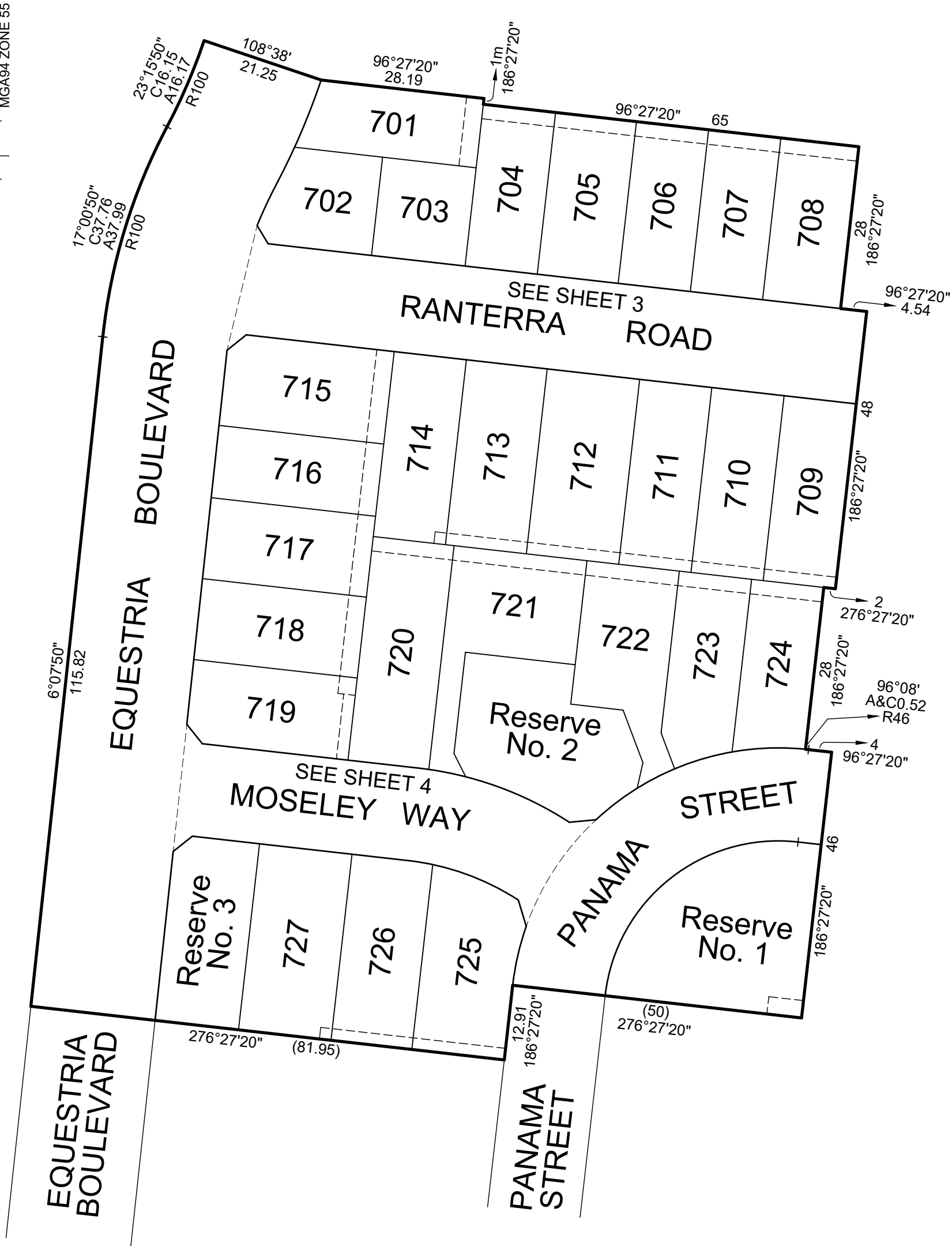
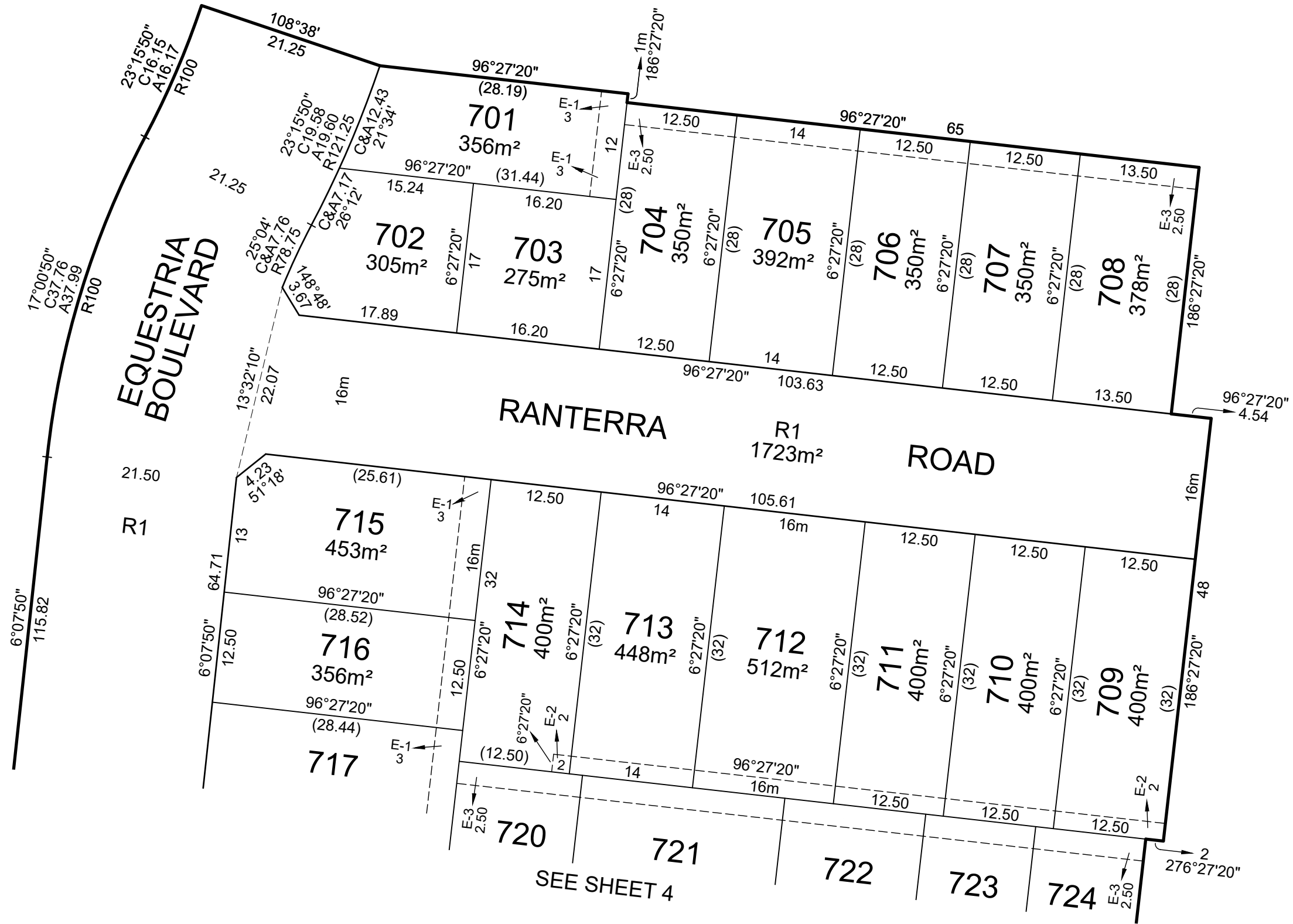


PLAN OF SUBDIVISION		EDITION 1	PS813265E	
LOCATION OF LAND PARISH: WOLLERT TOWNSHIP: SECTION: 18 CROWN ALLOTMENT: 2 (PART) CROWN PORTION: TITLE REFERENCE: Vol. Fol. LAST PLAN REFERENCE: Lot J on PS813241U POSTAL ADDRESS: 50 Craigieburn Road (at time of subdivision) WOLLERT 3750 MGA 94 CO-ORDINATES: E: 325 730 ZONE: 55 (of approx centre of land N: 5836 750 in plan)		Council Name: Whittlesea City Council Council Reference Number: 609653 Planning Permit Reference: 716420 SPEAR Reference Number: S110822A Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 15/08/2019 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied Digitally signed by: Renee Kueffer for Whittlesea City Council on 08/06/2023 Statement of Compliance issued: 09/06/2023		
VESTING OF ROADS AND/OR RESERVES		NOTATIONS		
IDENTIFIER		Lots 701 to 727 on this plan may be affected by one or more restrictions. Refer to Creation of Restriction A, B, C, D & E on Sheets 5, 6 and 7 of this plan for details. OTHER PURPOSE OF PLAN To remove easement E-9 created on PS839306W and easement E-12 created on PS813241U in so far as it lies within Road R1 herein. GROUND FOR REMOVAL: By agreement between all interested parties pursuant to Section 6(1)(k)(iv) of the Subdivision Act 1988.		
ROAD R1 Reserve No's. 1, 2 & 3	COUNCIL/BODY/PERSON Whittlesea City Council Whittlesea City Council			
NOTATIONS		DEPTH LIMITATION: Does Not Apply SURVEY: This plan is based on survey. STAGING: This is not a staged subdivision. Planning Permit No. 716420 ELLERY - RELEASE No. 7 Area of Release: 2.040ha No. of Lots: 27 Lots		
DEPTH LIMITATION: Does Not Apply				
SURVEY: This plan is based on survey.				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	Drainage	3	This Plan	Whittlesea City Council
	Sewerage			Yarra Valley Water Corporation
E-2	Drainage	2	This Plan	Whittlesea City Council
E-3	Sewerage	See Diag.	This Plan	Yarra Valley Water Corporation
		SURVEYORS FILE REF: Ref. 20197-S7 Ver. 13	ORIGINAL SHEET SIZE: A3	SHEET 1 OF 7
Urban Development Built Environments Infrastructure 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168 Tel: 61 3 9501 2800 Web: taylorstds.com.au		Digitally signed by: Mark Peter Grey, Licensed Surveyor, Surveyor's Plan Version (13), 05/06/2023, SPEAR Ref: S110822A		

WARNING - This document is a working document in the SPEAR approval process. It is subject to revision and change and therefore should not be relied on. If you have any questions about this document please contact the person from Taylors Development Strategists Pty Ltd who gave you access to SPEAR / this document. SPEAR Ref: S110822A 09/06/2023 03:40 pm



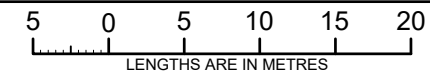
MGA94 ZONE 55



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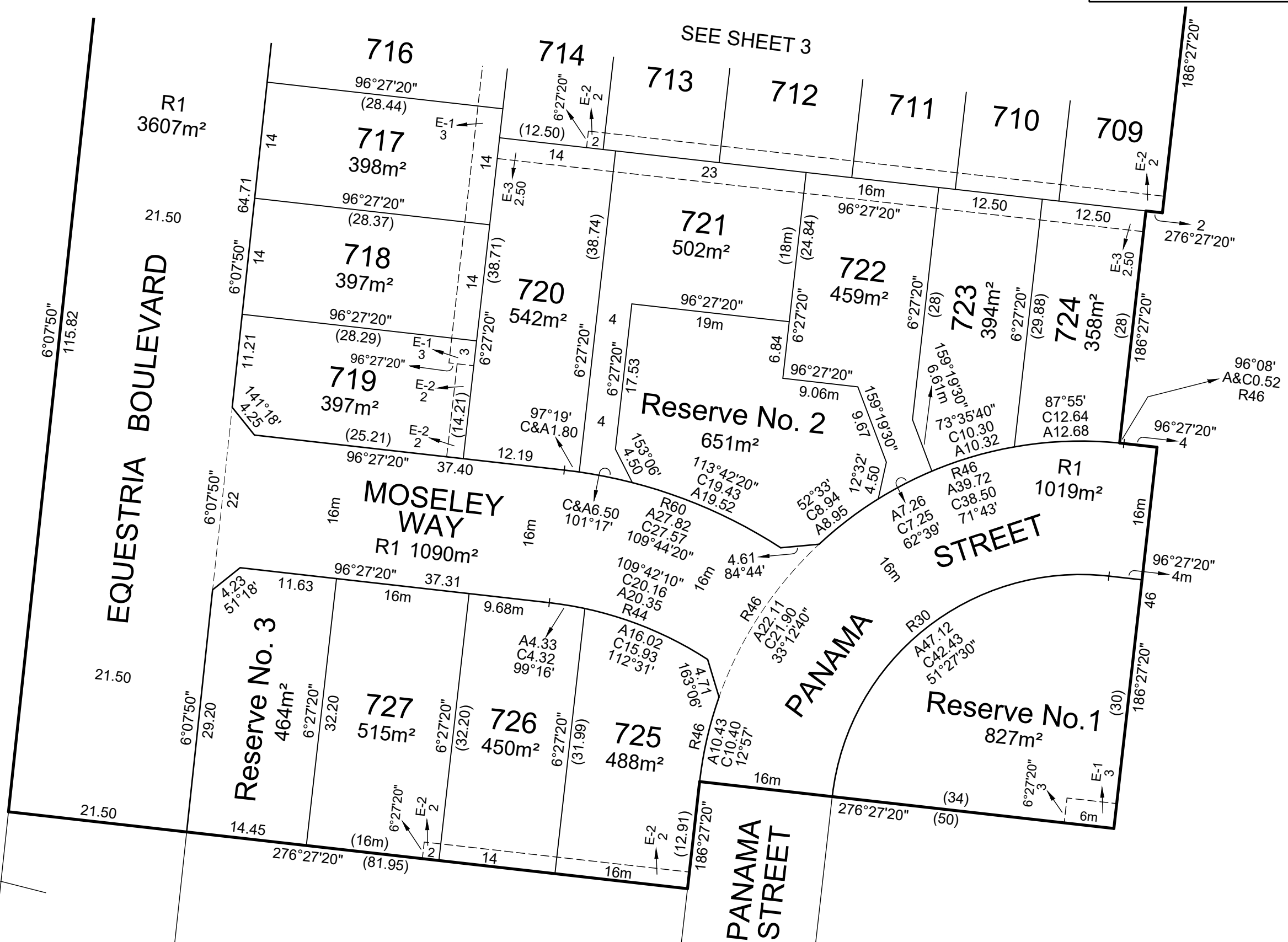
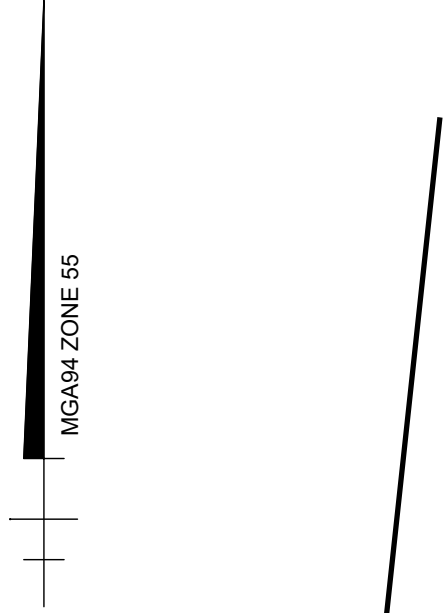
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SHEET 3

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EQUESTRIA BOULEVARD

CREATION OF RESTRICTION 'A'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

LAND TO BE BURDENED: See Table 1 below.
 LAND TO BENEFIT: See Table 1 below.

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lot to which this restriction applies must not:

1. Construct or allow to be constructed or remain on the lot or any part of it, any garage with a setback less than 5 metres from the front boundary of the lot.
2. Construct or allow to be constructed or remain on the lot or any part of it, any garage on the lot other than a single car garage where the width of the lot is 10 metres or less when measured at the front wall of the dwelling, where access is proposed from the lot frontage.
3. Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house or commercial building other than any dwelling house or commercial building which incorporates dual plumbing for the use of recycled water in toilet flushing and garden watering.
4. Construct or allow to be constructed or remain on a corner lot or any part of it, any dwelling with the side wall of the first level which is constructed:
 - (i) less than 900mm from the ground level wall that faces a side street; or
 - (ii) with less than 30% glazing for the area of the wall and the remainder of the wall must be constructed in contrasting material finishes.

NOTE:

Restrictions A(1, 2 & 4) satisfy Planning Permit No. 716420 Condition 7
 Restriction A(3) satisfies Planning Permit No. 716420 Condition 6(b)

TABLE 1

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
701	702, 703, 704
702	701, 703
704	701, 703, 705
705	704, 706
706	705, 707
707	706, 708
708	707
709	710
710	709, 711
711	710, 712
712	711, 713, 721
713	712, 714, 720, 721
714	713, 715, 716, 717, 720

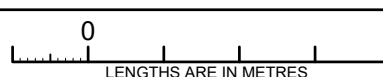
TABLE 1 continued

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
715	714, 716
716	714, 715, 717
717	714, 716, 718, 720
718	717, 719, 720
719	718, 720
720	713, 714, 717, 718, 719, 721
721	712, 713, 720, 722
722	711, 712, 721, 723
723	710, 711, 722, 724
724	709, 710, 723
725	726
726	725, 727
727	726



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SHEET 5

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CREATION OF RESTRICTION 'B'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

LAND TO BE BURDENED: Lots 701 to 727 on this plan.
LAND TO BENEFIT: Lots 701 to 727 on this plan.

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lot to which this restriction applies must not :-

1. Construct or allow to be constructed or remain on the lot or any part of it, any building other than one private dwelling house with usual outbuildings without prior written consent from Peet No.123 Pty Ltd and further development approval from Whittlesea City Council, unless such development is exempt from the Whittlesea Planning Scheme.
2. Construct or allow to be constructed or remain on the lot or any part of it any dwelling house or outbuilding without applicable plans and specifications first being submitted to and approved by Peet No.123 Pty Ltd and prepared in accordance with the Ellery Estate Design Guidelines and then only in compliance with any condition imposed by Peet No.123 Pty Ltd in respect of that approval.

Expiry Date : 11th September 2027.

CREATION OF RESTRICTION 'C'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Upon registration of this plan the following restriction is created.

LAND TO BE BURDENED: Lot 703
LAND TO BENEFIT: Lots 701, 702 and 704

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lot to which this restriction applies must not :-

1. Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house or garage other than a dwelling house or garage which has been built in accordance with the Small Lot Housing Code Type A incorporated into the Whittlesea Planning Scheme unless a planning permit is granted by the responsible authority for a dwelling house or garage that does not conform with the Small Lot Housing Code.
2. Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house or commercial building other than any dwelling house or commercial building which incorporates dual plumbing for the use of recycled water in toilet flushing and garden watering.

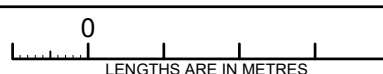
NOTE:

Restriction C(1) satisfies Planning Permit No. 716420 Condition 9
Restriction C(2) satisfies Planning Permit No. 716420 Condition 6(b)



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CREATION OF RESTRICTION 'D'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

LAND TO BE BURDENED: See Table 2 below.

LAND TO BENEFIT: See Table 2 below.

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any lot on this plan to which the following restriction applies must not :-

1. Construct or allow to be constructed or remain on the lot or any part of it any dwelling house presenting sideage directly adjoining any form of open space other than a double storey dwelling house with passive surveillance features such as large windows and balconies at the first storey level to overlook the adjoining open space.
2. Erect or allow to be erected any fence to the front yard adjoining any form of open space other than a fence which is feature style with a minimum 25% transparency and has a maximum height of 1.5metres.

NOTE:

Restriction D satisfies Planning Permit No. 716420 Condition 6(a).

TABLE 2

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
721	712, 713, 720, 722
722	711, 712, 721, 723
727	726

CREATION OF RESTRICTION 'E'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

BURDENED LAND: See Table 3

BENEFITED LAND: See Table 3

RESTRICTION:

The registered proprietor or proprietors for the time being of any lot on this plan to which the following restriction applies must not :-

Build or permit to be built or remain on the lot any building or garage on a side boundary of a lot unless the building or garage is set back a minimum of one metre from the other side boundary of that lot in order to provide the required reasonable access for maintenance of any sewer assets at the rear of the lot, by the relevant authority.

TABLE 3

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
701	702, 703, 704
704	701, 703, 705
705	704, 706
706	705, 707
707	706, 708
708	707
716	714, 715, 717
717	714, 716, 718, 720

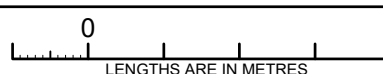
TABLE 3 continued

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
718	717, 718, 720
719	718, 720
720	713, 714, 717, 718, 719, 721
721	712, 713, 720, 722
722	711, 712, 721, 723
723	710, 711, 722, 724
724	709, 710, 723



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