

# PLAN OF SUBDIVISION

EDITION 1

**PS 739550S**

## LOCATION OF LAND

PARISH: TARNEIT

TOWNSHIP: -

SECTION: 20

CROWN ALLOTMENT: -

CROWN PORTION: D

TITLE REFERENCE: C/T VOL .... FOL ...

LAST PLAN REFERENCE: LOT B ON PS 732566P

POSTAL ADDRESS: TARNEIT & LEAKES ROADS,  
(at time of subdivision) TARNEIT, 3029MGA CO-ORDINATES: E: 294 630 ZONE: 55  
(of approx centre of land N: 5 810 440  
in plan)

## VESTING OF ROADS AND/OR RESERVES

## Notations

IDENTIFIER	COUNCIL/BODY/PERSON	Lots 1 to 300 (both inclusive), A and B have been omitted from this plan.
ROAD R-1	Wyndam City Council	
RESERVE No. 1 & 2	Wyndam City Council	
RESERVE No. 3	Powercor Australia Limited	
NOTATIONS		
DEPTH LIMITATION DOES NOT APPLY		
SURVEY: This plan is based on survey		
STAGING: This is not a staged subdivision Planning Permit No. WYP 6864/13		
This survey has been connected to permanent marks No(s). Tarneit PM 94 & 759		
In Proclaimed Survey Area No. -		

## EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour of
E-1 E-2	Sewerage Water Supply Pipeline Purposes	2 See Diag.	PS 732566P Sec.130 Water Act 1989 Sec.19 Land Acquisition & Compensation Act 1986 Vide Notification AJ284302V	City West Water Corporation Barwon Region Water Corporation
E-3 E-4	Sewerage Powerline	2 1.50	This Plan PS 732577J Sec.88 Electricity Industry Act 2000	City West Water Corporation Powercor Australia Limited
E-5	Water Supply Pipeline Purposes	1.50	Sec.130 Water Act 1989 Sec.19 Land Acquisition & Compensation Act 1986 Vide Notification AJ284302V	Barwon Region Water Corporation
E-5	Powerline	1.50	PS 732577J Sec.88 Electricity Industry Act 2000	Powercor Australia Limited
E-6	Sewerage	2	PS732577J	City West Water Corporation

LITTLE GREEN ESTATE - STAGE 3 (44 LOTS)

AREA OF STAGE - 2.734ha

469 La Trobe Street  
PO Box 16084  
Melbourne Vic 8007  
T 61 3 9993 7888  
spiire.com.au

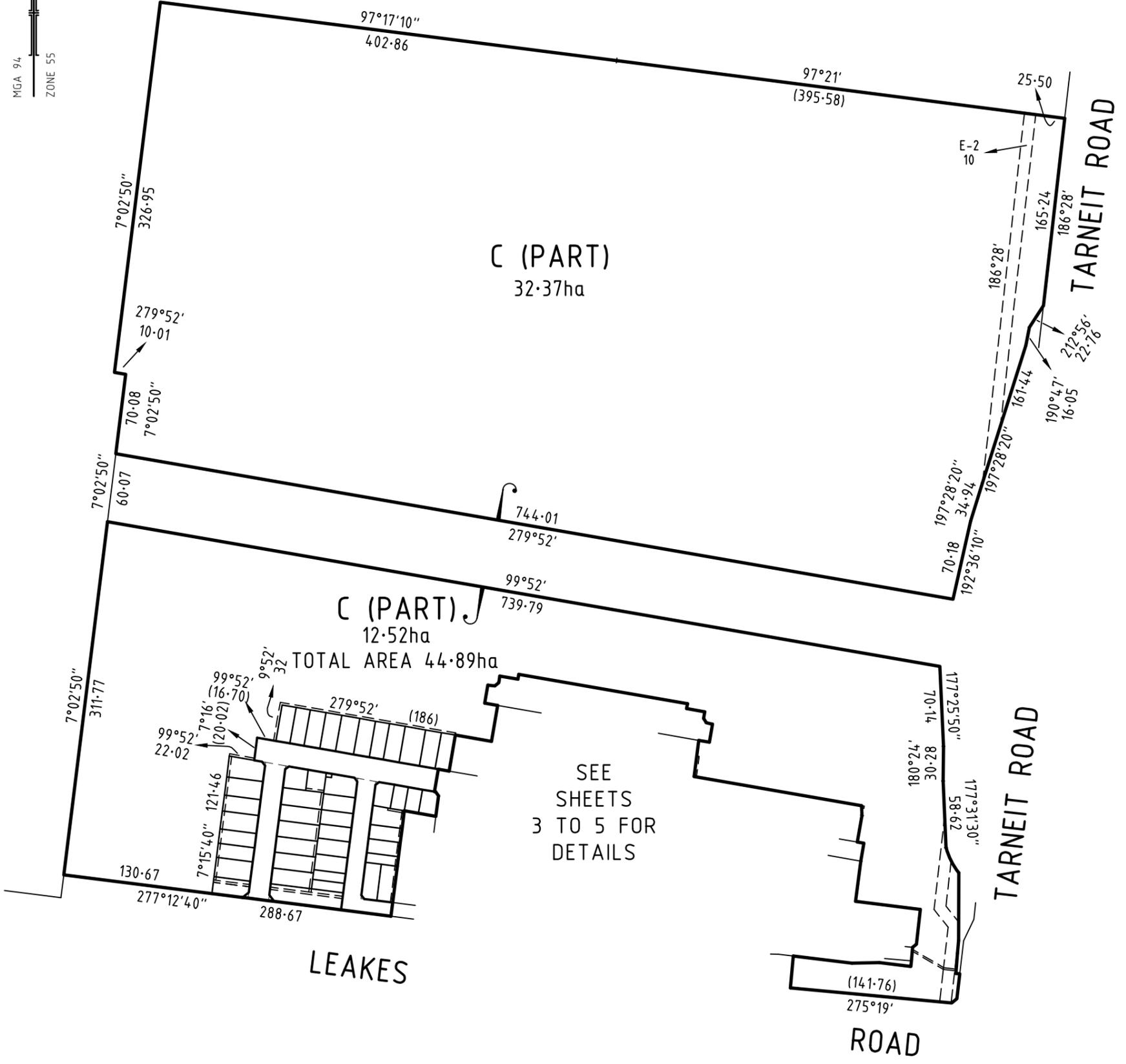
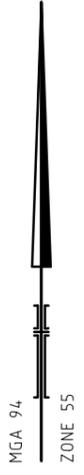
SURVEYORS FILE REF: 301646SV00

LICENSED SURVEYOR: Keith Robert Jones

VERSION 6

ORIGINAL SHEET  
SIZE: A3

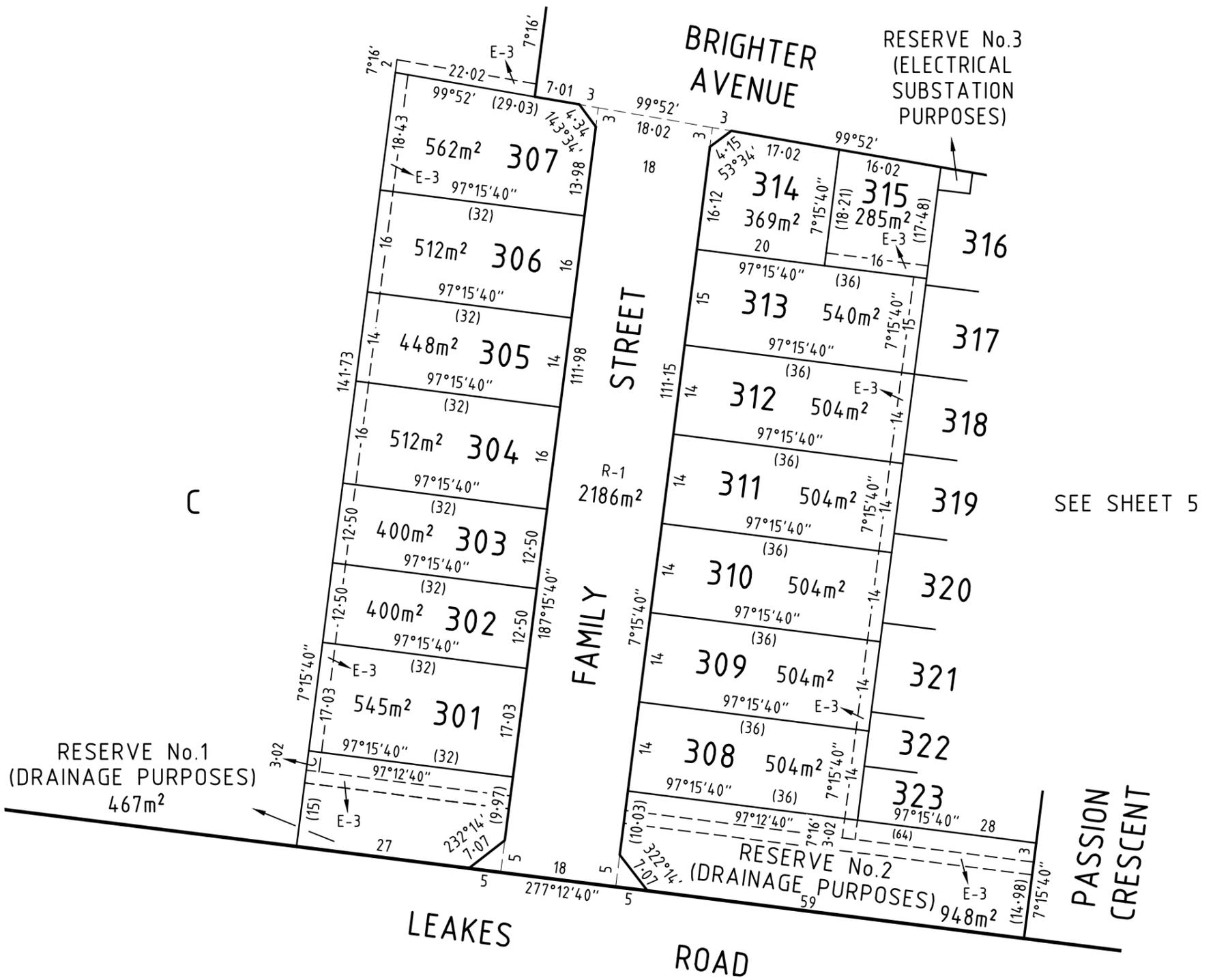
SHEET 1 OF 7



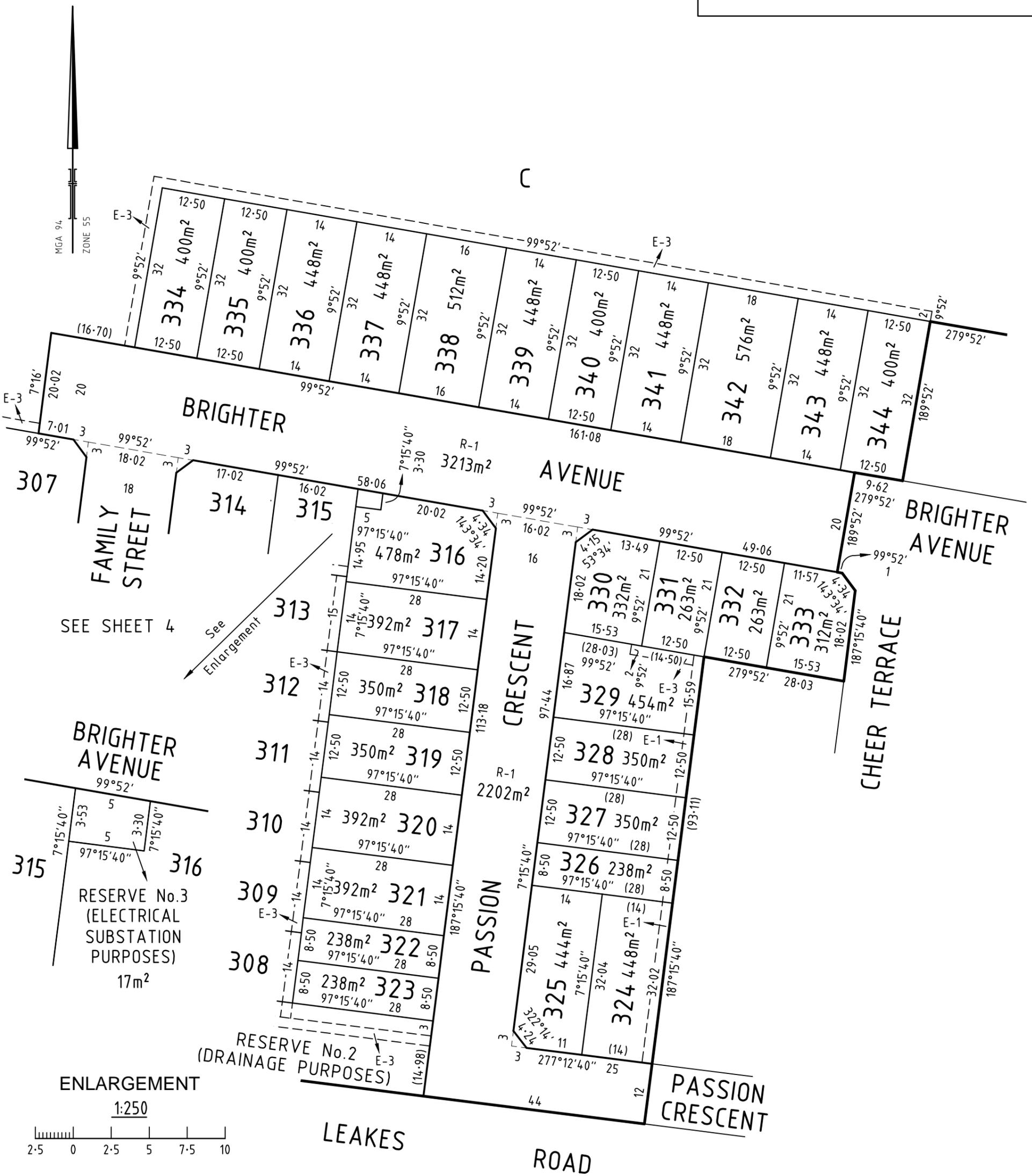




SEE SHEET 5



SEE SHEET 5

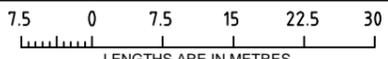
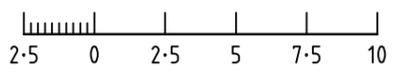


SEE SHEET 4

See Enlargement

ENLARGEMENT

1:250



**CREATION OF RESTRICTION No.1**

The following restriction is to be created upon registration of this plan:

Table of Land Burdened and Land Benefited:

Burdened Lot	Benefited Lots	Burdened Lot	Benefited Lots
301	302	324	325, 326
302	301, 303	325	324, 326
303	302, 304	327	326, 328
304	303, 305	328	327, 329
305	304, 306	329	328, 330, 331
306	305, 307	330	329, 331
307	306	333	332
308	309, 322, 323	334	335
309	308, 310, 321, 322	335	334, 336
310	309, 311, 320, 321	336	335, 337
311	310, 312, 319, 320	337	336, 338
312	311, 313, 318, 319	338	337, 339
313	312, 314, 315, 316, 317	339	338, 340
314	313, 315	340	339, 341
316	313, 315, 317	341	340, 342
317	313, 316, 318	342	341, 343
318	312, 317, 319	343	342, 344
319	311, 312, 318, 320	344	343
320	310, 311, 319, 321		
321	309, 310, 320, 322		

**Description of Restriction :**

The registered proprietor or proprietors for the time being of any burdened lot on this plan to which the following restriction applies shall not :

1. Construct more than one dwelling on any lot.
2. Further subdivide any lot on this plan
3. Construct any dwelling unless that dwelling incorporates plumbing for a recycled water supply for toilet flushing and garden watering use.
4. Build or erect or allow to be built or erected any building or structure other than a building or structure which is built or erected in accordance with the Building Envelopes contained in memorandum of common provisions registered in dealing number ?????? except with the written consent of the Responsible Authority.
5. Construct any dwelling unless that dwelling accords with the requirements of the Little Green Design Guidelines

This Restriction shall expire 5 years after the date of registration of this plan.

**CREATION OF RESTRICTION No.2**

The following restriction is to be created upon registration of this plan:

Table of Land Burdened and Land Benefited:

Burdened Lot	Benefited Lots
315	313, 314, 316
322	308, 309, 321, 323
323	308, 322
326	324, 325, 327
331	329, 330, 332
332	331, 333

Lots 315, 322, 323, 326, 331 and 332 are defined as Type A lots under the Small Lot Housing Code.

**Description of Restriction:**

The registered proprietor or proprietors for the time being of any lot on this plan to which the following restriction applies shall not :

1. Construct any building on any burdened lot unless that building conforms to the Small Lot Housing Code incorporated under the Wyndham Planning Scheme
2. Construct any dwelling unless that dwelling accords with the requirements of the Little Green Design Guidelines
3. Construct any dwelling unless that dwelling incorporates plumbing for a recycled water supply for toilet flushing and garden watering use.

This restriction shall expire after the issue of a certificate of occupancy for the dwelling on the burdened lot.