permitted for a maximum length of 9m for the purposes of a garage/store only. No adjoining landowner consultation is required for this variation.
- c) Where a nil side setback is nominated, zero lot line construction must be located a minimum of 1.5m behind the dwelling frontage (face of building).
- d) Any exposed parapet wall on a common boundary shall be suitably finished to match the external walls of the dwelling, unless otherwise agreed with the adjoining property owner.

### OPEN SPACE REQUIREMENTS

5. a) A minimum provision of 35% open space is required.
- b) An unenclosed balcony (roofed or open) with an area of 10 m<sup>2</sup> or greater can be included as part of the minimum open space calculation.
- c) Outdoor living areas are permitted to be located within the front setback area to take advantage of the northern aspect of the site and shall be constructed to maintain surveillance and activation of the adjoining streetscape.
- d) Outdoor living area to be provided with a minimum dimension configuration of 4m x 6m and minimum area of 24m<sup>2</sup>.

### BUILDING HEIGHT REQUIREMENTS

6. The maximum building heights described in Table 3 (Category B) of the R-Codes are increased by 1.0m. This results in the following Acceptable Development:
  - o 7m maximum - Top of external wall (roof above)
  - o 8m maximum - Top of external wall (concealed roof)
  - o 10m maximum - Top of pitched roof
7. The maximum landmark building element total height permitted is 11.5m, applicable to a maximum plan area of 4.0m x 4.0m.

### DESIGN FOR CLIMATE REQUIREMENTS

8. There is no limitation on the amount of shadow cast at midday 21 June onto any adjoining property.

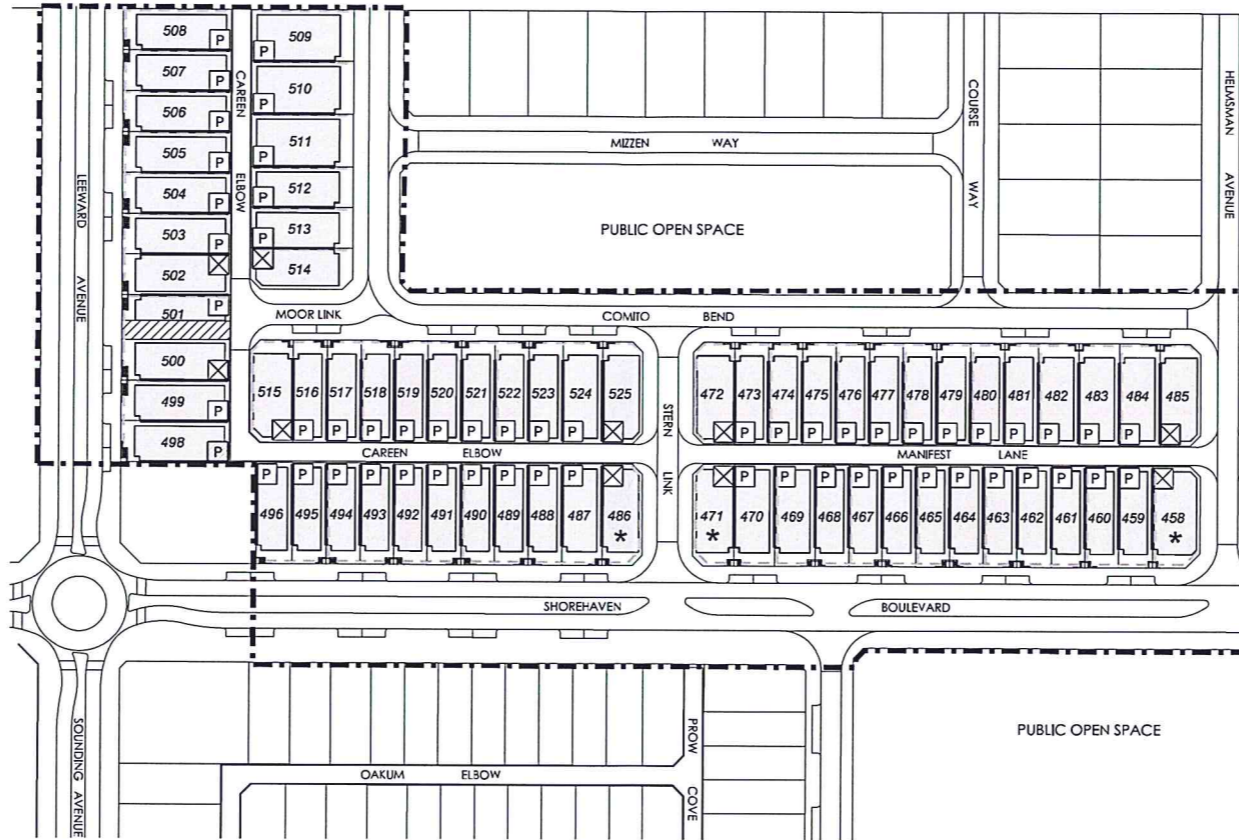
### INCIDENTAL DEVELOPMENT REQUIREMENTS

9. Where outbuildings are proposed, they shall be constructed by way of design and materials to match the dwelling when visible from the public realm.
10. All dwellings shall provide a storage area (min 4m<sup>2</sup> area) under the main roof (accessible from outside) or within the garage area.

### ADVICE NOTE:

#### Retaining Walls

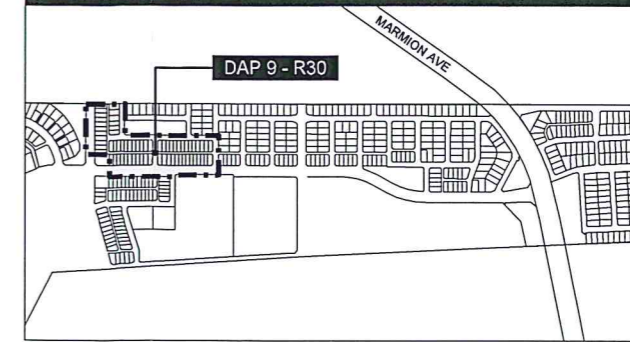
11. Construction including load bearing walls on a nil setback must comply with engineering requirements associated with any boundary retaining walls present with certification obtained from an independent practising Structural Engineer in relation to final dwelling proximity to retaining wall.



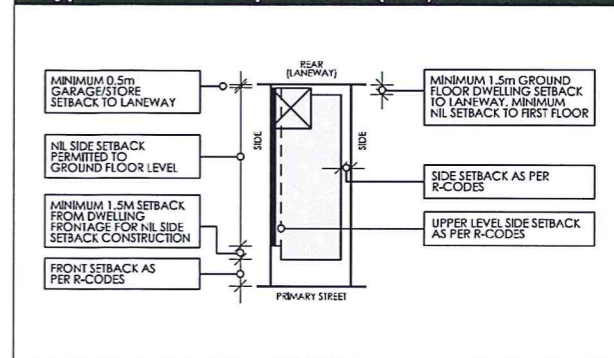
### Legend

- Extent of Detailed Area Plan
- Building Envelope
- P Preferred Garage Location
- X Designated Garage Location
- Nil Building Setback
- Retaining walls
- Indicative Stair Access Locations
- \* Landmark Design Elements encouraged
- Studio Development required for two storey development (Lot 498)
- Proposed easement for future sewer and drainage alignment - no permanent buildings or structures permitted to be constructed to maintain easement access

### Location Plan



### Typical Setback Requirements (R30)



### Endorsement Table

This Detailed Area Plan has been certified by Council under clause 9.14.3(d) of District Planning Scheme No.2

Manager, Planning Implementation  
City of Wanneroo

Date

28 May 2014

## Detailed Area Plan 9 - Shorehaven Rise (Version 2)

SHOREHAVEN, ALKIMOS

A PEET ALKIMOS PTY LTD PROJECT

plan no: 07/085/050	designer: NB	scale: 1:2000@A3
date: 14/05/2014	revision: ST	0 20 40
project no: PCG94	signature: NM	

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