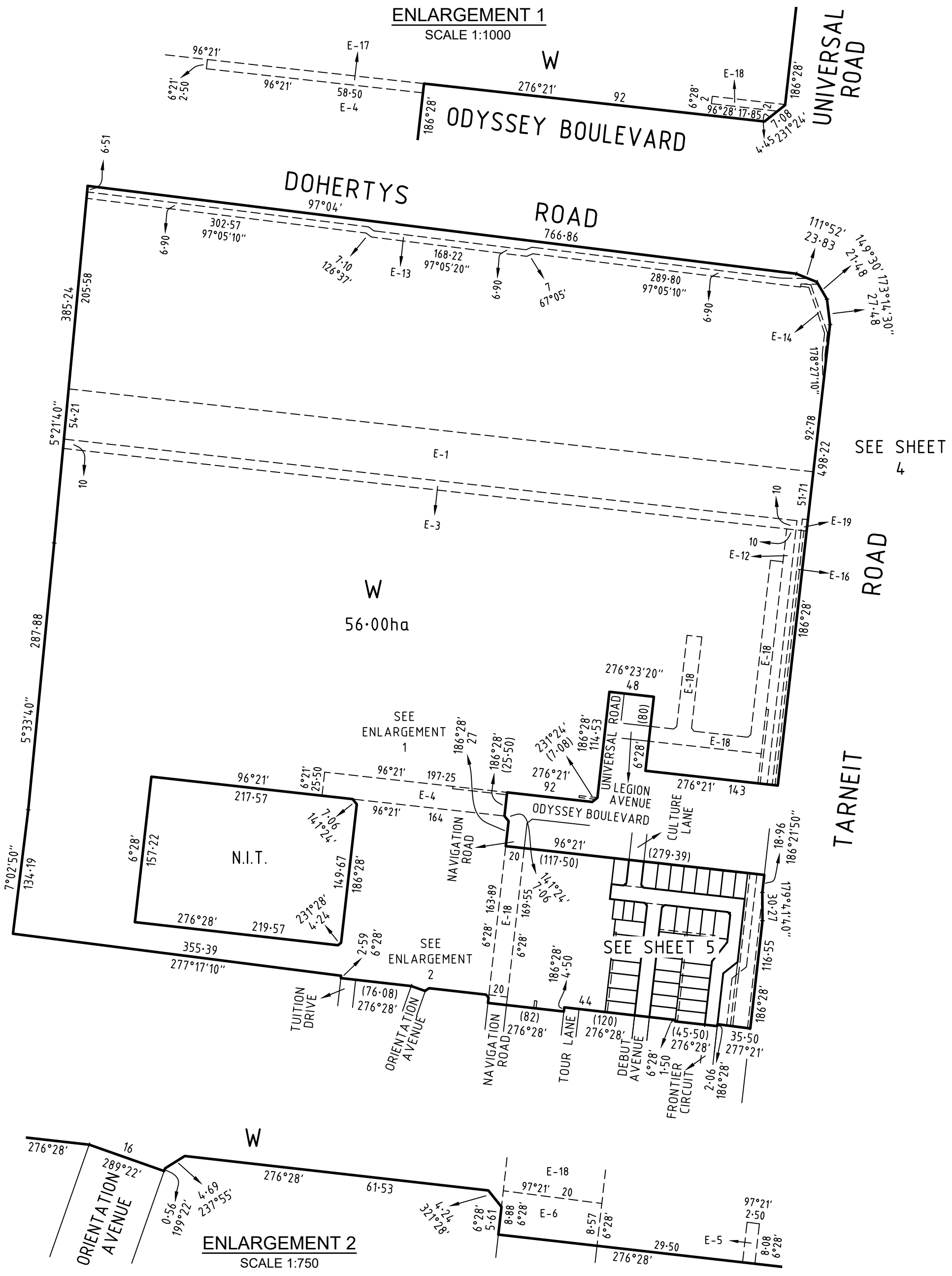
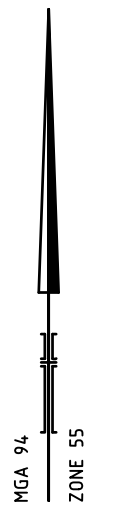


Easement Information				
Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour Of
E-1	Transmission of Electricity	See diag.	Y8739W (Book 645 No. 542)	State Electricity Commission of Victoria
E-2	Water Supply Pipeline Purposes	See diag.	Sec. 130 Water Act 1989 Sec. 19 Land Acquisition & Compensation Act 1986 Vide Notification AJ284302V	Barwon Region Water Corporation
E-3	Transmission of Electricity	See diag.	Y8739W (Book 645 No. 542)	State Electricity Commission of Victoria
E-3	Water Supply Pipeline Purposes	See diag.	Sec. 130 Water Act 1989 Sec. 19 Land Acquisition & Compensation Act 1986 Vide Notification AJ284302V	Barwon Region Water Corporation
E-4	Carriageway	See diag.	PS806982P	Lot B in PS806982P
E-5	Sewerage	2.50	PS 810123S	City West Water Corporation
E-6	Drainage	See diag.	PS 810123S	Wyndham City Council
E-7	Sewerage	2.50	This Plan	City West Water Corporation
E-8	Sewerage	2.50	PS 810154F	City West Water Corporation
E-8	Water Supply Pipeline Purposes	2.50	Sec. 130 Water Act 1989 Sec. 19 Land Acquisition & Compensation Act 1986 Vide Notification AJ284302V	Barwon Region Water Corporation
E-9	Sewerage	2.50	PS 810154F	City West Water Corporation
E-10	Water Supply	See diag.	AQ781784Q	City West Water Corporation
E-11	Powerline	See diag.	PS810154F Sect. 88 Electricity Industry Act 2000	Powercor Australia Limited
E-12	Water Supply Pipeline Purposes	See diag.	Sec. 130 Water Act 1989 Sec. 19 Land Acquisition & Compensation Act 1986 Vide Notification AJ284302V	Barwon Region Water Corporation
E-12	Powerline	See diag.	PS 810154F Sect. 88 Electricity Industry Act 2000	Powercor Australia Limited
E-13	Supply of Water through underground pipes	See diag.	C/E A162815S	City West Water Corporation
E-13	Gas Supply	See diag.	C/E A165706G	Ausnet Gas Services Pty Ltd
E-14	Gas Supply	See diag.	C/E A165706G	Ausnet Gas Services Pty Ltd
E-15	Supply of Water through underground pipes	3	C/E A162815S	City West Water Corporation
E-16	Powerline	3	PS 810154F Sect. 88 Electricity Industry Act 2000	Powercor Australia Limited
E-16	Supply of Water through underground pipes	3	C/E A162815S	City West Water Corporation
E-17	Sewerage	2.50	PS 810154F	City West Water Corporation
E-17	Carriageway	2.50	PS806982P	Lot B in PS806982P
E-18	Drainage	See diag.	PS 810154F	Wyndham City Council
E-19	Transmission of Electricity	See diag.	Y8739W (Book 645 No. 542)	State Electricity Commission of Victoria
E-19	Supply of Water through underground pipes	See diag.	C/E A162815S	City West Water Corporation

ENLARGEMENT 1
SCALE 1:1000

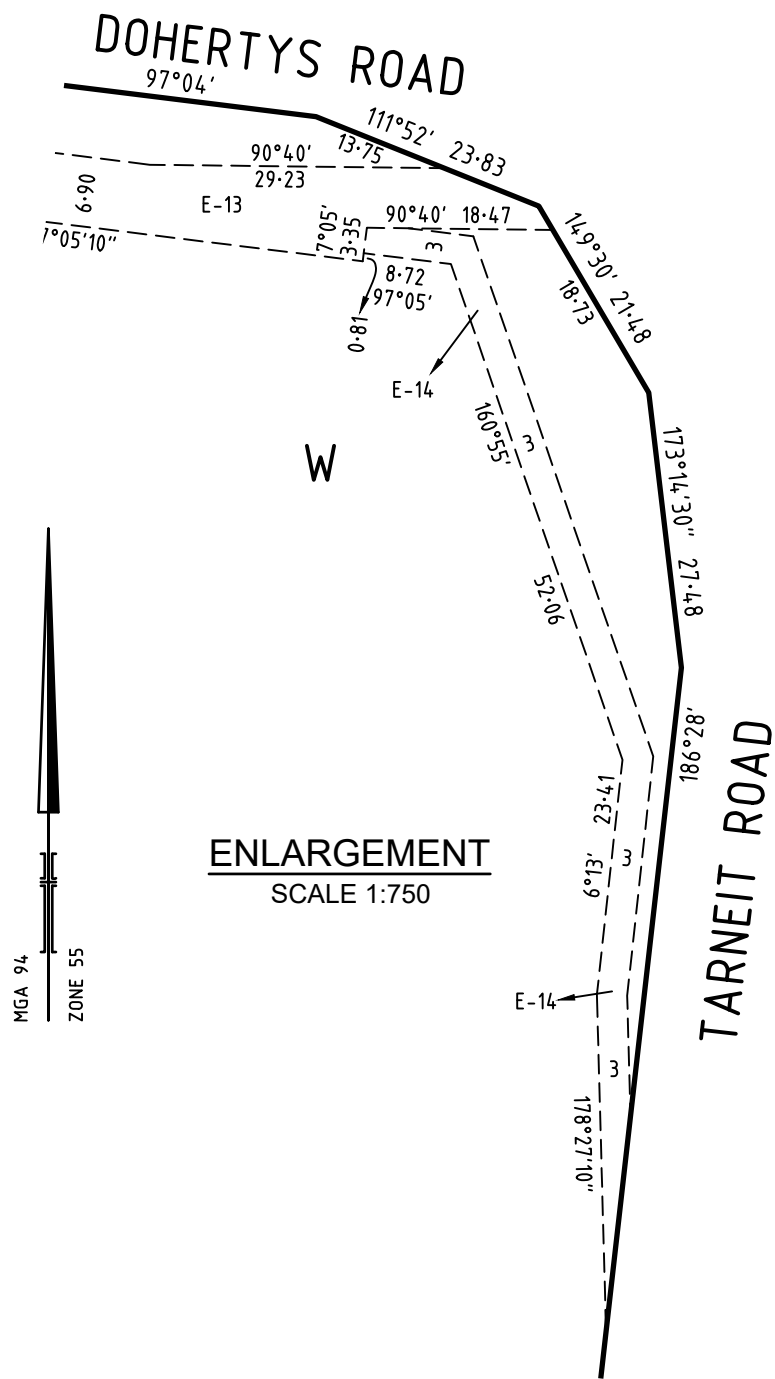


ENLARGEMENT 2
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SEE SHEET 3

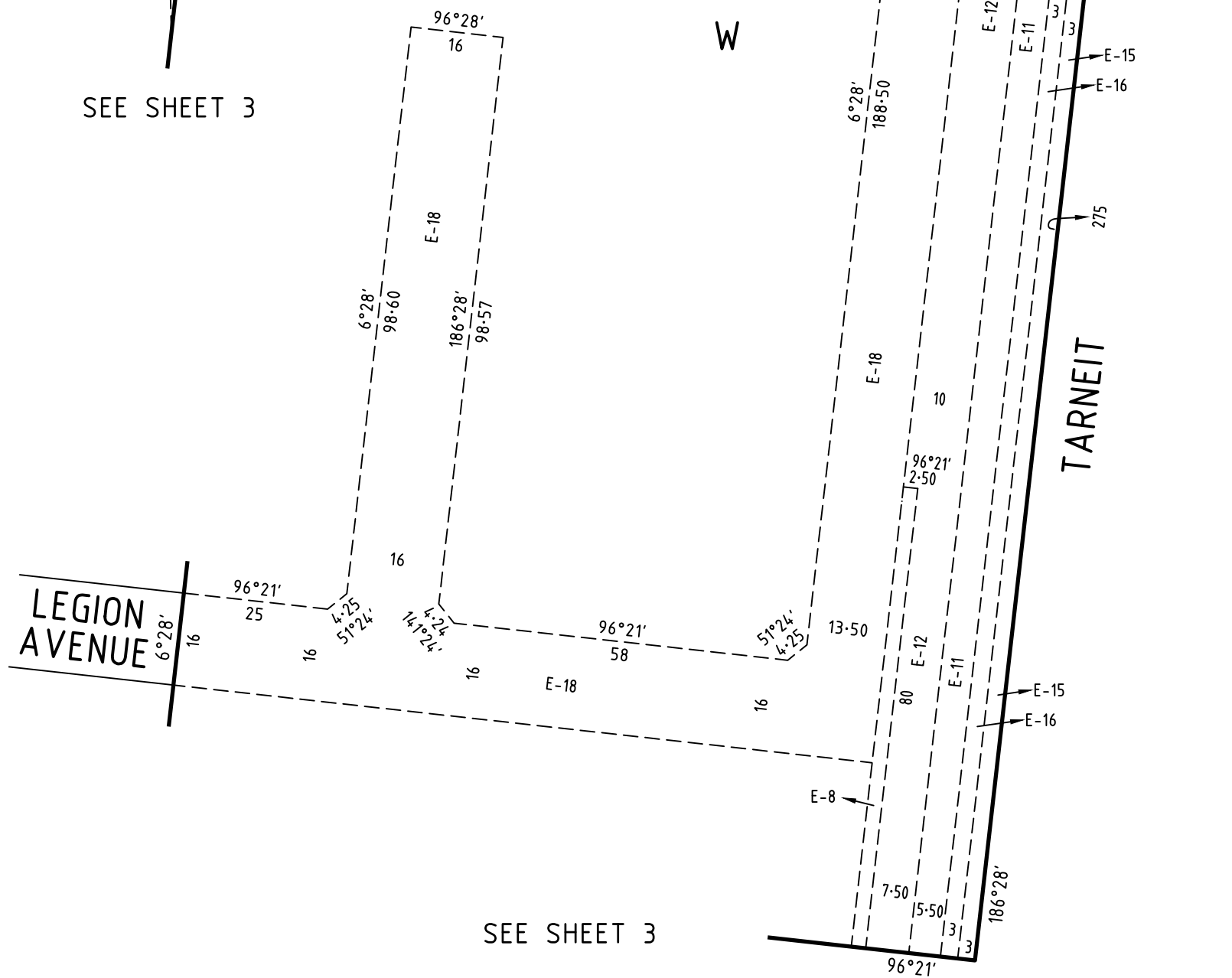
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SEE SHEET 3



SEE SHEET 3

W

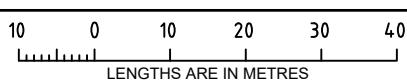


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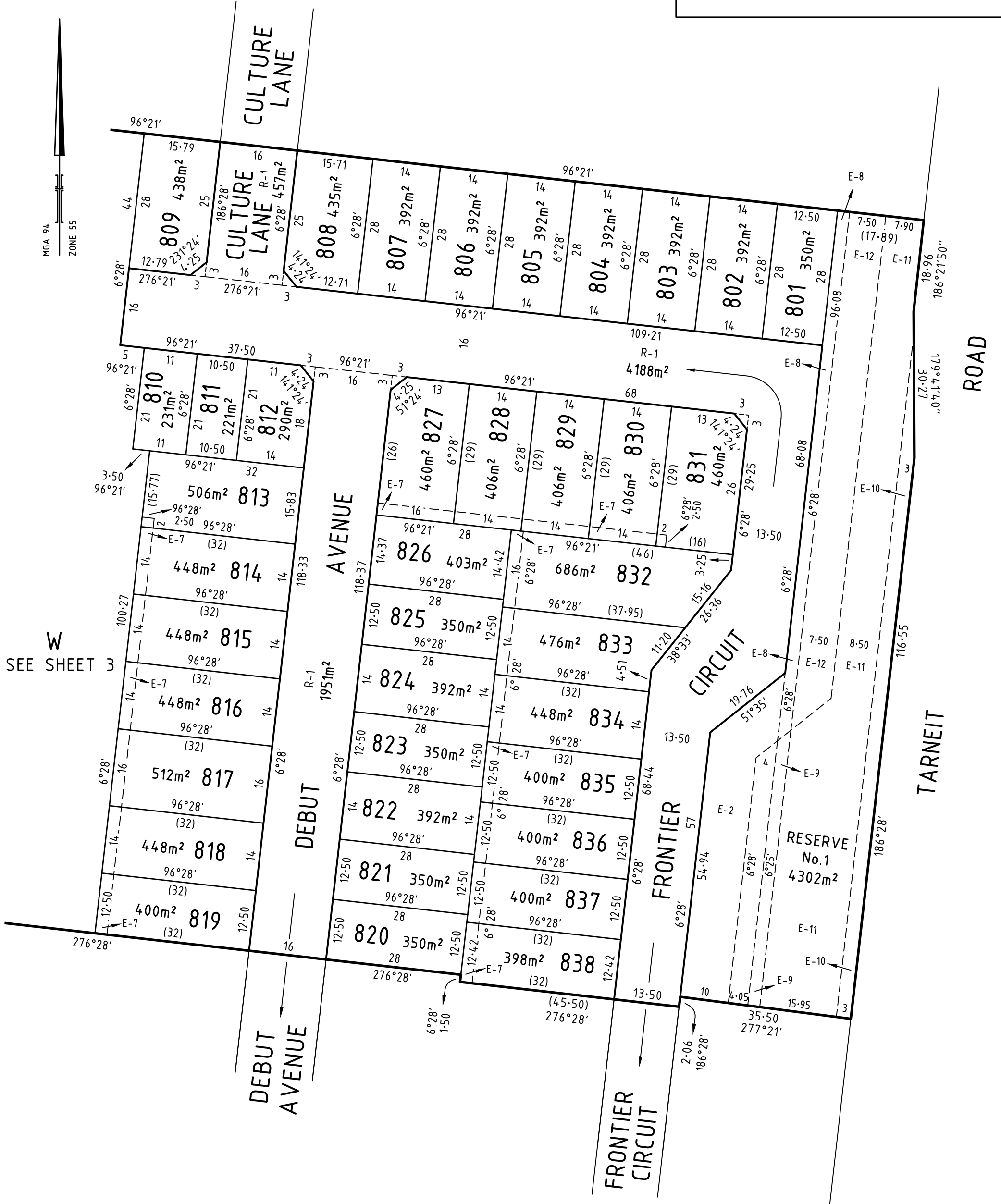
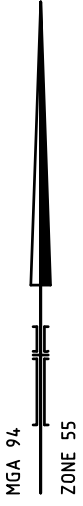
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ORIGINAL SHEET
 SIZE: A3

SHEET 4

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 Ref: 303440SV00
 Version: 11

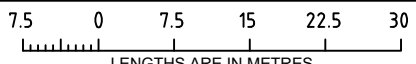


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SCALE
1: 750



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Ref: 303440SV00
Version: 11

ORIGINAL SHEET
SIZE: A3

SHEET 5

CREATION OF RESTRICTION A

The following restriction is to be created upon registration of Plan of Subdivision No. PS810136H (Plan of Subdivision) by way of a restrictive covenant and as a restriction as defined in the Subdivision Act 1988.

For the purposes of this restriction:

- (a) A dwelling means a house.
- (b) A building means any structure except a fence.

Table of Land Burdened and Land Benefited :

Burdened Lot No.	Benefited Lots
801	802
802	801, 803
803	802, 804
804	803, 805
805	804, 806
806	805, 807
807	806, 808
808	807
809	808
813	810, 811, 812, 814
814	813, 815
815	814, 816
816	815, 817
817	816, 818
818	817, 819
819	818
820	821, 837, 838
821	820, 822, 836, 837
822	821, 823, 835, 836
823	822, 824, 834, 835
824	823, 825, 833, 834
825	824, 826, 832, 833
826	825, 827, 828, 832
827	826, 828
828	826, 827, 829, 832
829	828, 830, 832
830	829, 831, 832
831	830, 832
832	826, 828, 829, 830, 831, 833
833	824, 825, 832, 834
834	823, 824, 833, 835
835	822, 823, 834, 836
836	821, 822, 835, 837
837	820, 821, 836, 838
838	820, 837

DESCRIPTION OF RESTRICTION

Except with the written consent of the Transferor and in all other instances with the written consent of each and every registered proprietor of a benefiting lot on the Plan of Subdivision the registered proprietor or proprietors for the time being of any burdened lot on the Plan of Subdivision shall not:

- (1) for those burdened lots with a width greater than 11.50 metres at the frontage construct a building or part of a building unless the building or part of a building is set back a minimum of 1 metre from one side boundary.
- (2) build or allow to be built on the lot any building other than a building that has been approved by Peet or the Peet Design Review Panel in accordance with the Newhaven Design Guidelines.
- (3) enter into any unconditional domestic building contract with a Builder, commence, carry out, erect, construct, permit or alter any development on the lot without the applicable plans and specifications (including floor plans and elevations and finishes schedules) being first prepared and submitted to and approved by Peet No. 1895 Pty Ltd and then only in compliance with any condition (consistent with any restrictions affecting the lot) imposed by Peet No. 1895 Pty Ltd in respect of that approval.
- (4) construct any dwelling or commercial building unless that dwelling or commercial building incorporates plumbing for a recycled water supply for toilet flushing and garden watering use.

Note:

- 1) Conditions (2) to (4) (both inclusive) of this restriction shall expire 6 years after the date of registration of this plan.

CREATION OF RESTRICTION B

The following restriction is to be created upon registration of Plan of Subdivision No. PS810136H (Plan of Subdivision) by way of a restrictive covenant and as a restriction as defined in the Subdivision Act 1988.

For the purposes of this restriction:

- (a) A dwelling means a house.
- (b) A building means any structure except a fence.

Table of Land Burdened and Land Benefitted :

Burdened Lot No.	Benefited Lots
810	811, 813
811	810, 812, 813
812	812, 813

Lots 810 and 811 are defined as Type A lots under the Small Lot Housing Code and Lot 812 is defined as Type B lot under the Small Lot Housing Code.

DESCRIPTION OF RESTRICTION

Except with the written consent of the Transferor and in all other instances with the written consent of each and every registered proprietor of a benefitting lot on the Plan of Subdivision the registered proprietor or proprietors for the time being of any burdened lot on this plan to which the following restriction applies shall not:

- (1) Construct any building on any burdened lot unless that building conforms to the Small Lot Housing Code incorporated under the Wyndham Planning Scheme, unless in accordance with a planning permit granted to construct a dwelling on that lot.
- (2) build or allow to be built on the lot any building other than a building that has been approved by Peet or the Peet Design Review Panel in accordance with the Newhaven Design Guidelines.
- (3) enter into any unconditional domestic building contract with a Builder, commence, carry out, erect, construct, permit or alter any development on the lot without the applicable plans and specifications (including floor plans and elevations and finishes schedules) being first prepared and submitted to and approved by Peet No. 1895 Pty Ltd and then only in compliance with any condition (consistent with any restrictions affecting the lot) imposed by Peet No. 1895 Pty Ltd in respect of that approval.
- (4) construct any dwelling or commercial building unless that dwelling or commercial building incorporates plumbing for a recycled water supply for toilet flushing and garden watering use.
- (5) for those burdened lots with a width greater than 11.50 metres at the frontage construct a building or part of a building unless the building or part of a building is set back a minimum of 1 metre from one side boundary.

Note:

- 1) Condition (1) of this restriction shall expire after the issue of a certificate of occupancy for the dwelling on the burdened lot.
- 2) Conditions (2) to (4) (both inclusive) of this restriction shall expire 6 years after the date of registration of this plan.