



aspect  
GREENVALE

# ASPECT DESIGN GUIDELINES

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YEARS

PEET

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Front Cover: Sandringham by Porter Davis. Display village home only.

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# 1.

## Introduction

### 1.1 Investment Protection

Design Guidelines are a means of ensuring the vision of the project is delivered through the built form. The various clauses contained within this document have been formulated to achieve a high standard of design and construction for all dwellings and associated landscaping.

It is intended that the purchasers have flexibility in housing design, whilst complementing the character of the community. The Design Guidelines also ensure that appropriate amenity and streetscapes are established; thereby protecting the purchaser investment.

### 1.2 Applicable Documents

This document must be read in conjunction with the Applicable Documents to determine the architectural style, fencing types and any special requirements. All above mentioned documents take precedence over the clauses in this document.

Applicable Documents to be incorporated into the required submission package to gain house plan approval from the Peet Design Review Panel (PDRP) include:

- Restrictive Covenants
- Design Guidelines
- Memorandum of Common Provisions (MCP)
- Building Envelope Plan contained in the Peet Contract of Sale for your lot

Applicable documents are available on then VicBuilder website at [www.peet.com.au/vicbuilder.aspx](http://www.peet.com.au/vicbuilder.aspx)

All development must also comply with the relevant provisions of ResCode, Building Code of Australia (BCA) and provisions for energy efficient new housing. A minimum 6 star rating must also be demonstrated. Unless specified in the MCP, these documents take precedent. Only house designs that satisfy these requirements will be permitted to be constructed.

We encourage you to discuss the documents with your builder early to ensure the best design outcome.

### 1.3 Architectural Merit

These Design Guidelines have been written to promote innovation and allow flexibility. However, from time to time good design outcomes may contravene the standards of this document. In certain circumstances, at the absolute discretion of Peet Design Review panel, certain clauses may be relaxed in order to achieve an outcome that in the view of Peet Design Review Panel is an acceptable outcome.

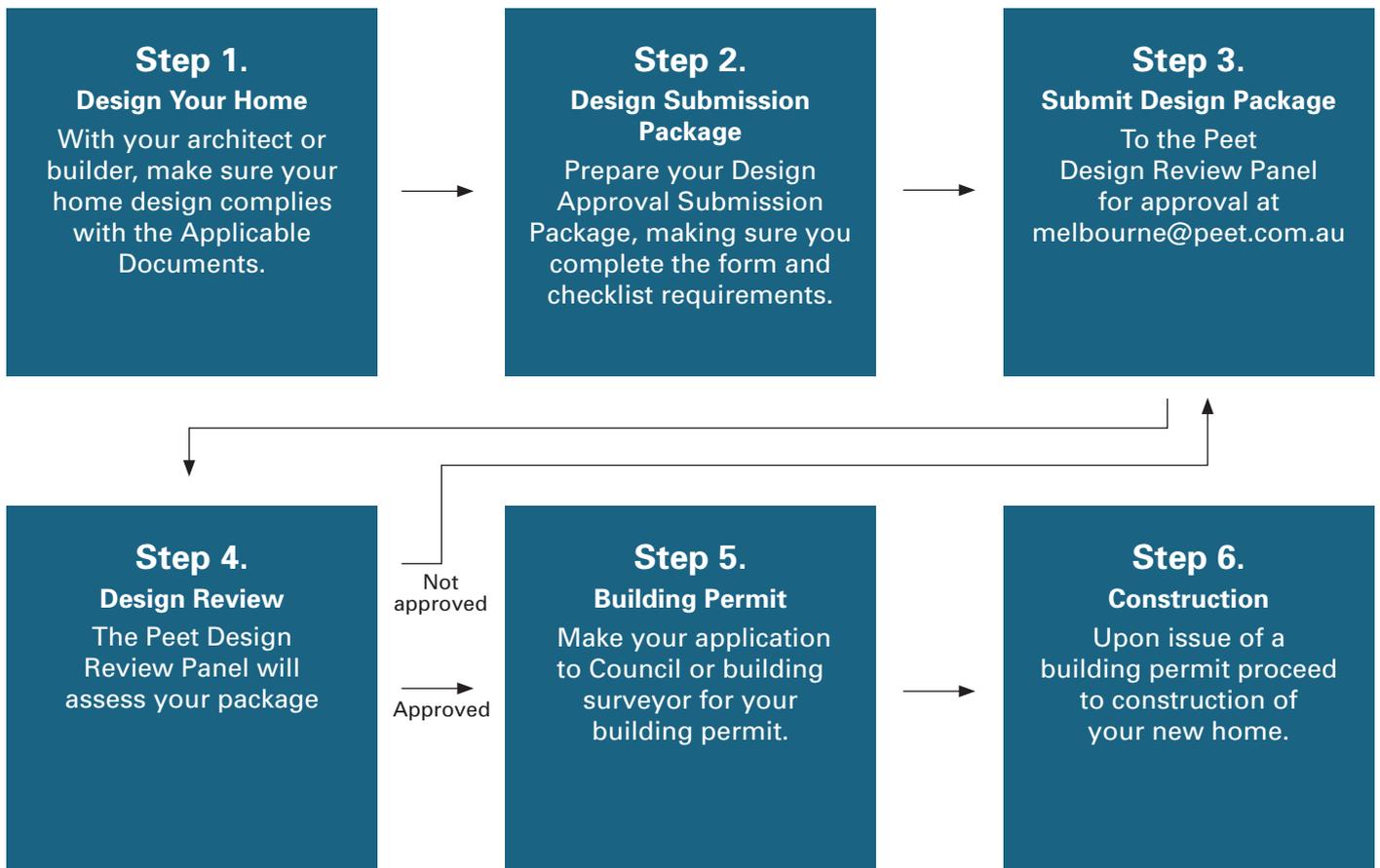
# 2.

## Approval Process

### 2.1 Your Design and Building Approval Process

The design proposal for every home in the Aspect community must be submitted to the Peet Design Review Panel for approval.

The Design Approval does not replace the need for a building permit from the Hume City Council or building surveyor. Information about what is required by the Council before it can issue a building permit for your new home can be found at [www.hume.vic.gov.au](http://www.hume.vic.gov.au)



## 2.2 Submission Requirements

You must submit your Design Approval Submission Package in PDF format to [melbourne@peet.com.au](mailto:melbourne@peet.com.au). If you do not have internet access or are otherwise unable to submit your proposals in PDF format, you may mail them to:

**Peet Design Review Panel**  
Peet Limited  
Level 3, 492 St Kilda Road  
Melbourne 3004

### **Your Design Approval Submission Package must include:**

- Completed Design Checklist (Attachment 1)
- Completed Design Approval Application Form (Attachment 2)
- Site Plan (Scale 1:200)
  - Fully dimensioned, showing all setbacks and building structures
  - Allotment boundaries (and easements if applicable)
  - Proposed building footprint
  - Location of private open space, with dimensions and areas
  - Location of site car parking and driveways
  - Energy rating

### **All floor plans, roof plans and elevations (1:100)**

- All drawings to be fully dimensioned.
- Show dimensioned internal layout, including all pergola, decks, terraces, finished floor levels, balconies, verandahs, windows and door openings.
- Show location of all ancillary items. This includes (and is not limited to) water tanks, solar panels, water storage units, air-conditioning units, evaporative cooling units, evaporative heating units, bin storage area, sheds and outbuildings.

### **Materials and colours**

- Clearly label all proposed external building materials.
- Provide annotated scanned colour samples, put together as a 'sample' board, to illustrate your proposed external colour scheme.

## 2.3 Contact

If you have any queries about your Design Approval Submission Package, please speak to your builder or architect in the first instance.

For remaining queries, please contact:

**Peet Design Review Panel:**  
Email: [melbourne@peet.com.au](mailto:melbourne@peet.com.au)  
Phone: (03) 9868 5900

# 3.

## Architectural Character

### 3.1 Architectural Style

The required architectural character of your dwelling is specified in these Design Guidelines; modern contemporary style homes are preferred. The architectural style of your home will need to be approved in accordance with the Special Requirements and the Design Guidelines.

Mock reproductions of historical style homes are not permitted, including, but not limited to:

- Federation
- Victorian
- Georgian or Neo Georgian
- Tudor
- Edwardian
- Tuscan

Modern interpretations of these styles will be considered on merit in accordance with the Special Requirements. This may be achieved through the use of modern materials and colours or other methods.

### 3.2 Housing Diversity

3.2.1 The façade of a dwelling may not be the same as another façade within three lots adjacent or across the street.



3.2.2 In the event that two applications detail similar façades within the same street, approval will be granted to the first applicant to be received.

3.2.3 The Design Review Panel can perform a preliminary check against the façade design of buildings not yet constructed, where a Design Package has been submitted.

# 4.

## Project Requirements

### 4.1 Sunset Clause

- 4.1.1 These design guidelines will cease to apply on the date nominated on the applicable Plan of Subdivision, at which time the appropriate local government statutory document will take precedent. You should refer to your Contract of Sale for the applicable Plan of Subdivision affecting your lot.

### 4.2 Construction Timeframe (buildings & landscape)

- 4.2.1 Construction of your home must be completed within 12 months of settlement.
- 4.2.2 Landscaping, driveways and any mandatory fencing must be completed within 6 months of the issue of a Certificate of Occupancy for the dwelling.

### 4.3 Subdivision

- 4.3.1 Subdivision of non corner allotments is not permitted, unless identified on the Building Envelope Plan in the applicable Plan of Subdivision, or as approved by Peet Design Review Panel. This would also be subject to external/Council approvals.
- 4.3.2 In certain circumstances at the discretion of the Design Review Panel, subdivision of corner allotments is permitted in accordance with the appropriate statutory approvals from the Local Authority.

# 5.

## Building Mass

### 5.1 Building Bulk & Scale

5.1.1 The first floor of double storey dwellings must span a distance equal to or greater than the width of the ground floor, not including the garage.



### 5.1.2 Ceiling Height

The internal ceiling height measurement of a single storey and the ground floor of a double storey dwelling must be a minimum of 2550mm above the floor level. (Measured from the finished floor level to ceiling)



### 5.1.3 Building Envelope

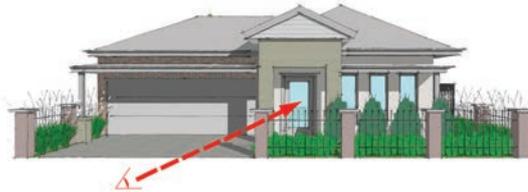
Refer to the Building Envelope Plan and Memorandum of Common Provisions for setback requirements, easements and height limitations.

# 6.

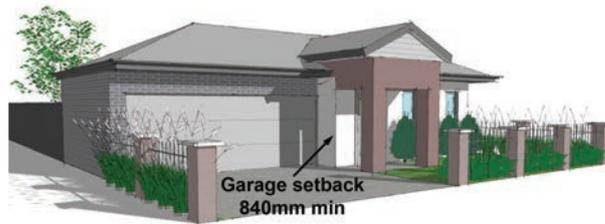
## Entries & Façade Articulation

### 6.1 Entries and Articulation

6.1.1 Doorways or the landing associated with the doorway must be located within clear sight of the primary street frontage.



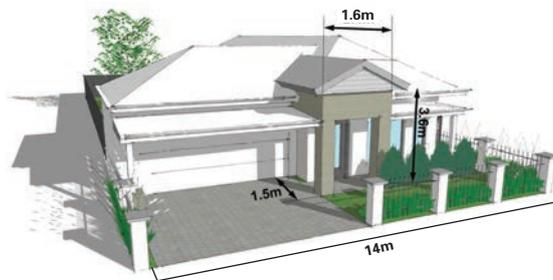
6.1.2 Garages must be setback a minimum of 840mm behind the front wall of dwelling and be set back a minimum of 5m behind the front title boundary in accordance with the Memorandum of Common Provisions.



### 6.2 Activation Elements

6.2.1 All facades must be designed with an activation element visible to the primary frontage to address the street.

6.2.2 **Porticos**  
Minimum depth : 1.5m  
Minimum width : 1.6m  
Refer to Memorandum of Common Provisions for height limitation.



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### 6.2.3 Verandahs

Minimum depth : 1.5m  
Minimum width : 4.0m or 40% of frontage whichever is the greater.  
For lots less than 300m<sup>2</sup>, minimum verandah width is equal to 30% of the frontage of the home.  
Refer to Memorandum of Common Provisions for height limitation.



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### 6.2.4 Balconies

Minimum depth : 1.2m  
Minimum width : 4.0m external width or 30% of frontage; whichever is the greater. For lots less than 300m<sup>2</sup>, minimum balcony width is equal to 30% of the frontage of the home.  
Refer to Memorandum of Common Provisions for height limitation.



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6.2.5 Porticos, verandahs and balconies may protrude outside of the building envelope.  
Refer to the Memorandum of Common Provisions for limitations.

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6.2.6 Other activation elements may be considered on their architectural merits by the Peet Design Review Panel

## 6.3 Corner Lot Treatment

6.3.1 The home design must address both the primary and secondary frontages, which must be of a similar architectural design.

Use elements such as wrap-around verandahs, detailing, feature windows, continuous material, setbacks and upper floor overhangs to at least 25% of the secondary frontage of the dwelling to ensure both frontages present consistently to the street.

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6.3.2 Eaves must return the entire length of the secondary frontage, as per Section 7.3.1.

# 7.

## Roofing

### 7.1 Roof Styles

7.1.1 Dwellings may have the following roof styles:

- Pitched.
- Flat with a parapet wall. (double storey only)
- Skillion.
- Curved.
- Gabled roof.

Pitched



Skillion



Flat



Curved



### 7.2 Roof Pitch

7.2.1 Where a pitched roof is adopted, single storey dwellings must have a minimum roof pitch of 22 degrees.



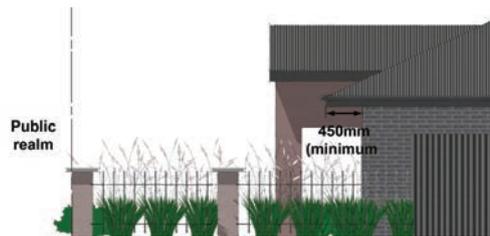
7.2.2 Where a pitched roof is adopted, double storey dwellings must have a minimum roof pitch of 20 degrees with a minimum of 450mm eaves to the entire dwelling.

\*Excludes parapet walls, see section 7.3.2.



## 7.3 Eaves

7.3.1 All dwellings must have eaves with a minimum depth of 450mm to all facades within public view. Eaves are required to return a minimum of 3m. See Section 6.3.2 for Corner Lot Treatment.



7.3.2 Where parapet walls are an integral component to the architectural style of the house, eaves are not required in the location of the parapet wall.



# 8.

## Community Activation & Safety Elements

### 8.1 Window Coverage

8.1.1 Dwellings must have substantial amount of window coverage, greater than 10% to all facades facing public view.



### 8.2 Safety Features

8.2.1 Roller shutters are not permitted on any window visible from the public realm.



8.2.2 Metal bars over windows and doors are not permitted.



8.2.3 Security flyscreen doors must be of a dark colour and not made of diamond mesh.



# 9.

## Materials and Colours

### 9.1 Variation

9.1.1 Each facade must have a variation of at least 2 separate materials and 2 separate colours. The separate colours must provide definition to the feature area. The additional material used as a feature must cover a minimum of 30% of the facade.



### 9.2 Materials

9.2.1 Materials on the front façade of a non corner allotment must return a minimum of 3.0m along the side of the dwelling. For corner allotments refer to Section 6.3 Corner Lot Treatment.



9.2.2 The following items are not permitted:

Leadlight, stained glass or glass bricks



Terracotta colour roofs



Non powder coated aluminium windows



Bagged render finish



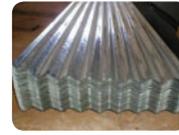
Plumbing visible from the public realm



Galvanized iron



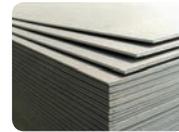
Aluminium coated steel



Corrugated fibre cement sheeting



Un-rendered cement sheeting



Bare, painted or pre-coloured concrete blocks



Non certified plantation timber

9.2.3 Infill FRC sheeting or light weight materials are not permitted above doors and windows where it is visible from the public realm. All light weight infill materials must have a rendered finish.



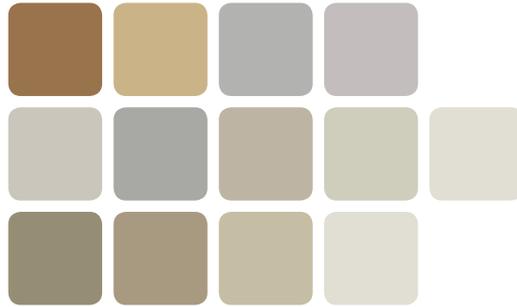
9.2.4 Garage doors visible to the public realm must be sectional or tilt up panels. COLORBOND® roller doors are not permitted.



## 9.3 Colour Palette & Textures

### 9.3.1 Base Colours

Light, natural and earthy hues that are harmonious with the landscape.



### 9.3.2 Accent Colours

Use as a highlight element to allow articulation and create contrast, but should compliment base colour. Black may be used for window surrounds only.



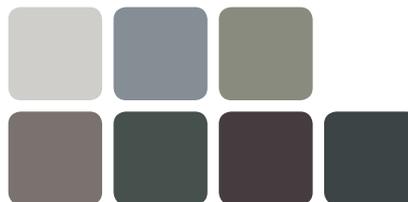
### 9.3.3 Face Brick

Treat face brick on front façade as a feature to provide texture and variation. As per base colours. No red bricks permitted.



### 9.3.4 Metal Sheet Roofing and Roof Tiles.

Matt black, charcoal, greys and dark brown colours. Galvanized and reflective material is not permitted.



### 9.3.5 Roof Tile Profile

Preferred roof tiles are low-profile terra-cotta or concrete roof tile, slates and shingles. Alternatives are subject to approval by the Peet Design Review Panel.



### 9.3.6 Bright clashing colours will not be permitted.

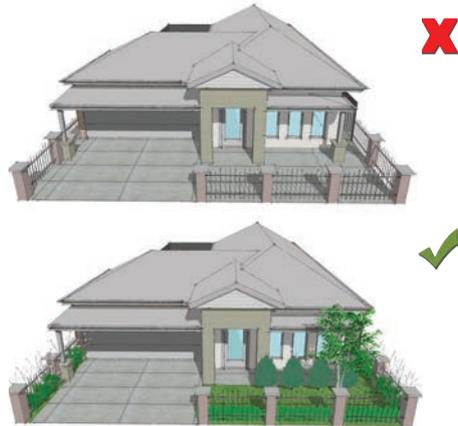


# 10.

## Landscaping

### 10.1 Landscaping

10.1.1 In areas visible from the public realm, concrete is permitted for use in the driveway and path to the front door only.



### 10.1.2 Driveways

Stampcrete and plain concrete driveways are not permitted. Colour pigment only. Driveways must be completed before home is occupied.



10.1.3 A planting bed of a minimum distance of 300mm must be retained between the driveway and the adjoining property.



# 11.

## Retaining Walls

### 11.1 Retaining the Allotment

11.1.1 In the event that there is a level difference between adjacent lots due to approved site works, it will be the responsibility of purchasers to meet the cost of any additional retaining walls or other measures required.

You are advised to seek a qualified engineer's advice, and to contact Hume City Council before you make any arrangements, to confirm any additional approvals required.

Any changes to existing retaining walls should only be undertaken after approval of a practicing structural engineer. The level at the base of the retaining wall shall not be lowered without the approval of a practicing structural engineer.

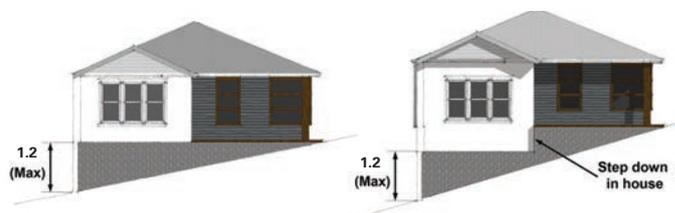
11.1.2 Retaining walls facing the public realm must be stepped where retaining exceeds 1.5m. This must include a 600mm planting bed.

\*Retaining walls that are visible from the public realm must be built from materials that complement your home.

\*Timber sleeper or painted concrete retaining walls permitted. Refer to Sections 9.2 & 9.3 Materials and Colours.



11.1.3 Maximum height of retaining walls on a lower boundary (regardless of whether it faces the public realm) must not exceed 1.2m in height unless otherwise approved by Hume City Council.



# 12.

## Vehicle Access and Accommodation

### 12.1 Vehicle Access

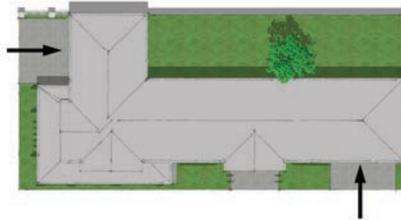
#### 12.1.1 Non Corner Allotments

Only 1 vehicle access point permitted from the primary street frontage. Circular driveways are strictly prohibited.



#### 12.1.2 Corner allotments

1 vehicle access point is permitted on each boundary



### 12.2 Vehicle Accommodation

#### 12.2.1 All Allotments

Commercial/recreational vehicles, boats, caravans, trucks and other mobile machinery may not be stored where visible from the street and must be contained within the rear yard.



#### 12.2.2 Non Corner Allotments

Refer to the Building Envelope Plan for limitations on the number of garage spaces permitted. All vehicle accommodation must occur in the same garage.



12.2.3 Single garages must have a maximum opening of 3.5m.



12.2.4 Double garages must have a maximum opening of 6.5m.



12.2.5 Triple garages must have a maximum opening of 9.0m and must be articulated. The total garage opening must not be greater than 60% of the frontage.



12.2.6 Garages must be integrated into the main roofline of the dwelling.



12.2.7 Carports are not permitted.

# 13.

## Fencing

### 13.1 Fencing

#### 13.1.1 Fencing General

Fences erected by Peet or its contractors are approved fences.  
Wire woven, chain mesh, barbed, cyclone or similar fencing are not permitted.

#### 13.1.2 Front Fencing

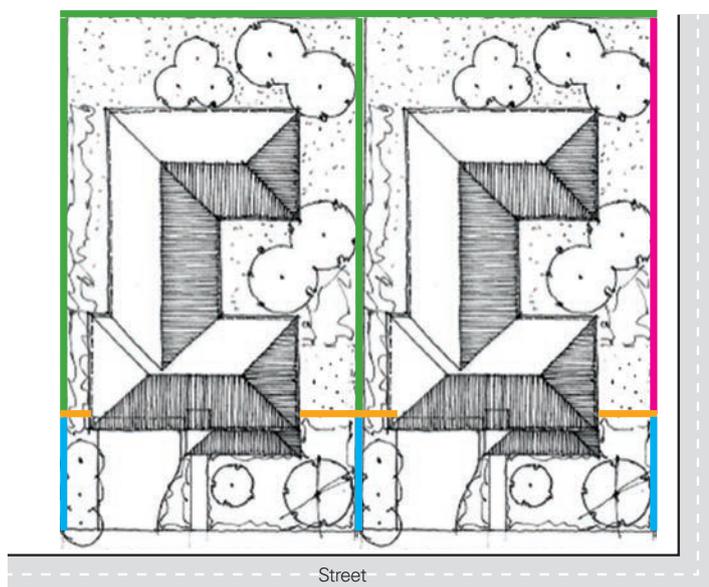
Fencing to the front of dwellings is not permitted.

#### 13.1.3 Side and Rear Fencing (Aspect Standard Fencing)

Fencing located on the side and rear of a standard allotment with no exposure within public view. Aspect Standard Fencing as detailed in Section 13.2 must be COLORBOND® fencing type in Grey Ridge colour. It must be no higher than 1800mm.

#### 13.1.4 Aspect Feature Fencing

Aspect Feature Fencing must be installed along the side boundary of a corner lot that faces the public realm; i.e. street, park or reserve. See section 13.3 for details. Full height fencing must be installed along the length of the secondary frontage, but not forward of the main building line.



- Blue – Wing Fencing
- Yellow – Return Fencing/Gate
- Green – Side and Rear Fencing (Aspect Standard Fencing)
- Pink – Aspect Feature Fencing

### 13.1.5 Wing Fencing

Fencing is permitted on the boundary between two allotments forward of the building line.

- Must be between 900mm and 1200mm in height
- Other than height it must be of the same specification as Aspect Standard Fencing.

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### 13.1.6 Fencing Return/Gate

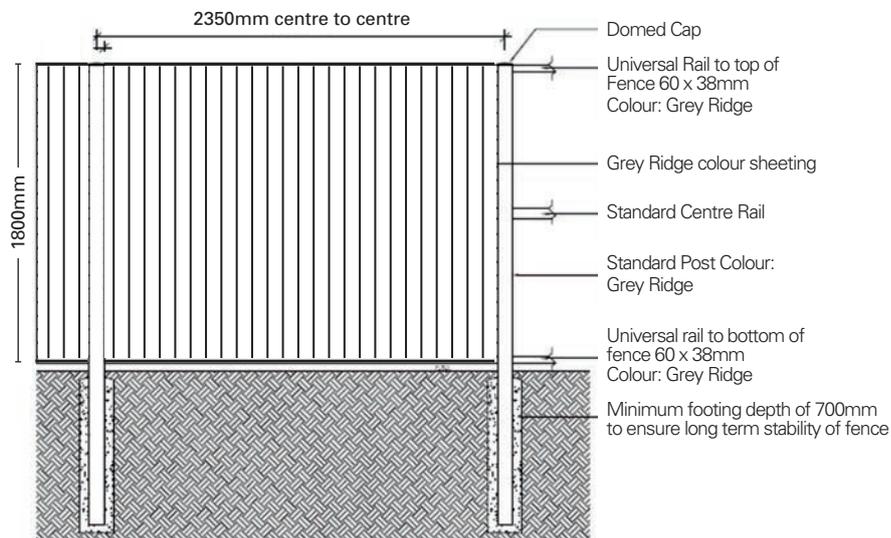
Fencing return is a gate or fence that links the internal boundary fencing to the dwelling and is visible from the public realm. Dwellings not spanning the full width of the lot frontage must provide a fence or gate to connect the dwelling to the side fence. Fencing must be of the same specifications as Aspect Standard Fencing (refer 13.2) and no higher than its adjoining boundary fence. Gates must be in keeping with Aspect Standard Fence look.

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### 13.1.7 Fences on a slope

Fences must be stepped in accordance with any slope in the lot.

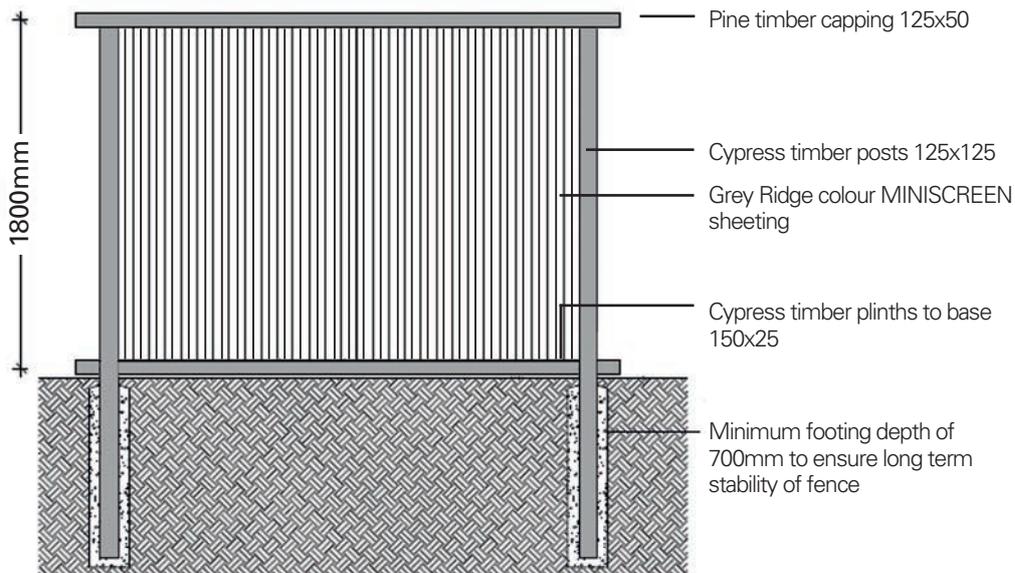
## 13.2 Side and Rear Fencing (Aspect Standard Fencing)



### 13.3 Aspect Feature Fencing

COLORBOND® MINISCREEN sheeting with Cypress timber 125x125mm posts, timber plinths to base and pine timber capping as shown in image. All timber to be stained dark oak; COLORBOND® sheeting to be Grey Ridge colour.

Not to scale.



***Aspect Feature Fencing is an important design feature to complement the premium streetscapes throughout the estate, protecting the purchasers' long term investments. Peet will be strictly monitoring all estate fencing.***

# 14.

## Services

### 14.1 Service Locations

14.1.1 Metre boxes and other services visibility should not impact the streetscape and where practical, they should be screened from public view.



14.1.2 Services on the roof must be:

- Below the roof line.
- Not located on the façade that is visible within public view.
- Match the colour of the roof.



14.1.3 Solar water heaters and solar panels may be located on any elevation that provides the most suitable solar access.

### 14.2 Recycled Water

Aspect will provide infrastructure to enable supply of recycled water by Yarra Valley Water. All homes constructed at Aspect must include fittings and connections to the Aspect recycled water system, as specified by Yarra Valley Water.

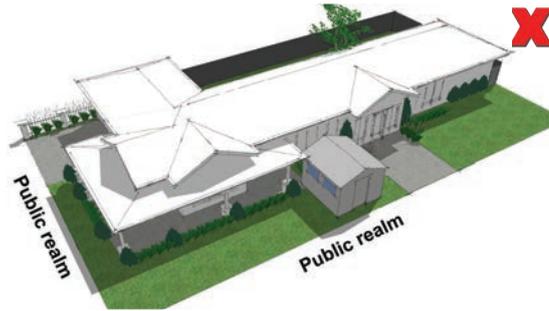


### 14.3 National Broadband Network

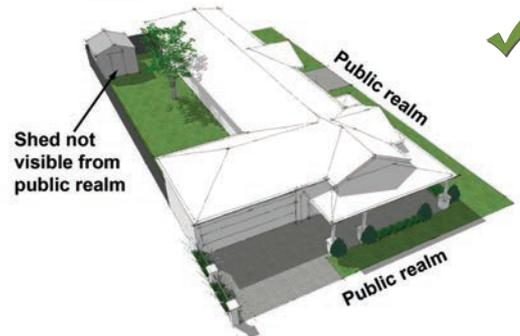
Aspect will provide infrastructure to enable telecommunication providers to install cabling. All homes constructed at Aspect must include conduits, cabling & housing and comply with NBN Co Limited Building Ready Specifications.



## 14.4 Ancillary Structures



14.4.1 Sheds and outbuildings must be screened from public view.



14.4.2 Sheds and outbuildings must:

- Not exceed 3.6m in height.
- Be less than 20m<sup>2</sup>.
- Not be constructed of restricted material.
- Not be forward of the building line.



# 15.

## Environmental Sustainability

At Aspect we're committed to sustainability in both the design and construction of our communities. Sustainable living practices in your home design will reduce your environmental footprint, make for a more comfortable home and will also save in your consumption of household energy & water costs. We recommend you consider the following in your house design to improve your sustainability.

### 15.1 Energy Efficiency

Well-designed homes reduce the demand on heating and cooling. Indeed any style of house can be energy efficient. Energy smart homes have a combination of features which work together to ensure you achieve the highest degree of comfort with minimum energy use. The following design features are recommended for all Aspect homes to help achieve such energy efficiencies:

1. Orient the house for passive heating, and to maximise northern light.
2. Incorporate additional shade devices that allow northern winter sun in to living areas and the outdoor living area and prevent summer sun access. Shade devices include pergolas, deciduous vegetation and awnings.
3. Minimise the number and size of openings to the west and east and provide additional shade devices.
4. Install high star-rated electrical appliances (such as the fridge, freezer, television, washing machine, air conditioner, lighting etc.)

### 15.2 Water Saving Initiatives

All residents are encouraged to consider other water saving initiatives in the home including:

- Grey water systems
- Rain water tanks
- Solar hot water systems
- High star-rated water using appliances (such as toilet, taps, shower head etc.)

# 16.

## Construction Requirements

You must inform your builder of the following requirements during the construction period of your home.

It is your responsibility to rectify any damage to public infrastructure outside your allotment that is associated with the construction of your house. The repairs must be carried out to Council and Peet's satisfaction.

### 16.1 Allotment Maintenance

Prior to, during and after construction commencing, your allotment must be kept clear of excessive weeds and rubbish and maintained to an acceptable standard.

### 16.2 Deliveries and Storage

All building materials, temporary toilets and building equipment must be stored within your property at all times.

The public must be protected when moving equipment and materials in and out of the construction area.

**Please note:**

Your builder and their subcontractors must not park their vehicles on the adjoining allotments, public areas and nature strips.

### 16.3 Rubbish

You are responsible for rubbish removal and for keeping the site and adjoining street clean at all times during the construction of your house.

A covered rubbish collection bin is to be provided during the construction period and kept within your property boundaries.

### 16.4 Site Security and Safety

During the construction of your new house the building site must be made secure and safe.

A temporary fence must be built around your lot while the house is being constructed.

Siltation fences or other devices to prevent sediment and mud run-off, soil erosion must be provided.

## 16.5 Signage

Safety signs identifying the lot, with the name, postal address and contact details of the responsible person for the site are required on allotments during the construction to a minimum size of 0.4 metres wide and 0.6 metres high.

## 16.6 Enforcement

These site management requirements will be monitored and enforced by the relevant parties, such as Hume City Council, DSE and Peet on a regular basis and may attract fines if breaches are identified.

**Note:** Nature strips, footpaths, roadways, neighbouring properties and public areas do not form part of your construction site, therefore, they must be kept clear at all times.

# 17.

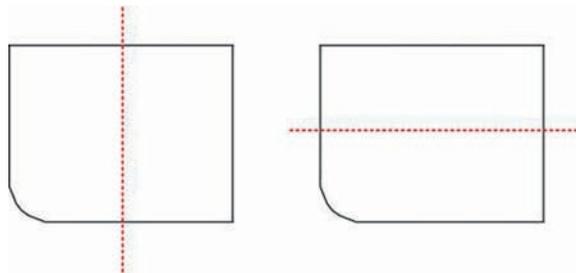
## Dual Occupancy / Medium Density Units

### 17.1 Dual Occupancy

Dual Occupancy lots can be located on a corner designed to address both street frontages. Two individual residences must be constructed however these may be subdivided pre or post construction.

### 17.2 Siting Requirements

- Siting of the Dual Occupancy will be in accordance with the building envelope plan.
- One entry is required from the longest street frontage and one entry is desired from the other street frontage. Where there are two road frontages, each dwelling must have an entry on a different street.
- Dwellings may have attached or detached roofs. Where roofs are attached, the roof form must be articulated to add interest to the streetscape.
- Should cross-over locations differ to what has been provided on the engineering plans, any plans submitted must show the new proposed crossover location and clearly label "subject to council approval".



Sub dividing options

### 17.3 Materials

Materials and colours present on the front facade of non corner lots must be returned a minimum of 600mm along side elevations which do not face the public realm. For corner lot material and colour treatments refer to Section 6.3 Corner Lot Treatment.

### 17.4 Building Elements

The facades of each subdivided dwelling must incorporate similar aspects such that they appear in harmony.

### 17.5 Exclusions for Dual Occupancy / Medium Density Units

Medium density / dual occupancy developments are exempt from the following sections of the Design Guidelines:

- 4.3 Subdivision
- 5.1.3 Building Envelope Plan
- 6.1 Entries and Articulation
- 6.2.2 Porticos
- 6.2.3 Verandas
- 6.2.4 Balconies
- 7.4 Roof Articulation
- 9.2.1 Materials
- 10.1.3 Landscaping (planting beds)

# 18.

## Definitions

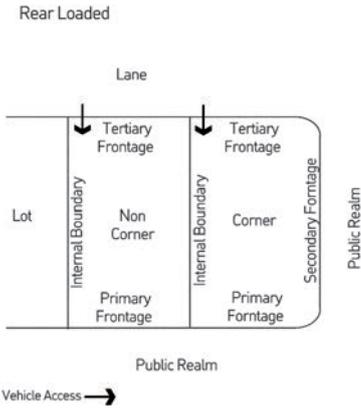
| Term                       | Definition   |
|----------------------------|--|
| Aspect Feature Fencing     | See section 13.3.  |
| Corner Allotments          | Corner allotments are allotments with two or more frontages abutting the public realm.   |
| Fenestration               | The openings on a building and specifically relating to windows for the purposes of this document.   |
| Front Loaded               | <p>An allotment that has vehicle access from the primary and/or secondary frontage(s).</p> <p>The diagrams illustrate two types of front-loaded allotments. The left diagram shows two adjacent lots. The left lot is a 'Non Corner' lot with a 'Primary Frontage' on the street. The right lot is a 'Corner' lot with two 'Primary Frontages' on the street. Both lots have 'Internal Boundaries' and 'Secondary Frontage' on the right side. 'Vehicle Access' is shown from the street to the primary frontages. The right diagram shows a 'Non Corner' lot with a 'Primary Frontage' on the street and a 'Tertiary Frontage' on the top boundary. The adjacent 'Corner' lot has two 'Primary Frontages' on the street. Both lots have 'Internal Boundaries' and 'Secondary Frontage' on the right side. 'Vehicle Access' is shown from the street to the primary frontages. A 'Public Open Space' area is shown above the non-corner lot, and 'Public Realm' is indicated on the right side of both diagrams.</p> |
| Front Wall of the Dwelling | The integral dwelling wall closest to the boundary of the allotment not less than 3.0m in width. Porticos, verandahs and balconies are not integral dwelling walls.  |
| Local Authority            | Hume City Council  |
| Non Corner Allotments      | Allotments that have only one frontage that is abutting the public realm.  |

| Term | Definition |
|------|------------|
|------|------------|

Primary Frontage                      The shorter boundary that bounds a street.

Public Realm                            Refers to land designated as public open space or road reserve.

Rear Loaded                            An allotment that has vehicle access from the rear lane



Regular Lot                              Refers to a lot larger than 250m<sup>2</sup>

Secondary Frontage                    The longer boundary that bounds a street or public open space.

Side and Rear Fencing                See section 13.2.



# Checklist

The Aspect Design Guidelines Checklist is part of the required submission package to gain house plan approval from the Peet Design Review Panel (PDRP). To successfully gain your Design Approval from the PDRP, your home plans must comply with the restrictive covenants detailed in the Aspect Design Guidelines. All non-conforming designs will be assessed on their own merit with the overall interests of the entire community as the highest priority. Contemporary home designs are encouraged. The PDRP reserves the right to approve or decline any non-conforming design.

Name: ..... Lot number:.....

## Document Checklist

- Is the Design Approval Application Form completed and attached?
- Is the Design Checklist completed and attached?
- Is the Site Plan scaled to 1:200?
- Is the Site Plan fully dimensioned with all setbacks, driveway and the proposed building footprint?
- Are the floor plans scaled to 1:100?
- Are all of the drawings dimensioned including internal layout, balconies, verandahs, ceiling height?
- Are all the materials and finishes clearly labeled and contained with a finishes list? Please submit separate materials and colours drawings in line with the guidelines.

## Design Checklist

### Building Mass

- Are setbacks in accordance with the Building Envelope Plan?
- Is the garage set back 840mm from the front wall of the dwelling and 5m from the front title boundary? (Regular lots only)
- Is the ceiling height a minimum of 2550mm?

### Double Storey

- Does the first floor of the double storey dwelling span the distance equal to the width of the ground floor (not including the garage)?

### Roofing

- If the roof is pitched, is it a minimum of 22 degrees for single storey or 20 degrees for double storey?
- If building to boundary on both sides does the dwelling have a hipped roof with parapet wall extending above the gutter line for a minimum of 40% of the width of the dwelling? Or is it a gabled roof? (Box Gutters and Parapet walls may not protrude above the angle of a pitched roof).
- Does the dwelling have 450mm eaves to all façades facing the public realm?

### Community Activation and Safety Elements

- Is the front doorway located within clear sight of the street?
- Has the entry been articulated by a portico, verandah or balcony?
- Does the dwelling have a substantial number of windows to the public realm?
- Is the portico a minimum depth of 1.5m, width of 1.6m and a maximum height of 3.6m? (Regular lots only)
- If the dwelling has a Verandah, is it a minimum depth of 1.5m, minimum width of 4.0m of 40% of the frontage whichever is the greater and with a max height of 3.6m? (Regular lots only)
- If the dwelling has a balcony, is it a minimum depth of 1.2m or 4.0m or 40% of frontage whichever is the greater and with a maximum height of 3.6m? (Regular lots only)
- Roller shutters and metal bars are not used.

#### Corner Treatments

- Are the primary and secondary frontages a similar architectural design?
- Are elements such as wrap-around verandahs, detailing, feature windows, continuous materials, setbacks and upper floor overhangs utilised on at least 25% of the secondary frontage?

#### Vehicle Access

- Does the garage provided accord with the Plan of Subdivision, Engineering Plans & Building Envelope Plan?
- If the dwelling has a single garage does it have a maximum 3.5m opening?
- If the dwelling has a double garage does it have a maximum 6.5m opening?
- If the dwelling has a triple garage does it have a maximum 9.0m opening?
- Is the garage integrated into the main roofline of the dwelling?

#### Retaining Walls

- Does the retaining wall on the lower boundary not exceed 1.2m?

#### Materials

- Is the dwelling the same as another in the street? If so, are the materials and colours varied?
- Do the colours and material used on the front façade return to a minimum of 3.0m along the side elevations? (Regular lots only)
- Is the garage door sectional or tilt up panels? Refer to section 9.2.4 for further detail.
- Are colours predominantly earthy hues?
- Are tiles low profile?

# Aspect Design Approval Application Form

Please submit your Design Approval Submission Package to [melbourne@peet.com.au](mailto:melbourne@peet.com.au)

## Allotment details

Lot Number: ..... Street: .....

## Owner details

Name: .....

Mailing Address:.....

.....

Contact Number:..... Email: .....

## Builder details

Name: .....

Mailing Address:.....

.....

Contact Number:..... Email: .....

## Attachments

- |  |   |
|--|---|
| <input type="checkbox"/> Completed checklist | <input type="checkbox"/> 1 copy of proposed Floorplans, Roof plans and Elevations |
| <input type="checkbox"/> 1 copy of Site plan | <input type="checkbox"/> 1 copy of Materials and Colours schedule                 |

Non-conforming designs (to be completed for designs that do not comply with Design Guidelines)  
List measures taken to ensure that standards are being upheld or improved:

.....

.....

List reasons why this home design will add character to the overall estate:

.....

.....

- Where colour selections or materials differ from pre-approved palette, please provide samples or images of your selection for assessment.

Submitted by: .....

Print name: ..... Date: .....

**Aspect Guidelines Checklist & Design Approval Application Form**

You are encouraged to submit your Design Approval Submission Package in PDF format to [melbourne@peet.com.au](mailto:melbourne@peet.com.au)

**Alternatively you can send them to:**

**Peet Design Review Panel  
Peet Limited, Level 4, 380 St Kilda Road  
Melbourne Victoria 3004**

## DESIGN GUIDELINES FOR HOMEBUYERS

For more information  
contact Marlon on 0499 955 575

[aspectgreenvale.com.au](http://aspectgreenvale.com.au)



**PEET**