



Toulouse by Arden

# ACACIA DESIGN GUIDELINES

## **INTRODUCTION**

Acacia is where you can build your forever home in the beautiful suburb of Botanic Ridge.

Be surrounded by contemporary, quality designed homes in a stunning location. We invite you to join us in creating a special place to live.

Live the life you deserve at Acacia.

## **INVESTMENT PROTECTION**

Design Guidelines are a means of ensuring the vision of Acacia is delivered through the built form. The various requirements contained within this document have been formulated to achieve a high standard of design and construction for all dwellings and associated landscaping.

It is intended that the homebuyers have flexibility in housing design, whilst complementing the character of the estate. The Design Guidelines also ensure that appropriate amenity and streetscapes are established; thereby protecting the homebuyers' investment.

The City of Casey and Peet has implemented design control measures within Acacia. This is to ensure that dwelling construction is harmonious with the distinctive landscape of Botanic Ridge and the Royal Botanic Gardens Cranbourne.

# 1. PROCESS

1. Design your home with your builder and ensure it complies with the Acacia Design Guidelines.
2. Prepare your Design Approval submission package and submit the design package to [melbourne@peet.com.au](mailto:melbourne@peet.com.au).
3. See part 10 for the required documents for submission.
4. The Design Review panel will assess the package and advise you of its acceptance.  
If amendments are required your application package will need to be revised and submitted again.
5. Make your application for a building permit to the City of Casey or Building Surveyor from where the building permit and other relevant approvals are issued.
6. Upon issuance of your building permit, construct your new home.



Affinity Houston (build over garage) by Carlisle Homes

## 2. SITING AND SERVICING THE DWELLING

- Only one dwelling per lot is permitted.
- The maximum allowable building height is 8.5 metres.
- Minimum Setbacks:

Lot Size	Minimum Front Setback
Less than 550m <sup>2</sup>	4 metres
551m <sup>2</sup> to 719m <sup>2</sup>	5 metres
Greater than 720m <sup>2</sup>	6 metres

- Porches, pergolas, verandahs that are less than 3.6 metres high with eaves may encroach not more than 2.5 metres into the setbacks as noted above.
- On lots over 300m<sup>2</sup> at least one side of the dwelling must be setback a minimum of 1 metre from the side boundary. The other side wall of a dwelling must be setback either 0-200mm or at least 1 metre from the side lot boundary. Please see the building envelope plan on the plan of subdivision for your lot.
- It is recommended that the side setback is on the side of the lot not containing the garage.
- All dwellings must comply with the Legislative Energy Efficiency Standards in the National Construction Code.
- The dwelling must be connected to all available infrastructure such as the National Broadband Network and the purple pipe recycled water system.



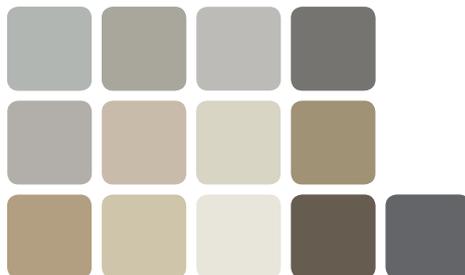
Affinity Baldwin by Carlisle Homes

### 3. THE DWELLING

- The dwelling must address the street frontage with the entrance covered by a portico, porch or entry feature.
- The dwelling façade design must have no less than two separate material finishes, both of which must cover a minimum of 30% of the façade.
- Exposed plantation timber, masonry and stone are encouraged. Render and brickwork may be used in conjunction with these materials.
- The dwelling façade design must not be repeated within three housing lots both either side and across the street.
- Materials used on the front façade of a non-corner allotment must return a minimum of 1 metre to the sides of the dwelling.
- The base colour palette of the dwelling must be contemporary natural and earthy tones that are harmonious with the natural landscape.
- Accent colours can be used as highlight elements to help articulation but must complement, not contrast, with the base colour palette.
- Windows must not contain any leadlight, tint or stained glass features.
- Period reproduction styles such as Victorian, Colonial, Georgian, Federation and Art Deco are not permitted.

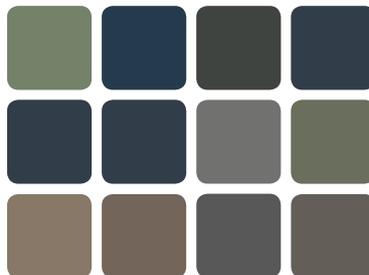
#### Base Colours

Light natural and earthy tones harmonious with the natural landscape.



#### Accent Colours

Use as highlight elements and complement the base colour



#### Face Brick

Should be used as a feature. No red brick permitted.



## 4. DWELLINGS ON CORNER LOTS

- The dwelling design must address both the primary and secondary street frontages and be of a consistent architectural design.
- Design elements (such as verandahs, detailing, feature windows and materials) used on the primary frontage must continue on that part of the secondary frontage visible to the public realm.

## 5. THE GARAGE

- Houses must have at least one roofed garage. Carports are not permitted.
- On all lots the garage must be setback 5.5 metres from the front of the lot and in all instances setback 1 metre behind the front wall of the dwelling.
- The garage opening must not occupy more than 40% of the width of the lot frontage.
- The garage must be constructed of sectional or tilt panels. Roller doors are not permitted.
- Garage doors must be in the same colour scheme as that of the house, or finished with a wood grain or timber panel.



Evo by Arden

## 6. THE ROOF AND EAVES

- Pitched roofs must be no less than 22 degrees. Articulated roofs are preferred.
- Roofing materials including guttering and fascia's must be non-reflective and muted tones of grey, blue/grey or charcoal and constructed of corrugated metal sheeting (COLORBOND®) or roof tiles (concrete, clay or slate). Roofing, guttering and fascia's that are black, white or a similar colour will not be permitted. The roofing colour must match or be very similar to the approved colour scheme below.
- Eaves must be incorporated into the dwelling design with a minimum distance of 450mm from wall to outer edge of eave where visible to the public realm.

COLORBOND® steel Standard colour range<sup>1</sup>



COVE™



EVENING HAZE®



DUNE®



WINDSPRAY®



PALE EUCALYPT®



GULLY™



MANGROVE®



WALLABY®



JASPER®



BASALT®



IRONSTONE®



WOODLAND  
GREY®

## 7. THE FENCING

**Side and Rear Fencing:** Side and rear fencing must be COLORBOND® Neetascreen infill panels, Grey Ridge in colour with exposed cypress posts with flat top, treated pine capping, plinth and rails. The fence must be 1.89m in height. See Side and Rear Standard Fencing Specification Diagram for further information.

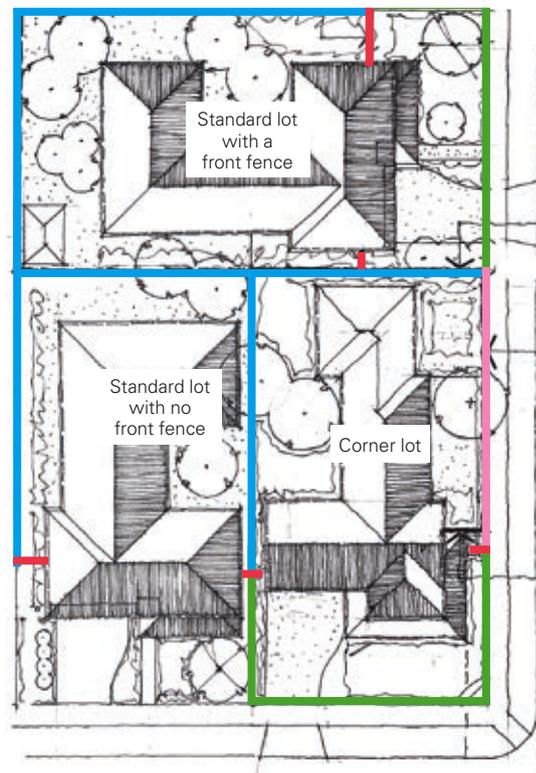
**Return Fencing:** The return fencing must return to the sides of the dwelling a minimum of 1 metre behind the main building line and be the same height and specification as the side fencing.

**Corner Lot Fencing:** On corner Lots, fencing on the secondary street boundary must return a minimum of 2 metres behind the main building line. Fencing must be COLORBOND® LYSAGHT MINISCREEN® infill panels Grey Ridge in colour with exposed cypress posts with flat top, treated pine capping, plinth and rails. The fence must be 1.89m in height. See Corner Lot Fencing Specification Diagram for further information.

**Front Fencing:** Where there is a front fence, it must be a maximum height of 1.2 metres and have a minimum 50% transparency. Fences under 0.7 metres in height may be solid. Front fence design must suit the dwelling in relation to style, materials and colours. Timber slats or masonry pillars with metal infill are acceptable materials.

**Wing Fencing:** Wing fencing is only permitted where there is a front fence. Where there is a front fence, the wing fence forward of the return fence must be stepped down to a height of 1.2 metres and be the same material and specification as the front fence. Where there is no front fence, wing fencing is not permitted.

- Blue – side and rear fencing
- Red – return fencing
- Pink – corner lot fencing
- Green – front/wing fencing

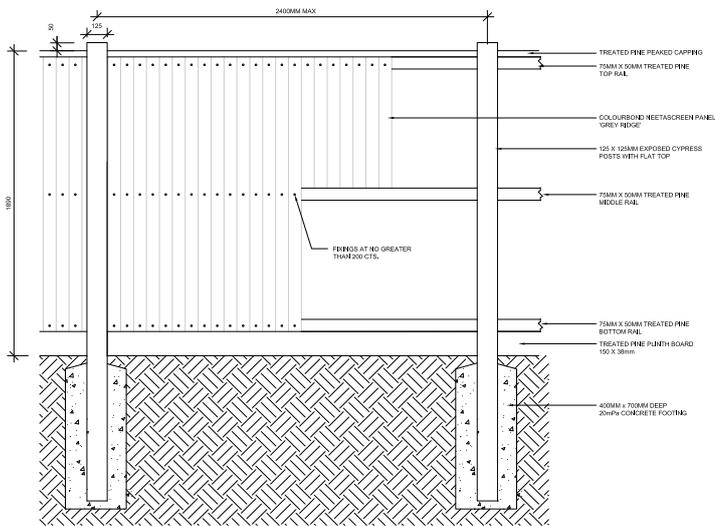


Side and rear standard fencing.

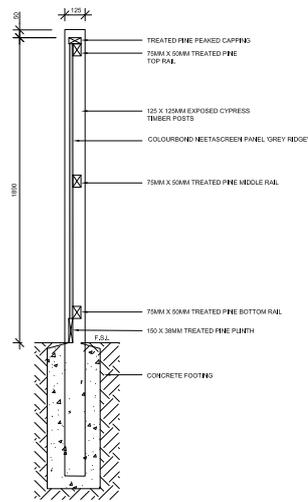


Corner lot fencing and fencing of boundaries (adjacent to roads and parkland).

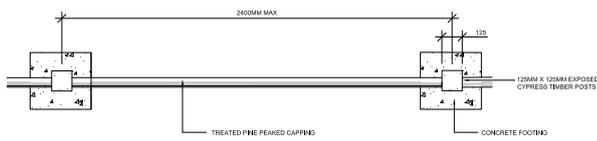
## Side and Rear Standard Fencing



**STANDARD FENCE DETAIL**  
ELEVATION  
SCALE 1:20 @ A3



NOTE:  
BUILDING CONTRACTOR TO SUPPLY  
CONSTRUCTION DETAIL AND STRUCTURAL  
CERTIFICATION OF FENCE FOR REVIEW PRIOR  
TO COMMENCEMENT OF CONSTRUCTION.  
FIX ALL TIMBER USING GALVANISED NAILS.

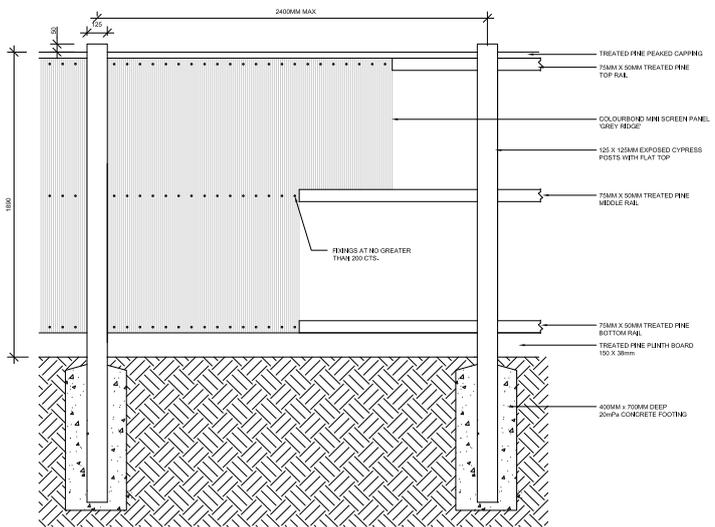


**STANDARD TIMBER DETAIL**  
PLAN  
SCALE 1:20 @ A3

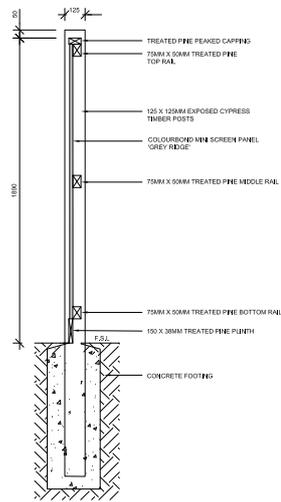


**RETAINING WALL CONNECTION DETAIL**  
SECTION  
SCALE 1:20 @ A3

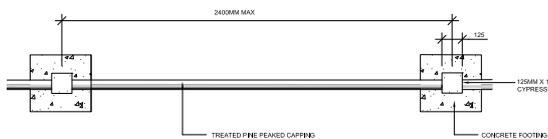
## Corner Lot Fencing and Fencing of Boundaries (adjacent to roads and parkland)



**PREMIUM FENCE DETAIL**  
ELEVATION  
SCALE 1:20 @ A3



NOTE:  
BUILDING CONTRACTOR TO SUPPLY  
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TO COMMENCEMENT OF CONSTRUCTION.  
FIX ALL TIMBER USING GALVANISED NAILS.



**PREMIUM TIMBER DETAIL**  
PLAN  
SCALE 1:20 @ A3



**RETAINING WALL CONNECTION DETAIL**  
SECTION  
SCALE 1:20 @ A3

## 8. THE DRIVEWAY

- A lot must have only 1 vehicle crossover. Corner lots may have 2 crossovers with one vehicle access point on each boundary, subject to Council approval.
- The driveway must not exceed 4 metres in width except where they form part of a turning or reversing area required for access/egress from a garage.
- Driveways must be completed before the dwelling is occupied.
- Stampcrete and plain concrete driveways are not permitted.
- Coloured concrete, pavers and exposed aggregate are permitted driveway materials. The driveway colour must complement the overall palate of the dwelling.
- The driveway must be set a minimum of 300mm off the side boundary to allow for a landscape strip along the side of the lot.



Affinity Marquis (build over garage) by Carlisle Homes

## 9. THE LANDSCAPING

- Any retaining structures must be no more than 1 metre in height between a dwelling and a street or public space. For cutting and filling deeper than 1 metre, utilisation of planted and landscaped embankments (maximum 1:3 gradient) or a combination of a series of retaining structures (maximum 1 metre high steps) and planted embankments or terracing must be utilised.
- The front yard must be landscaped within 3 months of moving in to the home and kept neat and tidy with no excessive weed growth at all times.
- Letterboxes with street numbering must be installed before occupation and comply with Australia Post standards. The letterbox must be housed in a purpose built low structure located forward of the building that complements the house design and external colour scheme.
- Ancillary items such as clothes lines, rainwater tanks, hot water services, satellite dishes, boats, trailers, caravans and bin areas must not be visible from the street.
- Outbuildings not attached to the house including sheds are not permitted where their size exceeds 50m<sup>2</sup>, or they are greater than 3.6 metres in height. Outbuildings must not be visible from the street or public open space. They must be built of materials consistent with the main dwelling.
- During home construction no rubbish is allowed to accumulate on the lot unless stored in a skip or bin and trade vehicles must not park on verges or footpaths.
- Cats or exotic bees must not be kept on the property.

## 10. REQUIRED DOCUMENTS FOR SUBMISSION

- Roof plans and elevations showing location of all ancillary items (A3).
- Floorplans (A3).
- A copy of the site plan.
- A copy of the materials to be used.
- Landscape design plan.
- Annotated colour and material schedule with samples.

Please refer to the Acacia website [acaciabotanic.com.au](http://acaciabotanic.com.au) for timelines and the Application Form. Please submit to [melbourne@peet.com.au](mailto:melbourne@peet.com.au) or contact Peet **03 9868 5900** for more information. Please allow 7 business days for submission processing.



Riverton built by Dennis Family Homes

**Discover more:**

Visit the Sales and Information Centre,  
53-65 Craig Road, Botanic Ridge  
or call 0437 373 753

**[acaciabotanic.com.au](http://acaciabotanic.com.au)**