

Acacia, Botanic Ridge

Stage 3B



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These plans are design plans and are indicative only and parties must not make any objection, requisition or claim for compensation in relation to the plans. The final condition of lots upon completion may vary from the condition described in the plans. The Property may have been filled, raised, levelled, compacted or cut prior to the Vendor becoming registered proprietor of the Property and the condition of the Property may change after completion of works due to circumstances beyond the Vendor's control. No warranty or representation is given or to be construed in respect of such works or changes in condition. Parties should review the plans carefully, make their own inquiries and obtain independent advice before taking any action in relation to the Property.

GENERAL NOTES

- The works shall be constructed in accordance with the current Engineering Design and Construction Manual (EDCM) standard drawings and Council specifications. Works to be carried out to the satisfaction of Council's supervising officer.
- The contractor is responsible for safety of work on site in accordance with appropriate legislation. The contractor shall ensure that the site is maintained in a safe manner at all times.
- The contractor shall:
 - Comply with the requirements of the Occupational Health and Safety Act 2007.
 - Notify Workcover of their intention to commence trenching operations where trenches are 1.5 metres or deeper.
 - Ensure that the mine manager or his deputy as required by the Act is in attendance when trenching operations are in progress.
- The contractor is to notify council and all service authorities seven (7) days prior to commencement of construction.
- The location of existing services should be determined by the contractor prior to commencing any excavation by contacting all relevant service authorities. Any existing services shown on the drawings are offered as a guide only and are not guaranteed as correct.
- Removal or retention of existing trees or vegetation must be in accordance with the approved landscape plan (otherwise approval will be required from the Landscape Approval Officer).
- Approval will be required from Conservation Officer for alteration, removal or excavation of any significant existing features, buildings, structures or vegetation.
- No surplus trees, vegetation or other materials are to be burnt on site.
- All road chainages are measured along the road centreline except kerb returns and courtheads, where lip of kerb chainages are specified. All dimensions and radii are given to the lip of kerb. Do not scale off these drawings, written dimensions only shall be used.
- All levels are to Australian Height Datum (AHD). All coordinates are to Map Grid of Australia (MGA).
- Any existing pavement or drainage works damaged during construction or the maintenance period to be reinstated to the satisfaction of the Council.
- Upon the completion of construction, the whole site shall be cleaned up and graded over. All rubbish is to be removed and the site is to be left in a clean and tidy condition to the satisfaction of the superintendent.

EARTHWORKS NOTES

- Erosion control measures must be undertaken to the satisfaction of the Council.
- Appropriate siltation control is to be carried out during the construction and maintenance periods.
- Filling in all properties & road reserves is to be carried out using approved clay fill. Topsoil & all vegetable matter to be stripped from site prior to filling. All filling to be carried out in 150mm layers and compacted to 95% of max. dry density. All filling to comply with AS 3798-2007, Section 8.2, Level 1. A fill report must be submitted from NATA registered soil testing laboratory.
- The nature strips and cut or filled areas are to be topsoiled with 100mm of approved material. If the existing topsoil is unsuitable then approved topsoil shall be imported at the contractor's expense.
- Batters into allotments shall not be steeper than 1 in 6 unless shown otherwise. Cut batters are to be grassed and mulched with a mixture of chopped grass, straw and bitumen emulsion.
- Blocks shall be graded to ensure a minimum grade of 1 in 150 to the point of drainage, unless shown otherwise.
- No topsoil to be removed from site without the approval of council.
- If any existing substandard filling is encountered on the site it must be removed and replaced with approved fill material properly compacted to Council requirements. A geo-technical report must be submitted showing details of depth, type of material and density of the fill areas concerned.

PAVEMENT NOTES

- Where road pavement or paths are above stripped surface, they are to be filled with approved structural material to the bottom of the boxing.
- Where pavement excavation is in rock, all loose material (including rocks and clay) are to be removed and subgrade regulated with approved structural material.
- Pavement sub-base and bedding to kerb and channel is to extend 300mm behind the back of kerb as per EDCM 202.
- Pavement depths to be modified as directed by the engineer.
- Single driveways are to be 3.5m wide and located 0.75m from side boundary or easement unless noted otherwise. They are to be constructed in accordance with standard drawing Figure 010. Double driveways are to be constructed in accordance with standard drawing Figure 011.
- Footpath to be 125mm depth reinforced concrete in accordance with standard drawing EDCM 401.
- Pram crossings to include tactile pavers in accordance with Australian Standards.

DRAINAGE NOTES

- Pits within the road reserve are not to be setout using digital information.
- Stormwater drains under road pavements, driveways, footpaths, parking bays and behind kerb and channel to be backfilled with crushed rock as specified.
- Stormwater drains less than or equal to 750mm are to be Class 2 RCP with rubber ring joints unless noted otherwise. All other drains are to be Class 2 RCP with flush joints and external sealing bands unless noted otherwise.
- Terra firma or fibre glass type pit lids are required for all drainage pits (refer S-302). All grates for drainage pits are to be 'Class D' to comply with AS 3996-2006.
- House drains and property inlets are to be constructed in accordance with EDCM 701 to 704.
- House drains are to be offset 5.50m from the low side boundary (or driveway side for lots narrower than 11.0m) unless noted otherwise. They are to be constructed at a minimum depth of 600mm below the lowest corner level. The house drain location to be inscribed with a 50mm high "H" on the back of kerb.
- Property inlets are to be offset 1.00m from low side boundary unless noted otherwise. They are to be constructed at a minimum depth of 600mm below finished surface level.
- Subsoil drains shall be installed behind all kerb and channel in accordance with standard drawing EDCM 202 for non-expansive subgrades.
- No stormwater drainage pipes shall be subjected to construction traffic loading during construction unless the pipe strength characteristics have been computed and approved by the contractors engineer. Computations are to accord with AS3725-1989 Loads on Buried Pipes.
- Concrete pipes damaged due to construction loads shall be repaired at the contractors cost.

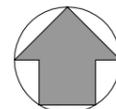
SERVICES NOTES

- The contractor shall co-operate with all service authorities and shall ensure that all services are installed prior to the final pavement course.
- All service trenches under road pavements, vehicle crossings and footpaths to be backfilled with crushed rock in accordance with Council's specification.
- The contractor shall check with the superintendent the exact location of all services prior to the installation of conduits.
- Conduit locations are subject to amendment and conduits shall not be laid until written approval is given by the superintendent.
- Gas and water conduits to be 50mm PVC laid at a minimum depth of 600mm below road finished surface levels to the satisfaction of the superintendent. Where recycled water is provided, the road crossing is to be 100mm PVC for both water services.
- Gas mains, fittings and marker tape are to be supplied by the gas authority. Excavation, supply and placement of required backfill to be by others.
- Two weeks notification of commencement of excavation works shall be given to the gas authority.
- Communications conduits and pits are to be provided in accordance with the approved FTTP plans.
- Both kerbs are to be marked with the letters G, W, E and T above the conduit locations.
- Council reserves must be provided with connections for drainage, sewerage, electricity & other services.

SIGNS AND PAVEMENT MARKINGS

- All pavement markings, signing & traffic control devices for this project to be in accordance with Australian Standard AS1742.
- All line marking to be long life road marking, with longitudinal lines in thermoplastic and transverse markings in cold applied.
- All street signs are to be in accordance with standard drawing S-803.
- Street numbers to be painted in yellow road marking paint on kerb face in front of each allotment. Numbers to be a minimum 100mm in height.
- Install blue raised reflective pavement marker (BRRPM) on road centre line and 'ground ball' marker post to indicate location of fire hydrants.

Rev	Amendment	Des/Dt	App'd	Date
A	Initial Issue	GP/AW	MG	29/01/16
B	Title boundary changes	GP/AW	MG	23/02/16
C	Drawing index amended	GP/AW	MG	18/05/16
1	Approved for construction	GP/AW	MG	14/06/16
2	As constructed	GP/AW	MG	02/03/17



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Council	City of Casey	Scale @ A1:	1:5000
Project	Acacia, Botanic Ridge Stage 3B		
Title	Locality Plan, Drawing Index & General Notes	Drawing No.	0055-03B-R01
Designed:	G.Pratt	Authorised:	M.Graham
Drafted:	A.Wilkins	Date:	January 2016
Sheet	01 of 25	Rev	2

WARNING
BEWARE OF UNDERGROUND SERVICES
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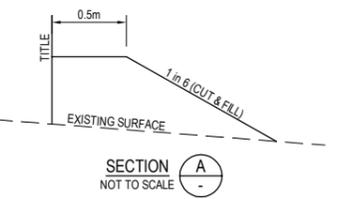
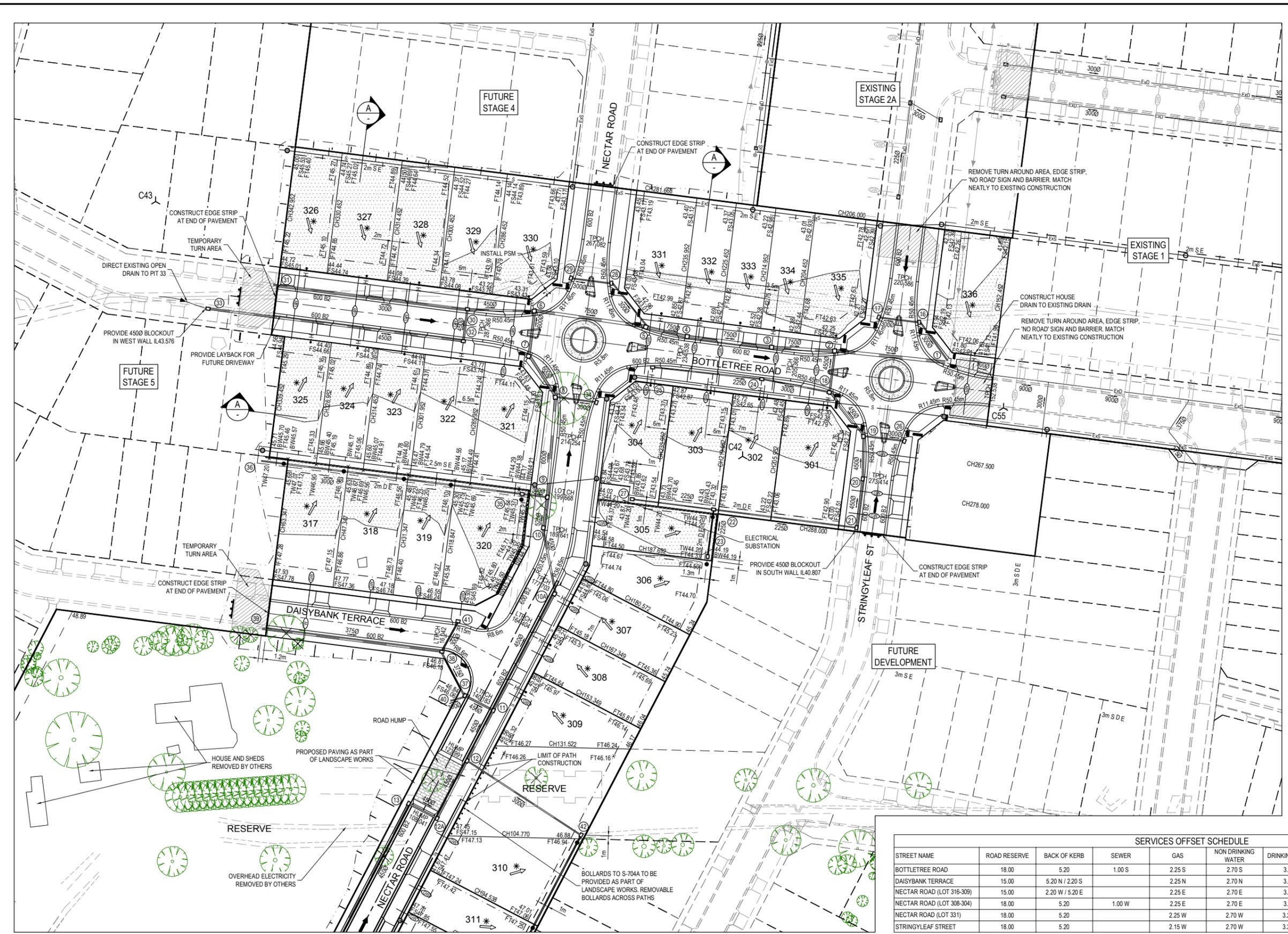
NOTE: FENCING
 1. CONSTRUCT FENCE ALONG COMMON BOUNDARY OF LOTS 309 & 310 WITH A RESERVE AS PER CASEY STANDARD DRAWING S-706.
 2. VEHICLE EXCLUSION MEASURES WHERE ROADS ABOUT A RESERVE ARE TO FORM PART OF THE LANDSCAPE WORKS.

NOTE: OPEN DRAINS
 EXISTING OPEN DRAIN THROUGH LOTS 329 TO 336 TO BE EXCAVATED TO A SOUND BASE AND FILLED AS SPECIFIED.

NOTE:
 TREES SHOWN THUS TO BE REMOVED

TBM TABLE

No.	TYPE	EASTING	NORTHING	LEVEL
C21	STAR PICKET	349829.20	5776466.32	50.63
C42	STAR PICKET	350032.07	5776549.76	42.94
C43	STAR PICKET	349876.98	5776617.04	45.50
C55	RIVET IN KERB	350101.00	5776562.55	41.44

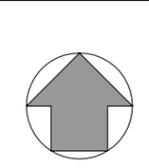


SERVICES OFFSET SCHEDULE

STREET NAME	ROAD RESERVE	BACK OF KERB	SEWER	GAS	NON DRINKING WATER	DRINKING WATER	COMMUNICATIONS	ELECTRICITY	LIGHT POLES
BOTTLE TREE ROAD	18.00	5.20	1.00 S	2.25 S	2.70 S	3.20 S	1.85 N	2.60 N	4.40 N
DAISYBANK TERRACE	15.00	5.20 N / 2.20 S		2.25 N	2.70 N	3.20 N	0.50 S	1.00 S	1.40 S
NECTAR ROAD (LOT 316-309)	15.00	2.20 W / 5.20 E		2.25 E	2.70 E	3.20 E	0.50 W	1.00 W	1.40 W
NECTAR ROAD (LOT 308-304)	18.00	5.20	1.00 W	2.25 E	2.70 E	3.20 E	1.85 W	2.60 W	4.40 W
NECTAR ROAD (LOT 331)	18.00	5.20		2.25 W	2.70 W	3.20 W	1.85 E	2.60 E	4.40 E
STRINGLEAF STREET	18.00	5.20		2.15 W	2.70 W	3.20 W	1.85 E	2.60 E	4.40 E

FOR CONTINUATION REFER TO 0055-03B-R03

Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/AW	MG	29/01/16	Existing Drain — Ex D — Drain & Property Inlet — Existing Surface Level at Title 135.12
B	Title boundary changes	GP/AW	MG	23/02/16	Existing Sewer — Ex S — House Drain — Finished Surface at Title FS135.12
C	Title and lot benching amendments	GP/AW	MG	30/03/16	Existing Sewer — Ex S — Sewer — Level at Top/Toe of Batter/Ridge FT135.12
D	Council amendments	GP/AW	MG	18/05/16	Existing Gas — Ex G — Swale Drain — Centreline Chirriage CH50.37
1	Approved for construction	GP/AW	MG	14/06/16	Existing Electricity U/G — Ex E — Gas & Water Cools — Retaining Wall
2	Road hump & driveway lot 303 relocated, lot 320 wall levels & drain 11-14 & 12-42 amended	GP	MG	15/08/16	Existing Electricity O/H — OH E — Direction of Lot Fall — PSM / TBM
3	As constructed	GP/AW	MG	02/03/17	Existing Communications — Ex T — Direction of Overland Flow — Concrete Pavement Treatment
					Existing Drinking Water — Ex DW — Allotment to be Evenly Graded — Concrete Infill
					Existing Swale Drain — Ex SW — Vehicle Crossings — Structural Fill > 200mm



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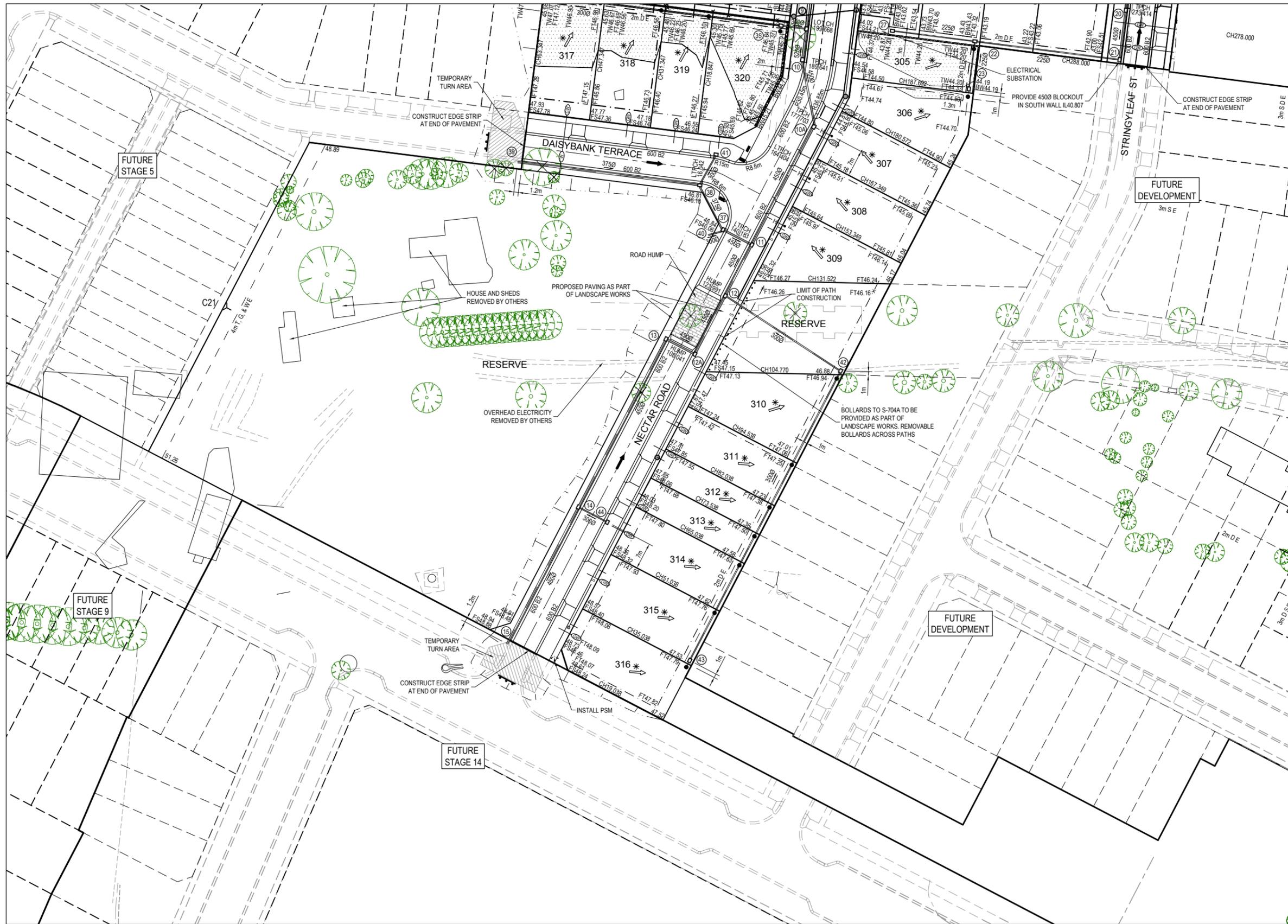
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Council City of Casey
 Project **Acacia, Botanic Ridge Stage 3B**
 Title **Layout Plan Sheet 1 of 2**
 Designed: G.Pratt
 Drafted: A.Wilkins
 Authorised: M.Graham
 Date: January 2016

Scale @ A1: 1:500

 Drawing No. **0055-03B-R02**
 Sheet 02 of 25
 Rev **3**

FOR CONTINUATION REFER TO 0055-03B-R02



NOTE: FENCING
 1. CONSTRUCT FENCE ALONG COMMON BOUNDARY OF LOTS 309 & 310 WITH A RESERVE AS PER CASEY STANDARD DRAWING S-706.
 2. VEHICLE EXCLUSION MEASURES WHERE ROADS ABOUT A RESERVE ARE TO FORM PART OF THE LANDSCAPE WORKS.

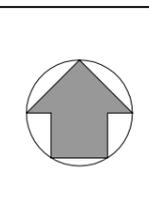
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Rev	Amendment	Des/Dt	App'd	Date	Legend	
A	Initial Issue	GP/AW	MG	29/01/16	Existing Drain	Drain & Property Inlet
B	Title boundary changes	GP/AW	MG	23/02/16	Existing House Drain	House Drain
C	Title and lot benching amendments	GP/AW	MG	30/03/16	Existing Sewer	Sewer
D	Council amendments	GP/AW	MG	18/05/16	Existing Gas	Swale Drain
1	Approved for construction	GP/AW	MG	14/06/16	Existing Electricity U/G	Gas & Water Conduits
2	Road hump relocated, lot 320 wall levels & drain 11-14 & 12-42 amended	GP	MG	15/08/16	Existing Electricity O/H	Direction of Lot Fall
3	As constructed	GP/AW	MG	02/03/17	Existing Communications	Direction of Overland Flow
					Existing Drinking Water	Allotment to be Evenly Graded
					Existing Swale Drain	Vehicle Crossings



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Council City of Casey
 Project **Acacia, Botanic Ridge Stage 3B**
 Title **Layout Plan Sheet 2 of 2**
 Designed: G.Pratt
 Drafted: A.Wilkins
 Authorised: M.Graham
 Date: January 2016

Scale @ A1: 1:500

 Drawing No. **0055-03B-R03**
 Sheet 03 of 25
 Rev **3**



NOTE: WALL SUBSOIL DRAIN

- NO SUBSOIL DRAINS ARE TO CROSS A TITLE BOUNDARY.
- HIGH SIDE LOTS ARE TO CONNECT TO THE PROPERTY INLET IN THE LOW CORNER.
- LOW SIDE LOTS ARE TO CONNECT TO THE HOUSE DRAIN AT THE FRONT.
- WHERE SHOWN ON THE PLANS, THE SUBSOIL DRAIN IS TO CONNECT TO A 450x450 IPEX PIT OR APPROVED EQUIVALENT WITH A 1000 STUB FOR FUTURE CONNECTION BY THE BUILDER.

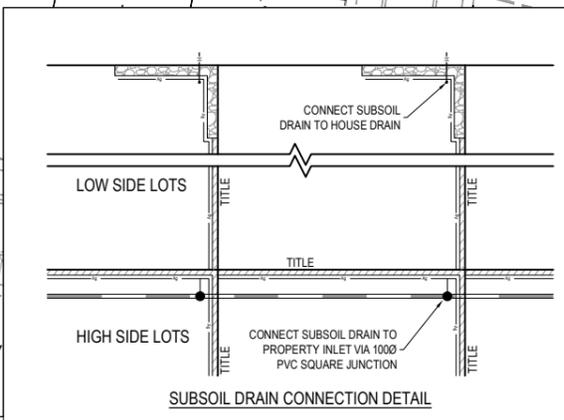
NOTES: SEWERS

- REFER TO SOUTH EAST WATER'S 'PIPES UNDER RETAINING WALLS' TECHNICAL ADDENDUM.
- PIERS ARE TO BE LOCATED SO THE SEWER CROSSING OF THE WALL IS CENTRALLY BETWEEN PIERS WITH A MINIMUM 1.0m CLEARANCE.

NOTES: RETAINING WALL

- REFER TO MCLEODS CONSULTING RETAINING WALL PLANS FOR DETAILS.
- A BUILDING PERMIT IS TO BE PROVIDED TO THE SUPERINTENDENT PRIOR TO CONSTRUCTION.
- CERTIFICATION FROM A QUALIFIED STRUCTURAL ENGINEER IS REQUIRED POST CONSTRUCTION.
- PIERS TO ALIGN WITH TITLE BOUNDARIES ALONG HIGH SIDE OF WALL.

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FOR CONTINUATION REFER TO 0055-03B-R05

Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/AW	MG	29/01/16	Existing Drain — Ex D — Direction of Lot Fall —> Sloper Retaining Wall
B	Title boundary changes	GP/AW	MG	23/02/16	Existing House Drain — H — Direction of Overland Flow —> Rock Retaining Wall
C	Title and lot benching amendments	GP/AW	MG	30/03/16	Existing Sewer — Ex S — Allotment to be Evenly Graded —> Design Contours — 47.01
D	Council amendments	GP/AW	MG	18/05/16	Drain & Property Inlet —> Vehicle Crossings —>
1	Approved for construction	GP/AW	MG	14/06/16	House Drain — H — Existing Surface Level at Title 47.01
2	Lot 320 wall levels amended	GP	MG	12/08/16	Sewer — S — Finished Surface at Title FS47.01
3	Subsoil drain detail & notes added	GP/AW	MG	16/09/16	Swale Drain —> Level at Top/Toe of Batter/Ridge FT47.01
4	As constructed	GP/AW	MG	02/03/17	Batter —> Top of Wall Level TW47.01
					Ridge —> Bottom of Wall Level BW47.01

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Council City of Casey

Project **Acacia, Botanic Ridge Stage 3B**

Title Earthworks Plan Sheet 1 of 2

Designed: G.Pratt
 Drafted: A.Wilkins

Authorised: M.Graham
 Date: January 2016

Scale @ A1: 1:500

Drawing No. **0055-03B-R04**

Sheet 04 of 25 Rev **4**

FOR CONTINUATION REFER TO 0055-03B-R04



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- HIGH SIDE LOTS ARE TO CONNECT TO THE PROPERTY INLET IN THE LOW CORNER.
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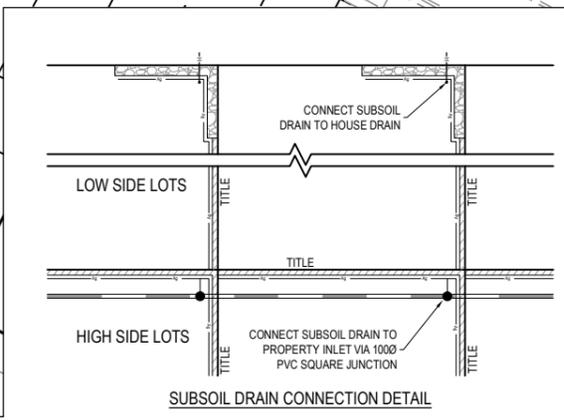
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Rev	Amendment	Des/Dt	App'd	Date	Legend	
A	Initial Issue	GP/AW	MG	29/01/16	Existing Drain	Direction of Lot Fall
B	Title boundary changes	GP/AW	MG	23/02/16	Existing House Drain	Direction of Overland Flow
C	Title and lot benching amendments	GP/AW	MG	30/03/16	Existing Sewer	Allotment to be Evenly Graded
D	Council amendments	GP/AW	MG	18/05/16	Drain & Property Inlet	Vehicle Crossings
1	Approved for construction	GP/AW	MG	14/06/16	House Drain	Existing Surface Level at Title
2	Lot 320 wall levels amended	GP	MG	15/08/16	Sewer	Finished Surface at Title
3	Subsoil drain detail & notes added	GP/AW	MG	16/09/16	Swale Drain	Level at Top/Toe of Batter/Ridge
4	As constructed	GP/AW	MG	02/03/17	Batter	Top of Wall Level
					Ridge	Bottom of Wall Level

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Project **Acacia, Botanic Ridge Stage 3B**

Title Earthworks Plan Sheet 2 of 2

Designed: G.Pratt
 Drafted: A.Wilkins

Authorised: M.Graham
 Date: January 2016

Scale @ A1: 1:500

Drawing No. **0055-03B-R05**

Sheet 05 of 25 Rev **4**