


<b>PLAN OF SUBDIVISION</b>		EDITION 1	<b>PS 814017U</b>	
<b>LOCATION OF LAND</b> PARISH: TARNEIT TOWNSHIP: - SECTION: 20 CROWN ALLOTMENT: - CROWN PORTION: B (PART) & D (PART) TITLE REFERENCE: C/T VOL 12195 FOL 862  LAST PLAN REFERENCE: LOT W on PS 810136H  POSTAL ADDRESS: 1030 TARNEIT ROAD (at time of subdivision) TARNEIT VIC 3029 MGA94 CO-ORDINATES: E: 295 040      ZONE: 55 (of approx centre of land in plan)      N: 5 811 380				
<b>VESTING OF ROADS AND/OR RESERVES</b>		<b>NOTATIONS</b>		
IDENTIFIER	COUNCIL / BODY / PERSON	Lots 1 to 900 and Lots A to U (all inclusive) have been omitted from this plan.  <u>Other Purpose of this plan:</u>  To remove by agreement those parts of easement E-4 (Carriageway) created in PS806982P and easement E-17 (Sewerage) created in PS 810154F that lie within Odyssey Boulevard in this plan via Section 6 (1) (k) of the Subdivision Act 1988.		
ROAD R-1 RESERVE No. 1	WYNDHAM CITY COUNCIL WYNDHAM CITY COUNCIL			
<b>NOTATIONS</b>				
DEPTH LIMITATION DOES NOT APPLY				
SURVEY: This plan is based on survey in PS732577J  STAGING: This is not a staged subdivision Planning Permit No. WYP6865/13  This survey has been connected to permanent marks No(s). Tarneit PM 96 & 759 In Proclaimed Survey Area No. -				
<b>EASEMENT INFORMATION</b>				
LEGEND: A - Appurtenant Easement    E - Encumbering Easement    R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour of
SEE SHEET 2 FOR EASEMENT INFORMATION				
NEWHAVEN ESTATE - STAGE 9 (56 LOTS)			AREA OF STAGE - 3.385ha	
 414 La Trobe Street PO Box 16084 Melbourne Vic 8007 T 61 3 9993 7888 spiire.com.au		SURVEYORS FILE REF: 306255SV00		ORIGINAL SHEET SIZE: A3
		Licensed Surveyor: Terry J Mawson Version: 15		SHEET 1 OF 8

## EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour of
E-1	Transmission of Electricity	See diag.	Y8739W (Book 645 No. 542)	State Electricity Commission of Victoria
E-2	Transmission of Electricity	See diag.	Y8739W (Book 645 No. 542)	State Electricity Commission of Victoria
E-2	Water Supply Pipeline Purposes	See diag.	Sec. 130 Water Act 1989 Sec. 19 Land Acquisition & Compensation Act 1986 Vide Notification AJ284302V	Barwon Region Water Corporation
E-3	Carriageway	See diag.	PS806982P	Lot B in PS806982P
E-4	Sewerage	2.50	PS 810123S	City West Water Corporation
E-5	Drainage	20	PS 810123S	Wyndham City Council
E-5	Sewerage	20	This Plan	City West Water Corporation
E-6	Powerline	See diag.	PS810154F - Sect. 88 Electricity Industry Act 2000	Powercor Australia Limited
E-7	Water Supply Pipeline Purposes	See diag.	Sec. 130 Water Act 1989 Sec. 19 Land Acquisition & Compensation Act 1986 Vide Notification AJ284302V	Barwon Region Water Corporation
E-7	Powerline	See diag.	PS 810154F Sect. 88 Electricity Industry Act 2000	Powercor Australia Limited
E-8	Supply of Water through underground pipes	See diag.	C/E A162815S	City West Water Corporation
E-8	Gas Supply	See diag.	C/E A165706G	Ausnet Gas Services Pty Ltd
E-9	Gas Supply	See diag.	C/E A165706G	Ausnet Gas Services Pty Ltd
E-10	Supply of Water through underground pipes	3	C/E A162815S	City West Water Corporation
E-11	Powerline	3	PS 810154F - Sect. 88 Electricity Industry Act 2000	Powercor Australia Limited
E-11	Supply of Water through underground pipes	3	C/E A162815S	City West Water Corporation
E-12	Drainage	20	PS 810154F	Wyndham City Council
E-12	Sewerage	20	This Plan	City West Water Corporation
E-13	Transmission of Electricity	See diag.	Y8739W (Book 645 No. 542)	State Electricity Commission of Victoria
E-13	Supply of Water through underground pipes	See diag.	C/E A162815S	City West Water Corporation
E-14	Sewerage	2.50	This Plan	City West Water Corporation
E-15	Water Supply Pipeline Purposes	2.50	Sec. 130 Water Act 1989 Sec. 19 Land Acquisition & Compensation Act 1986 Vide Notification AJ284302V	Barwon Region Water Corporation
E-15	Sewerage	2.50	PS 810154F	City West Water Corporation
E-16	Drainage	See diag.	PS 810154F	Wyndham City Council
E-17	Sewerage	3.50	This Plan	City West Water Corporation
E-17	Drainage	3.50	This Plan	Wyndham City Council

SURVEYOR'S FILE REF: 306255SV00

ORIGINAL SHEET  
SIZE: A3

SHEET 2

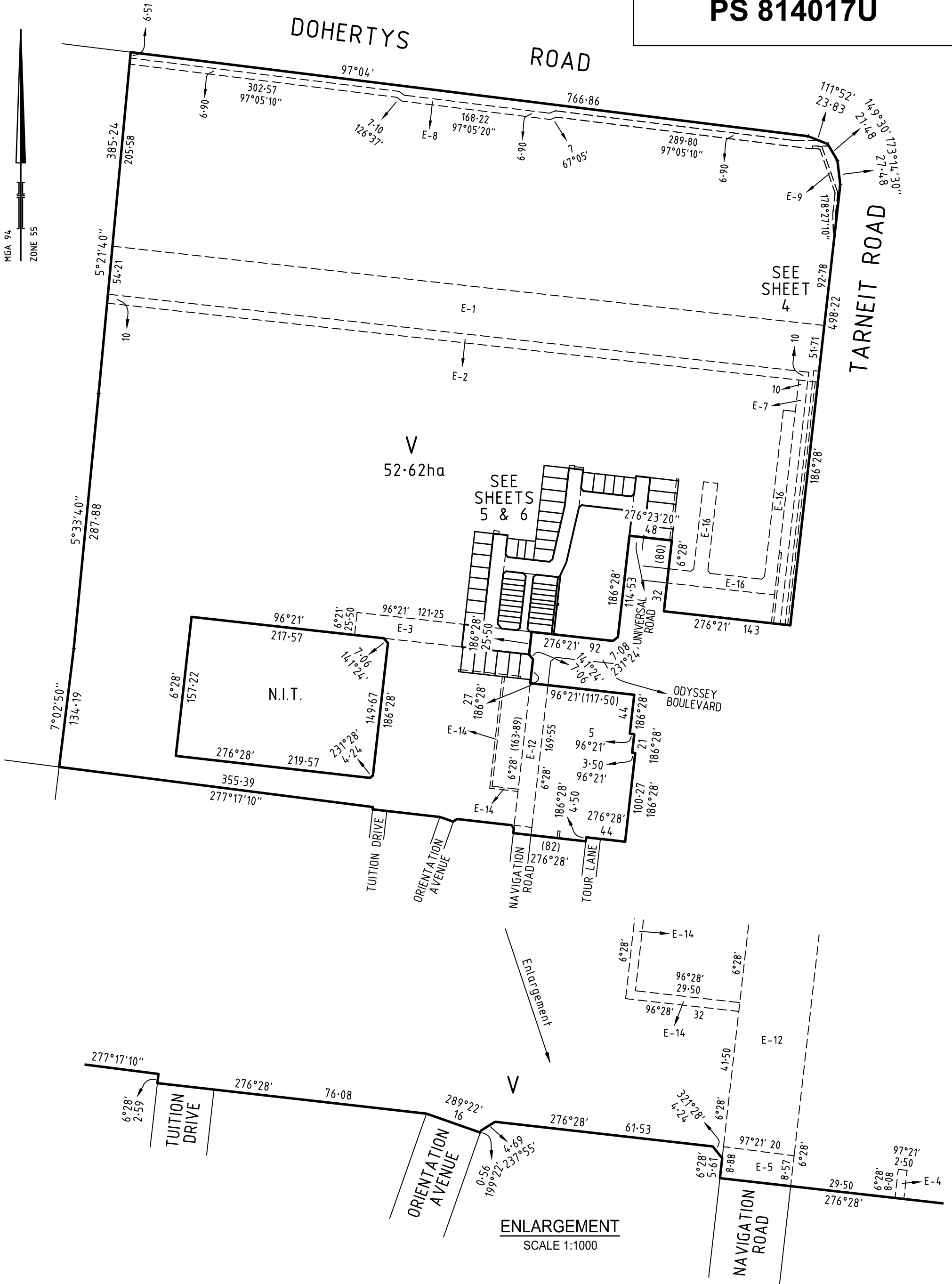


414 La Trobe Street  
PO Box 16084  
Melbourne Vic 8007  
T 61 3 9993 7888  
spiire.com.au

Licensed Surveyor: Terry J Mawson  
Version: 15

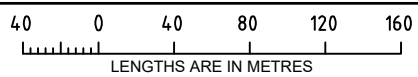
DOHERTYS ROAD

TARNEIT ROAD



SURVEYOR'S FILE REF: 306255SV00

SCALE  
1: 4000



ORIGINAL SHEET  
SIZE: A3

SHEET 3



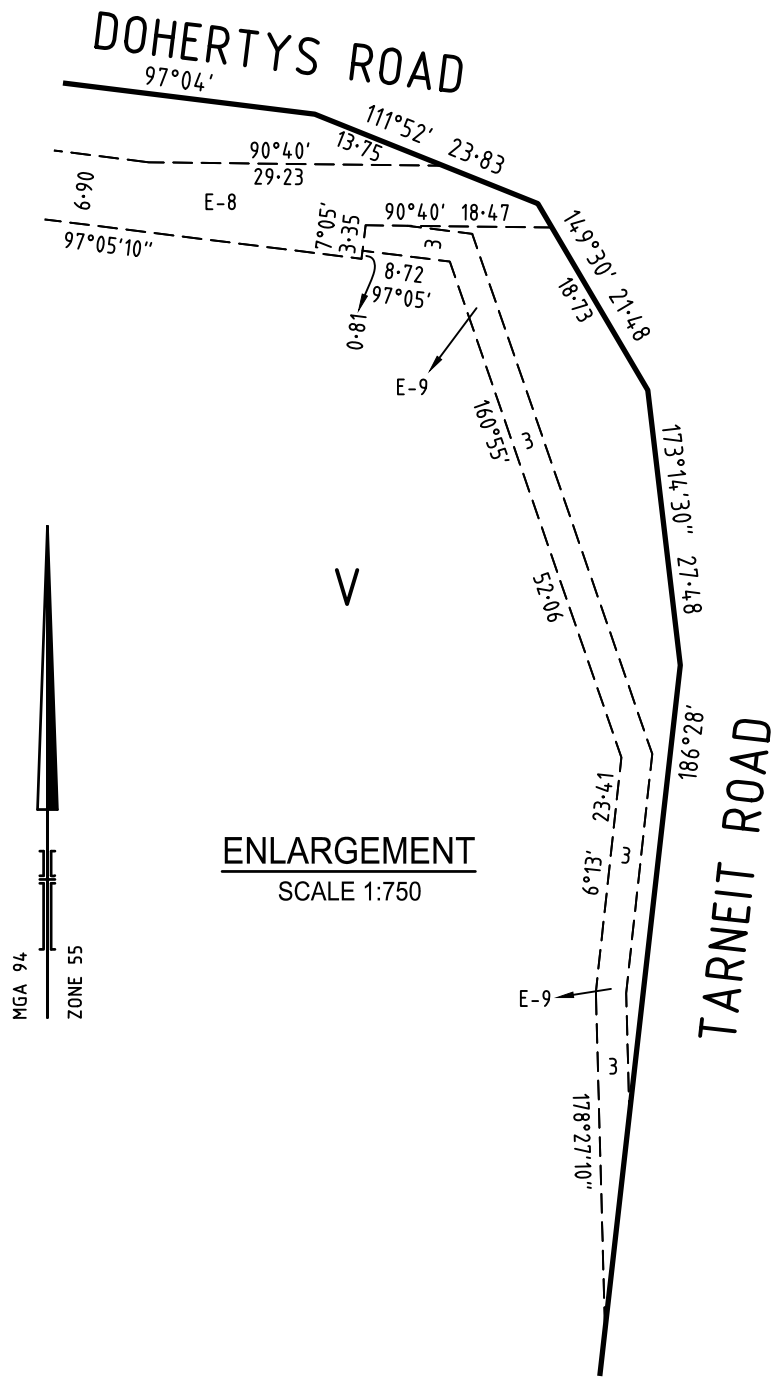
414 La Trobe Street  
 PO Box 16084  
 Melbourne Vic 8007  
 T 61 3 9993 7888  
 spiire.com.au

Licensed Surveyor: Terry J Mawson  
 Version: 15

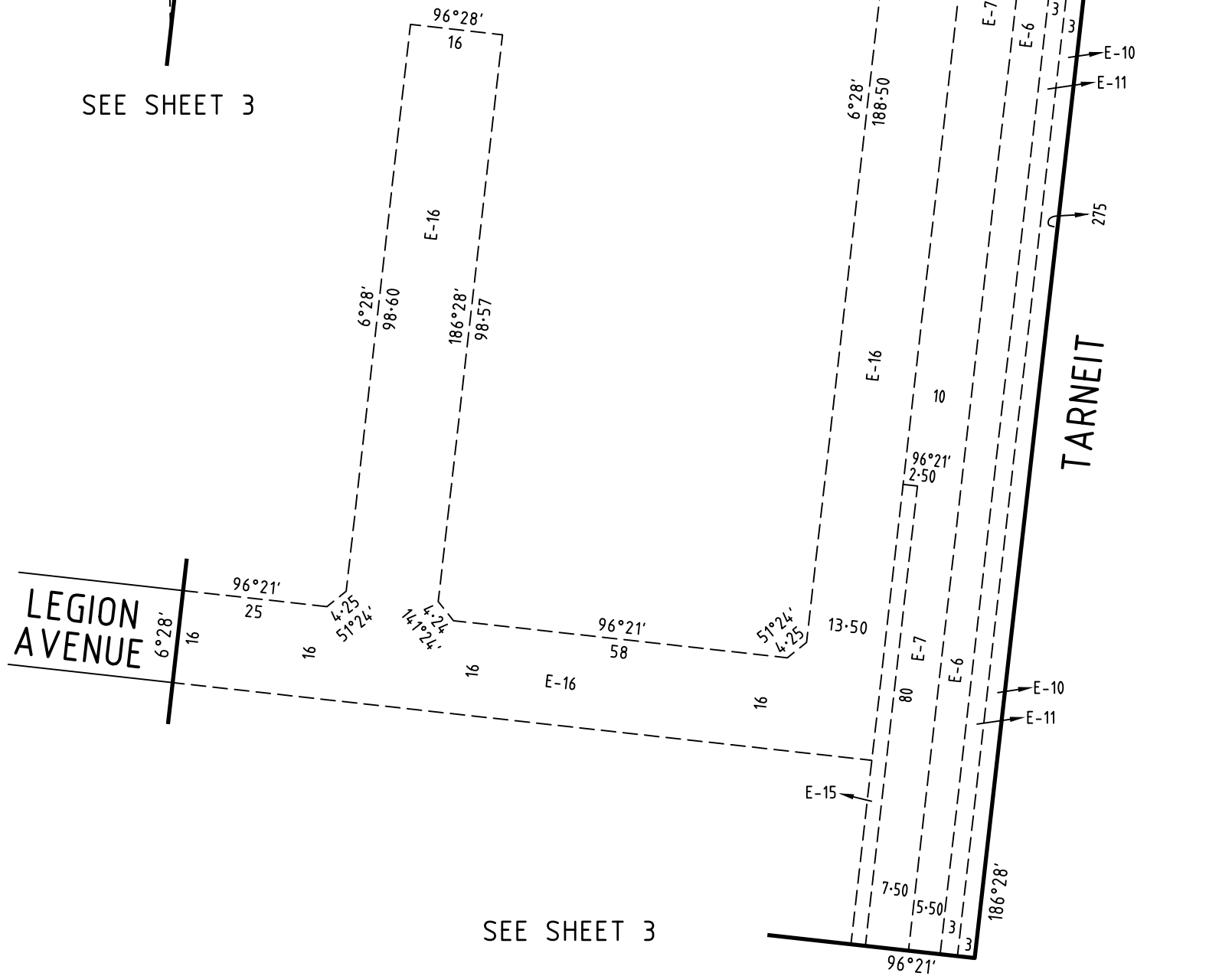
SEE SHEET 3

PS 814017U

SEE SHEET 3



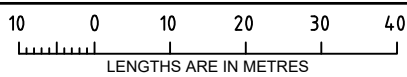
SEE SHEET 3



SEE SHEET 3

SURVEYOR'S FILE REF: 306255SV00

SCALE  
1: 1000



ORIGINAL SHEET  
SIZE: A3

SHEET 4



414 La Trobe Street  
 PO Box 16084  
 Melbourne Vic 8007  
 T 61 3 9993 7888  
 spiire.com.au

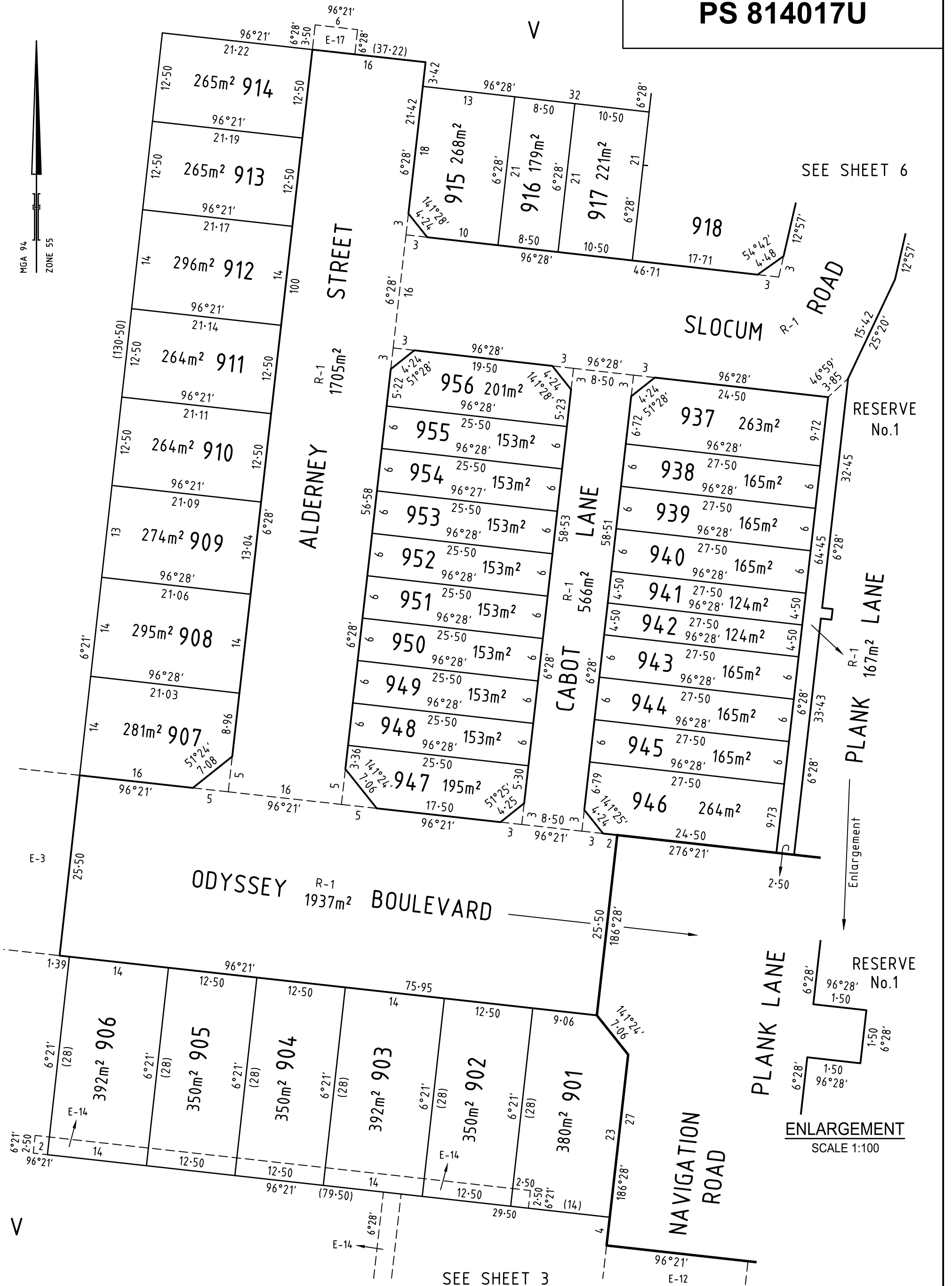
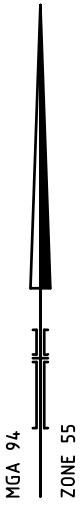
Licensed Surveyor: Terry J Mawson  
 Version: 15

SEE SHEET 6

RESERVE No.1

RESERVE No.1

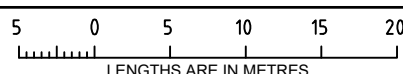
ENLARGEMENT  
SCALE 1:100



SEE SHEET 3

SURVEYOR'S FILE REF: 306255SV00

SCALE  
1: 500



ORIGINAL SHEET  
SIZE: A3

SHEET 5

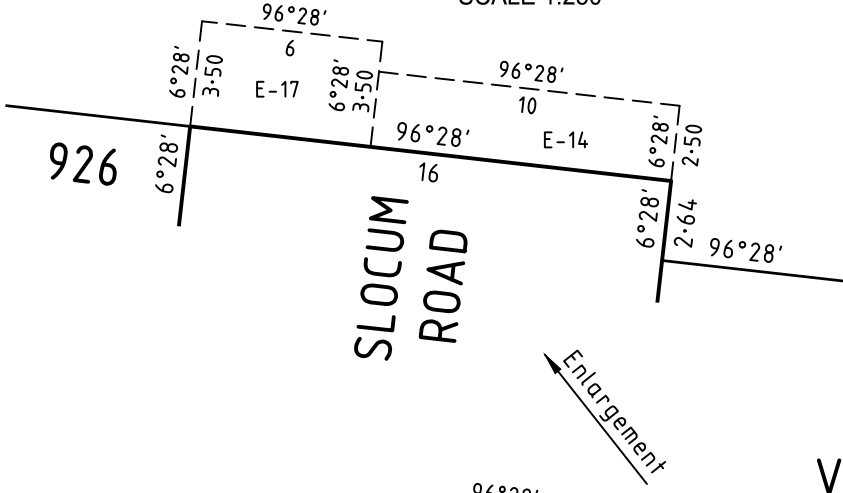
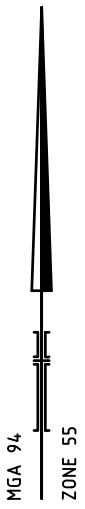


414 La Trobe Street  
PO Box 16084  
Melbourne Vic 8007  
T 61 3 9993 7888  
spiire.com.au

Licensed Surveyor: Terry J Mawson  
Version: 15

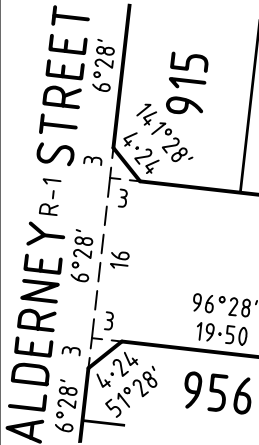


ENLARGEMENT  
SCALE 1:250

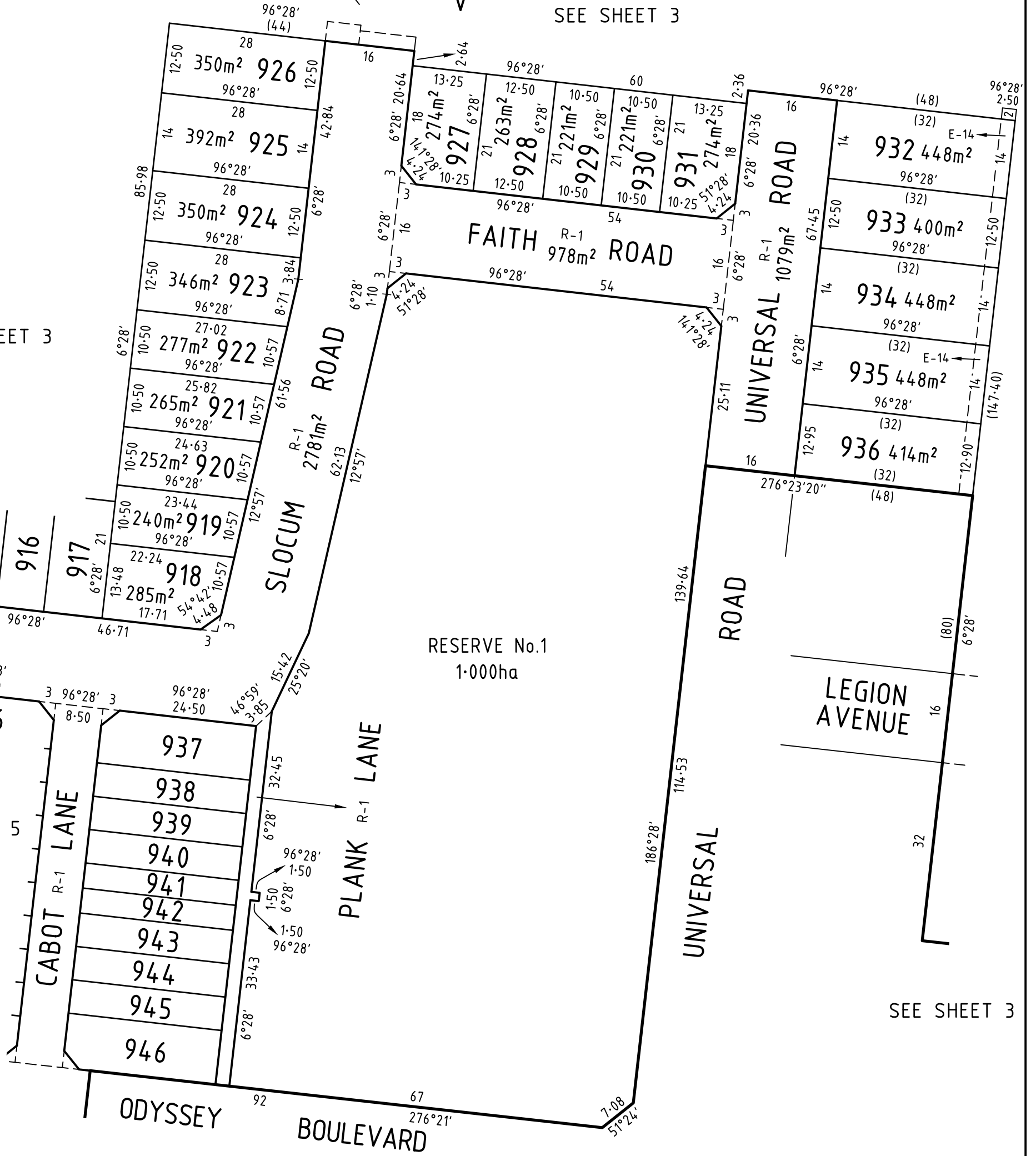


SEE SHEET 3

SEE SHEET 3



SEE SHEET 5



SEE SHEET 3

SEE SHEET 3

SURVEYOR'S FILE REF: 306255SV00

SCALE 1:750  
7.5 0 7.5 15 22.5 30  
LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE: A3

SHEET 6



414 La Trobe Street  
PO Box 16084  
Melbourne Vic 8007  
T 61 3 9993 7888  
spiire.com.au

Licensed Surveyor: Terry J Mawson  
Version: 15

**CREATION OF RESTRICTION A**

The following restriction is to be created upon registration of Plan of Subdivision No. PS814017U (Plan of Subdivision) by way of a restrictive covenant and as a restriction as defined in the Subdivision Act 1988.

For the purposes of this restriction:

- (a) A dwelling means a house.
- (b) A building means any structure except a fence.

**Table of Land Burdened and Land Benefitted :**

Burdened Lot No.	Benefitted Lots	Burdened Lot No.	Benefitted Lots
901	902	925	924, 926
902	901, 903	926	925
903	902, 904	932	933
904	903, 905	933	932, 934
905	904, 906	934	933, 935
906	905	935	934, 936
923	922, 924	936	935
924	923, 925		

**DESCRIPTION OF RESTRICTION**

Except with the written consent of the Transferor and in all other instances with the written consent of each and every registered proprietor of a benefiting lot on the Plan of Subdivision the registered proprietor or proprietors for the time being of any burdened lot on the Plan of Subdivision shall not:

- (1) for lots 901 to 906 and 932 to 936 (all inclusive) construct a building or part of a building unless the building or part of a building is set back a minimum of 1 metre from one side boundary.
- (2) build or allow to be built on the lot any building other than a building that has been approved by Peet or the Peet Design Review Panel in accordance with the Newhaven Design Guidelines.
- (3) enter into any unconditional domestic building contract with a Builder, commence, carry out, erect, construct, permit or alter any development on the lot without the applicable plans and specifications (including floor plans and elevations and finishes schedules) being first prepared and submitted to and approved by Peet No. 1895 Pty Ltd and then only in compliance with any condition (consistent with any restrictions affecting the lot) imposed by Peet No. 1895 Pty Ltd in respect of that approval.
- (4) construct any dwelling or commercial building unless that dwelling or commercial building incorporates plumbing for a recycled water supply for toilet flushing and garden watering use.

Note:

- 1) Conditions (2) to (4) (both inclusive) of this restriction shall expire 6 years after the date of registration of this plan.

**CREATION OF RESTRICTION B**

The following restriction is to be created upon registration of Plan of Subdivision No. PS814017U (Plan of Subdivision) by way of a restrictive covenant and as a restriction as defined in the Subdivision Act 1988.

For the purposes of this restriction:

- (a) A dwelling means a house.
- (b) A building means any structure except a fence.

**Table of Land Burdened and Land Benefited :**

Burdened Lot No.	Benefitted Lots	Burdened Lot No.	Benefitted Lots	Burdened Lot No.	Benefitted Lots
907	908	921	920, 922	944	943, 945
908	907, 909	922	921, 923	945	944, 946
909	908, 910	927	928	946	945
910	909, 911	928	927, 929	947	948
911	910, 912	929	928, 930	948	947, 949
912	911, 913	930	929, 931	949	948, 950
913	912, 914	931	930	950	949, 951
914	913	937	938	951	950, 952
915	916	938	937, 939	952	951, 953
916	915, 917	939	938, 940	953	952, 954
917	916, 918, 919	940	939, 941	954	953, 955
918	917, 919	941	940, 942	955	954, 956
919	917, 918, 920	942	941, 943	956	955
920	919, 921	943	942, 944		

Lots 908 to 914, 916, 917, 919 to 922, 928 to 930, 938 to 945 and 948 to 955 (all inclusive) are defined as Type A lots under the Small Lot Housing Code and Lots 907, 915, 918, 927, 931, 937, 946, 947 and 956 are defined as Type B lots under the Small Lot Housing Code.

**DESCRIPTION OF RESTRICTION**

Except with the written consent of the Transferor and in all other instances with the written consent of each and every registered proprietor of a benefitting lot on the Plan of Subdivision the registered proprietor or proprietors for the time being of any burdened lot on this plan to which the following restriction applies shall not:

- (1) Construct any building on any burdened lot unless that building conforms to the Small Lot Housing Code incorporated under the Wyndham Planning Scheme, unless in accordance with a planning permit granted to construct a dwelling on that lot.
- (2) build or allow to be built on the lot any building other than a building that has been approved by Peet or the Peet Design Review Panel in accordance with the Newhaven Design Guidelines.
- (3) enter into any unconditional domestic building contract with a Builder, commence, carry out, erect, construct, permit or alter any development on the lot without the applicable plans and specifications (including floor plans and elevations and finishes schedules) being first prepared and submitted to and approved by Peet No. 1895 Pty Ltd and then only in compliance with any condition (consistent with any restrictions affecting the lot) imposed by Peet No. 1895 Pty Ltd in respect of that approval.
- (4) construct any dwelling or commercial building unless that dwelling or commercial building incorporates plumbing for a recycled water supply for toilet flushing and garden watering use.

**Note:**

- 1) Condition (1) of this restriction shall expire after the issue of a certificate of occupancy for the dwelling on the burdened lot.
- 2) Conditions (2) to (4) (both inclusive) of this restriction shall expire 6 years after the date of registration of this plan.