



CRANBOURNE



QUARTERS BUILDING DESIGN GUIDELINES

PEET

DESIGN GUIDELINES

Welcome to Quarters

Quarters offers the latest in modern living. To establish and maintain the quality of this unique community, residents - through their builders and architects - are required to comply with a series of design guidelines and encouraged to adopt many more, as detailed in this booklet. We invite you to join us in creating a very special place to live by supporting these guidelines and creating a modern, sustainable community.

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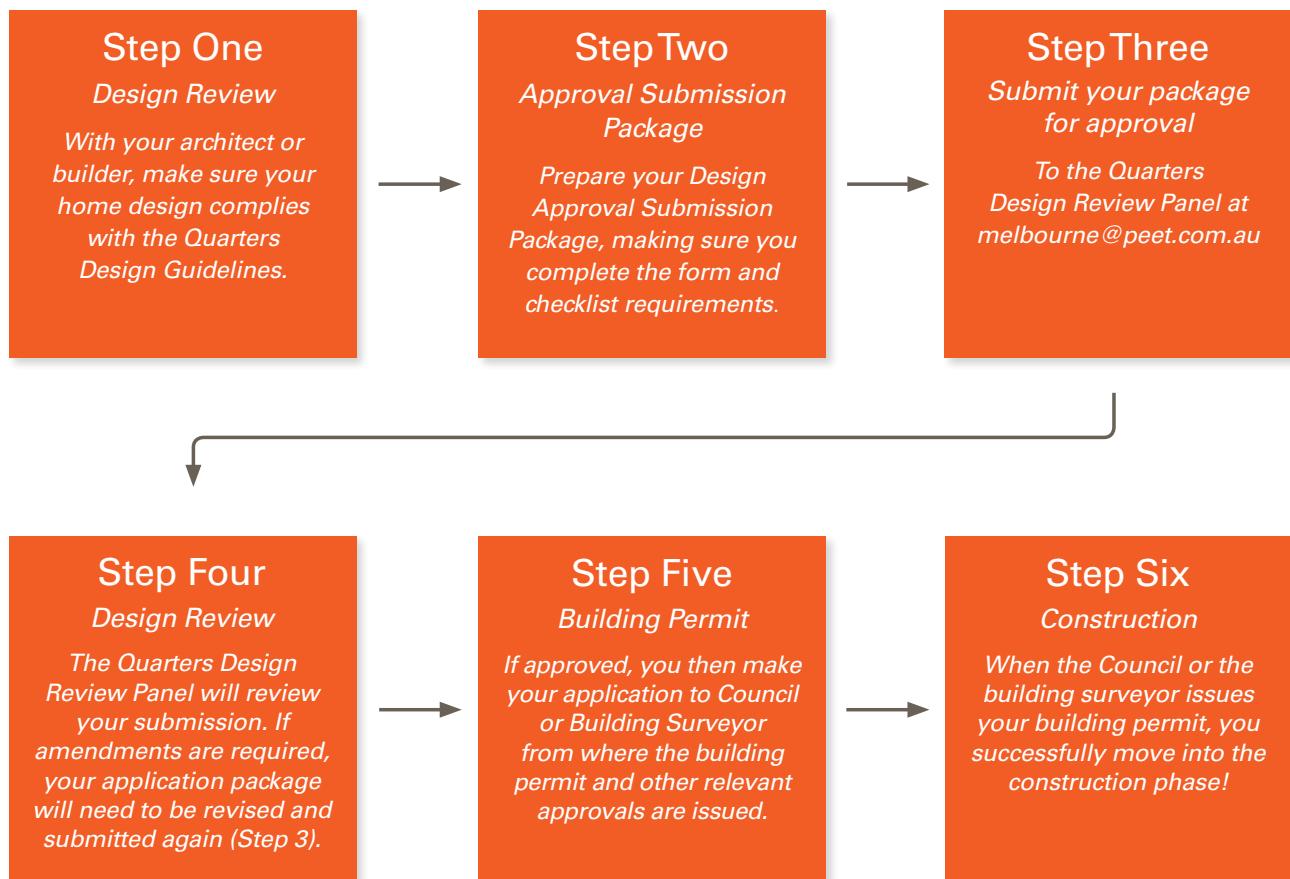
Why design guidelines?

These design guidelines are an important part of ensuring that Quarters is a quality community where each property contributes to the overall look and value of the neighbourhood. While every house reflects the individual owner, a consistent approach to streetscapes and the treatment of public areas of the community are all part of protecting your investment and those of other residents. Specifically, the design guidelines will help ensure each individual home:

- Complements each other and contributes to an attractive streetscape
- Combines to create a neighbourhood character which improves and protects the lifestyle and property values at Quarters
- Reflects and protects the quality and value of the land
- Demonstrates a commitment to sustainability

Your Design and Building Approval Process

Before you can start building your home, your final house plans must be approved by the Quarters Design Review Panel (QDRP) prior to the local Council or building surveyor.



DESIGN GUIDELINES

Your Design Approval Submission Process

The design proposal for every home in the Quarters community must be submitted to the QDRP for approval.

The Design Approval does not replace the need for a building permit from the City of Casey or building surveyor. Information about what is required by the Council before it can issue a building permit for your new home can be found at www.casey.vic.gov.au

QDRP Approval

To successfully gain your Design Approval from the QDRP, your home plans must comply with the restrictive covenants detailed in this Design Guidelines document.

You are also encouraged to talk to your builder and/or architect about incorporating a range of other good design principles into your home. A number of them are featured in this Design Guidelines document and we hope to see them in your plans when they're submitted too.

All non-conforming designs will be assessed on their own merit with the overall interests of the entire community as the highest priority. Contemporary home designs are encouraged. The QDRP reserves the right to approve or decline any non-conforming design.

Submission Requirements

You are encouraged to submit your Design Approval Submission Package in PDF format to melbourne@peet.com.au.

If you do not have internet access or are otherwise unable to submit your proposals in PDF format, you may mail them to:

*Quarters Design Review Panel
Peet Limited
Level 3, 492 St Kilda Road
Melbourne 3004*

Your Design Approval Submission Package must include:

- Completed Design Approval Application Form
- Completed Design Checklist
- Site Plan (Scale 1:200)
 - Fully dimensioned, showing all setbacks and building structures
 - Allotment boundaries (and easements if applicable)
 - Proposed building footprint
 - Location of private open space, with dimensions and areas
 - Location of site car parking and driveways

All floor plans, roof plans and elevations (1:100)

- All drawings to be fully dimensioned
- Show dimensioned internal layout, including all pergola, decks, terraces, balconies, verandahs, windows and door openings
- Show location of all ancillary items. This includes (and is not limited to) water tanks, solar panels, water storage units, air-conditioning units, evaporative cooling units, evaporative heating units, bin storage area, sheds and outbuildings

Materials and colours

- Clearly label all proposed external building materials
- Provide annotated scanned colour samples, put together as a 'sample' board, to illustrate your proposed external colour scheme

Landscape Plan (1:100)

- Locate all external structures
- Indicate extent of hardscape and softscape
- Provide a planting schedule that lists all species referenced on plan

Contact

If you have any queries about your Design Approval Submission Package, please speak to your builder or architect in the first instance.

For remaining queries, please contact:

Quarters Design Review Panel:

Email: melbourne@peet.com.au

Phone: (03) 9868 5900



DESIGN GUIDELINES

Community Design

General and specific guidelines apply to each lot at Quarters. The Design Guidelines are written for all future residents of Quarters, their builders and architects. If future residents have any difficulty in understanding or picturing what is being described, please discuss with your builder or architect.



LOT 118

LOT 119

LOT 120

LOT 121

LOT 1

LOT 2

Orientation, Siting, Solar Access and Sustainability

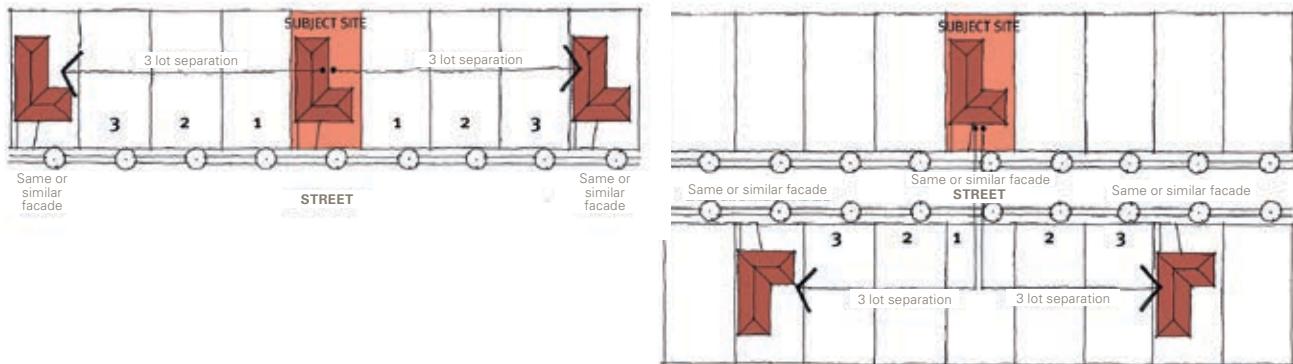
| Feature | Essential (homes must comply) | Recommended |
|------------------------|--|--|
| Orientation and siting | <p>In certain circumstances at the discretion of Peet Limited, subdivision of allotments is permitted in accordance with the appropriate statutory approvals from the City of Casey.</p> <p>All lots within Quarters have required setbacks from their front and side boundaries, please refer to the plan of subdivision for specific building exclusion zones.</p> | <p>A suitably designed home must be sited to relate to the local conditions, responding to factors such as natural topography, prevailing winds, existing vegetation, sun access, orientation and views.</p> |
| Solar access | | <p>Locate indoor and outdoor living zones on the north where possible to maximise the benefits of the sun.</p> <p>Wide eaves gives the effect of a floating roof. It has solar control benefits as well.</p> <p>Reduce dependency on artificial lighting, which in turn saves on energy bills and greenhouse emissions.</p> <p>Avoid reducing solar access to neighbouring allotment/s.</p> |
| Sustainability | <p>All house designs are to achieve the minimum energy rating requirements for energy efficient design. Please refer to the relevant Government-approved rating scheme.</p> <p>For more information about sustainable homes, visit the Greensmart section of the HIA website at www.hia.com.au</p> <p>All homes constructed must include fittings and connections to the South East Water recycled water pipeline, as specified by the relevant authorities, to allow toilet flushing and garden irrigation to use recycled water services provided.</p> | <p>Adaptable house plans that can be easily modified to suit larger demand and changing lifestyles, catering for the future.</p> <p>Roof eaves of the correct width, to allow winter sun in and keep summer sun out.</p> <p>Zoning of the spaces within the home so that heating/cooling can be applied only where required.</p> <p>The incorporation of water efficiency measures at early stages of a new home construction, saving time, money and energy.</p> <p>Passive heating and cooling methods that lessen the dependency on heating and cooling systems.</p> <p>Built form designed and constructed to reduce energy and water demand, providing lifetime benefits and lower running costs.</p> <p>Appropriate roof, ceiling and wall insulation, as well as draught sealing.</p> |



DESIGN GUIDELINES

The Dwelling

| Feature | Essential (homes must comply) | Recommended |
|-------------------------|--|---|
| Address your street | Your home must front the primary street frontage. | Provide living zones with glazing that overlooks the front garden, street and any nearby parks. |
| Facade Design Variation | Identical facade designs must not be repeated within three housing lots. Please contact the QDRP for potential proposals on adjacent lots, if required. | Individuality is important and unique characteristics through suitable materials and design are encouraged. |



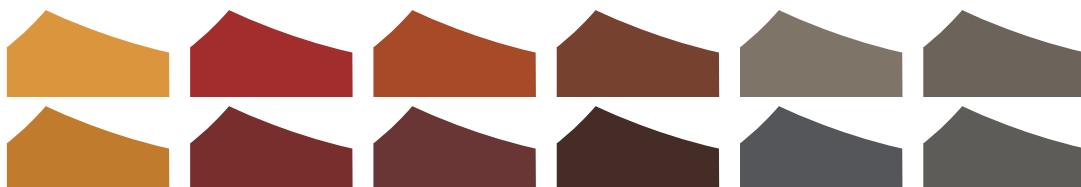
| | |
|----------------|--|
| Sense of entry | <p>The entry must be clearly visible with direct access to the home from the street frontage.</p> <p>The dwelling must have a clearly defined, covered entry feature such as verandah, porch or portico that is visible from the street and set forward of the main building line.</p> <p>Any security doors must be complementary to the front facade design.</p> <p>All external lighting must be baffled to minimise light intrusion to adjoining neighbours.</p> |
|----------------|--|

| Feature | Essential <small>(homes must comply)</small> | Recommended |
|----------------------|---|---|
| Colours and Textures | <p>The proposed external colour palette must be a combination of finishes, textures and shades in elements such as the facade treatments, metal sheet roofing and roof tiles.</p> <p>The base colours should be light, natural and earthy hues that are harmonious with the natural landscape.</p> <p>Accent colours can be used as highlight elements to help articulation and create contrast, but should complement the base colour.</p> | Treat face brick on the front facade as a feature to provide texture and variation. |

Colours and Textures



Basic Colours - Light, natural and earthy hues that are harmonious with the natural landscape.



Accent Colours - Use as highlight elements to help articulation and create contrast, but should complement base colour.



Face Brick - Treat face brick on front facade as a feature to provide texture and variation.

DESIGN GUIDELINES

The Dwelling

| Feature | Essential (homes must comply) | Recommended |
|-----------------------|--|---|
| Appropriate materials | <p>A minimum of two different material finishes must be used on the front facade.</p> <p>No more than 80% of the same material is permitted on the front facade.</p> <p>Materials adopted on the front facade must return a minimum of 840mm to the sides. Full face brick facades are not permitted. Plywood, weatherboard and sheet aluminium are not permitted.</p> <p>Primary facades must consist of a variety of materials to provide individuality and variety in the streetscape. Use quality materials and finishes that offer a timeless appeal.</p> <p>All external surfaces are to be in a finished state (painted or coated where required) prior to occupation.</p> <p>Infill panels over windows, doors and garage door must be finished flush with front facade.</p> | <p>Appropriate materials include feature brickwork; masonry blocks, sandstone and stack stone; lightweight cladding panels; brick or fibre cement sheeting with a rendered or textured finish, rendered finishes and timber cladding.</p> <p>Use certified plantation timber wherever possible.</p> <p>Merit will be given to designs that display exceptional architectural qualities.</p> |



Cladding



Natural Stone



Render/Stucco



Timber Cladding

Suggestion:

- Feature brickwork
- Masonry blocks, sandstone and stack stone
- Lightweight cladding panels (e.g. weatherboards, plywood, zinc)
- Fibre cement sheet, rendered or textured finish
- Timber cladding

| Feature | Essential (homes must comply) | Recommended |
|--------------------------|--|--|
| Articulation elements | Period reproduction styles such as Victorian, Art Deco, Federation, Edwardian, Colonial, Georgian, and Neoclassical etc are not permitted. | Balconies and upper floor 'overhangs' are encouraged. Devices such as metal and timber batten sunscreens are encouraged. |
| External glazing/windows | Window frame and glazing selection should be complementary to the overall colour palette. Contrasting colours will not be approved. Windows on the front facade must have matching head and sill heights on each storey. Leadlight and stained glass features are also not permitted. No tinted windows are permitted. | Consider colour and material framing which will add interest to the overall configuration. Some key factors to consider include, suitable access to natural light, outdoor views and security surveillance, ongoing maintenance, and privacy level to suit space usage. |

Optic Fibre to the Home

| Feature | Essential (homes must comply) | Recommended |
|-------------------------|---|--|
| Optic fibre to the home | Homes must not have external antennas or satellite dishes that are visible from the street. All homes must install or make allowance for optic fibre cabling. To access this high-speed broadband and telephone service, homes need to comply with the NBN Co In-Home Wiring Guide. Failure to comply may prevent connection to the NBN network infrastructure, or may require the homeowner to incur additional costs in order to connect. Please speak to the Quarters Sales representative and your builder for more information. |  |

DESIGN GUIDELINES

Roof Design

| Feature | Essential <small>(homes must comply)</small> | Recommended |
|-------------|---|--|
| Roof Design | <p>Pitched roofs must be no less than 22°.</p> <p>Homes must have metal sheet roofing or roof tiles. Metal sheet and roof tile roofing must match, or be very similar to, the approved colour scheme below.</p> <p>Roof tiles must be low-profile terra-cotta or concrete roof tile, or slates or shingles. Alternatives are subject to approval by QDRP.</p> <p>Treatments to gable ends must be contemporary and must not have ornate decorations or period detail.</p> | <p>Roof form should be contemporary in style, simple and sympathetic to the overall built form design. Hip, gable ends, skillion flat roofs or a combination of these used proportionally is encouraged.</p> <p>Curved and innovative roof design will be considered in context with the overall design proposal.</p> <p>Avoid one single bulky roof element and consider using a combination of smaller roof forms.</p> |

Approved roofing colour scheme

Colorbond® Roofing



The colours contained in printed copies of this document should not be used for colour matching purposes as printers may vary in reproducing many colours and purchasers must ensure they obtain original colour samples from manufacturers prior to making any decisions relating to these colours.

Roof Tiles



Preferred roof tiles are low-profile terra-cotta or concrete roof tile, slates and shingles.
Alternatives are subject to approval by the vendor.

Roof Design

| Feature | Essential <small>(homes must comply)</small> | Recommended |
|---------|---|---|
| Eaves | <p>Some lots, (as identified on the Plan of Subdivision), must include minimum 450mm wide eaves to the entire house. For more information, please refer to your contract of sale.</p> <p>Where eaves are adopted they must be a minimum of 450mm.</p> | Eaves of a minimum of 450mm to the entire house are encouraged on all houses, and required on some. |



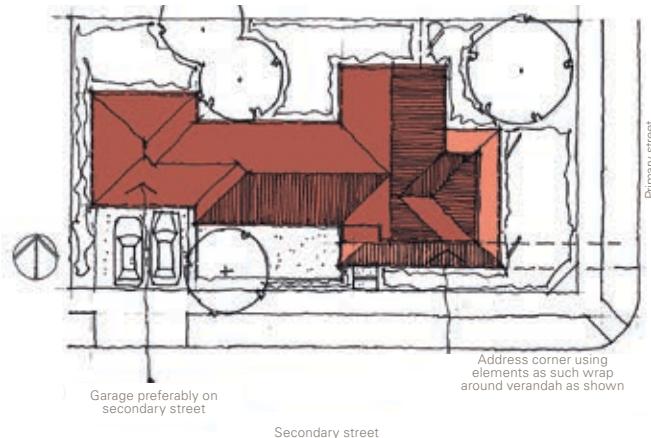
DESIGN GUIDELINES

Double Storey Homes

| Feature | Essential <small>(homes must comply)</small> | Recommended |
|---------------------|---|-------------|
| Double Storey Homes | Some lots, (as identified on the Plan of Subdivision) must build a double storey dwelling. For more information, please refer to your Contract of Sale. | |



Corner allotments

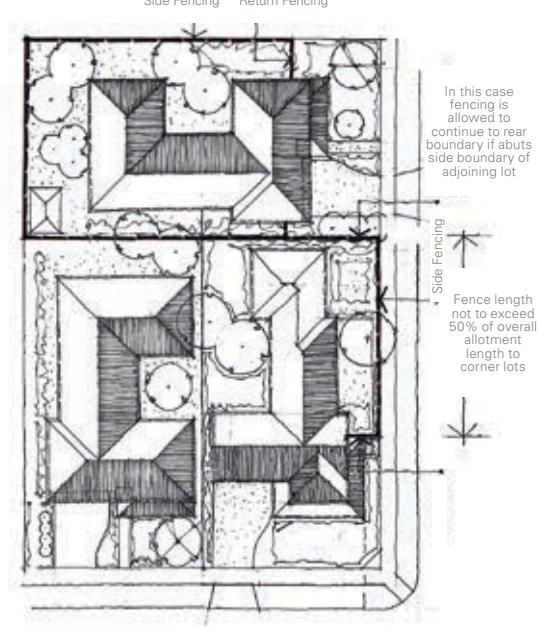
| Feature | Essential (homes must comply) | Recommended |
|-------------|---|--|
| Home design | <p>The home design must address both the primary and secondary street frontages and be of a consistent architectural design.</p> <p>Design elements (such as verandahs, detailing, windows, render and colour finishes) used on the primary frontage must continue on that part of the secondary frontage visible from the public realm.</p>  |  <p>Similar windows configuration and material selection to both primary and secondary elevation</p> <p>Side elevation needs to address the street such as using verandahs, porches & patios to provide interest</p> <p>Front elevation treatment</p> |
| Fencing | <p>Side boundary fencing must not extend for more than 60% of the boundary length on the boundary that is the second frontage. Side boundary fencing to the secondary frontage must be the Quarters premium fencing as detailed on page 16 of these the Quarters Building Design Guidelines.</p> | |

Allotments Facing Parks or Reserves

| Feature | Essential (homes must comply) | Recommended |
|---------|--|-------------|
| Feature | Allotments with a side boundary adjacent to a reserve will be considered as corner allotments for the purposes of these design guidelines. | |

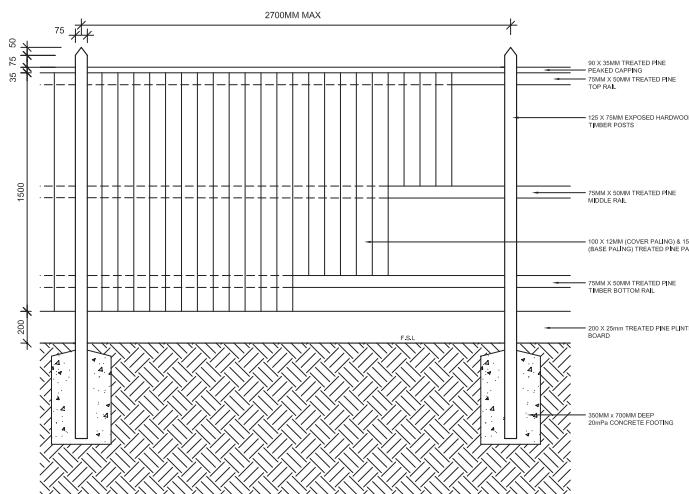
DESIGN GUIDELINES

Fencing

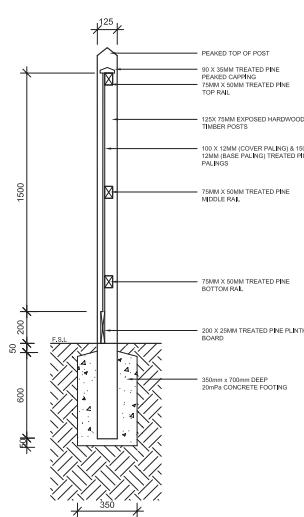
| Feature | Essential (homes must comply) | Recommended |
|-----------------------|---|--|
| Fencing - general | <p>Fences erected by Peet or its contractors are approved fences.</p> <p>Wire woven, chain mesh, barbed, cyclone or similar fencing is not permitted.</p> | |
| Front fencing | <p>To avoid narrowing the appearance of the street and creating a physical barrier between each home and the community, fencing to the front of dwellings is not permitted.</p> | |
| Side and rear fencing | <p>Side fencing must not be constructed forward of the front wall of the dwelling or 9 metres from the principal lot frontage, whichever is lesser, except where the side boundary forms the rear boundary of an adjacent lot.</p> <p>Side and rear fencing for your lot must be the Quarters standard fencing as detailed on the next page. It must be no higher than 1800mm.</p> <p>The Quarters premium fencing must be installed on the side boundary of corner lots or lots facing parks or reserves, see page 17 for details.</p> |  <p>In this case fencing is allowed to continue to rear boundary if abuts side boundary of adjoining lot</p> <p>Side fencing</p> <p>Side fencing not to exceed 50% of overall allotment length to corner lots</p> |
| Return fencing | <p>Fences that return and are visible from the street must be made from suitable materials and complement the facade.</p> <p>Return fencing must be a minimum of 840mm behind the front building line.</p> | <p>Creative initiatives including using a base or highlight colour are encouraged to make a standard timber paling fence visually appealing.</p> <p>Alternative timber, such as dressed hardwood, is subject to approval by QDRP.</p> |
| Fences on a slope | <p>Fences must be stepped in accordance with any slope in the lot.</p> | |

The Quarters standard side and rear fencing

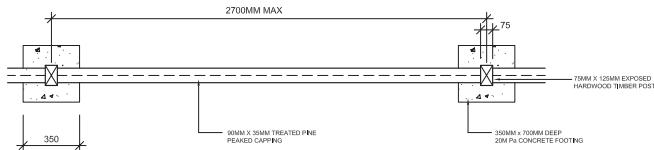
Standard Fence Detail - ELEVATION



Standard Fence Detail - SECTION

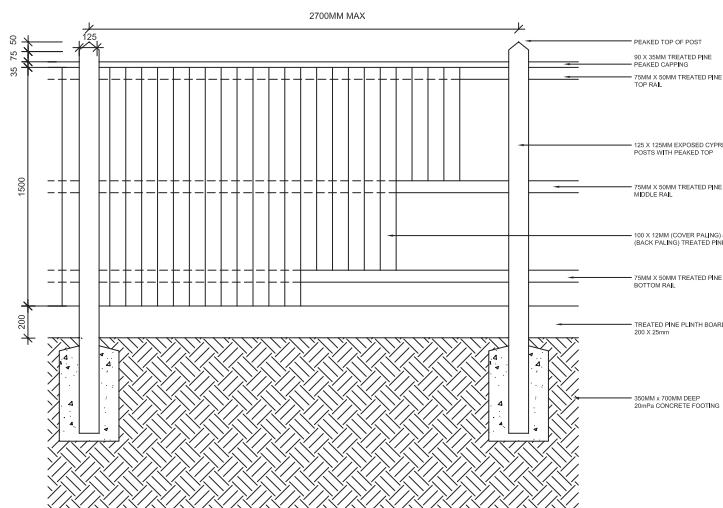


Standard Fence Detail - PLAN

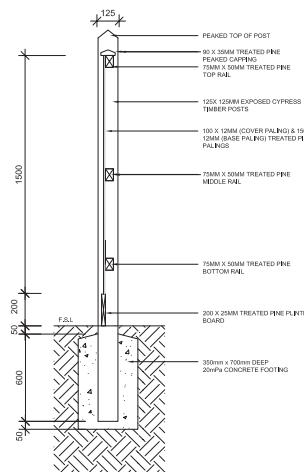


The Quarters premium fencing for side and rear boundaries adjacent to roads and/or parklands (40% of boundary)

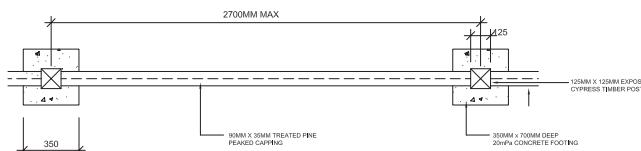
Premium Timber Fence Detail - ELEVATION



Premium Timber Fence Detail - SECTION



Premium Timber Fence Detail - PLAN

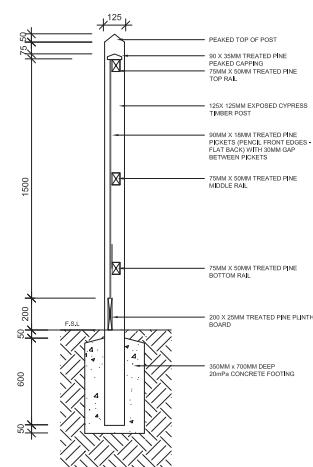
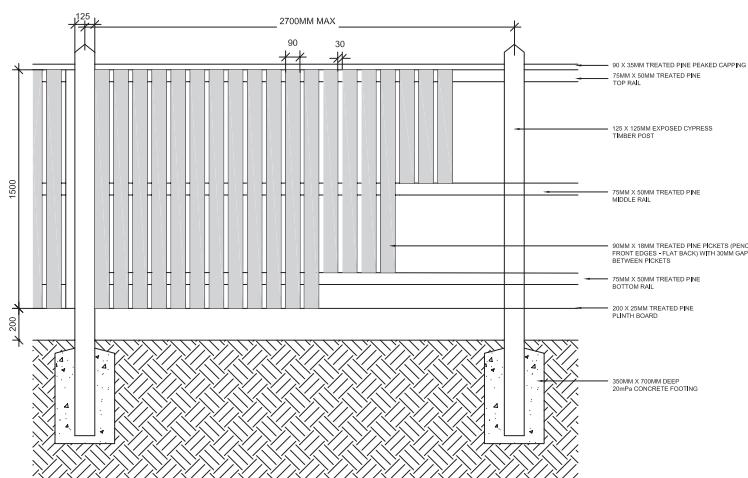


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The Quarters premium fencing for side and rear boundaries adjacent to roads and/or parklands

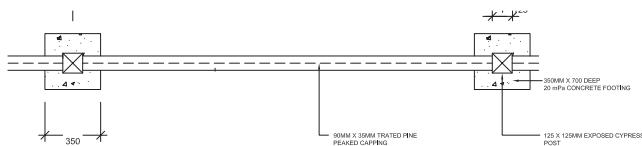
(20% of boundary) - *Note: 30mm gap between pickets

Premium Timber Fence Detail - ELEVATION

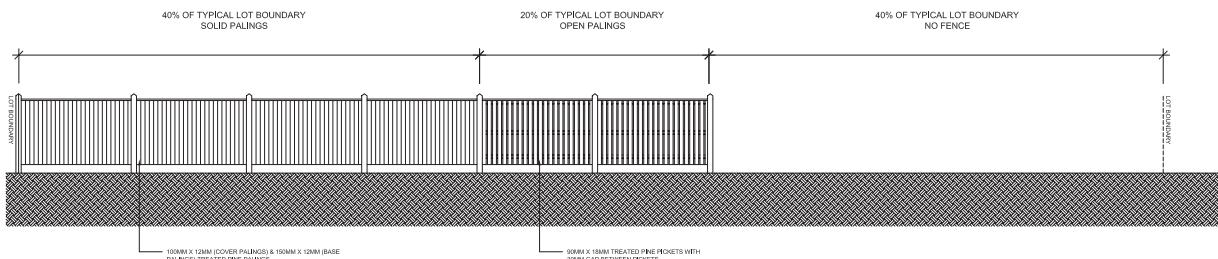


Treated Pine Pickets
90 x 18mm 1.5mtr
"Pencil round 2"
front edges – flat back"
Treated Pine Rail 75 x 50mm
"3 x rails"
Treated Pine plinth board
200 x 25mm
Treated pine peaked capping
90 x 35mm
Exposed Cypress Posts
125 x 125mm
(600mm into ground)
"set at 2.7mtr centres"
"posts to have pointed tops"
Concrete footings

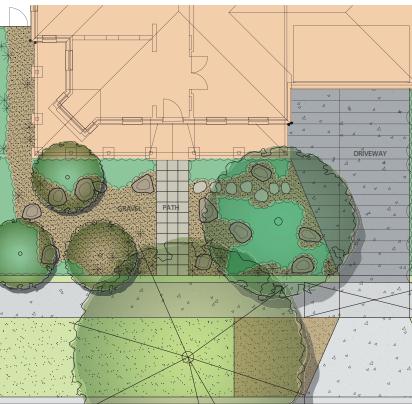
Premium Timber Fence Detail - PLAN



Premium Timber Fence Detail - ELEVATION



Garden and Landscaping

| Feature | Essential (homes must comply) | Recommended |
|--------------|---|--|
| Front garden | <p>The front garden must be completed within six months of the Certificate of Occupancy being issued.</p> <p>A residential lot with an area greater than 300 sqm must make provision for the planting of a canopy tree of an appropriate species within the front setback or rear yard to the satisfaction of the responsible authority.</p>  | <p>Limit the amount of hard surfaces and use 'soft' coverings such as garden beds, shrubs, ground cover and trees. As a guide, a minimum of 50% of the front garden should be covered in softscape.</p> <p>Design paved areas to drain into lawns and garden beds for passive irrigation.</p> <p>Use landscaping effectively in your front garden to help define your boundary.</p> <p>The use of native species requiring less water is encouraged. Organic mulch can lower maintenance.</p> <p>Select planting and ground covers that are drought resistant and require minimal maintenance.</p> |

Recommended Canopy Trees (as recommended by the responsible authority)

| Botanical Name | Common Name | Botanical Name | Common Name | Botanical Name | Common Name |
|--------------------------------|-----------------------------|-------------------------|------------------------|----------------------------|------------------------|
| Acacia boormanii | Snowy River Wattle | Elaeocarpus eumundi | Smooth-leaved Quandong | Hymenosporum flavum | Native frangipanni |
| Acacia leprosa 'Scarlet Blaze' | Cinnamon Wattle | Eucalyptus erythrocorys | Iillyarie | Lacerstoemia indica | Crepe Myrtle |
| Acer monspessulanum | Montpelier Maple | Eucalyptus pauciflora | Snow Gum | Pistacia chinensis | Chinese Pistachio |
| allocasuarina littoralis | Black She-oak | 'Little Snowman' | | Pyrus calleryana 'Capital' | 'Capital' Callery Pear |
| Banksia 'Giant Candles' | Giant Candles Banksias | Eucalyptus curtisiai | Plunkett Mallee | Sapium sebiferum | Chinese Tallow |
| Callistemon 'Harkness' | Harkness' Bottlebrush | Eucalyptus kitsoniana | Gippsland Malee | | |
| Corymbia citriodora | Scentuous Lemon Scented Gum | Eucalyptus olivacea | Summer Scentsation | | |
| 'Scentuous' | | Eucalyptus preissiana | Ball-fruited Mallee | | |

Driveways, Letterboxes and Retaining Walls

| Feature | Essential (homes must comply) | Recommended |
|-----------|---|---|
| Driveways | <p>There must only be one driveway per lot, located to comply with the crossover as shown on the engineering plan.</p> <p>The driveway area must not cover more than 40% of the overall front yard.</p> <p>No circular driveways are permitted.</p> <p>The driveway must be set a minimum of 300mm off the side boundary to allow for a planting strip along the side.</p> <p>Driveways must be completed before the home is occupied.</p> <p>The colour selection must compliment the building design and external colour scheme.</p> <p>The material must be of neutral tone.</p> <p>Approved driveway materials are pavers, exposed aggregate and coloured concrete.</p> | <p>Driveway pavers come in a variety of shapes and designs including hexagonal concrete pavers, rectangular brick pavers and cobblestones. Exposed aggregate is available in a wide range of colours and styles and coloured concrete allows for a huge choice of decorative options.</p> |

DESIGN GUIDELINES

Letterboxes

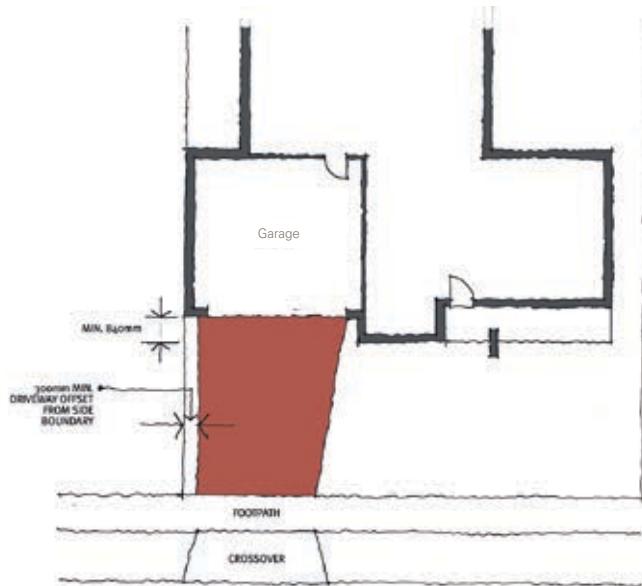
Letterboxes and street numbering must be installed before occupation. Letterboxes must be housed in a purpose built low structure located forward of the building that complements the house design and external colour scheme. The size and position of the letterbox must comply with Australia Post requirements. For more about letterbox requirements, visit www.auspost.com.au. The street number must be clearly identifiable, suitably sized and located and must not interfere with the overall streetscape.

Letterboxes could be housed in a facebrick or render-finish pier; a timber, free-standing pier or custom designed to complement the house design. Custom designed units are highly recommended and subject to approval by QDRP.

Retaining walls

Retaining walls visible by the public must be tapered to work with the natural topography. Land cut and fill must be kept to a minimum. Design materials and colour selection for visible retaining walls must complement the building design and external colour scheme. Treated pine sleepers are not permitted where visible from the street.

Minimise the use of retaining walls and excessive earthworks.



On Site Car Accommodation

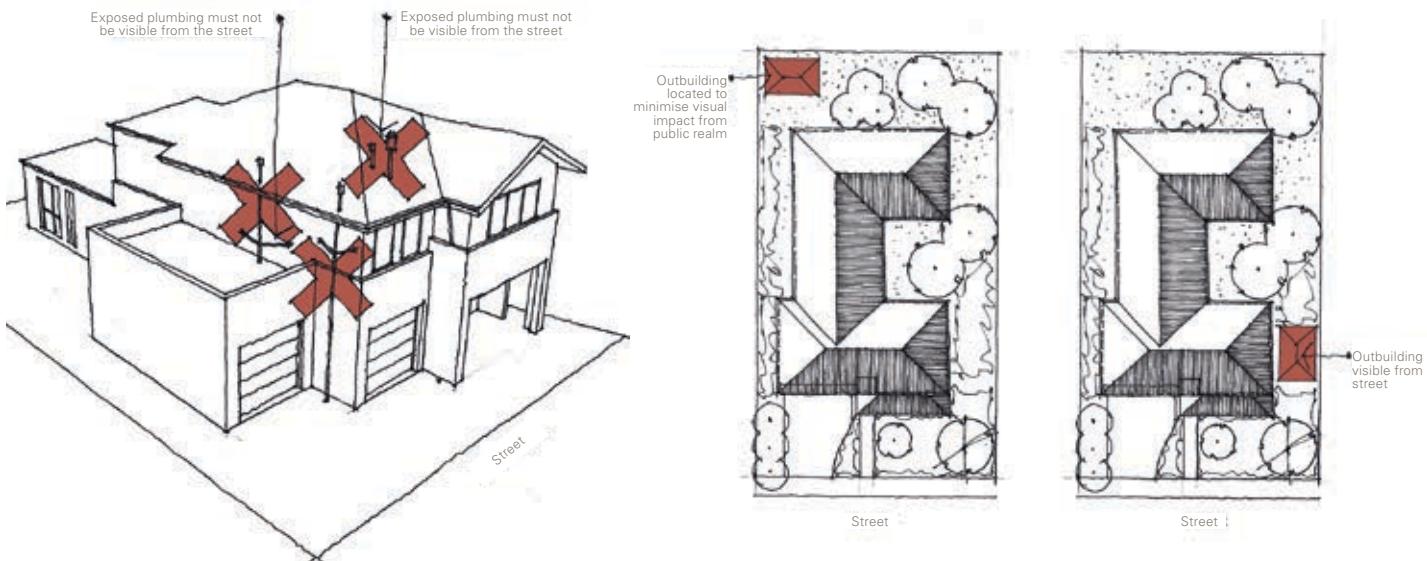
| Feature | Essential (homes must comply) | Recommended |
|-------------------|--|--|
| Car accommodation | <p>Each dwelling must have a lock-up garage.</p> <p>The garage opening must not exceed more than 40% of the lot width.</p> <p>No carports are permitted.</p> <p>The front garage wall must be a minimum of 840mm behind the main building line, to minimise the visual dominance of garages on the street front.</p> <p>The front garage wall must be a minimum of 5.5 metres from the front lot boundary.</p> <p>The colour and style of the garage structure and door must be complementary to the overall house design and external colour scheme.</p> <p>Garage doors must be panel lift or sectional overhead, or a tilt door.</p> <p>Roller doors are not permitted.</p> | <p>The garage structure should be designed as an integral part of the dwelling</p> |



DESIGN GUIDELINES

Outbuildings and Ancillary Items

| Feature | Essential (homes must comply) | Recommended |
|-----------------|--|---|
| Outbuildings | <p>Outbuildings must be located so they are not visible from the street.</p> <p>Outbuildings must not be more than 20sqm and 2.5m high.</p> <p>The design, colour and materials must be consistent with the external house design.</p> | |
| Ancillary items | <p>Ancillary items including (but not limited to) clothes lines, rainwater tanks, hot water services, heating and cooling plants and bin storage areas must not be visible from the street. Solar water heaters and solar panels may be located on any elevation that provides the most suitable solar access.</p> <p>The location, design and colour of meter enclosures must be complementary to the overall design and minimise impact on the streetscape.</p> <p>Exposed plumbing and electrical services must not be visible from the street.</p> | <p>Minimise the visual impact of downpipes and rainwater heads to the street facade. Ensure the colour of the downpipe matches main wall colour.</p> <p>Water tanks should be a suitable non-reflective muted colour that blends into the house design.</p> |



Notes

DESIGN GUIDELINES

Quarters Building Design Checklist

The Quarters Design Guidelines Checklist is part of the required submission package to gain house plan approval from the Quarters Design Review Panel (QDRP). To successfully gain your Design Approval from the QDRP, your home plans must comply with the restrictive covenants detailed in the Quarters Design Guidelines. All non-conforming designs will be assessed on their own merit with the overall interests of the entire community as the highest priority. Contemporary home designs are encouraged. The QDRP reserves the right to approve or decline any non-conforming design.

Orientation, Siting, Solar Access and Sustainability

- Only one dwelling per lot is planned
- House design achieves the minimum energy rating requirements as required by the relevant Government approved rating scheme
- House design includes fittings and connections that allow toilets and garden to be flushed/serviced by recycled water

The Dwelling

- Your home design faces the primary street frontage
- House facade design is not repeated within three housing lots
- House entry is clearly visible from the street
- House entry has direct access to the home from the street frontage
- The dwelling has a covered entry feature that is visible from the street
- External lighting is baffled to minimise light intrusion to adjoining properties
- The proposed external colour palette uses a combination of finishes, textures and shades that are harmonious with the natural landscape and streetscape
- Facade design incorporates 2 or more material finishes
- No more than 80% of the same material is present in on the proposed front facade design
- Materials proposed on the front facade design returns along the sides of the house a minimum of 840mm
- Full face brick facades are not proposed
- Infill panels over windows, doors and garage doors are finished flush with front facade
- House design is not a period reproduction style
- Window frame style and colour and glazing selection compliment overall colour palette
- Each storey has matching window head and sill heights
- Design has no leadlight and/or stained glass features
- Design has no tinted windows

Optic Fibre to the Home

- Home does not have any external antennas or satellite dishes visible from the street
- House is cabled and equipped with optic fibre cabling in accordance with NBN Co In-Home Wiring Guide

Roof Design

- If roof is pitched, it is angled 22° or more
- Roof is constructed of metal sheet roofing or roof tiles
- Metal sheet and roof tile roofing matches (or is very similar to), the approved colour scheme as listed in the Quarters Design Guidelines (page 12)
- Roof tiles (if proposed) are low-profile terra-cotta or concrete roof tiles, or slates or shingles
- Treatments to gable ends (if any) are contemporary and have no ornate decorations or period detail
- House design includes eaves to the entire house (this is only a mandatory requirement on specific lots, please refer to the Quarters Design Guidelines (page 13) or your contract of sale for more details)
Eaves (if mandatory or adopted) are a minimum of 450mm

Double Storey Homes

- Home is a double storey design (this is only a mandatory requirement on specific lots, please refer to the Quarters Design Guidelines (page 14) or your contract of sale for more details)

Corner Allotments

- Front facade design addresses both the primary and secondary street frontages and is a similar scheme
- Side boundary fencing is not more than 60% of the boundary length on the boundary that is the second street or park frontage

Fencing

- No front fencing is included
- Side and rear fencing is the Quarters Standard fencing as detailed in the Quarters Design Guidelines (page 16)
- Side fencing on corner lots, or lots that have a secondary frontage to a park or reserve, is the Quarters Premium fencing as detailed in the Quarters Design Guidelines (page 16)
- Side and rear fencing is no higher than 1800mm
- Side boundary fencing is not forward of the main front building line or within 9 metres of the principal lot frontage, whichever is lesser (except where the side boundary forms the rear boundary of an adjacent lot)
- Return fencing is complementary to the house facade and is no higher than 1800mm
- Return fencing is a minimum of 840mm behind the front building line

Garden & Landscaping

- Provision for the planting of a canopy tree of an appropriate species within the front or rear yard has been made, provided the residential lot is greater than 300sqm

Driveways, Letterboxes and Retaining Walls

- Only one driveway is included
- Driveway does not cover more than 40% of the overall front yard
- Driveway is not a circular design
- Driveway is set to a minimum of 300mm off the side boundary of the lot
- Driveway colour selection complements the building design and external colour scheme
- Driveway is built from pavers, exposed aggregate or coloured concrete
- Letterbox is a low purpose built structure located forward of the building
- Size and position of the letterbox complies with Australia Post requirements
- Visible retaining walls compliment the building design and external colour scheme

On Site Car Accommodation

- House design includes a lock-up garage (no carports are permitted)
- Garage opening does not exceed more than 40% of lot width
- The front garage wall is a minimum of 840mm behind the main building line
- Front garage wall is at least 5.5m from the front lot boundary
- The colour and style of the garage structure and door complements the overall design and external colour scheme of the house
- Garage door design is panel lift, sectional overhead or a tilt door

Outbuildings and Ancillary Items

- Outbuildings are not visible from the street
- Outbuildings are less than 20sqm in area and less than 2.5m high
- Outbuilding design is consistent with the design, colour and material selection for the home
- Ancillary items are not visible from the street
- The location, design and colour of meter enclosures are complimentary to the overall design
- Exposed plumbing and electrical services are not visible from the street

DESIGN GUIDELINES

Quarters Design Approval Application Form

Please submit your Design Approval Submission Package to melbourne@peet.com.au

Allotment details

Lot Number: Street:

Owner details

Name:

Mailing Address:

Contact Number: Email:

Builder details

Name:

Company:

Mailing Address:

Contact Number: Email:

Attachments

- | | | |
|---|---|--|
| <input type="checkbox"/> Completed checklist | <input type="checkbox"/> 1 copy of Site plan | <input type="checkbox"/> 1 copy of proposed Floor plans, Roof plans and Elevations |
| <input type="checkbox"/> 1 copy of Materials and Colours schedule | <input type="checkbox"/> 1 copy of Landscape design | |

Non-conforming designs (to be completed for designs that do not comply with design guidelines)

List measures taken to ensure that standards are being upheld or improved:

.....
.....
.....

List reasons why this home design will add character to the overall estate:

.....
.....
.....

- Where colour selections or materials differ from pre-approved palette, please provide samples or images of your selection for assessment.

Submitted by:

Print name: Date:

Quarters Guidelines Checklist & Design Approval Application Form

You are encouraged to submit your Design Approval Submission Package in PDF format to melbourne@peet.com.au

Alternatively you can send them to:

Quarters Design Review Panel
Peet Limited, Level 3, 492 St Kilda Road
Melbourne 3004

Contact

If you have any queries about your Design Approval Submission Package, please speak to your builder or architect in the first instance. For remaining queries, please contact:

Quarters Design Review Panel:

Email: melbourne@peet.com.au Phone: (03) 9868 5900

This is an indicative outline and summary only of some information contained in the Restrictive Covenants contained within the contract. It is only a guide and does not form part of the contract in any way or infer that these are the only conditions applying to the lots. These guidelines are subject to change without notice at Peet's absolute discretion, so purchasers should review the contract carefully, make their own inquiries and obtain independent advice before proceeding.

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With over 120 years of experience in community creation, Peet Limited has won numerous planning and environmental awards for creating premium communities, all of which feature high quality landscaping and presentation.

Peet Limited has residential developments in Victoria, Western Australia, Queensland and New South Wales.

Peet Limited is one of Australia's largest residential land developers. We strive to make our communities not only great places to live, but sound investments for the future.



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