

PLAN OF SUBDIVISION

EDITION 1

PS627062G

Location of Land

Parish: YUROKE

Township: -

Section: 14 (PART)

Crown Allotment: -

Crown Portion: K & L (PARTS), SECTION 7
 M (PART), SECTION 8
 U & V (PARTS), SECTION 13

Title Reference: VOL 10861 FOL 822
 VOL FOL /

Last Plan Reference: LOT A ON PS527050W
 LOT C ON PS623484A

Postal Address: WOODSIDE WAY
 (at time of subdivision) GREENVALE, 3059

MGA Co-ordinates E 315750 Zone: 55
 (of approx. centre of land in plan) N 5834300

Council Certification and Endorsement

Council Name: HUME CITY COUNCIL Ref: S.005664

~~1. This plan is certified under section 6 of the Subdivision Act 1988.~~

2. This plan is certified under section 11(7) of the Subdivision Act 1988.
 Date of original certification under section 6 14/9/2009

~~3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988.~~

OPEN SPACE

(i) A requirement for public open space under section 18 of the Subdivision Act 1988 has/~~has not~~ been made.

(ii) ~~The requirement has been satisfied.~~

(iii) ~~The requirement is to be satisfied in Stage.....~~

Council Delegate
 Council Seal
 Date / /

Re-certified under section 11(7) of the Subdivision Act 1988

Council Delegate *[Signature]*
~~Council Seal~~
 Date 10/12/2009

Vesting of Roads and/or Reserves

Identifier	Council/Body/Person
R1 ROADS	HUME CITY COUNCIL
RESERVE No.1	HUME CITY COUNCIL
RESERVE No.2	HUME CITY COUNCIL
RESERVE No.3	HUME CITY COUNCIL

Notations

Staging This ~~is~~ is not a staged subdivision
 Planning Permit No.

Depth Limitation DOES NOT APPLY

LOTS A TO D (BOTH INCLUSIVE), LOT I & LOTS 1 TO 900 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.

LAND SUBDIVIDED (EXCLUDING LOTS G, H & J) - 7.567ha

TANGENT POINTS ARE SHOWN THUS:

OTHER PURPOSE OF PLAN

TO REMOVE DRAINAGE EASEMENT E-1 CREATED IN PS 527050W WHICH HAS BEEN OMITTED FROM THIS PLAN.

GROUNDS FOR REMOVAL OF EASEMENT

HUME CITY COUNCIL PLANNING PERMIT No. P13599

Survey This plan is/~~is not~~ based on survey VIDE BP2063D
 This survey has been connected to permanent marks no(s) 74, 211, 212, 216,
 In Proclaimed Survey Area No. - 217, 218, 328, 478

Easement Information

Subject Land	Purpose	Width (metres)	Origin	Land Benefited/In Favour Of
E-1	FLOODWAY	SEE DIAG	D659545	M.M.B.W.
E-2	DRAINAGE	SEE DIAG	THIS PLAN	HUME CITY COUNCIL
E-2	SEWERAGE	SEE DIAG	THIS PLAN	YARRA VALLEY WATER LIMITED
E-3	SEWERAGE	SEE DIAG	THIS PLAN	YARRA VALLEY WATER LIMITED

LRS use only

Statement of Compliance/
 Exemption Statement

Received FORM 25
 DATE 7/07/2010

PLAN REGISTERED

DATE 13/07/2010
 TIME 3:39 PM

ROB Mc BAIN
 Assistant Registrar of Titles

Sheet 1 of 11 sheets

GREENVALE LAKES STAGE 9
 34 LOTS, LOTS E&F & BALANCE LOTS G, H & J

Bosco Jonson Pty Ltd
 A.B.N 95 282 532 642
 P.O. Box 5075, South Melbourne, Vic 3205
 16 Eastern Road South Melbourne
 Vic 3205 Australia DX 20524 Emerald Hill
 Tel 03) 9699 1400 Fax 03) 9699 5992



LICENSED SURVEYOR (PRINT) GEOFFREY JAMES TURNER
 SIGNATURE *[Signature]* DATE 30/11/2009
 REF 6485093 30/11/09 VERSION C
 DWG 648509AC

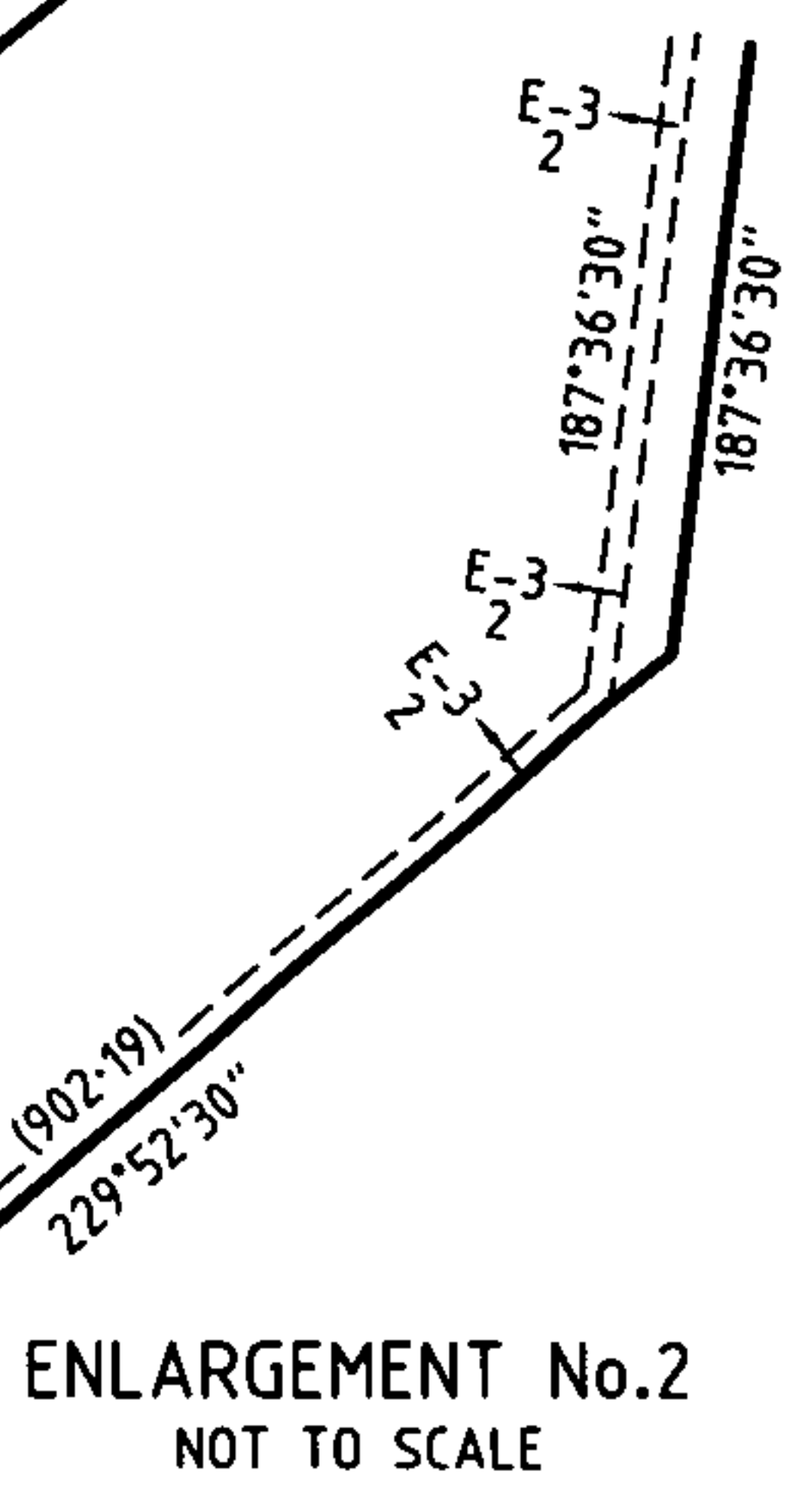
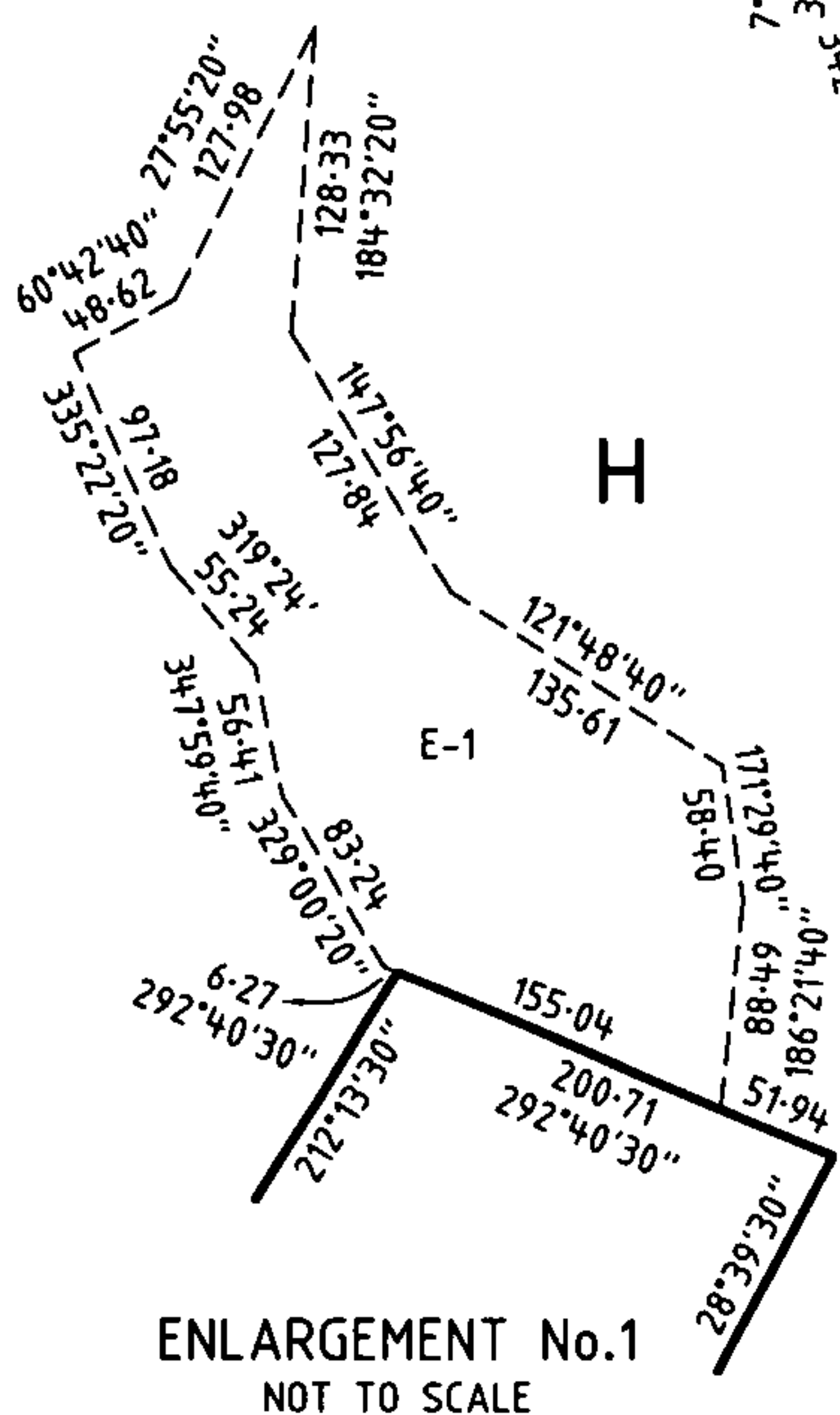
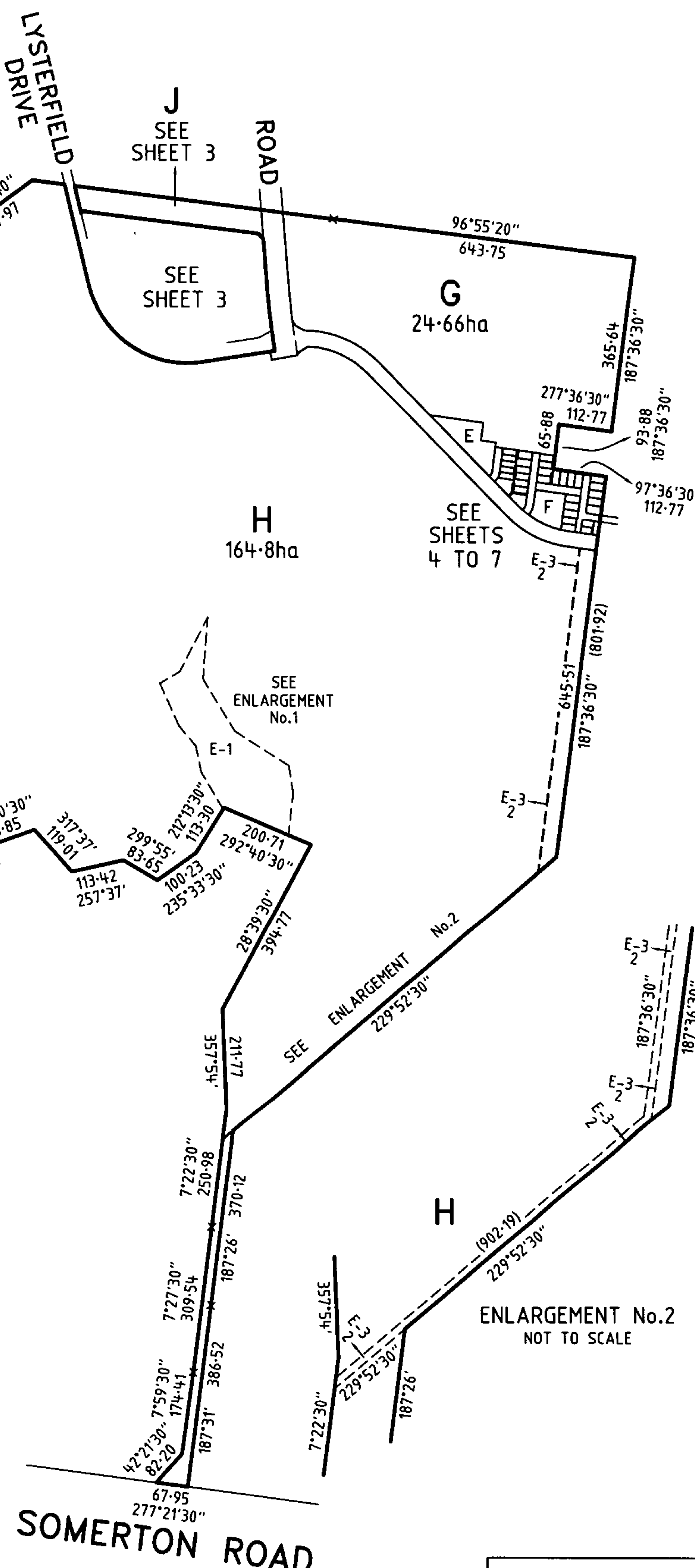
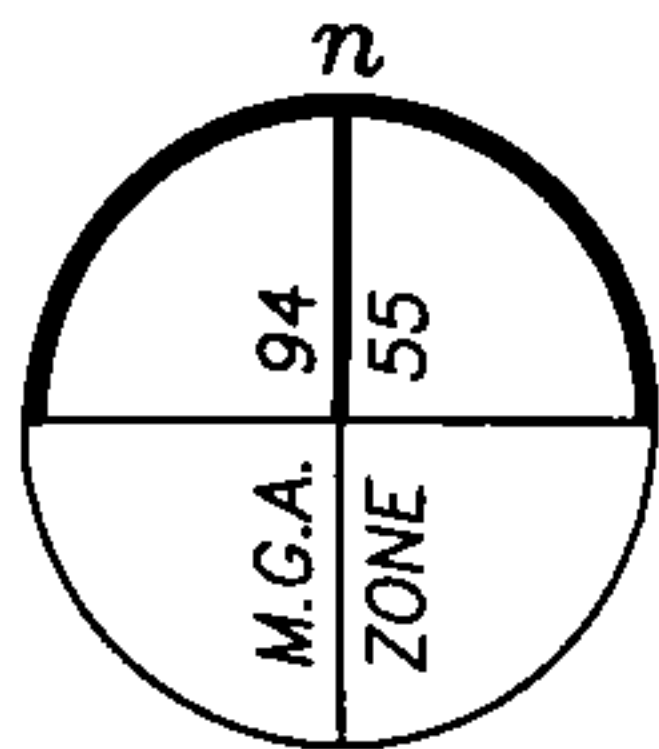
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 DATE 10/12/2009
 COUNCIL DELEGATE SIGNATURE
 Original sheet size A3

PLAN OF SUBDIVISION

Stage No.

Plan Number

PS 627062G



GREENVALE LAKES STAGE 9
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SOMERTON ROAD

ORIGINAL	SCALE
SCALE 1:10000	SHEET SIZE A3
<p>LENGTHS ARE IN METRES</p>	

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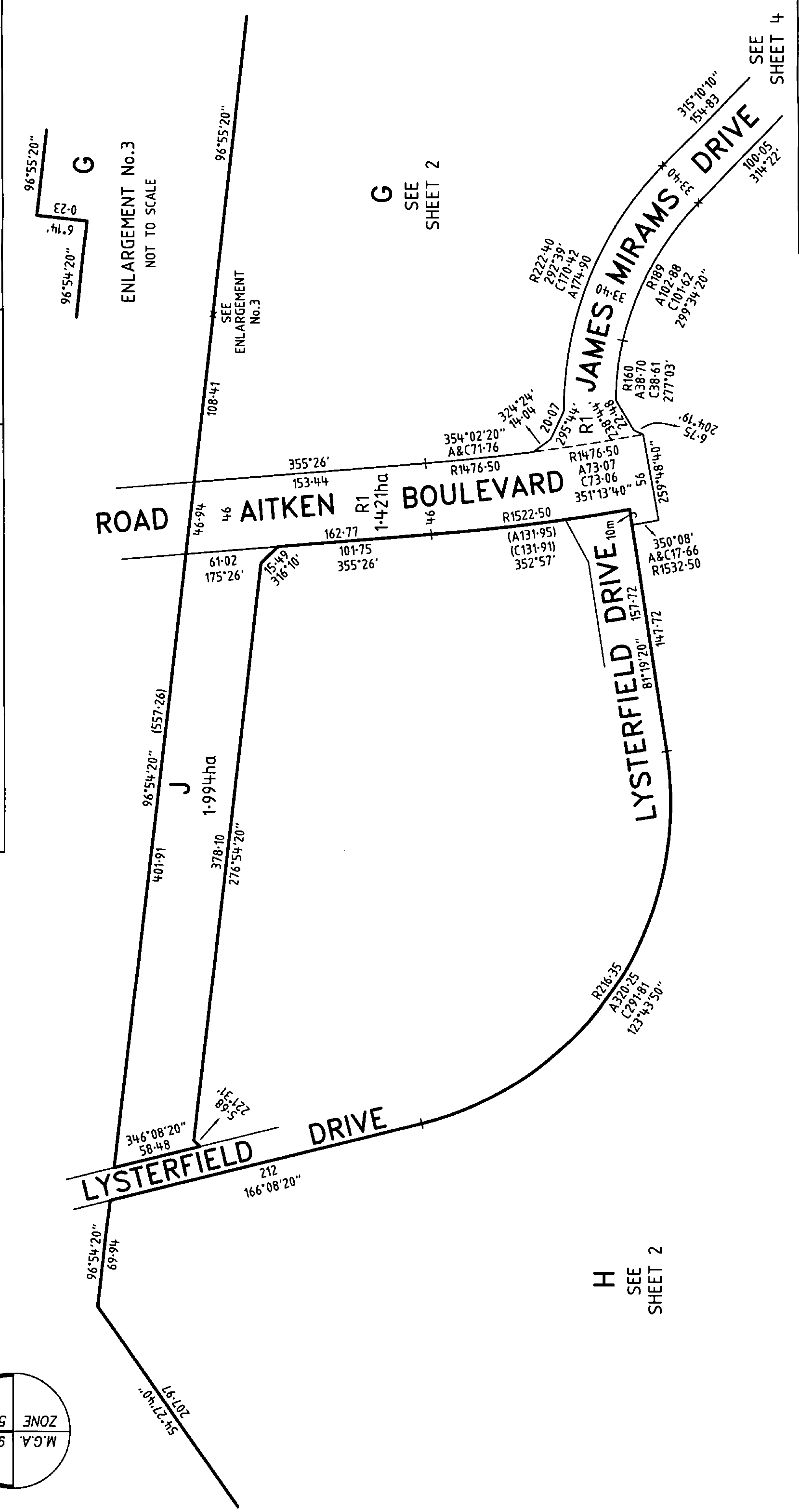
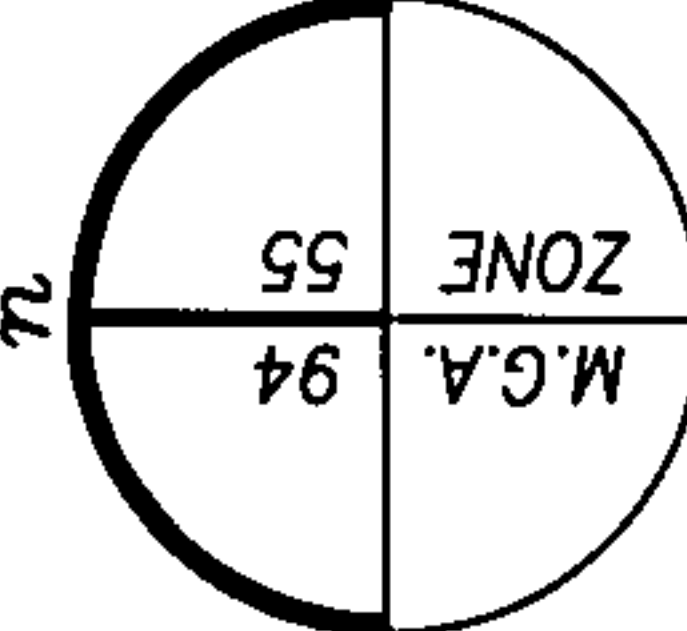
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PLAN OF SUBDIVISION

Stage No.

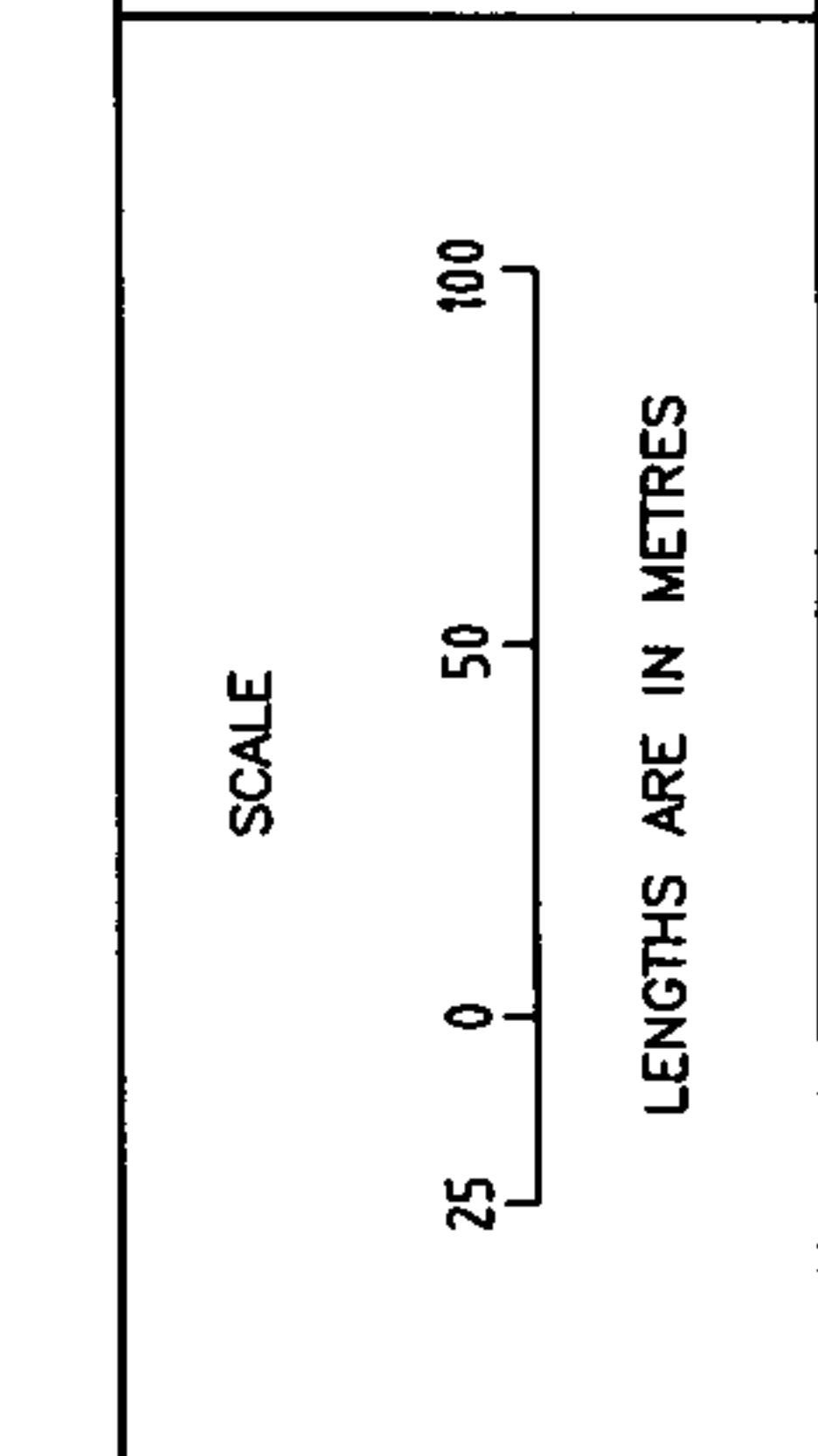
Plan Number
PS 627062G



Sheet 3

Geoffrey James Turner
DATE 10/12/2009
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SIGNATURE *Geoffrey James Turner* DATE 30/11/2009
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ORIGINAL SCALE SHEET SIZE
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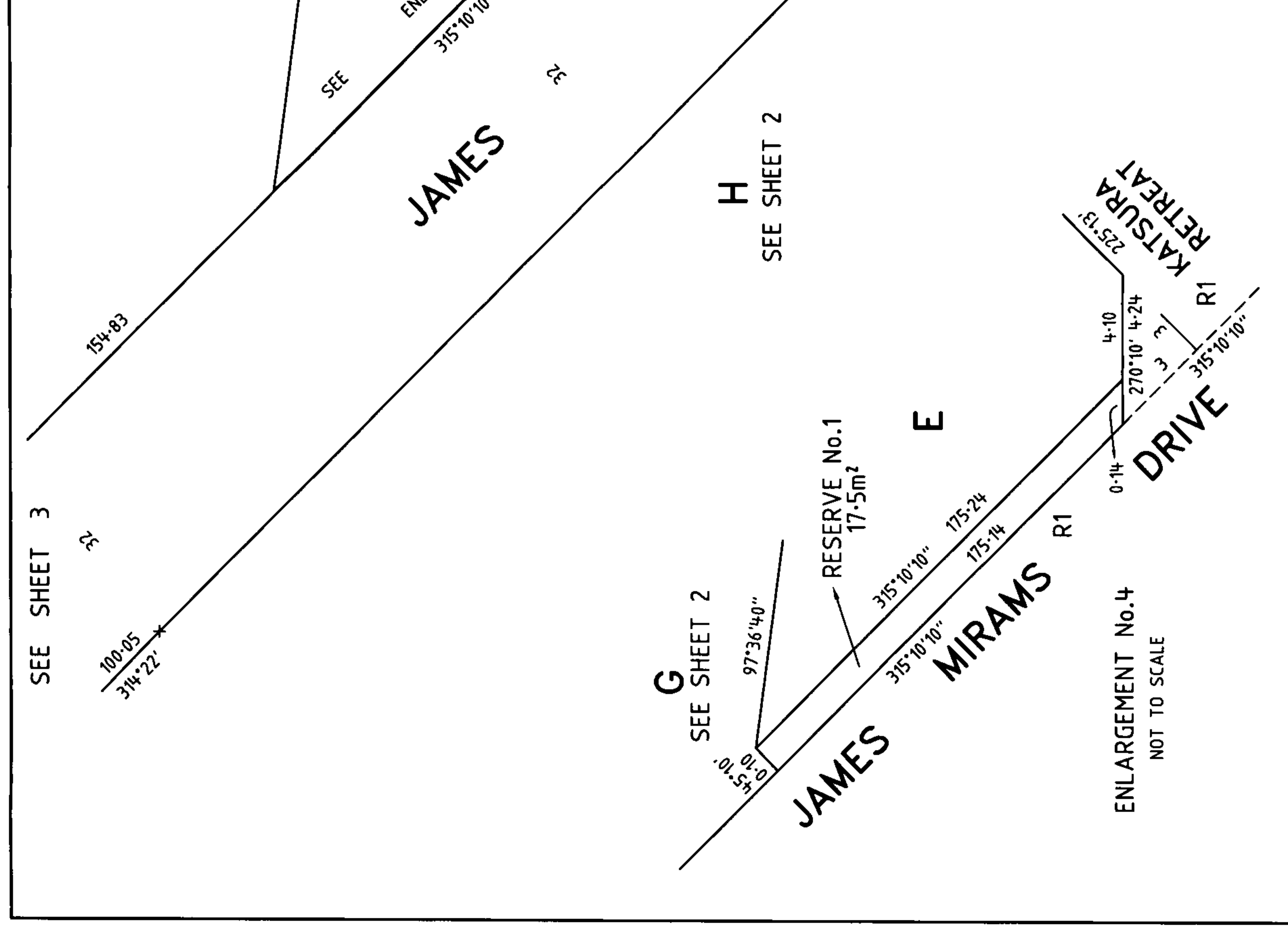
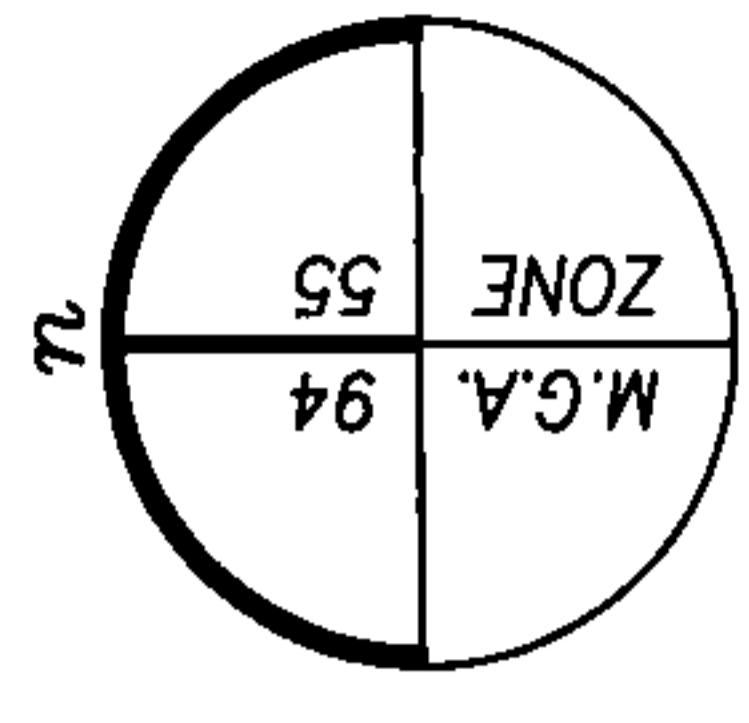
STAGE 9

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A.B.N 95 282 532 642
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PLAN OF SUBDIVISION

Stage No. _____

Plan Number **PS 627062G**



Sheet 4

DATE 10/12/2009

COUNCIL DELEGATE SIGNATURE

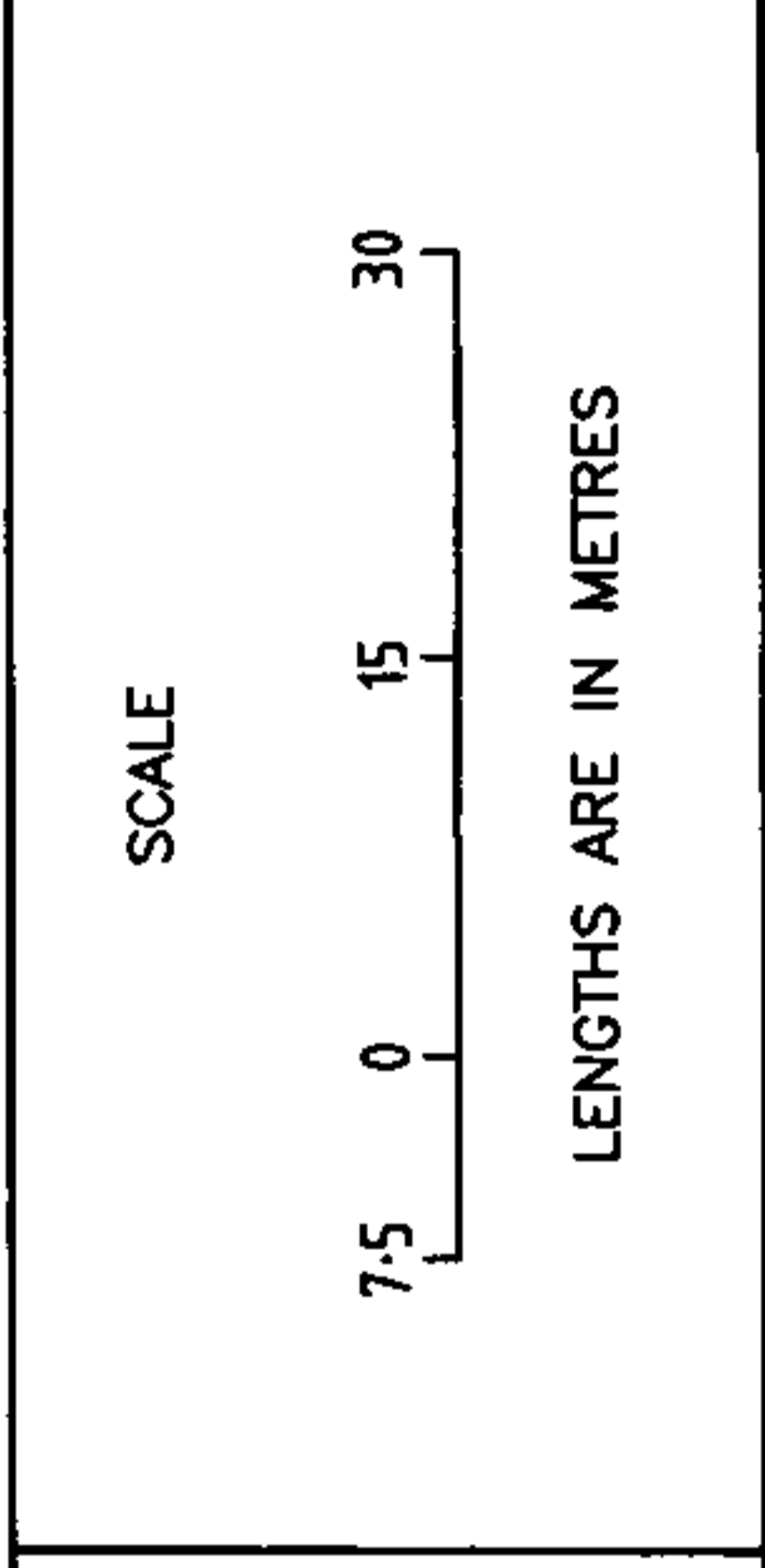
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SIGNATURE *[Signature]* DATE 30/11/2009

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DWG 648509AC

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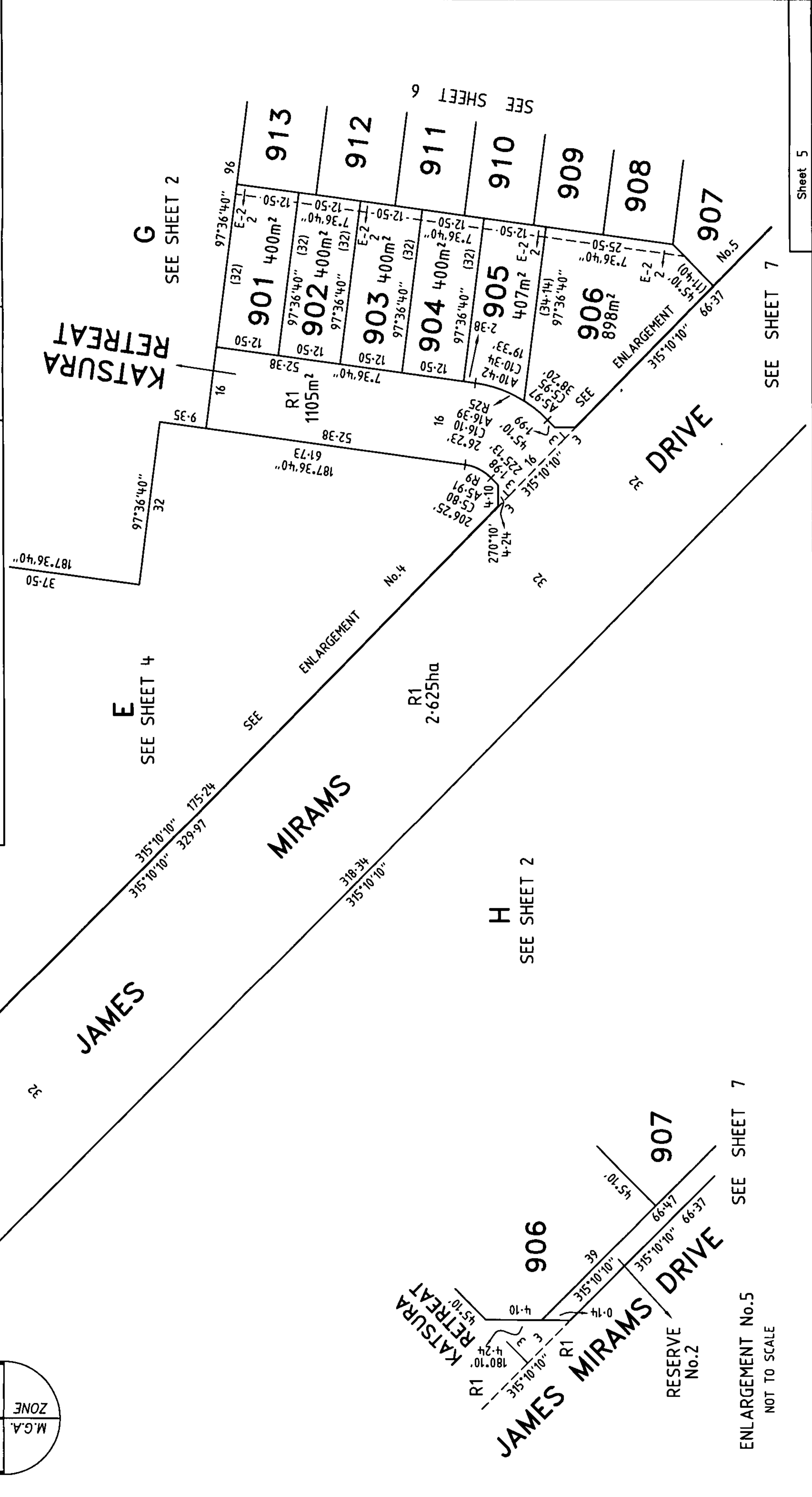
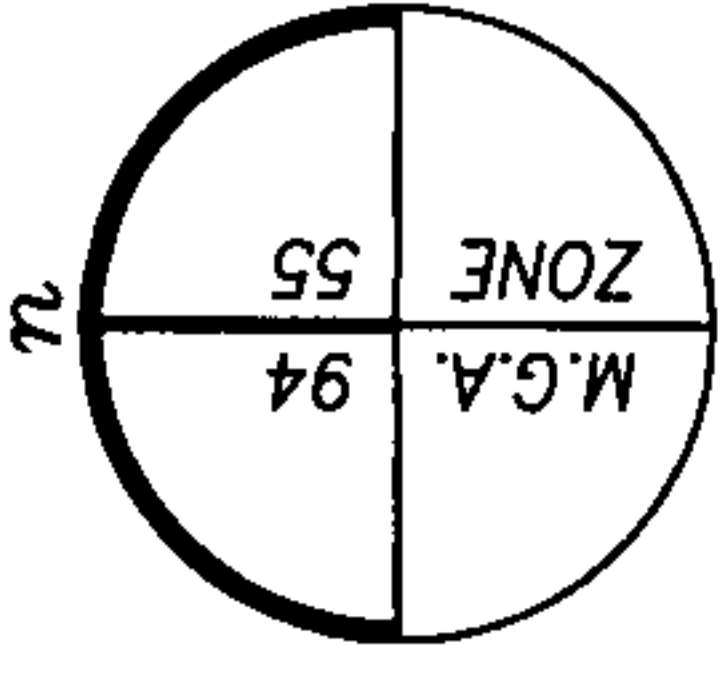
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SEE SHEET 4

E SEE SHEET 4

G SEE SHEET 2

H SEE SHEET 2

SEE SHEET 7

ENLARGEMENT No.5
NOT TO SCALE

Sheet 5
COUNCIL DELEGATE SIGNATURE
DATE 10 / 12 / 2009

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SIGNATURE *[Signature]* DATE 30 / 11 / 2009
REF 6485093
DWG 648509AC
30/11/09 VERSION C

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LENGTHS ARE IN METRES

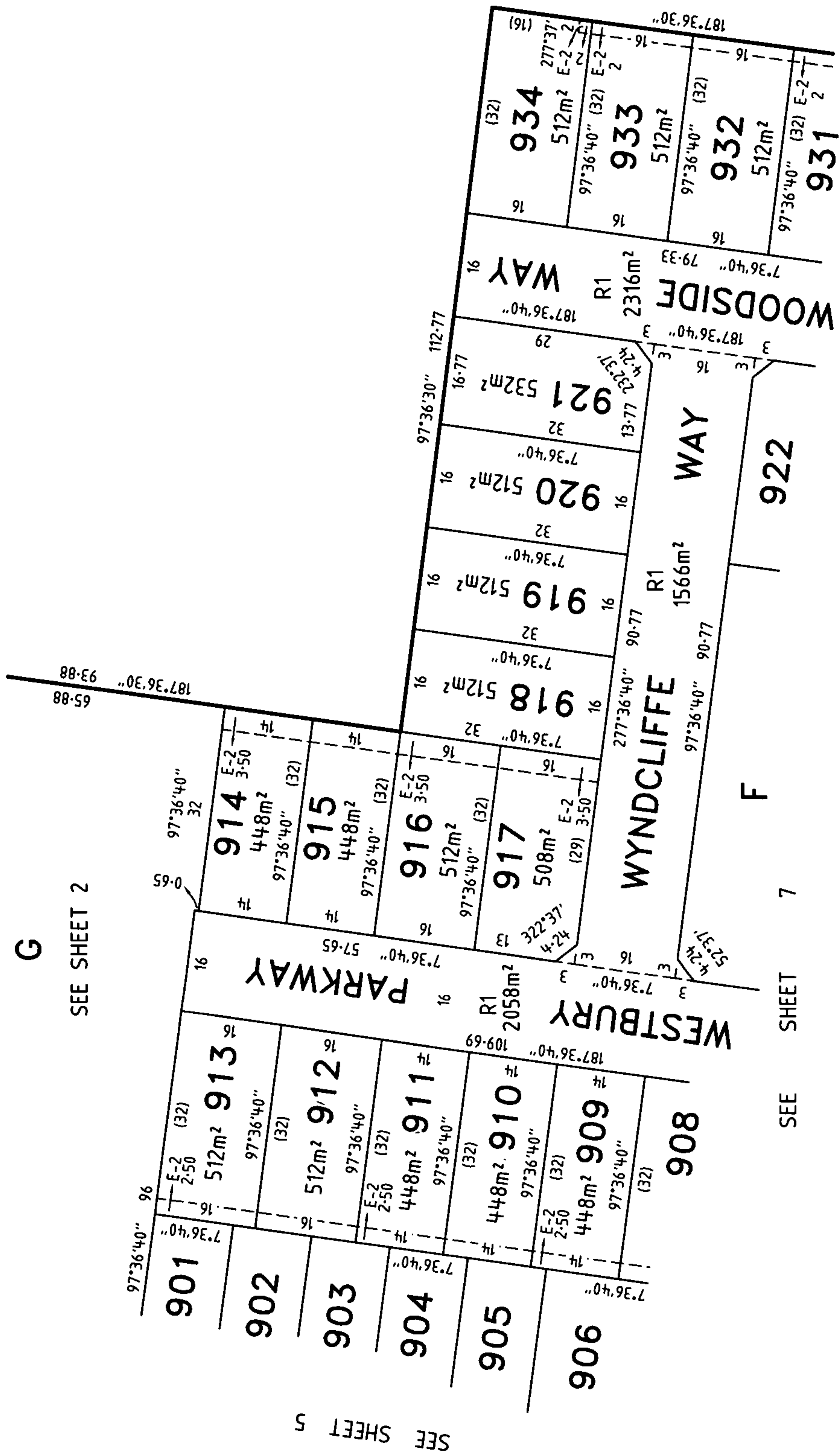
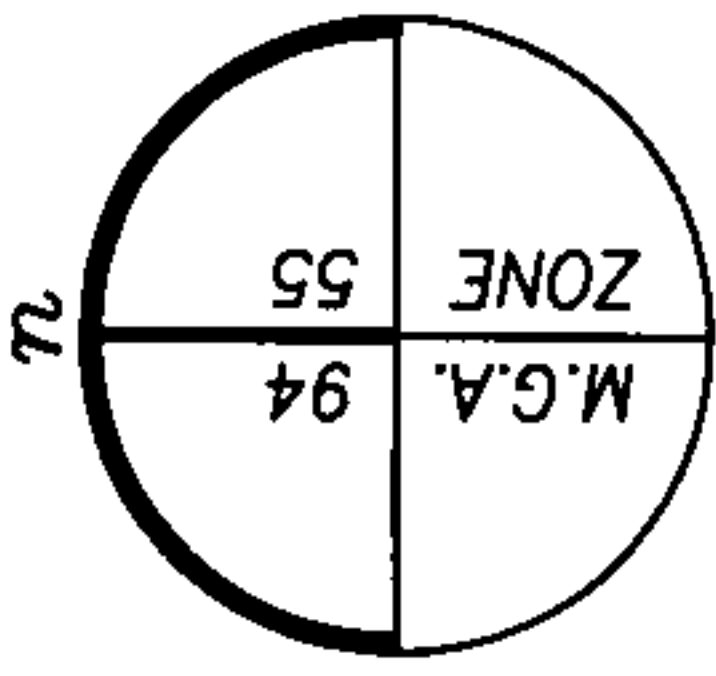
ORIGINAL SCALE SHEET SIZE
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GREENVALE LAKES STAGE 9

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Stage No.
 Plan Number **PS 627062G**



Sheet 6

DATE 10 / 12 / 2009

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LICENSED SURVEYOR (PRINT) GEOFFREY JAMES TURNER

SIGNATURE *[Signature]* DATE 30 / 11 / 2009

REF 6485093

DWG 648509AC

30/11/09 VERSION C

SCALE

7.5 0 15 30

LENGTHS ARE IN METRES

ORIGINAL

SCALE SHEET SIZE

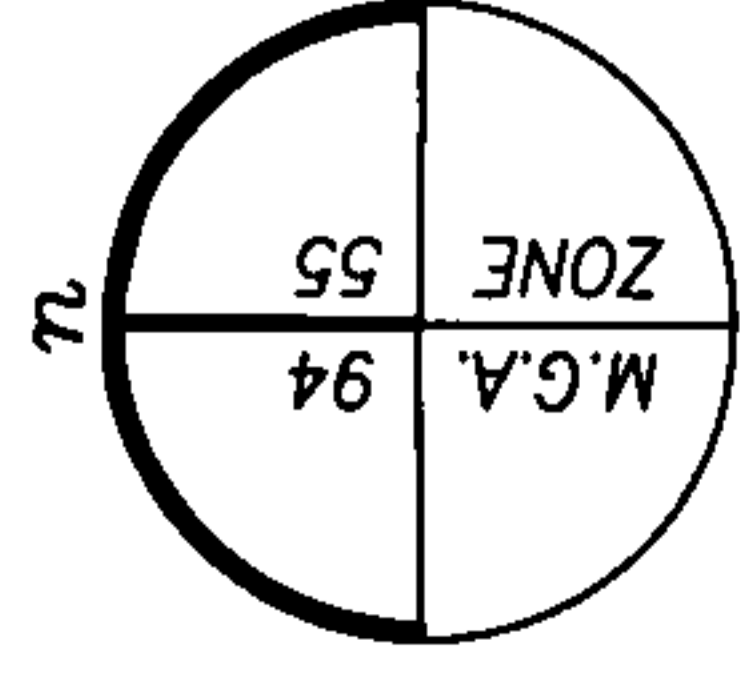
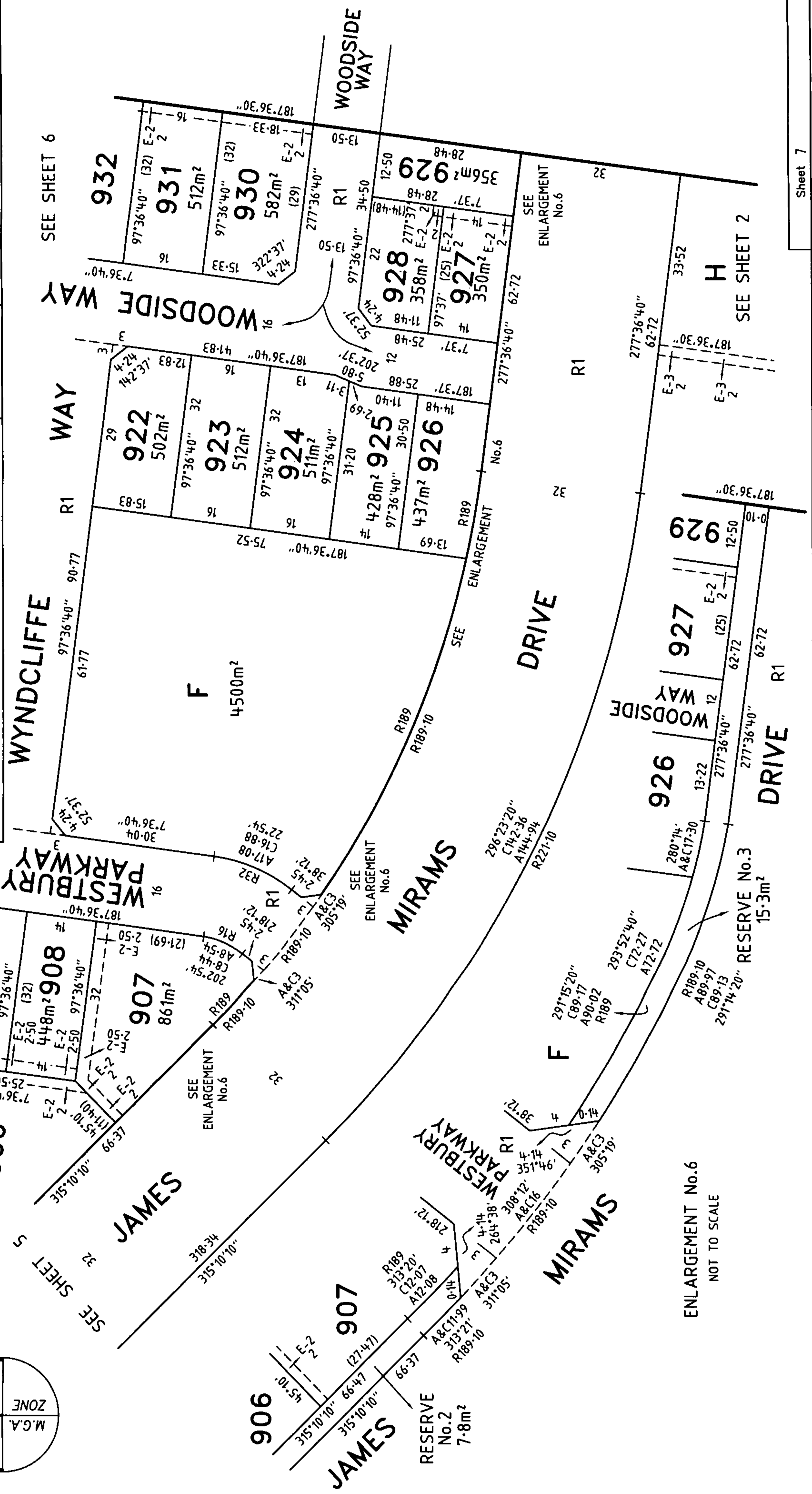
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GREENVALE LAKES STAGE 9

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Stage No.
 Plan Number **PS 627062G**



Sheet 7

DATE 10/12/2009

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LICENSED SURVEYOR (PRINT) GEOFFREY JAMES TURNER

SIGNATURE *G. James Turner* DATE 30/11/2009

REF 6485093

DWG 648509AC

30/11/09 VERSION C



ORIGINAL

SCALE SHEET SIZE

1:750 A3

GREENVALE LAKES STAGE 9

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PLAN OF SUBDIVISION

Stage No.

Plan Number

PS 627062G

CREATION OF RESTRICTION

The following restriction is to be created upon registration of Plan of Subdivision No. PS627062G (Plan of Subdivision) by way of a restrictive covenant and as a restriction as defined in the Subdivision Act 1988.

Land to be benefited: Lots 901 - 934 (both inclusive) on the Plan of Subdivision

Land to be burdened: Lots 901 - 934 (both inclusive) on the Plan of Subdivision

DESCRIPTION OF RESTRICTION

Except with the written consent of Peet Greenvale Lakes and in all other instances with the written consent of each and every registered proprietor of a benefiting Lot on the Plan of Subdivision the registered proprietor or proprietors for the time being of any burdened Lot on the Plan of Subdivision shall not:

Subdivision/Consolidation

- (a) subdivide or allow the Lot to be subdivided.
- (b) consolidate or allow the Lot to be consolidated.

Primary Dwelling Construction

- (c) build or allow to be built on the Lot a dwelling that has not been approved by Peet Greenvale Lakes in accordance with the Peet Greenvale Lakes Design Guidelines
- (d) build or allow to be built on the Lot more than one private dwelling house together with the usual outbuildings.
- (e) build or allow to be built a dwelling house which is not constructed:
- (i) with any material used in the primary facade comprising more than 80% of the total area of the facade
- (ii) with a roof of any material other than tile, slate or non reflective colour bonded steel sheeting or a combination of such tiles or sheeting and at a pitch not less than 22 degrees for a single storey dwelling house. The colour of all roofs constructed from colour bonded steel sheeting must not be a colour which is not listed in the following table (or a similar colour regardless of whatever product name by which it may be identified) and must not be more than a combination of 2 of those colours;

Harvest	Pale Eucalypt	Blue Ridge
Dune	Wilderness	Deep Ocean
Riversand	Headland	Ironstone

Table e(ii) Colour palette for colour bonded steel

- (iii) with a front verandah which has an area of not less than 4 square metres and a dimension of not less than 1.2 metres (unless otherwise expressly provided in these Restrictions) except for a dwelling house on Lots 906, 907, 917, 921, 922, 926, 927, 928 and 930 with a minimum of one window visible from the street of an area of no less than 1.62 square metres on the sides of the dwelling house with a road frontage or without both sides of the dwelling house with a road frontage each having a verandah of not less than 3.5 metres in length and not less than 1.2 metres in width which connects with the other verandah.
- (f) build or allow to be built a dwelling house without an eave overhang of at least 450 millimetres, except where such eave is adjacent to the Lot boundary in which case no overhang is required
- (g) build or allow to be built a dwelling house or part thereof with exposed stumps.
- (h) allow any external plumbing (waste pipes and fittings but not including down pipes and guttering) to be visible from the street.

continued.

GREENVALE LAKES STAGE 9

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Sheet 8

ORIGINAL	SCALE
SCALE	SHEET SIZE A3
<p>LENGTHS ARE IN METRES</p>	

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[Signature]
 DATE 10/12/2009
 COUNCIL DELEGATE SIGNATURE
 Original sheet size A3

PLAN OF SUBDIVISION	Stage No. <hr style="width: 50px; margin: 0 auto;"/>	Plan Number PS 627062G
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Garage

- (i) build or allow to be built a dwelling house which does not simultaneously have constructed one roofed garage capable of accommodating two passenger vehicles side by side.
- (j) build or allow to be built a garage that is capable of accommodating more than two passenger vehicles side by side
- (k) build or allow to be built a garage that is not set back from the primary building line a minimum of 840 millimetres.
- (l) build or allow to be built a garage that is not set back from the front boundary a minimum of 5.5 metres

Garage Doors

- (m) build or allow to be built a garage which does not have sectional panels or panel doors

Outbuildings

- (n) build or allow to be built on the Lot outbuildings (including any garage, workshop, garden shed, storage shed or other outbuilding)
 - (i) which exceed 20 square metres
 - (ii) which has a maximum height of greater than 3.6 metres
- (o) allow any clothes lines, water tanks, bins, storage or part thereof to be visible from the street.

Fencing

- (p) build or allow to be built;
 - (i) side or rear boundary fences between the Lots which are less than 1.8 metres in height and not capped and which are in any material other than colour bonded type steel.
 - (ii) any fence between the side boundary fence and the private dwelling house which is not consistent in height and colour and material to the side boundary fence and which is forward of the front building line.
 - (iii) side boundary fences between the Lots which are forward of the front building line, except when the side boundary forms part of the rear boundary of an adjoining Lot.
 - (iv) a courtyard fence which is constructed of material other than brick, rendered brick masonry, stone, rendered fibrous cement sheeting, brushwood or any combination of those materials and which is more than 2.0 metres in height.
 - (v) any front boundary fence.
 - (vi) any side boundary fence along the secondary street frontage covering more than 50 percent of the Lot boundary

Design Plans

- (q) commence, carry out, erect, construct or alter any development on the Lot, or enter into any agreement for such action without applicable plans and specifications (including finishes schedules) being first prepared and submitted to and approved by Peet Greenvale and then only in compliance with any condition (consistent with any restrictions affecting the Lot) imposed by Peet Greenvale in respect of that approval.

Landscaping


- (r) allow landscaping to the front street view to remain or be left incomplete for a period of more than three months after the date of issue of the Occupancy Permit for the dwelling house, or leave any boundary fencing incomplete after the completion of the construction of the dwelling house.
- (s) permit the letter box to remain uninstalled after the commencement of occupation of the dwelling house
- (t) permit the front yard to remain without at least one native tree of a minimum mature height of 3 metres after the completion of landscaping.

GREENVALE LAKES STAGE 9

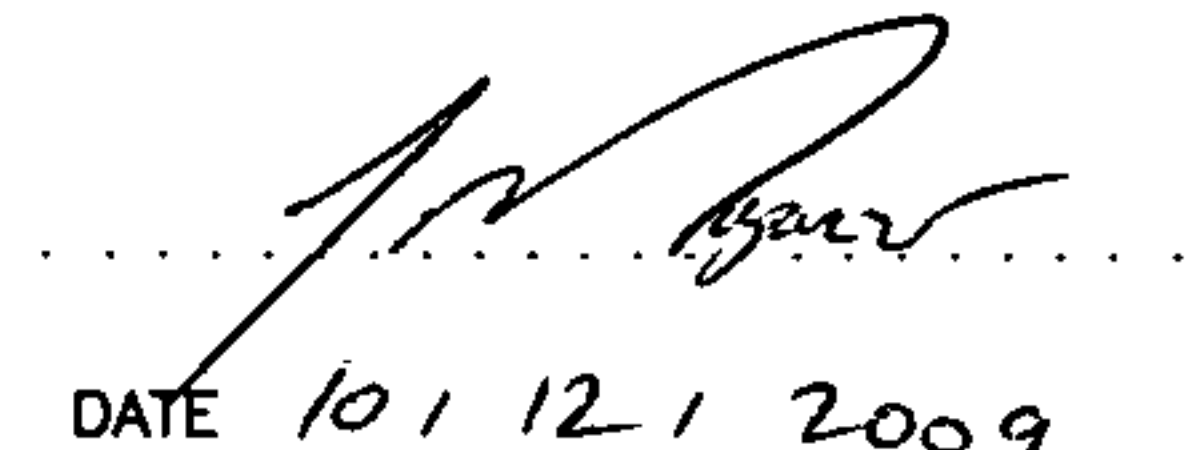
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continued.

ORIGINAL	SCALE	 LENGTHS ARE IN METRES
SCALE	SHEET SIZE A3	

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 SIGNATURE *G. Turner* DATE 30/11/2009
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Sheet 9
 DATE 10/12/2009 COUNCIL DELEGATE SIGNATURE
Original sheet size A3

PLAN OF SUBDIVISION	Stage No. <hr style="width: 50px; margin: 0 auto;"/>	Plan Number PS 627062G
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Removal of Existing Items

(u) mutilate or remove in whole or part from a Lot or a reserve (without the written approval of Peet Greenvale any tree or part of any tree, fence, sign, irrigation pipe, underground pipe or conduit.

Driveway Construction

- (v) construct or allow to be constructed any driveway on the Lot of any material other than brick, asphalt or coloured concrete or exposed aggregate
- (w) leave any driveway incomplete or partly constructed after the issue of an Occupancy Permit for the dwelling house constructed on the Lot.
- (x) construct or allow to be constructed any driveway that is less than 300mm from the side boundary
- (y) construct or allow to be constructed more than one driveway or one motor vehicle crossover per lot without the written approval of Peet Greenvale Lakes and in the case of a motor vehicle crossover, which does not match the colour and finish of the original motor vehicle crossover to the Lot as provided by Peet Greenvale Lakes.

Building Setbacks

- (z) construct or allow to be constructed on the Lot any building which is not set back from the primary street frontage a minimum distance of 5.5 metres, or greater if required by the Responsible Authority.
- (aa) construct or allow to be constructed on a Lots 906, 907, 917, 921, 922, 926, 927, 928 and 930 any building which is not set back to the secondary street frontage a minimum distance of 2 metres, or greater if required by the Responsible Authority
- (bb) construct or allow to be constructed on a Lot any building which is not set back from the rear boundary a minimum distance of:
 - a. 3 metres in respect to the ground storey, or greater if required by the Responsible Authority
 - b. 6 metres in respect to the first storey above the ground storey, or greater if required by the Responsible Authority
- (cc) construct or allow to be constructed on a Lot any building with a first storey above the ground storey which is not set back from the side boundary a minimum distance of 1.5 metres, or greater if required by the Responsible Authority

Building Height

- (dd) Construct or allow to be constructed on the Lot;
 - a. any building which has more than one storey above the ground storey
 - b. any building which has a maximum height of greater than 9 metres above the finished surface level of the Lot

Double Storey Component

- (ee) Construct or allow to be constructed on the Lot any building which has a storey above the ground storey with a width of;
 - a. less than 60 percent of the primary street frontage
 - b. greater than 80 percent of the primary street frontage

Private Open Space

(ff) provide an area of private open space with an area of less than 40 square metres (excluding driveways, car parking, and service areas of which 25 square metres must be one continuous space with a minimum dimensions of 4 metres and a maximum grade of 5 degrees

GREENVALE LAKES STAGE 9

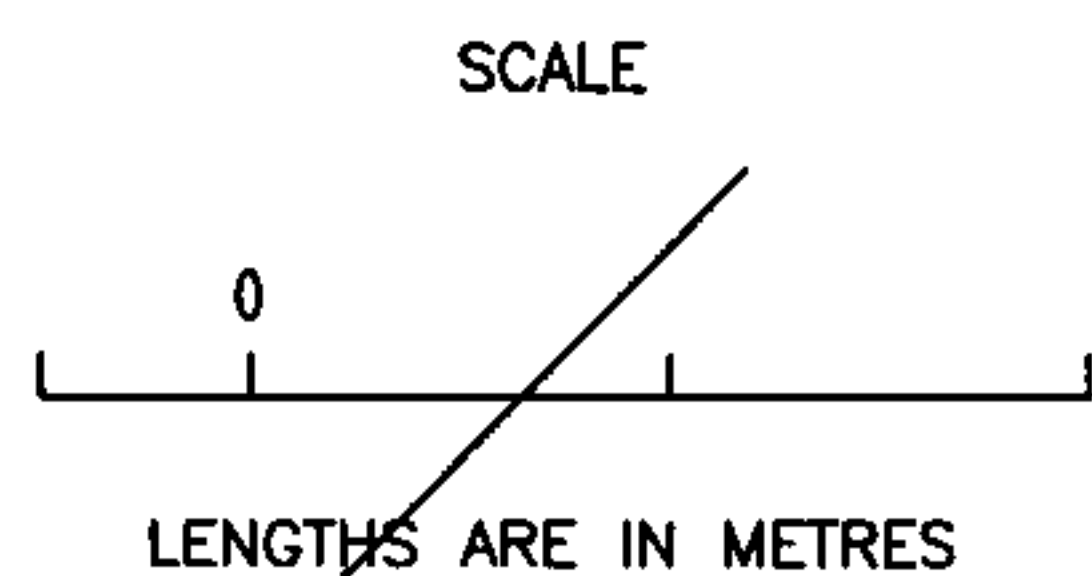
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continued.

Sheet 10

ORIGINAL
SCALE
SHEET SIZE
A3



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[Signature]
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PLAN OF SUBDIVISION

Stage No.
/

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Site Coverage and Permeability

- (gg) construct or allow to be constructed on the Lot buildings which cover more than 60 percent of the total area of the Lot
- (hh) Permit more than 80 percent of the total area of the Lot to be covered with non-permeable surfaces

Display Homes

- (ii) permit any dwelling house constructed on the Lot to be used for the purposes of a display home or for the purposes of marketing display homes unless prior written consent of Peet Greenvale Lakes has first been obtained.

Signage

- (jj) erect, permit or allow to be erected or to remain erected on the Lot any advertisement, hoarding, sign or similar structure and will not permit the Lot or any building or buildings constructed thereon to be used for the display of any advertisement, sign or notice provided that this restriction shall not prevent the erection of a signboard that the Lot is for sale and shall not prevent the display of the nameplate or light of any medical practitioner, dentist, legal practitioner or other such professional trade or business nameplate.

Delivery of Building Materials

- (kk) allow any building materials to be delivered or stored on the nature strip or anywhere else outside the title boundary of the Lot upon which the dwelling house is being constructed and allow any rubbish to remain unsecured on the Lot.

The restrictions specified in paragraphs (a) to (kk) (inclusive) shall cease to burden any Lot on the Plan of Subdivision with effect from 31 December 2020.

For the purposes of this restriction "Peet Greenvale Lakes" means Peet Greenvale No.2 Pty Ltd ACN 82 100 290 677 or any of its related bodies corporate within the meaning of Section 50 of the Corporations Act 2001.

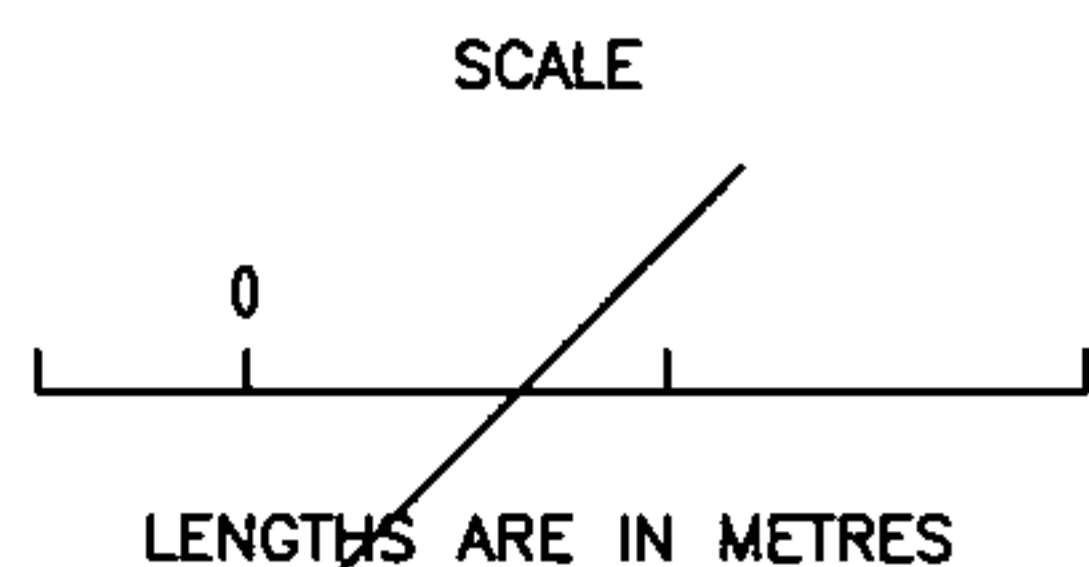
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Sheet 11

ORIGINAL
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 A3



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