

**WARNING**  
**BEWARE OF UNDERGROUND SERVICES**  
 The locations of underground services are approximate only and their exact position should be proven on site.  
 No guarantee is given that all existing services are shown. Locate all underground services before commencement of works  
**DIAL 1100 BEFORE YOU DIG**  
 www.1100.com.au

**FUTURE DEVELOPMENT**

TBM 2  
 STEEL STAR PICKET  
 E 3134.73.931  
 N 5835173.015  
 RL 205.91

TBM 3  
 STEEL STAR PICKET  
 E 313625.568  
 N 5835181.189  
 RL 209.34

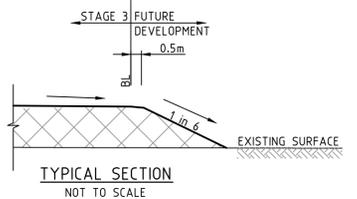
TBM 1  
 STEEL STAR PICKET  
 E 3134.12.092  
 N 5835110.219  
 RL 201.535

ROAD NAME	RESERVE WIDTH (m)	ROAD WIDTH (m)			KERB TYPE		VERGE WIDTH (m)	
		LIP to LIP	INV to INV	BACK to BACK	NTH/WEST	STH/EAST	NTH/WEST	STH/EAST
HORIZON BOULEVARD	26.00	9.80	10.40	11.00	SM2(M)/M2	SM2(M)/M2	7.50	7.50
FRONTIER AVENUE	16.00	4.75	5.50	5.95	HB2	SM2(M)	4.85	5.20
CHARM ROAD	16.00	6.70	7.30	7.90	SM2(M)	SM2(M)	4.20	3.90
JOURNEY WAY	16.00	6.70	7.30	7.90	SM2(M)	SM2(M)	4.20	3.90
PRISTINE DRIVE	16.00	6.70	7.30	7.90	SM2(M)	SM2(M)	3.90	4.20

ROAD NAME	SERVICES OFFSET SCHEDULE									
	GAS		RECYCLED WATER		WATER		ELECTRICITY		NBN	
	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)
HORIZON BOULEVARD	WEST	2.10	EAST	4.00	WEST	2.80	EAST	2.80	EAST	2.00
FRONTIER AVENUE	EAST	1.80	EAST	2.30	EAST	2.80	WEST	4.30	WEST	3.80
CHARM ROAD	NORTH	2.10	NORTH	2.50	NORTH	3.00	SOUTH	2.60	SOUTH	1.85
JOURNEY WAY	WEST	2.10	WEST	2.50	WEST	3.00	EAST	2.60	EAST	1.85
PRISTINE DRIVE	EAST	2.10	EAST	2.50	EAST	3.00	WEST	2.60	WEST	1.85

**LEGEND - LAYOUT PLAN**

- STORMWATER DRAIN, PIT & PROPERTY INLET
- SWALE DRAIN
- SEWER & MAINTENANCE STRUCTURES
- HOUSE DRAIN
- ELECTRICITY (U.GROUND) (INDICATIVE ONLY)
- ELECTRICITY (O.HEAD) (INDICATIVE ONLY)
- GAS (INDICATIVE ONLY)
- TELSTRA (INDICATIVE ONLY)
- WATER (INDICATIVE ONLY)
- RECYCLED WATER (INDICATIVE ONLY)
- AG. DRAIN (INDICATIVE ONLY)
- OPTIC FIBRE (INDICATIVE ONLY)
- SERVICE CONDUITS
- TACTILE PAVERS
- EXISTING ELECTRICITY (UNDERGROUND) (INDICATIVE ONLY)
- EXISTING ELECTRICITY (OVERHEAD) (INDICATIVE ONLY)
- EXISTING GAS (INDICATIVE ONLY)
- EXISTING TELSTRA (INDICATIVE ONLY)
- EXISTING OPTIC FIBRE (INDICATIVE ONLY)
- EXISTING WATER (INDICATIVE ONLY)
- EXISTING RECYCLED WATER (INDICATIVE ONLY)
- EXISTING STORMWATER DRAIN (INDICATIVE ONLY)
- EXISTING SEWER (INDICATIVE ONLY)
- EXISTING HOUSE DRAIN
- EXISTING SWALE DRAIN
- FUTURE AG DRAIN (INDICATIVE ONLY)
- FUTURE ELECTRICITY (UNDERGROUND) (INDICATIVE ONLY)
- FUTURE ELECTRICITY (OVERHEAD) (INDICATIVE ONLY)
- FUTURE GAS (INDICATIVE ONLY)
- FUTURE TELSTRA (INDICATIVE ONLY)
- FUTURE OPTIC FIBRE (INDICATIVE ONLY)
- FUTURE WATER (INDICATIVE ONLY)
- FUTURE RECYCLED WATER (INDICATIVE ONLY)
- FUTURE STORMWATER DRAIN (INDICATIVE ONLY)
- FUTURE SEWER (INDICATIVE ONLY)
- FUTURE HOUSE DRAIN
- EXISTING SURFACE LEVEL
- FINISHED BUILDING LINE LEVEL
- FINISHED RIDGE LINE LEVEL
- TOP OF RETAINING WALL
- BOTTOM OF RETAINING WALL
- RETAINING WALL
- ZERO LOT LINES
- PAVEMENT TREATMENT
- STRUCTURAL FILL > 200mm DEEP
- EX. STRUCTURAL FILL > 200mm DEEP
- DIRECTION OF FALL
- OVERLAND FLOW
- ALLOTMENT TO BE GRADED EVENLY IN DIRECTION OF FALL TO LEVELS INDICATED
- CONCRETE EDGE STRIP WITH SUBSOIL DRAIN, "NO ROAD" SIGN & BARRIER
- LIMIT OF WORKS
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RETAINED
- PERMANENT SURVEY MARK
- TEMPORARY BENCH MARK
- PROPOSED DRIVEWAY



RETAINING WALLS ARE NOT PART OF THE SUBDIVISIONAL WORKS OR APPROVAL AND ARE SUBJECT TO SEPERATE APPROVAL

**AS CONSTRUCTED PLANS**  
 The purpose of these as-constructed plans is to update the design drawings to show significant changes which occurred during construction. Note that the levels shown on these plans are design levels, and have not been verified by survey. All information shown on these plans should be verified on site. SMEC Urban and SMEC Australia Pty Ltd accept no responsibility for loss or damages resulting from the inappropriate usage of these plans.

*These plans are design plans and are indicative only and parties must not make any objection, requisition or claim for compensation in relation to the plans. The final condition of lots upon completion may vary from the condition described in the plans.*  
*The Property may have been filled, raised, levelled, compacted or cut prior to the Vendor becoming registered proprietor of the Property and the condition of the Property may change after completion of works due to circumstances beyond the Vendor's control. No warranty or representation is given or to be construed in respect of such works or changes in condition. Parties should review the plans carefully, make their own inquiries and obtain independent advice before taking any action in relation to the Property.*

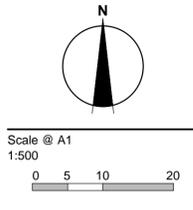
REVISION	DATE	DES/DFT	APPD
I	29.10.14	SM	AB
H	17.09.14	SC	AB
G	12.08.14	SC/NS	AB
F	23.07.14	SC	AB
E	02.07.14	SC	AB
D	03.06.14	AP/AP	AB
C	02.06.14	AP/AP	AB
B	19.05.14	SM/NS	AB
J	4.12.14	SM/NS	AB



Principal  
 Peet Limited  
 Level 3, 492 St Kilda Road  
 Melbourne VIC 3004

All setting out should be carried out in accordance with GAA/Council's standard drawings or as nominated on hard copy plans provided by SMEC. Any digital information supplied by this office is for information only. Any discrepancies should be discussed with the superintendent.

Designed  
 S.Murad  
 Drawn  
 N.Shrestha  
 Checked  
 S.Cooper  
 Authorised  
 A.Burrows  
 Date  
 April 2014



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**URBAN DEVELOPMENT**  
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**Aspect Estate, Greenvale**  
 Stage 3  
 Hume City Council  
 Roadworks and Drainage  
 Layout Plan

Drawing No. 0811E-03-02 Rev I  
 Sheet No. 2 of 23

As Constructed

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