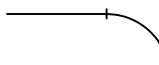


PLAN OF SUBDIVISION

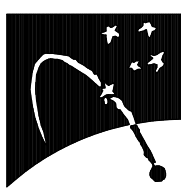
EDITION

PS 746009V

<p>LOCATION OF LAND</p> <p>PARISH: YUROKE</p> <p>TOWNSHIP: —</p> <p>SECTION: 12</p> <p>CROWN ALLOTMENT: T (PART)</p> <p>CROWN PORTION: —</p> <p>TITLE REFERENCE: VOL FOL</p> <p>LAST PLAN REFERENCE: LOT P PS734600G</p> <p>POSTAL ADDRESS: HORIZON BOULEVARD (at time of subdivision) GREENVALE 3059</p> <p>MGA 94 CO-ORDINATES: E 313 620 N 5 834 500 Zone: 55 (approx. centre of land in plan)</p>	<p>Council Name: Hume City Council</p> <p>Council Reference Number: S007903 Planning Permit Reference: P18821 SPEAR Reference Number: S085208C</p> <p>Certification</p> <p>This plan is certified under section 6 of the Subdivision Act 1988</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivision Act 1988 Has been made and the requirement has not been satisfied at Certification</p> <p>Digitally signed by: Antonino Magazzu for Hume City Council on 08/08/2016</p>
--	---

VESTING OF ROADS AND/OR RESERVES		NOTATIONS
IDENTIFIER	COUNCIL/BODY/PERSON	<p>STAGING This is/is not a staged subdivision Planning Permit No. P18821</p> <p>DEPTH LIMITATION DOES NOT APPLY</p> <p>SURVEY This plan is is not based on survey This survey has been connected to permanent marks no(s) 74, 41, 39 & 349 In Proclaimed Survey Area No. 74</p> <p>LOTS 1 TO 900 AND A TO P (ALL INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN</p> <p>EASEMENTS E-2 AND E-5 HAVE BEEN OMITTED FROM THIS PLAN</p> <p>AREA OF LAND SUBDIVIDED (EXCLUDING LOT Q) - 3.111ha</p> <p>TANGENT POINTS ARE SHOWN THUS: </p> <p>CARRIAGEWAY EASEMENT E-14 ON PS734600G NO LONGER AFFECTS VIDE SCHEDULE 5 CLAUSE 14 ROAD MANAGEMENT ACT 2004</p>
ROAD R1 RESERVE No.1 RESERVE No.2	HUME CITY COUNCIL HUME CITY COUNCIL JEMENA ELECTRICITY NETWORK (VIC) LTD	
<p>OTHER PURPOSE OF PLAN</p> <p>TO REMOVE THOSE PARTS OF EASEMENTS E-1 AND E-10 ON PS734600G NOW CONTAINED IN LUSTER CIRCUIT ON THIS PLAN.</p> <p>TO REMOVE THOSE PARTS OF EASEMENT E-10 ON PS734600G NOW CONTAINED IN RESERVE No.2 AND E-15 ON THIS PLAN.</p> <p>TO REMOVE SEWERAGE EASEMENT E-14 ON PS734600G (NOW CONTAINED IN LUSTER CIRCUIT ON THIS PLAN).</p> <p>TO REMOVE THE WHOLE OF EASEMENT E-2 ON PS734600G (NOW CONTAINED IN RAVINE WAY ON THIS PLAN).</p> <p>GROUND FOR REMOVAL OF EASEMENTS AGREEMENT BY ALL INTERESTED PARTIES</p>		

EASEMENT INFORMATION				
<p>LEGEND: E – Encumbering Easement, Condition in Crown Grant in the Nature of an Easement or Other Encumbrance A – Appurtenant Easement</p>				
SUBJECT LAND	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED/IN FAVOUR OF
SEE SHEET 2 FOR EASEMENT DETAILS				

<p>AITKEN ASPECT – 9 63 LOTS & BALANCE LOT Q</p> <p>Bosco Jonson Pty Ltd A.B.N 15 169 138 827 P.O. Box 5075, South Melbourne, Vic 3205 16 Eastern Road South Melbourne Vic 3205 Australia Tel 03) 9699 1400 Fax 03) 9699 5992</p> 	<p>LICENSED SURVEYOR ADRIAN A. THOMAS</p> <p>DATE 05/08/16 REFERENCE 29297093 VERSION G DRAWING 2929709AG</p> <p>Digitally signed by: Adrian Alexander Thomas (Bosco Jonson Pty Ltd), Surveyor's Plan Version (G), 05/08/2016</p> <p>ORIGINAL SHEET SIZE A3 SHEET 1 OF 11 SHEETS</p>
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PLAN OF SUBDIVISION

PS 746009V

EASEMENT INFORMATION

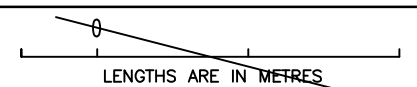
LEGEND: E – Encumbering Easement, Condition in Crown Grant in the Nature of an Easement or Other Encumbrance A – Appurtenant Easement

SUBJECT LAND	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED/IN FAVOUR OF
E-1	SEWERAGE	SEE DIAG	PS734576A	YARRA VALLEY WATER CORPORATION
E-3	SEWERAGE	SEE DIAG	PS714668H	YARRA VALLEY WATER CORPORATION
E-4	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	SEE DIAG	PS714668H	YARRA VALLEY WATER CORPORATION
E-4	SUPPLY OF RECYCLED WATER (THROUGH UNDERGROUND PIPES)	SEE DIAG	PS714668H	YARRA VALLEY WATER CORPORATION
E-4	DRAINAGE	SEE DIAG	PS734576A	HUME CITY COUNCIL
E-6	SUPPLY OF RECYCLED WATER (THROUGH UNDERGROUND PIPES)	SEE DIAG	PS714668H	YARRA VALLEY WATER CORPORATION
E-6	SEWERAGE	SEE DIAG	PS734576A	YARRA VALLEY WATER CORPORATION
E-7	SUPPLY OF RECYCLED WATER (THROUGH UNDERGROUND PIPES)	SEE DIAG	PS714668H	YARRA VALLEY WATER CORPORATION
E-7	SEWERAGE	SEE DIAG	PS714668H	YARRA VALLEY WATER CORPORATION
E-8	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	SEE DIAG	PS714668H	YARRA VALLEY WATER CORPORATION
E-8	SUPPLY OF RECYCLED WATER (THROUGH UNDERGROUND PIPES)	SEE DIAG	PS714668H	YARRA VALLEY WATER CORPORATION
E-8	SEWERAGE	SEE DIAG	PS734576A	YARRA VALLEY WATER CORPORATION
E-9	SEWERAGE	SEE DIAG	PS734576A	YARRA VALLEY WATER CORPORATION
E-9	CARRIAGEWAY	SEE DIAG	PS734576A	LOT N ON PS734576A
E-9	CARRIAGEWAY	SEE DIAG	PS734576A	VOL 11322 FOL 175
E-10	DRAINAGE	SEE DIAG	PS734576A	HUME CITY COUNCIL
E-10	SEWERAGE	SEE DIAG	PS734576A	YARRA VALLEY WATER CORPORATION
E-11	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	SEE DIAG	PS734576A	YARRA VALLEY WATER CORPORATION
E-11	SEWERAGE	SEE DIAG	PS734576A	YARRA VALLEY WATER CORPORATION
E-12	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	SEE DIAG	PS734576A	YARRA VALLEY WATER CORPORATION
E-12	SUPPLY OF RECYCLED WATER (THROUGH UNDERGROUND PIPES)	SEE DIAG	PS734576A	YARRA VALLEY WATER CORPORATION
E-12	SEWERAGE	SEE DIAG	PS734576A	YARRA VALLEY WATER CORPORATION
E-13	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	SEE DIAG	PS734576A	YARRA VALLEY WATER CORPORATION
E-13	SUPPLY OF RECYCLED WATER (THROUGH UNDERGROUND PIPES)	SEE DIAG	PS714668H	YARRA VALLEY WATER CORPORATION
E-13	SEWERAGE	SEE DIAG	PS734576A	YARRA VALLEY WATER CORPORATION
E-14	DRAINAGE	SEE DIAG	THIS PLAN	HUME CITY COUNCIL
E-14	SEWERAGE	SEE DIAG	THIS PLAN	YARRA VALLEY WATER CORPORATION
E-15	POWERLINE	SEE DIAG	THIS PLAN - SEC 88 ELECTRICITY INDUSTRY ACT 2000	JEMENA ELECTRICITY NETWORK (VIC) LTD
E-16	DRAINAGE	SEE DIAG	PS734576A	HUME CITY COUNCIL
E-16	SEWERAGE	SEE DIAG	PS734576A	YARRA VALLEY WATER CORPORATION
E-16	CARRIAGEWAY	SEE DIAG	THIS PLAN	JEMENA ELECTRICITY NETWORK (VIC) LTD

AITKEN ASPECT – 9

LICENSED SURVEYOR ADRIAN A. THOMAS

SCALE



Bosco Jonson Pty Ltd
 A.B.N 15 169 138 827
 P.O. Box 5075, South Melbourne, Vic 3205
 16 Eastern Road South Melbourne
 Vic 3205 Australia
 Tel 03) 9699 1400 Fax 03) 9699 5992



DATE 05/08/16

REFERENCE 29297093

VERSION G

DRAWING 2929709AG

ORIGINAL SHEET SIZE A3

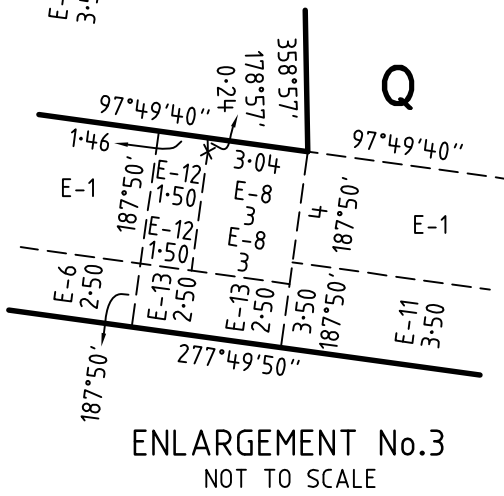
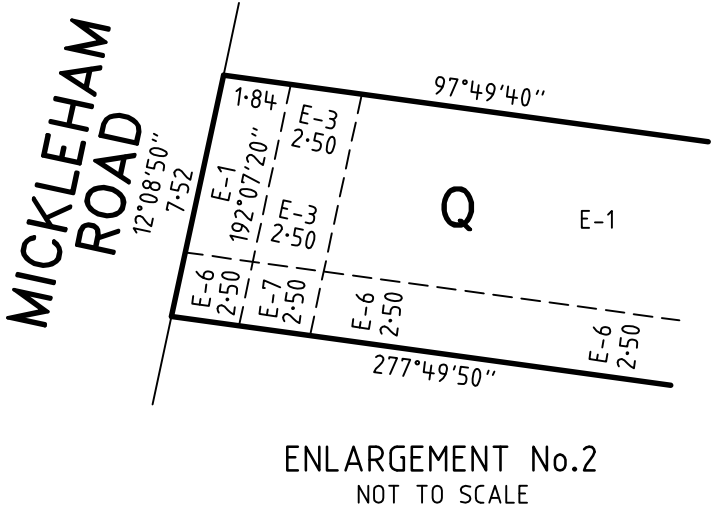
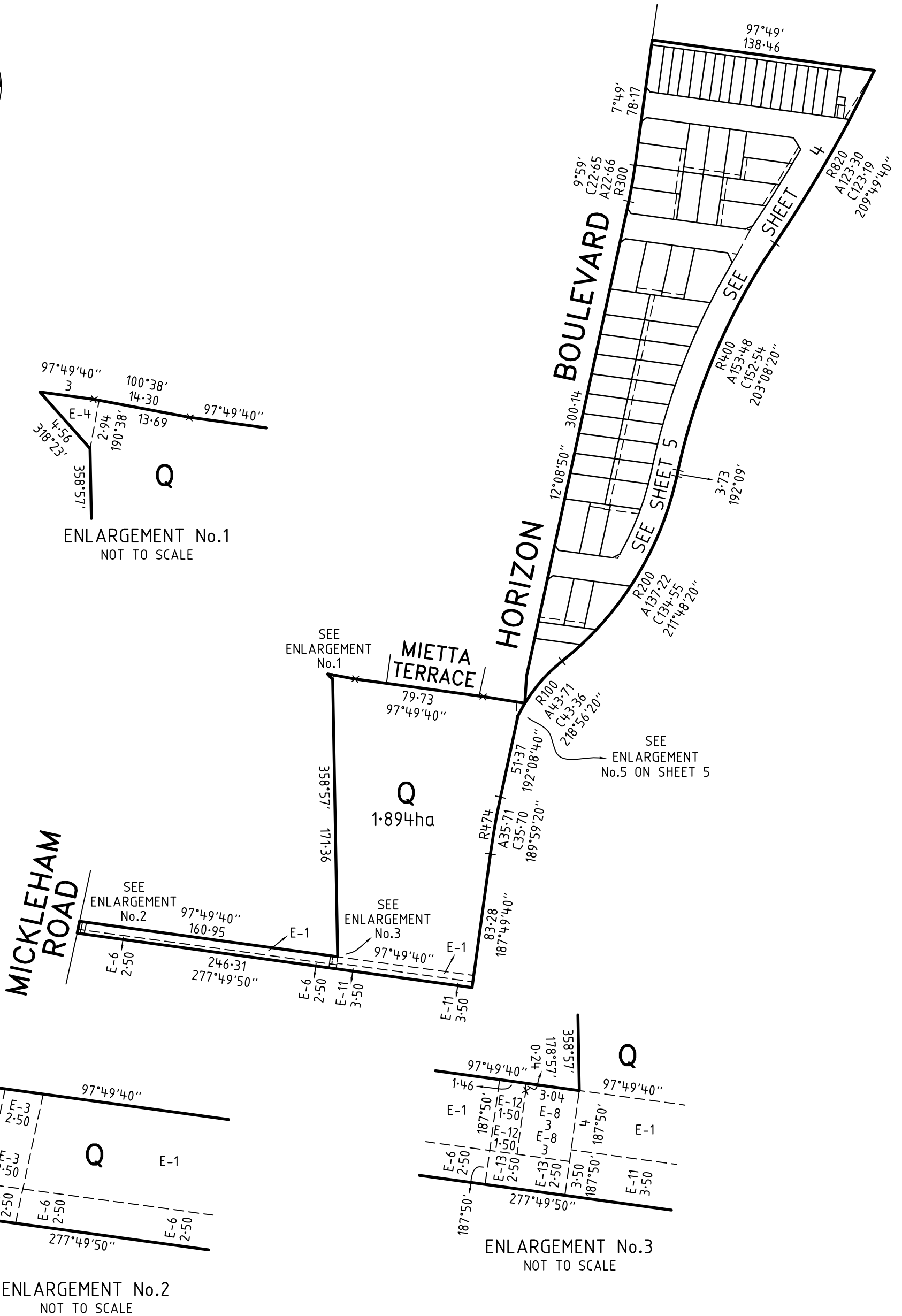
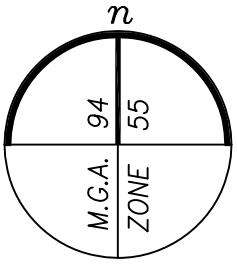
SHEET 2

Digitally signed by: Adrian Alexander Thomas (Bosco Jonson Pty Ltd),
 Surveyor's Plan Version (G),
 05/08/2016

Digitally signed by:
 Hume City Council,
 08/08/2016,
 SPEAR Ref: S085208C

PLAN OF SUBDIVISION

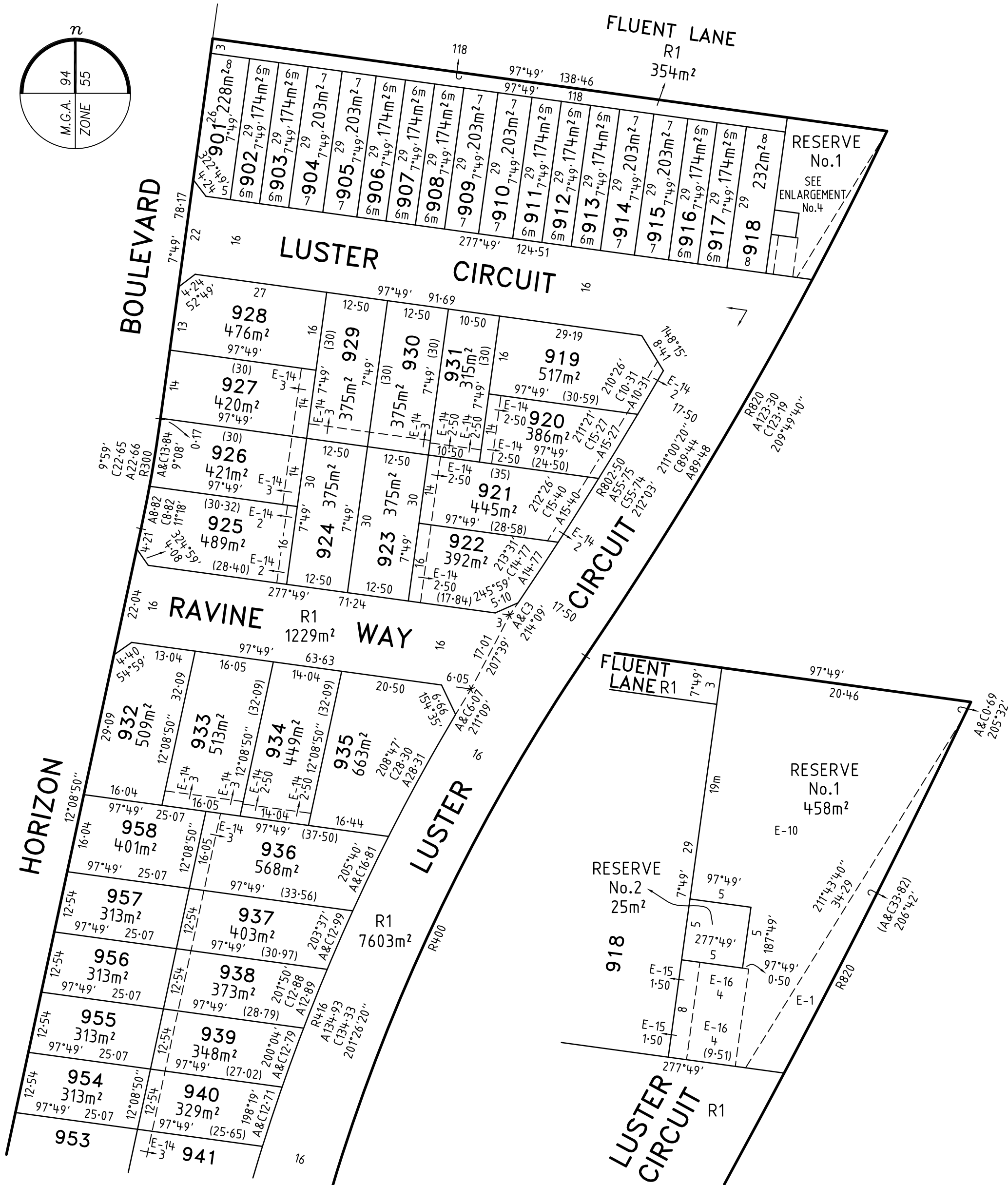
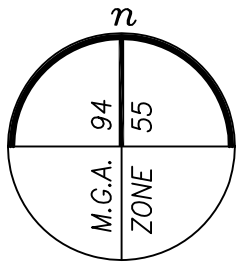
PS 746009V



AITKEN ASPECT - 9 Bosco Jonson Pty Ltd A.B.N 15 169 138 827 P.O. Box 5075, South Melbourne, Vic 3205 16 Eastern Road South Melbourne Vic 3205 Australia Tel 03) 9699 1400 Fax 03) 9699 5992	LICENSED SURVEYOR ADRIAN A. THOMAS	SCALE 1:2500	25 0 50 100 LENGTHS ARE IN METRES
	DATE 05/08/16 VERSION G	REFERENCE 29297093 DRAWING 2929709AG	ORIGINAL SHEET SIZE A3 SHEET 3
	Digitally signed by: Adrian Alexander Thomas (Bosco Jonson Pty Ltd), Surveyor's Plan Version (G), 05/08/2016	Digitally signed by: Hume City Council, 08/08/2016, SPEAR Ref: S085208C	

PLAN OF SUBDIVISION

PS 746009V

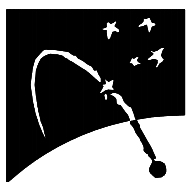


SEE SHEET 5

ENLARGEMENT No.4
NOT TO SCALE

AITKEN ASPECT - 9

Bosco Jonson Pty Ltd
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16 Eastern Road South Melbourne
Vic 3205 Australia
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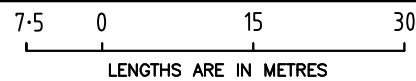


LICENSED SURVEYOR ADRIAN A. THOMAS

DATE 05/08/16
VERSION G

Digitally signed by: Adrian Alexander Thomas (Bosco Jonson Pty Ltd),
Surveyor's Plan Version (G),
05/08/2016

SCALE
1:750



ORIGINAL SHEET SIZE A3

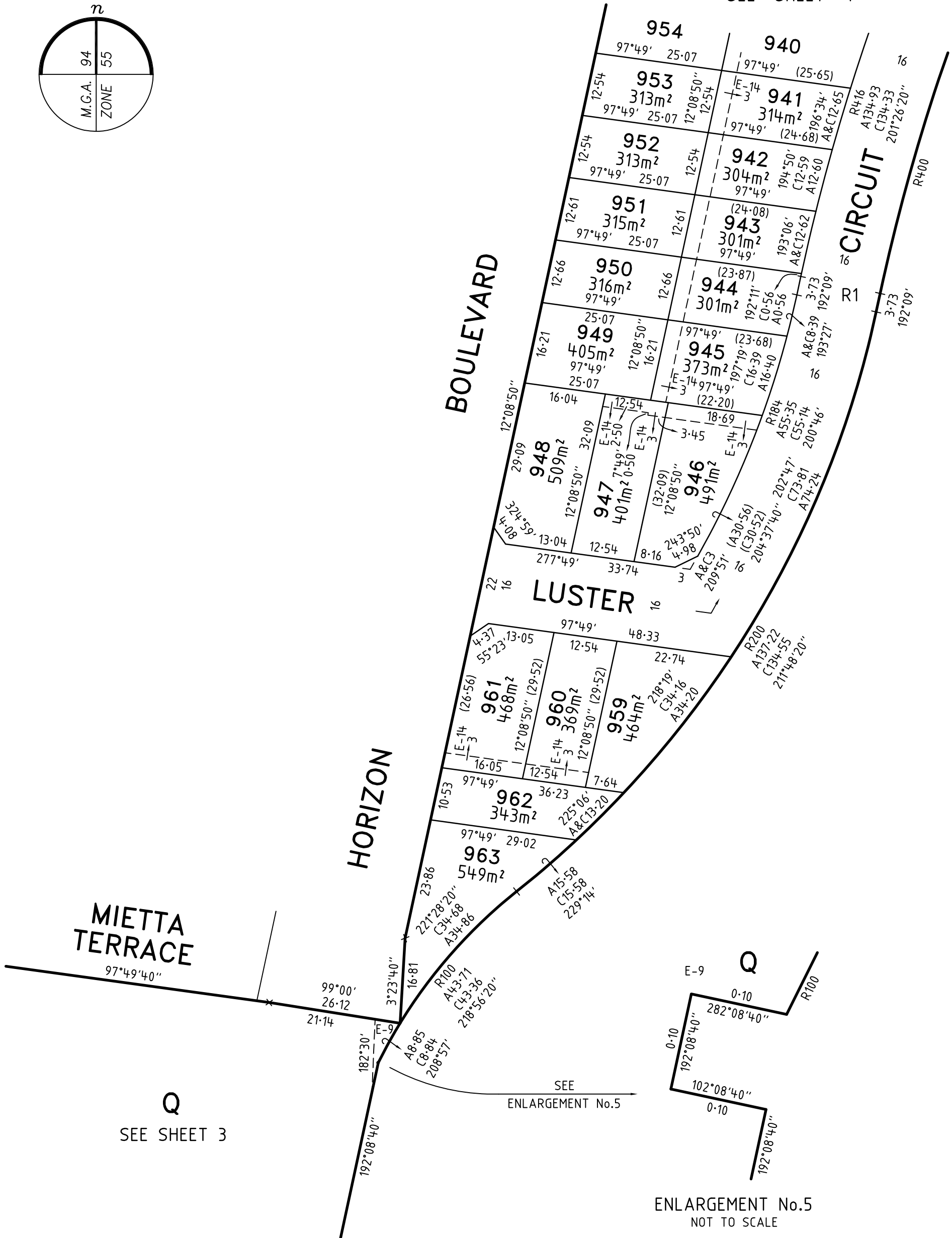
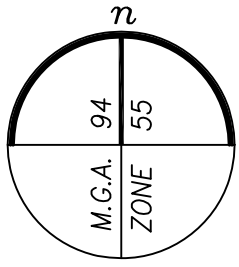
SHEET 4

Digitally signed by:
Hume City Council,
08/08/2016,
SPEAR Ref: S085208C

PLAN OF SUBDIVISION

PS 746009V

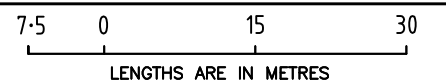
SEE SHEET 4



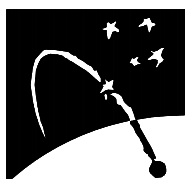
AITKEN ASPECT - 9

LICENSED SURVEYOR ADRIAN A. THOMAS

SCALE
1:750



Bosco Jonson Pty Ltd
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Tel 03) 9699 1400 Fax 03) 9699 5992



DATE 05/08/16
VERSION G

REFERENCE 29297093
DRAWING 2929709AG

ORIGINAL SHEET SIZE A3

SHEET 5

Digitally signed by: Adrian Alexander Thomas (Bosco Jonson Pty Ltd),
Surveyor's Plan Version (G),
05/08/2016

Digitally signed by:
Hume City Council,
08/08/2016,
SPEAR Ref: S085208C

PLAN OF SUBDIVISION

PS 746009V

CREATION OF RESTRICTION A

The following restriction is to be created upon registration of Plan of Subdivision No. PS746009V by way of a restrictive covenant and as a restriction as defined in the Subdivision Act 1988.

Table of land burdened and land benefited:

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
901	902
902	901, 903
903	902, 904
904	903, 905
905	904, 906
906	905, 907
907	906, 908
908	907, 909
909	908, 910
910	909, 911
911	910, 912
912	911, 913
913	912, 914
914	913, 915
915	914, 916
916	915, 917
917	916, 918
918	917
919	920, 931
920	919, 921, 931
921	920, 922, 923, 931
922	921, 923
923	921, 922, 924, 930
924	923, 925, 926, 929
925	924, 926
926	924, 925, 927
927	926, 928, 929
928	927, 929
929	924, 927, 928, 930
930	923, 929, 931
931	919, 920, 921, 930

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
932	933, 958
933	932, 934, 936, 958
934	933, 935, 936
935	934, 936
936	933, 934, 935, 937, 958
937	936, 938, 957
938	937, 939, 956
939	938, 940, 955
940	939, 941, 954
941	940, 942, 953
942	941, 943, 952
943	942, 944, 951
944	943, 945, 950
945	944, 946, 947, 949
946	945, 947
947	945, 946, 948, 949
948	947, 949
949	945, 947, 948, 950
950	944, 949, 951
951	943, 950, 952
952	942, 951, 953
953	941, 952, 954
954	940, 953, 955
955	939, 954, 956
956	938, 955, 957
957	937, 956, 958
958	932, 933, 936, 957
959	960, 962
960	959, 961, 962
961	960, 962
962	959, 960, 961, 963
963	962

DESCRIPTION OF RESTRICTION

Septic Tank

- (a) Except with the written consent of Melbourne Water, the registered proprietor or proprietors for the time being of any burdened lot on the Plan of Subdivision shall not build or allow to be built on the Lot any building which is connected to a septic tank or similar onsite waste water treatment system.

CCTV of Sewer Infrastructure

- (b) The registered proprietor or proprietors for the time being of any burdened lot on the Plan of Subdivision shall not:
- prevent access by Peet, Yarra Valley Water or any nominated representative of either party for the purpose of undertaking closed circuit television scanning of sewer infrastructure between the dwelling on the Property, the property branch and oblique branch.
 - fail to promptly rectify at the registered proprietor's cost, any sewer infrastructure not deemed fit for purpose by Peet, Yarra Valley Water or any nominated representative of either party.

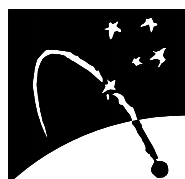
Certificate of Occupancy

- (c) The registered proprietor or proprietors for the time being of any burdened lot on the Plan of Subdivision shall not obtain or allow any other party to issue a certificate of occupancy for any burdened lot on the Plan of Subdivision without firstly:
- obtaining closed circuit television scanning of sewer infrastructure constructed between the dwelling on the Property, the property branch and oblique branch and confirming that the sewer infrastructure is fit for purpose.

For the purposes of this restriction "Peet" means Peet Funds Management Limited ACN: 145 992 169 as the responsible entity for Peet Greenvale Syndicate ARSN 160 996 510 or any of its related bodies corporate or associated entities within the meaning of the Corporations Act 2001.

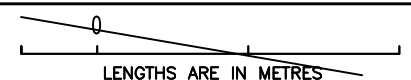
AITKEN ASPECT – 9

Bosco Jonson Pty Ltd
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 16 Eastern Road South Melbourne
 Vic 3205 Australia
 Tel 03) 9699 1400 Fax 03) 9699 5992



LICENSED SURVEYOR ADRIAN A. THOMAS

SCALE



DATE 05/08/16

REFERENCE 29297093

VERSION G

DRAWING 2929709AG

ORIGINAL SHEET SIZE A3

SHEET 6

Digitally signed by: Adrian Alexander Thomas (Bosco Jonson Pty Ltd),
 Surveyor's Plan Version (G),
 05/08/2016

Digitally signed by:
 Hume City Council,
 08/08/2016,
 SPEAR Ref: S085208C

PLAN OF SUBDIVISION

PS 746009V

CREATION OF RESTRICTION B

The following restriction is to be created upon registration of Plan of Subdivision No. PS746009V by way of a restrictive covenant and as a restriction as defined in the Subdivision Act 1988.

Table of land burdened and land benefited:

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
919	920, 931
920	919, 921, 931
921	920, 922, 923, 931
922	921, 923
923	921, 922, 924, 930
924	923, 925, 926, 929
925	924, 926
926	924, 925, 927
927	926, 928, 929
928	927, 929
929	924, 927, 928, 930
930	923, 929, 931
931	919, 920, 921, 930
932	933, 958
933	932, 934, 936, 958
934	933, 935, 936
935	934, 936
936	933, 934, 935, 937, 958
937	936, 938, 957
938	937, 939, 956
939	938, 940, 955
940	939, 941, 954
941	940, 942, 953

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
942	941, 943, 952
943	942, 944, 951
944	943, 945, 950
945	944, 946, 947, 949
946	945, 947
947	945, 946, 948, 949
948	947, 949
949	945, 947, 948, 950
950	944, 949, 951
951	943, 950, 952
952	942, 951, 953
953	941, 952, 954
954	940, 953, 955
955	939, 954, 956
956	938, 955, 957
957	937, 956, 958
958	932, 933, 936, 957
959	960, 962
960	959, 961, 962
961	960, 962
962	959, 960, 961, 963
963	962

DESCRIPTION OF RESTRICTION

Except with the written consent of Peet and in all other instances with the written consent of each and every registered proprietor of a benefiting Lot on the Plan of Subdivision the registered proprietor or proprietors for the time being of any burdened Lot on the Plan of Subdivision shall not:

Design Guidelines and MCP

- (a) build or allow to be built on the Lot any building other than a building that has been approved by Peet or the Aitken Aspect Design Review Panel in accordance with the Aitken Aspect Design Guidelines.
- (b) build or allow to be built on the Lot any building other than a building which has been constructed in accordance with the endorsed Memorandum of Common Provisions (MCP) registered in Dealing Number AA2363, which MCP is incorporated into this Restriction.

Building Envelopes

- (c) build or allow to be built on the Lot any building other than in accordance with the building envelope plans shown in the Schedule on sheets 9 and 10.

Single and Double Storey Construction

- (d) build or allow to be built on the Lot any building with a rise of any number of levels other than in accordance with the storey plans shown in the Schedule on sheets 9 and 10.

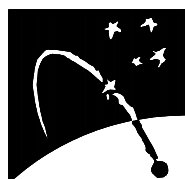
Fencing

- (e) build or allow to be built on the Lot any fence which is visible from a public area which does not comply with the "Aspect Feature Fencing" requirements in the Aitken Aspect Design Guidelines.

continued.

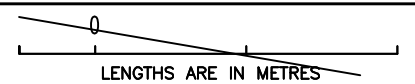
AITKEN ASPECT – 9

Bosco Jonson Pty Ltd
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 16 Eastern Road South Melbourne
 Vic 3205 Australia
 Tel 03) 9699 1400 Fax 03) 9699 5992



LICENSED SURVEYOR ADRIAN A. THOMAS

SCALE



DATE 05/08/16

REFERENCE 29297093

VERSION G

DRAWING 2929709AG

ORIGINAL SHEET SIZE A3

SHEET 7

Digitally signed by: Adrian Alexander Thomas (Bosco Jonson Pty Ltd),
 Surveyor's Plan Version (G),
 05/08/2016

Digitally signed by:
 Hume City Council,
 08/08/2016,
 SPEAR Ref: S085208C

CREATION OF RESTRICTION B (CONTINUED)

Garage

(f) build or allow to be built on the Lot any garage other than in accordance with the garage plans shown in the Schedule on sheets 9 and 10.

Recycled Water

(g) build or allow to be built on the Lot any dwelling which does not have plumbing for the use of recycled water for toilet flushing, irrigation and external use.

Design Plans

(h) enter into any unconditional domestic building contract with a Builder, commence, carry out, erect, construct, permit or alter any development on the Lot without the applicable plans and specifications (including floor plans and elevations and finishes schedules) being first prepared and submitted to and approved by Peet and then only in compliance with any condition (consistent with any restrictions affecting the Lot) imposed by Peet in respect of that approval.

Expiry

(i) The restrictions specified in paragraphs (a) to (h) (inclusive) shall cease to burden any Lot on the Plan of Subdivision with effect 10 years from the date of registration.

For the purposes of this restriction "Peet" means Peet Funds Management Limited ACN: 145 992 169 as the responsible entity for Peet Greenvale Syndicate ARSN 160 996 510 or any of its related bodies corporate or associated entities within the meaning of the Corporations Act 2001.

AITKEN ASPECT – 9

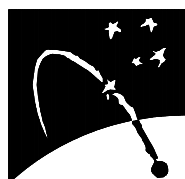
LICENSED SURVEYOR ADRIAN A. THOMAS

SCALE



Bosco Jonson Pty Ltd

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 P.O. Box 5075, South Melbourne, Vic 3205
 16 Eastern Road South Melbourne
 Vic 3205 Australia
 Tel 03) 9699 1400 Fax 03) 9699 5992



DATE 05/08/16

REFERENCE 29297093

VERSION G

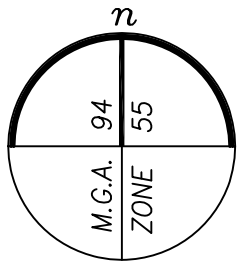
DRAWING 2929709AG

ORIGINAL SHEET SIZE A3

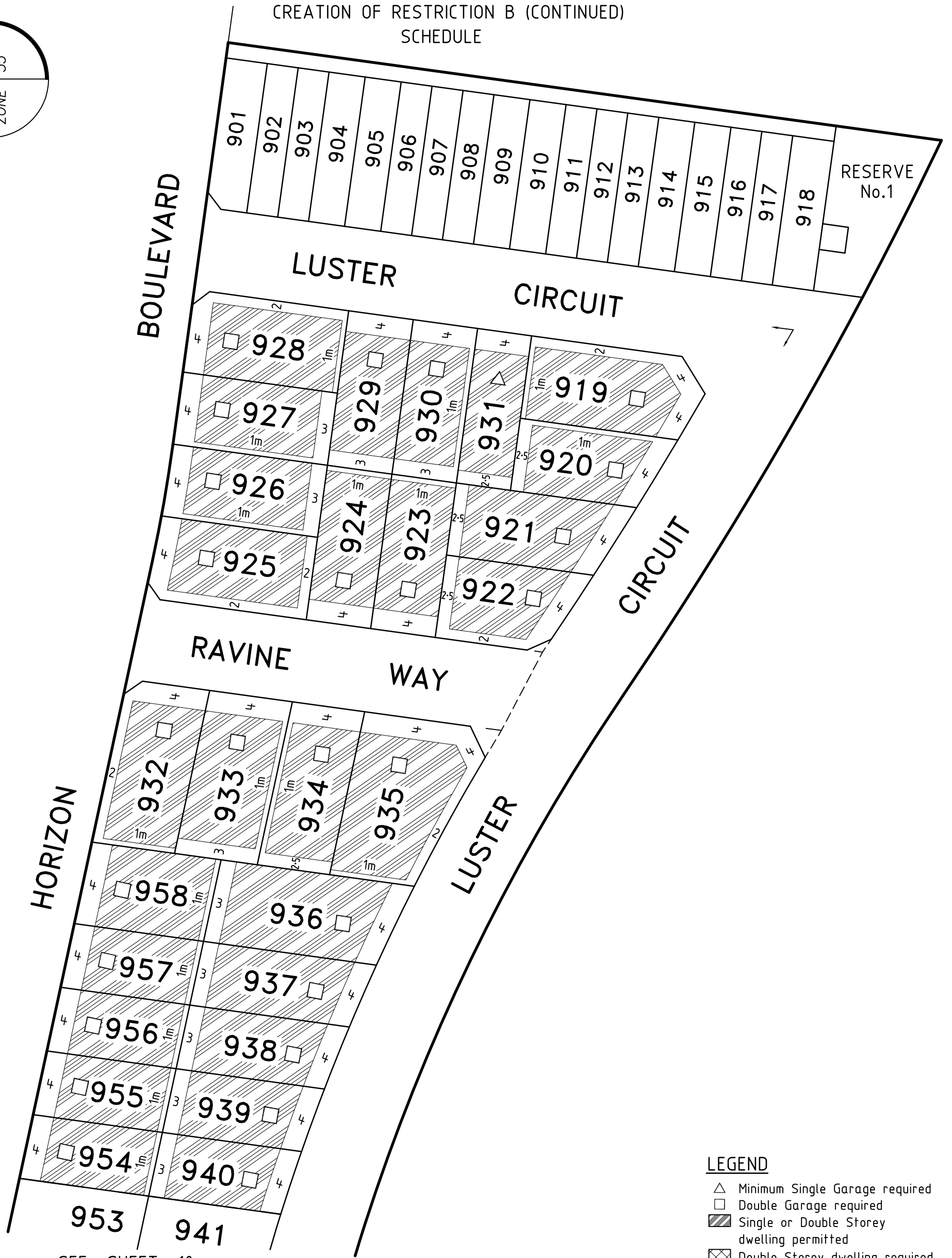
SHEET 8

Digitally signed by: Adrian Alexander Thomas (Bosco Jonson Pty Ltd),
 Surveyor's Plan Version (G),
 05/08/2016

Digitally signed by:
 Hume City Council,
 08/08/2016,
 SPEAR Ref: S085208C



CREATION OF RESTRICTION B (CONTINUED)
SCHEDULE



SEE SHEET 10

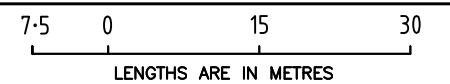
LEGEND

- △ Minimum Single Garage required
- Double Garage required
- ▨ Single or Double Storey dwelling permitted
- ⊠ Double Storey dwelling required

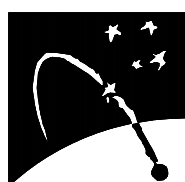
AITKEN ASPECT - 9

LICENSED SURVEYOR ADRIAN A. THOMAS

SCALE
1:750



Bosco Jonson Pty Ltd
A.B.N 15 169 138 827
P.O. Box 5075, South Melbourne, Vic 3205
16 Eastern Road South Melbourne
Vic 3205 Australia
Tel 03) 9699 1400 Fax 03) 9699 5992



DATE 05/08/16
VERSION G

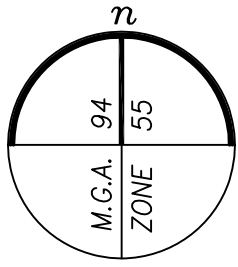
REFERENCE 29297093
DRAWING 2929709AG

ORIGINAL SHEET SIZE A3

SHEET 9

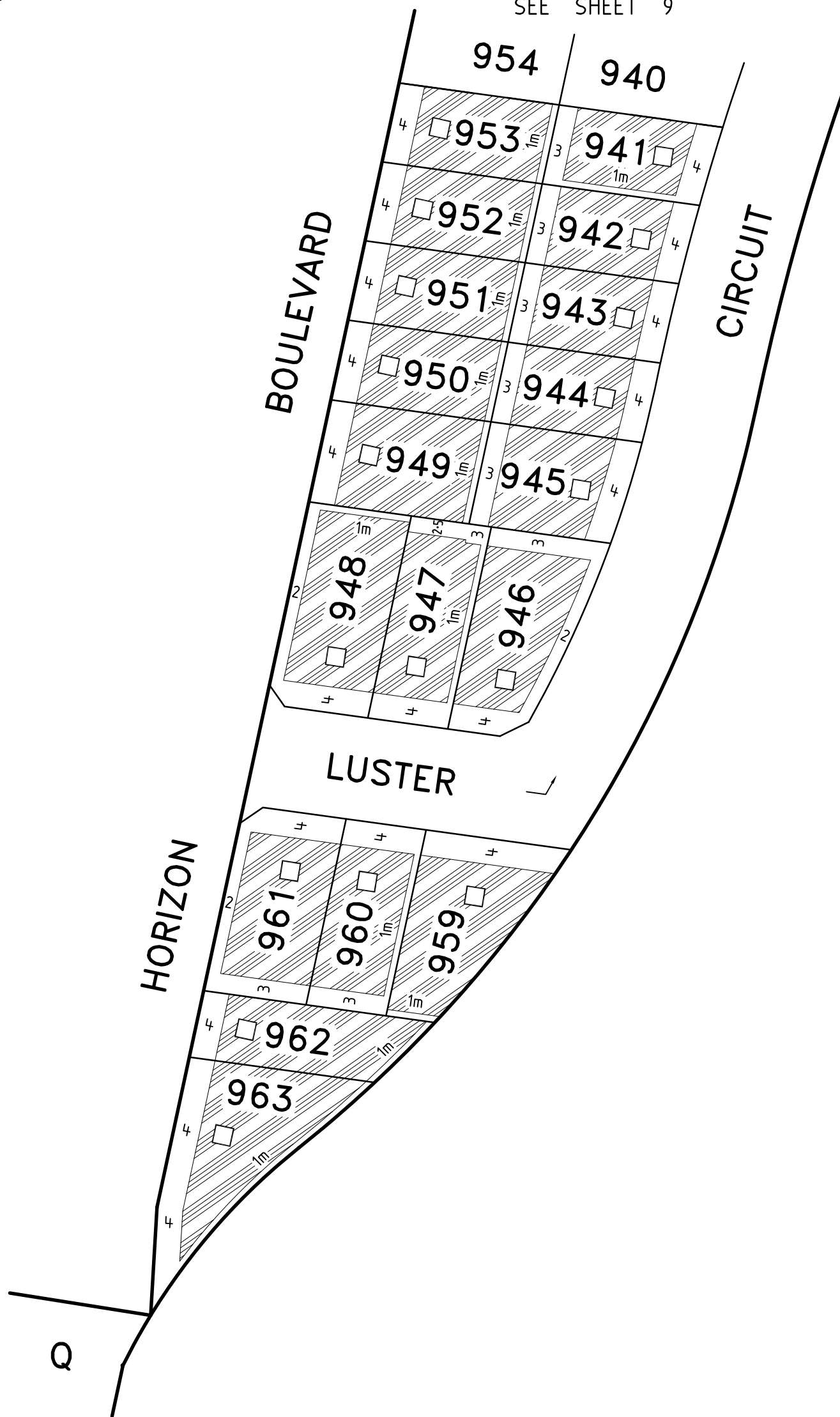
Digitally signed by: Adrian Alexander Thomas (Bosco Jonson Pty Ltd),
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05/08/2016

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Hume City Council,
08/08/2016,
SPEAR Ref: S085208C



CREATION OF RESTRICTION B (CONTINUED)
SCHEDULE

SEE SHEET 9



NOTE

THE BUILDING ENVELOPE OF LOT 947 IS PARTIALLY DEFINED BY EASEMENT BOUNDARIES WHICH ARE SHOWN ON SHEET 5 OF THIS PLAN

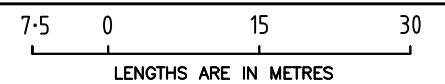
LEGEND

- △ Minimum Single Garage required
- Double Garage required
- ▨ Single or Double Storey dwelling permitted
- ▩ Double Storey dwelling required

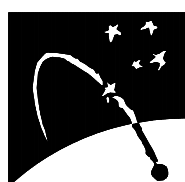
AITKEN ASPECT - 9

LICENSED SURVEYOR ADRIAN A. THOMAS

SCALE
1:750



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REFERENCE 29297093
DRAWING 2929709AG

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05/08/2016

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08/08/2016,
SPEAR Ref: S085208C

CREATION OF RESTRICTION C

The following restriction is to be created upon registration of Plan of Subdivision No. PS746009V by way of a restrictive covenant and as a restriction as defined in the Subdivision Act 1988.

Table of land burdened and land benefited:

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
901	902
902	901, 903
903	902, 904
904	903, 905
905	904, 906
906	905, 907
907	906, 908
908	907, 909
909	908, 910
910	909, 911
911	910, 912
912	911, 913
913	912, 914
914	913, 915
915	914, 916
916	915, 917
917	916, 918
918	917

DESCRIPTION OF RESTRICTION

Except with the written consent of Peet or Aitken Aspect Design Review Panel and in all other instances with the written consent of each and every registered proprietor of a benefiting Lot on the Plan of Subdivision the registered proprietor or proprietors for the time being of any burdened Lot on the Plan of Subdivision in the table as a lot subject to the 'Small Lot Housing Code (Type A)' shall not:

Small Lot Housing Code

- (a) build or permit to be built or remain on the lot any building or structure that has not been constructed in accordance with the 'Small Lot Housing Code (Type A)' unless in accordance with a planning permit granted to construct a dwelling on the lot.

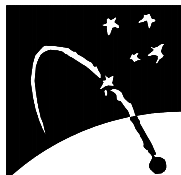

Design Plans

- (b) enter into any unconditional domestic building contract with a Builder, commence, carry out, erect, construct, permit or alter any development on the Lot without the applicable plans and specifications (including floor plans and elevations and finishes schedules) being first prepared and submitted to and approved by Peet and then only in compliance with any condition (consistent with any restrictions affecting the Lot) imposed by Peet in respect of that approval.

Expiry

- (c) the restriction in paragraphs a) and b) shall cease to have effect under the issue of the Certificate of Occupancy for the whole of the dwelling on this lot.

For the purposes of this restriction "Peet" means Peet Funds Management Limited ACN: 145 992 169 as the responsible entity for Peet Greenvale Syndicate ARSN 160 996 510 or any of its related bodies corporate or associated entities within the meaning of the Corporations Act 2001.

<p>AITKEN ASPECT – 9</p> <p>Bosco Jonson Pty Ltd A.B.N 15 169 138 827 P.O. Box 5075, South Melbourne, Vic 3205 16 Eastern Road South Melbourne Vic 3205 Australia Tel 03) 9699 1400 Fax 03) 9699 5992</p> 	<p>LICENSED SURVEYOR ADRIAN A. THOMAS</p> <p>DATE 05/08/16 REFERENCE 29297093 VERSION G DRAWING 2929709AG</p> <p>Digitally signed by: Adrian Alexander Thomas (Bosco Jonson Pty Ltd), Surveyor's Plan Version (G), 05/08/2016</p>	<p>SCALE</p>  <p>LENGTHS ARE IN METRES</p>	<p>ORIGINAL SHEET SIZE A3</p> <p>SHEET 11</p> <p>Digitally signed by: Hume City Council, 08/08/2016, SPEAR Ref: S085208C</p>
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