

Detailed Area Plan R-Code Variations

- 1 OVERVIEW
- 1.1

The objectives of this DAP are to improve building design flexibility for these moderate sized lots, and identify R-Codes criteria that requires modification.
- 1.2

These provisions increase development opportunities, allowing an increased dwelling footprint and opportunity to economise construction costs.
- 1.3

Specific streetscape and public realm building considerations are identified (where necessary) to ensure a strong neighbourhood character is achieved for all.
- 2 SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS
- 2.1

Planning approval is not required for the erection of a single house on lots smaller than 260m².
- 2.2

Where variations to the provisions of the Detailed Area Plan (DAP) and R-Codes are sought, an approval through a Codes Variation Application will be required.
- 2.3

The requirements to consult with adjoining or other land owners to achieve a variation to the R-Codes described in this DAP are not required where the design complies with the following criteria.

3 STREETScape AND SETBACK REQUIREMENTS

R40 Lots			
Criteria	Location	Minimum	Requirements
Primary Street	All lots	2.0m	<ul style="list-style-type: none">This is an absolute minimum.
Laneway	Garage – Lots 312-333	0.5m	
	Garage – Lots 197, 334-347	1.0m	
	Dwelling	0.5m	
Side lot boundary (other than Secondary Street and boundaries abutting PAW)	All lots	Nil	<ul style="list-style-type: none">Both side boundaries.Permitted to all levels.Maximum total length determined by front and rear setbacks.
Laneway 2	Lots 324 and 325	1.0m	<ul style="list-style-type: none">Side boundary setback
PAW	Lots 338 and 339	1.0m	<ul style="list-style-type: none">Side boundary setback

- 3.1
- For all corner lots, the dwelling shall include at least one habitable room major opening with a clear view of the Secondary Street (not applicable to laneways) and must not be obscured by visually impermeable fencing.
- 3.2
- Where visually permeable fencing is supplied by the Developer and is deemed necessary, the fence shall not be altered or be obscured.
- 3.3
- Any exposed parapet wall on a common boundary shall be suitably finished to match the external walls of the dwelling and in the event of a double storey dwelling provide architectural interest, to the satisfaction of the City of Mandurah.

4 OPEN SPACE REQUIREMENTS

Location	Minimum	Requirements
All Lots	35%	<ul style="list-style-type: none">Unless varied below.
	30%	<ul style="list-style-type: none">Permitted where OLA minimum area is 24m² and minimum size is 4m x 6m.

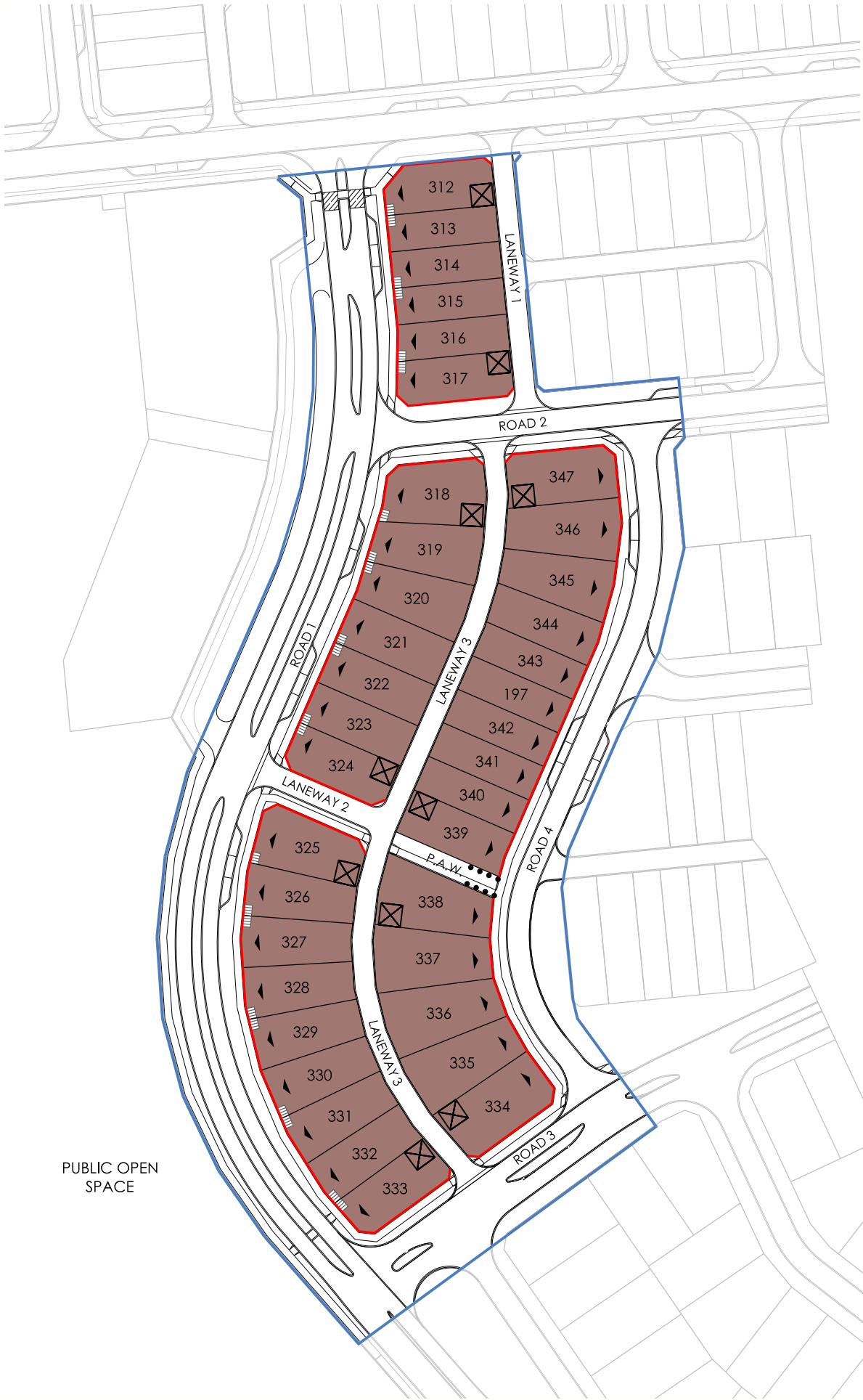
- 4.1
- An unenclosed balcony (roofed or open) with an area of 10m² or greater can be included as part of the minimum open space calculation.
- 4.2
- Outdoor living areas are permitted to be located within the front setback area and shall be constructed to maintain surveillance and activation of the adjoining streetscape.

5 DESIGN FOR CLIMATE REQUIREMENTS

- 5.1
- Lots on this DAP are exempt from R-Code provisions determining solar access for adjoining sites.

6 INCIDENTAL DEVELOPMENT REQUIREMENTS

- 6.1
- Where outbuildings are proposed, they must be designed and constructed from materials to match or compliment the dwelling when visible from the public realm (POS and street, but not a laneway).
- 6.2
- The Buyer in consultation with their builder to accommodate drainage onsite for each dwelling as per BCA standards.



Legend

Extent of Detailed Area Plan

R40 Subject Lots

Designated Garage Location

Indicative Stair Location

Visually Permeable Fencing
(by developer)

No Vehicle Access Permitted

Dwelling Orientation

