

DISCLOSURE PLAN

For Proposed Lot 186
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - — — — — Easement Boundary
 - — — — — Kerb Line
 - — — — — Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — Water/Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
(Installed by Developer)

- Notes:**
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village

GREEN



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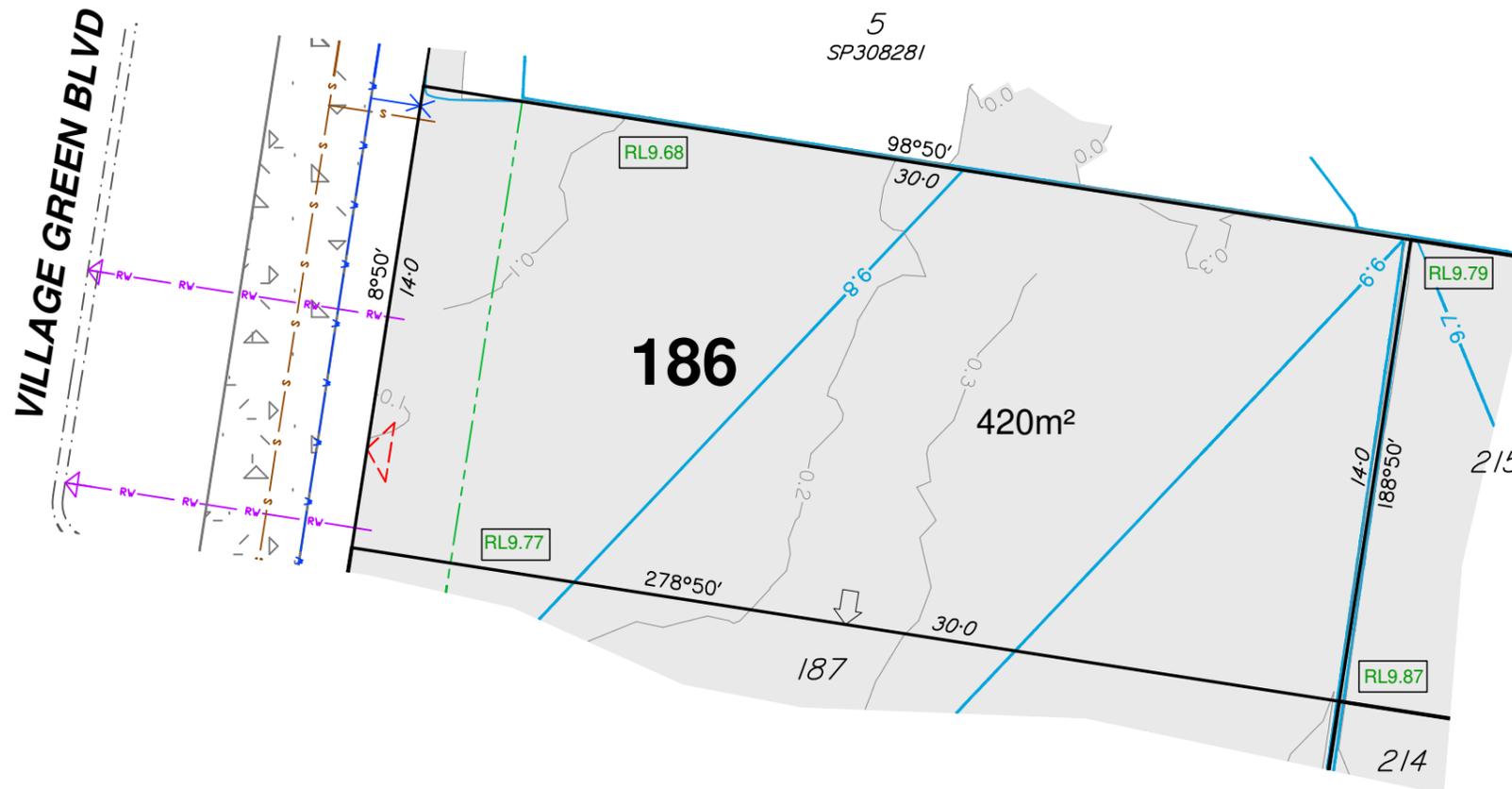
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MGA

Scale 1:200  @A3

LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-186 VERSION A

VILLAGE GREEN BLVD

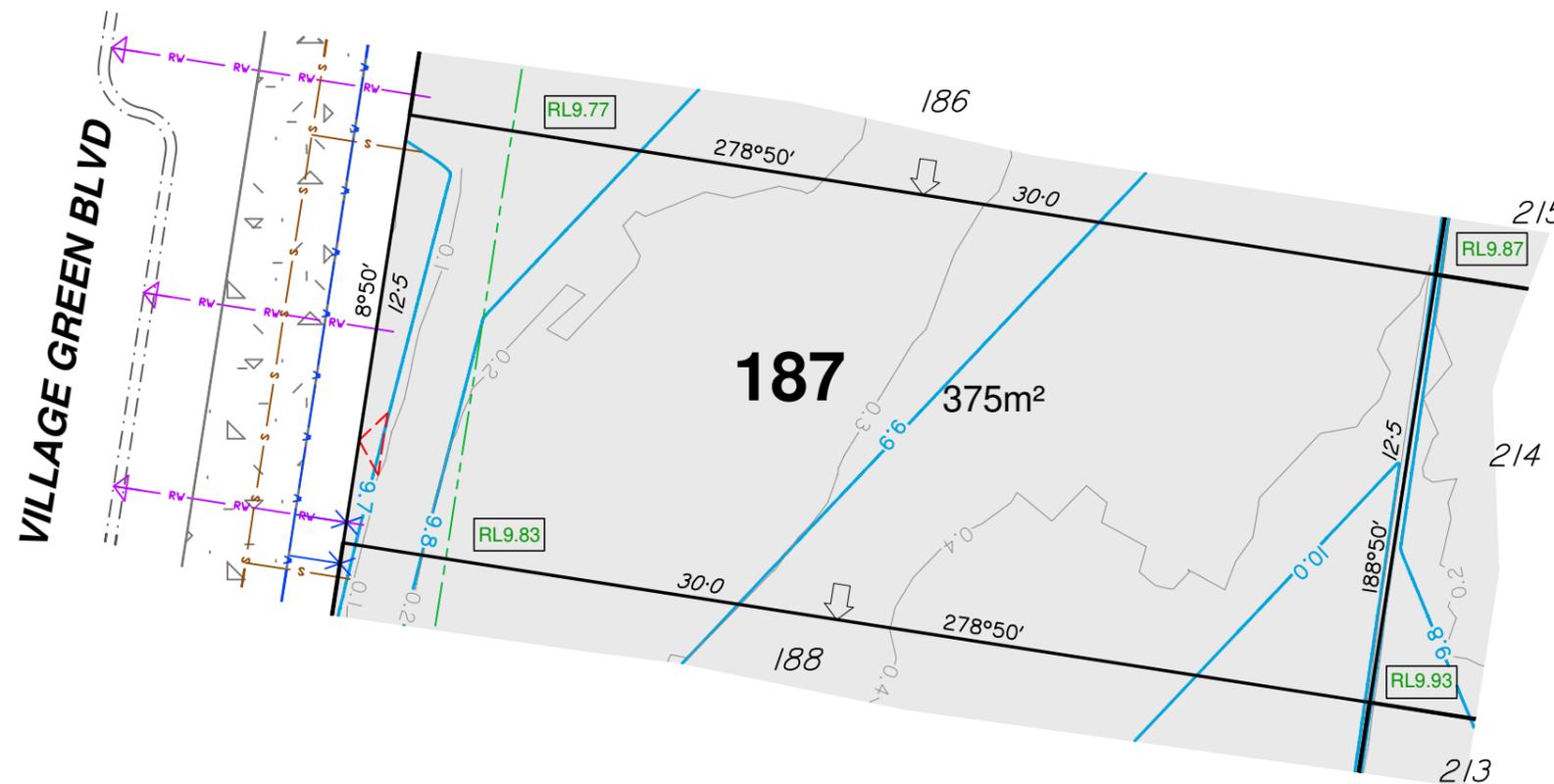


DISCLOSURE PLAN

For Proposed Lot 187
Village Green - Stage 6A

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 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — ● Sewer/Sewer Manhole
 - sv — sv — ⊙ Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — □ Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v — X Water/Water Meter
 - Area to be Filled
 - RL9.77 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence (Installed by Developer)



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village
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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

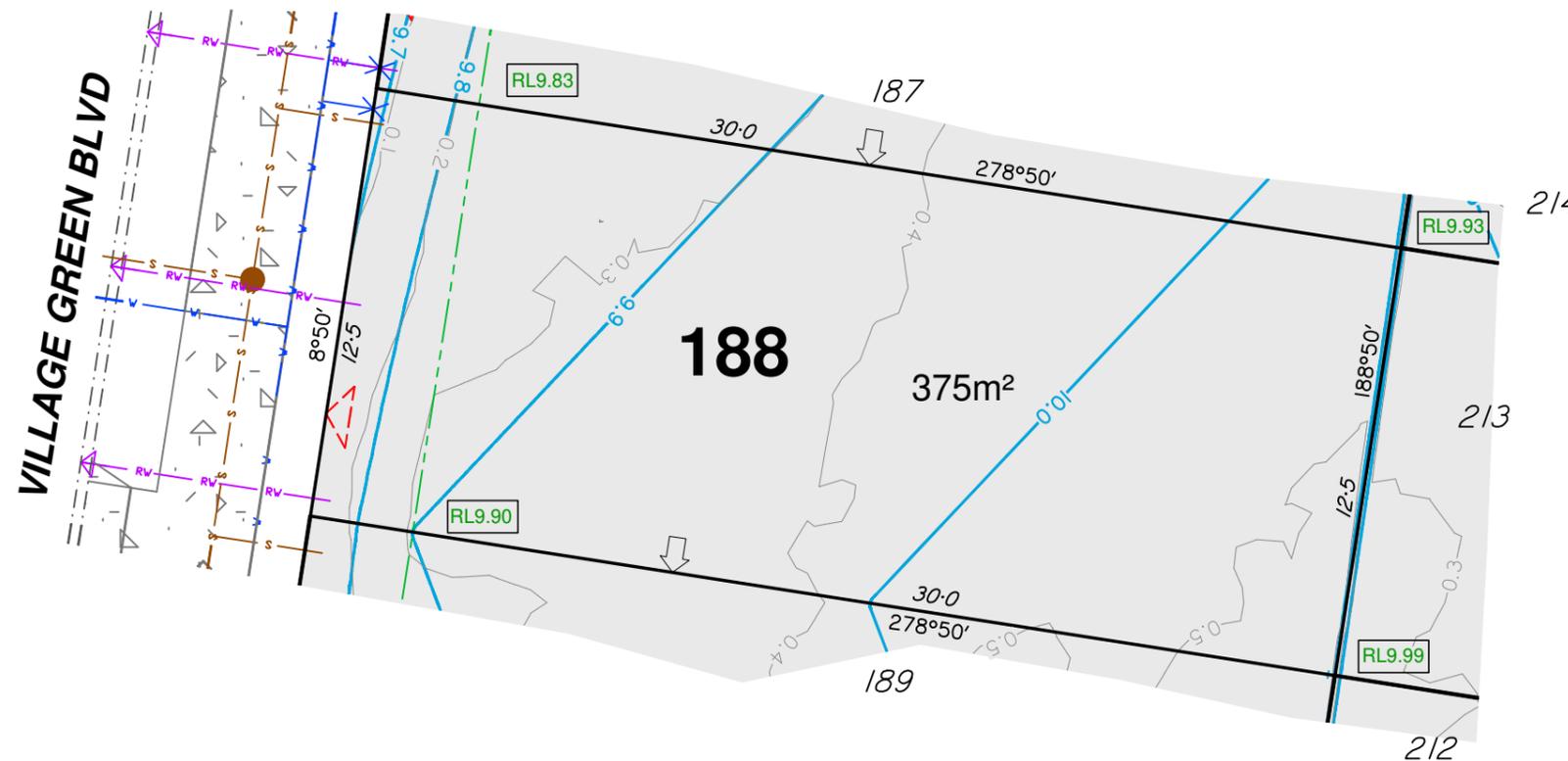
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-187 VERSION A

DISCLOSURE PLAN

For Proposed Lot 188
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

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 - — — — — Easement Boundary
 - — — — — Kerb Line
 - — — — — Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — Water/Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
(Installed by Developer)



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village
GREEN



HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

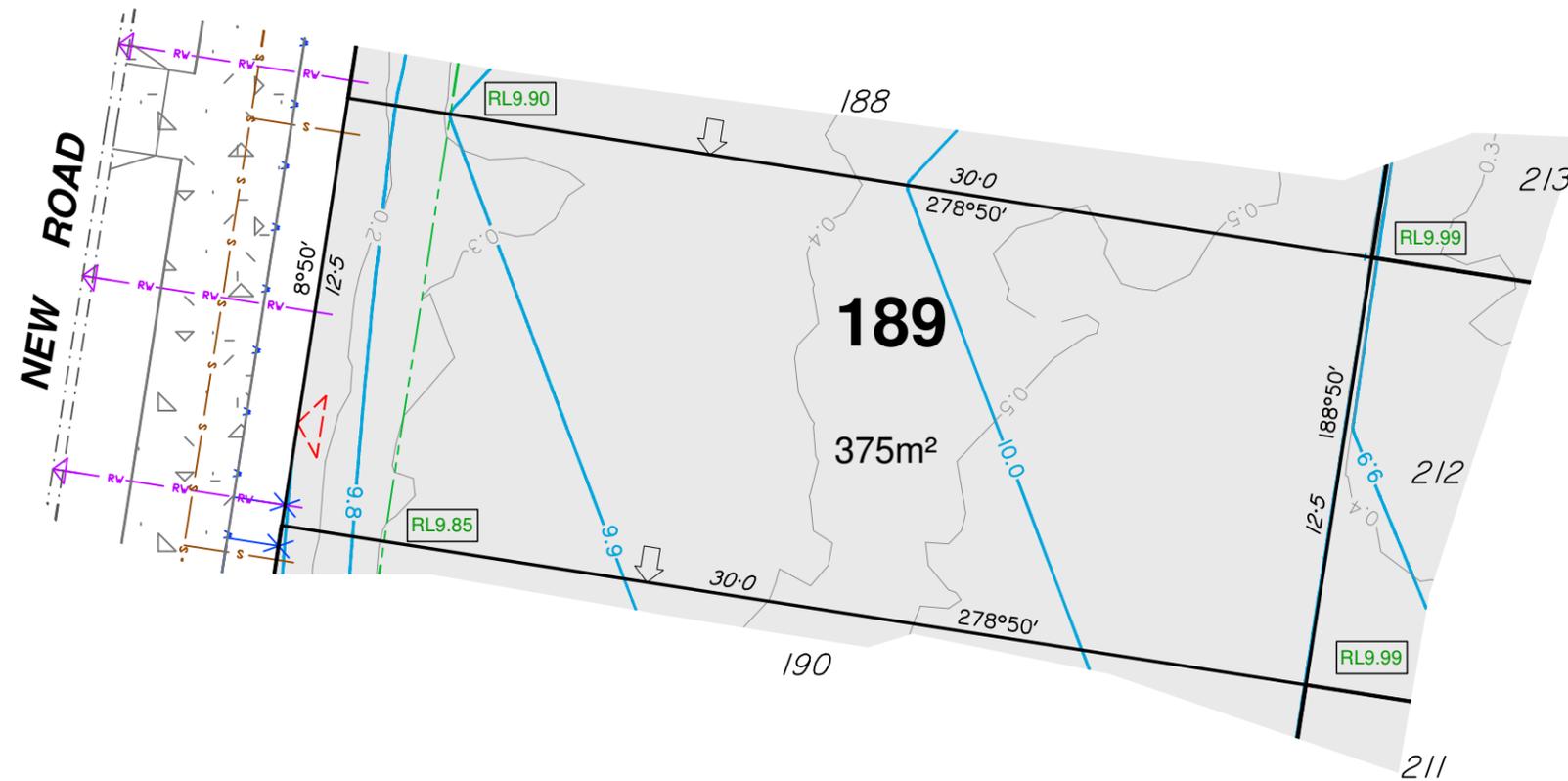
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-188 VERSION A

DISCLOSURE PLAN

For Proposed Lot 189
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
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 - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Kerb Adapter
 - Water/Water Meter
 - Area to be Filled
 - RL9.90 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence (Installed by Developer)



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village
GREEN



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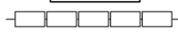
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Scale 1:200 @A3
LEVEL DATUM
AHD.

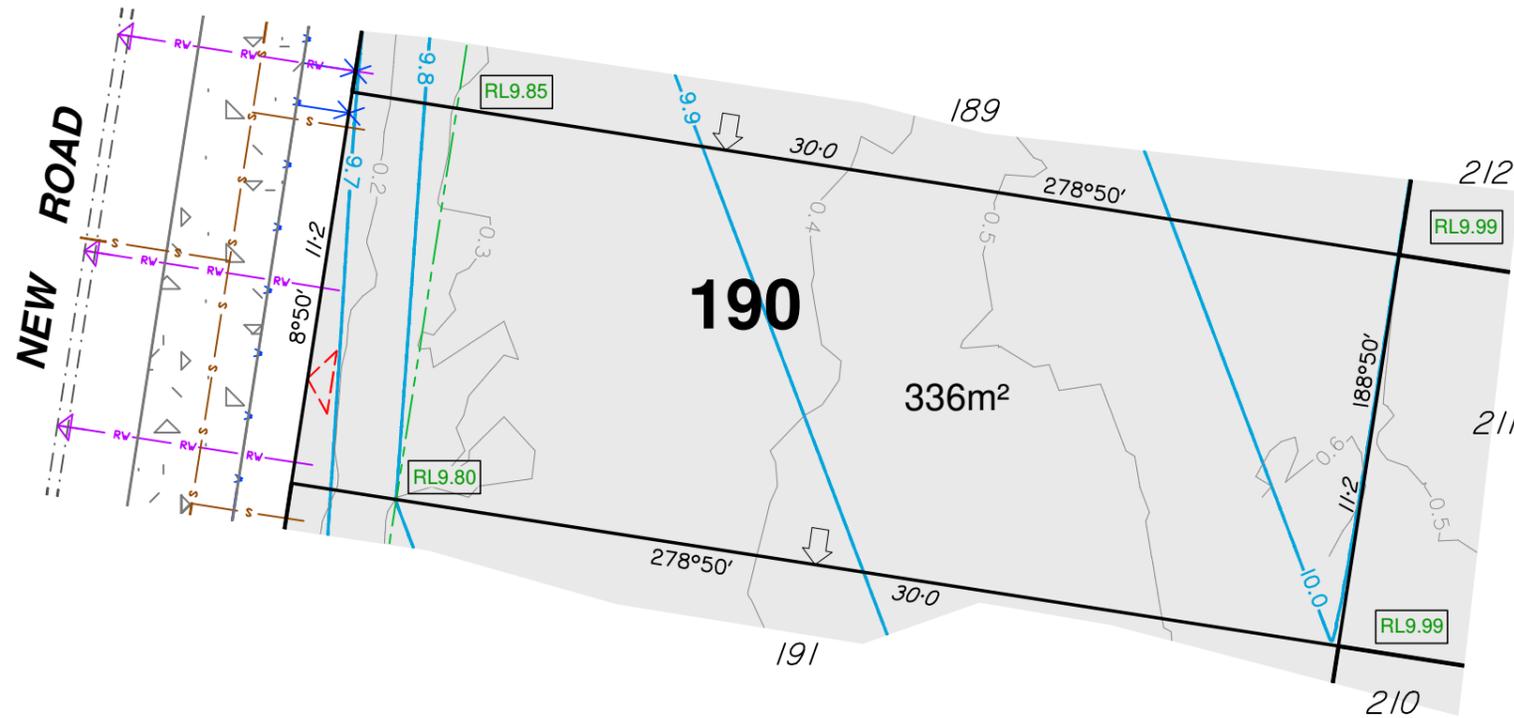
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-189 VERSION A

DISCLOSURE PLAN

For Proposed Lot 190
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
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 - — — — — Kerb Line
 - — — — — Edge of Pad
 - s — s — ● Sewer/Sewer Manhole
 - sv — sv — ⊙ Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — □ Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Water/Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
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village
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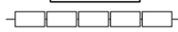
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Scale 1:200 @A3
LEVEL DATUM
AHD.

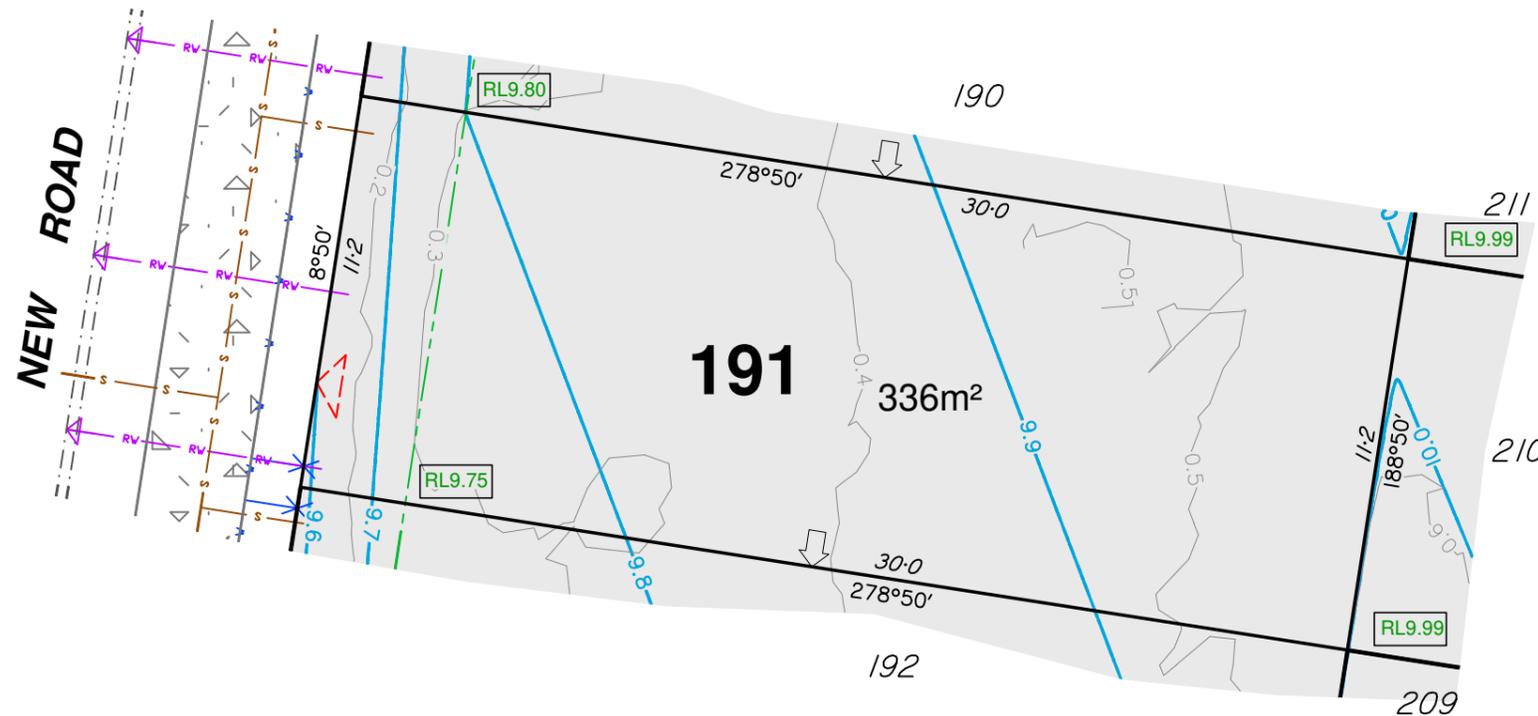
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-190 VERSION A

DISCLOSURE PLAN

For Proposed Lot 191
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

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 - — — — — Kerb Line
 - — — — — Edge of Pad
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 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Water/Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
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Planning Urban Design Landscape Environment Surveying

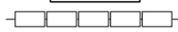
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Scale 1:200 @A3
LEVEL DATUM
AHD.

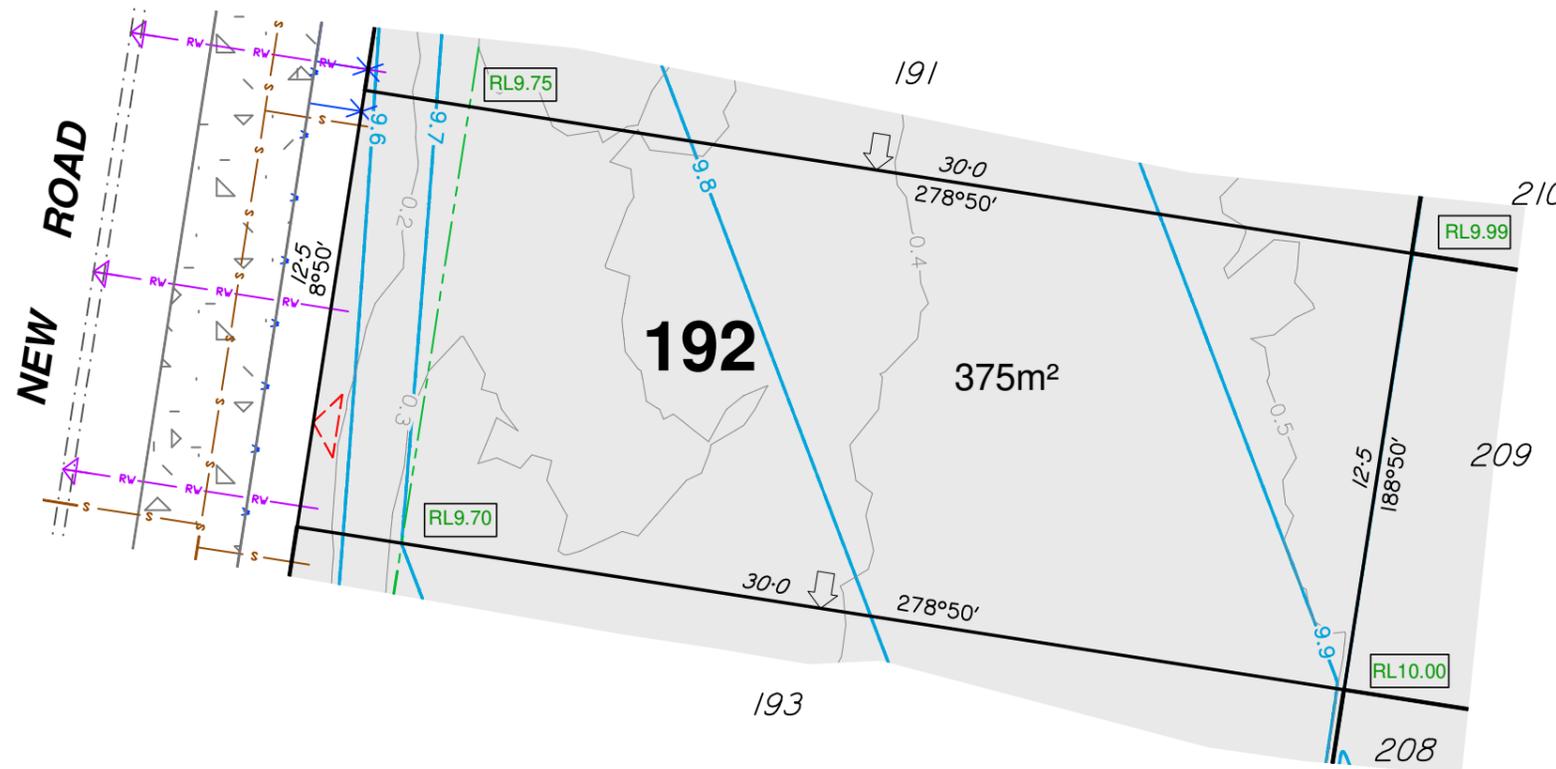
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-191 VERSION A

DISCLOSURE PLAN

For Proposed Lot 192
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

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 - — — — — Kerb Line
 - — — — — Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Water/Water Meter
 - Area to be Filled
 - RL9.75 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
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village
GREEN

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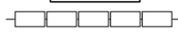
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-192 VERSION A

DISCLOSURE PLAN

For Proposed Lot 193
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

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 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — Water/Water Meter
 - Area to be Filled
 - RL9.70 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
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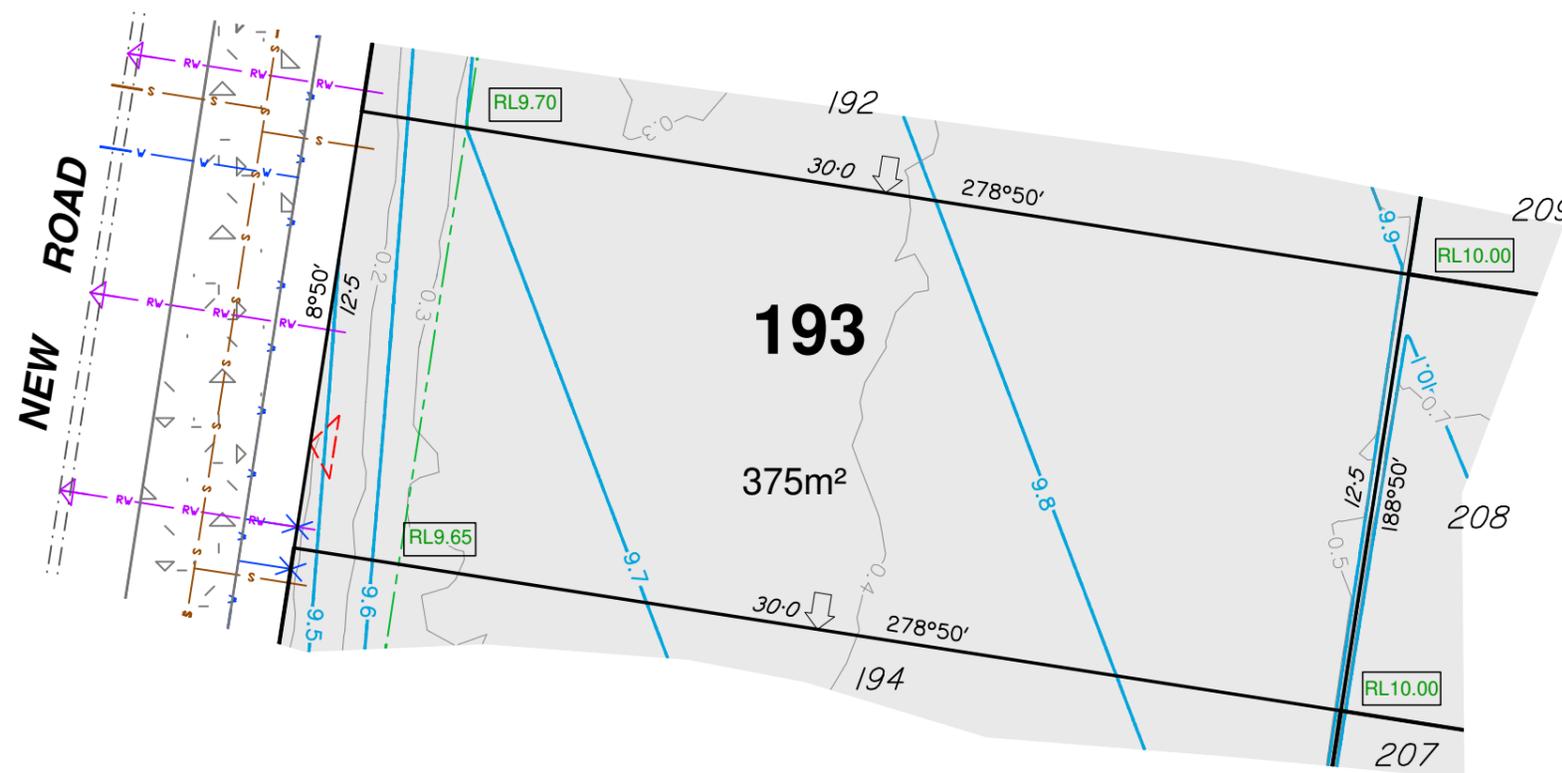
 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200  @A3

LEVEL DATUM
AHD.

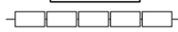
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-193 VERSION A



DISCLOSURE PLAN

For Proposed Lot 194
Village Green - Stage 6A

Currently Described As
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Local Authority: Sunshine Coast Regional

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 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — Water/Water Meter
 - Area to be Filled
 - RL9.65 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
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 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN
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LEVEL DATUM
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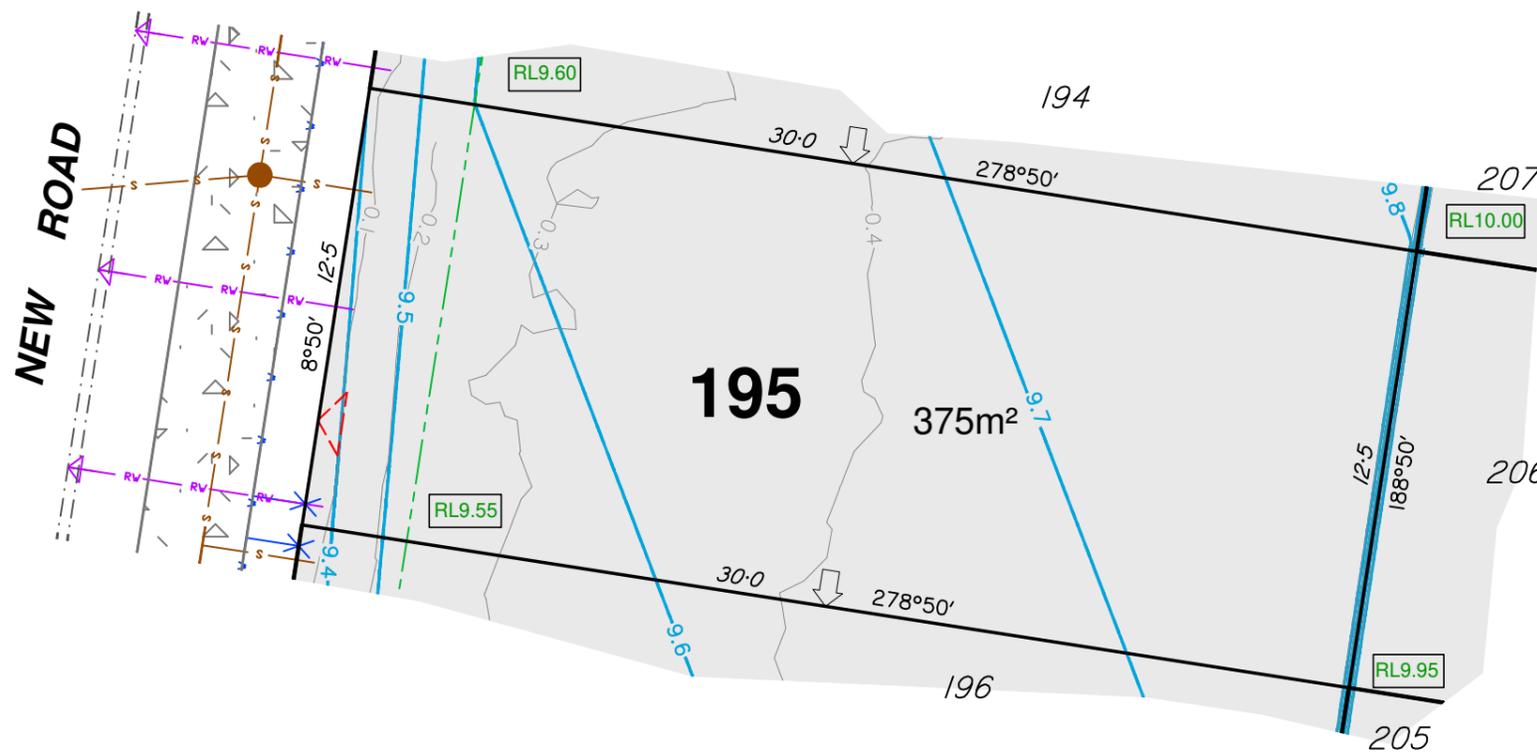
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-194 VERSION A

DISCLOSURE PLAN

For Proposed Lot 195
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
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 - RV — RV — Roofwater/Roofwater Pit
 - Kerb Adapter
 - Water/Water Meter
 - RL9.60 Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
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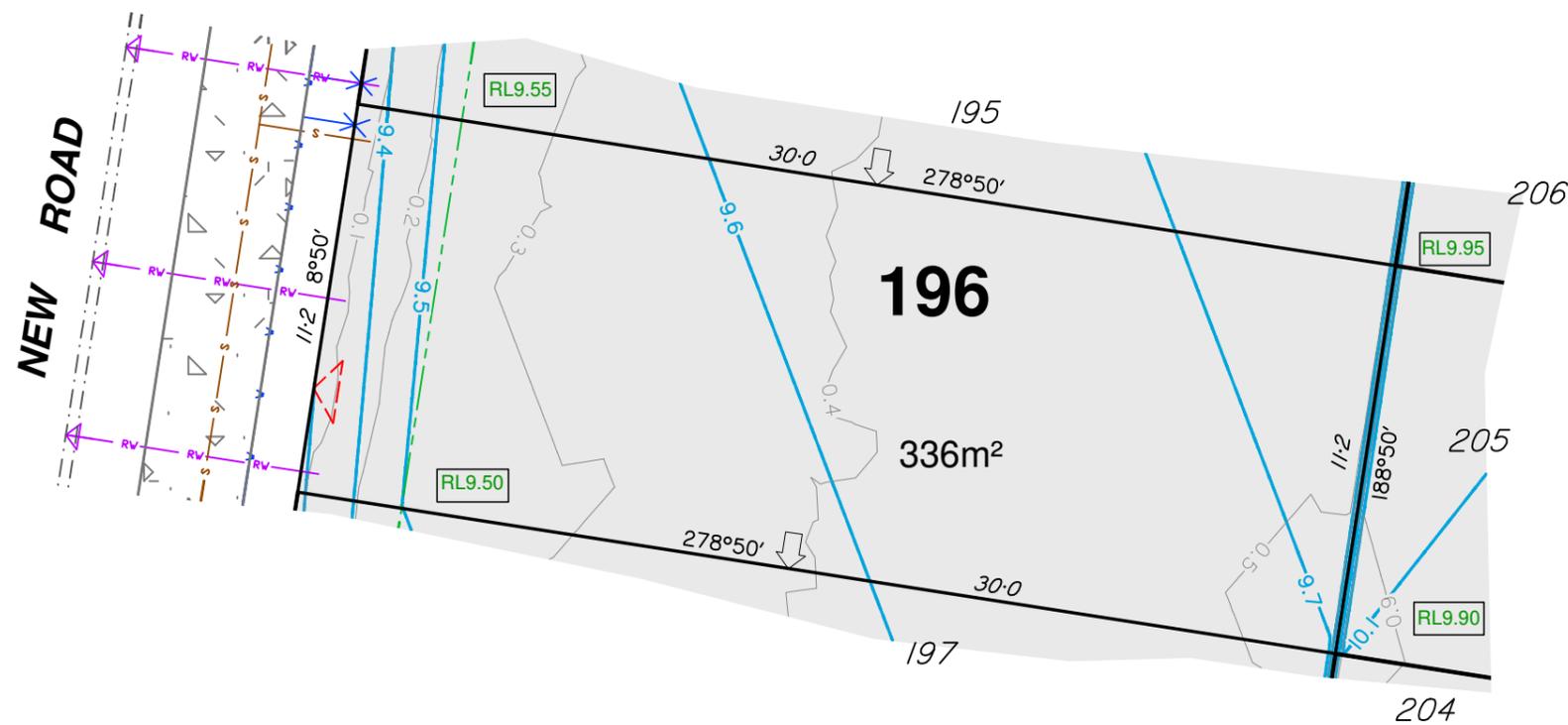
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-195 VERSION A

DISCLOSURE PLAN

For Proposed Lot 196
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

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 - Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
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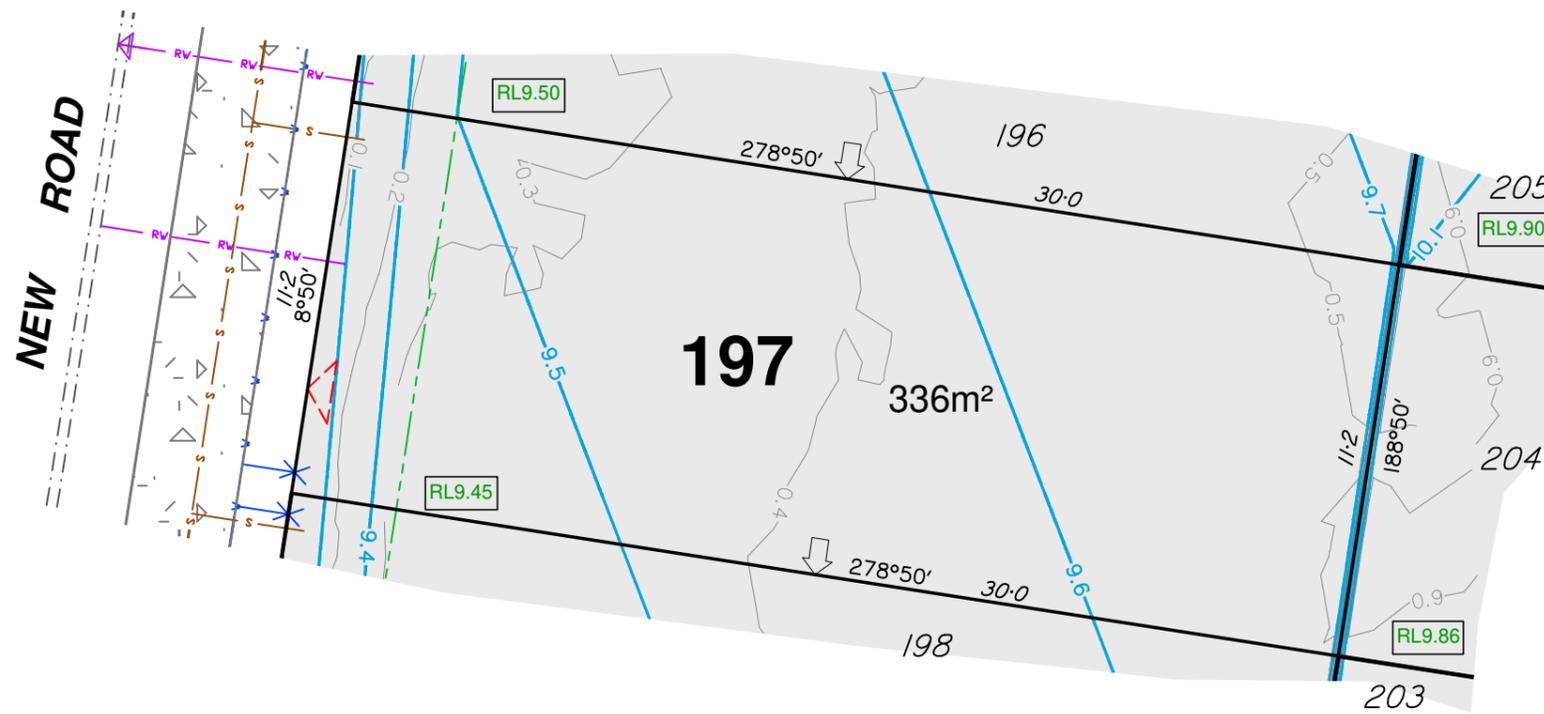
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-196 VERSION A

DISCLOSURE PLAN

For Proposed Lot 197
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
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Local Authority: Sunshine Coast Regional

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 - Kerb Adapter
 - Water/Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 15-02-2021.
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-197 VERSION A

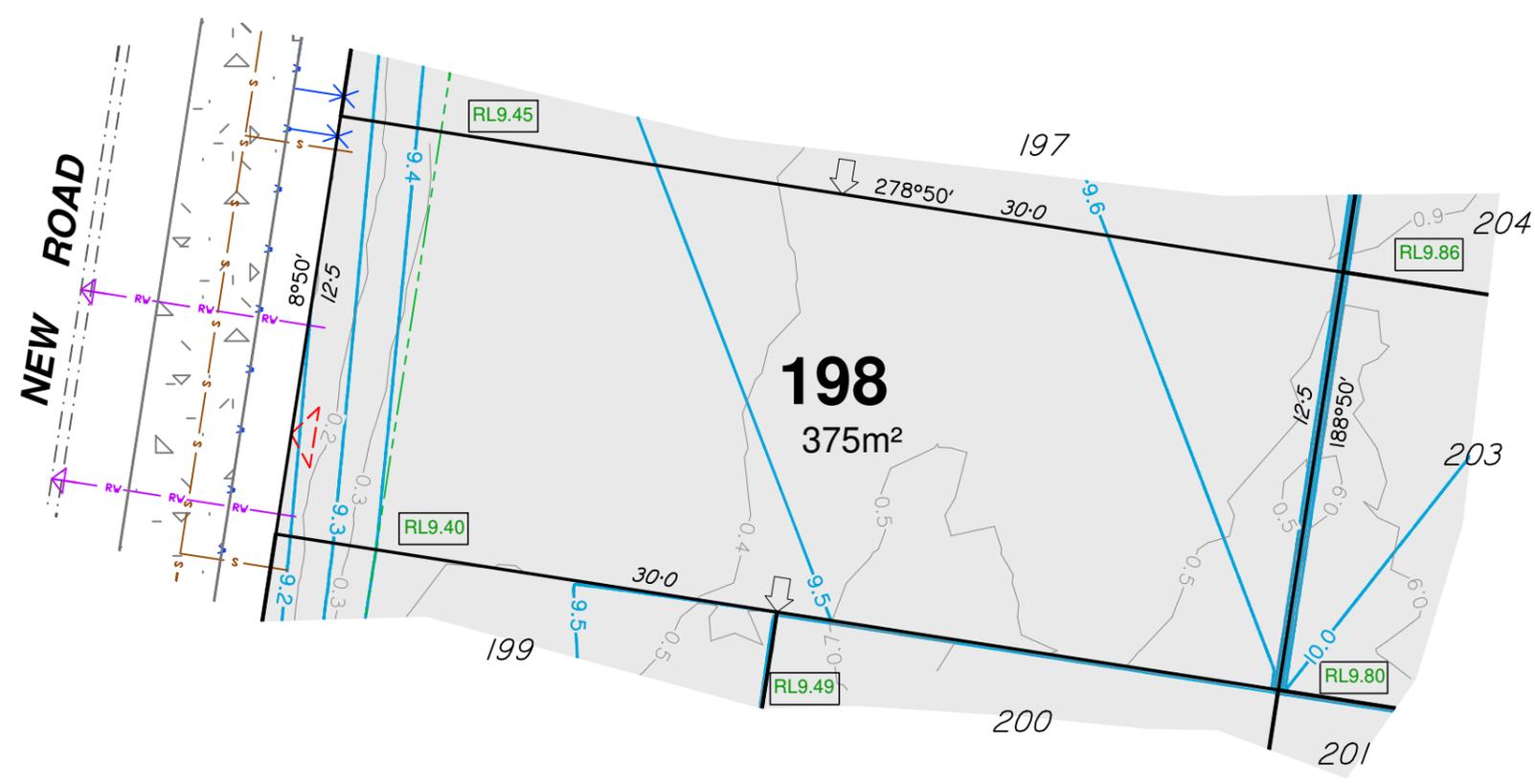
DISCLOSURE PLAN

For Proposed Lot 198
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL9.32	Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
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village
GREEN

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

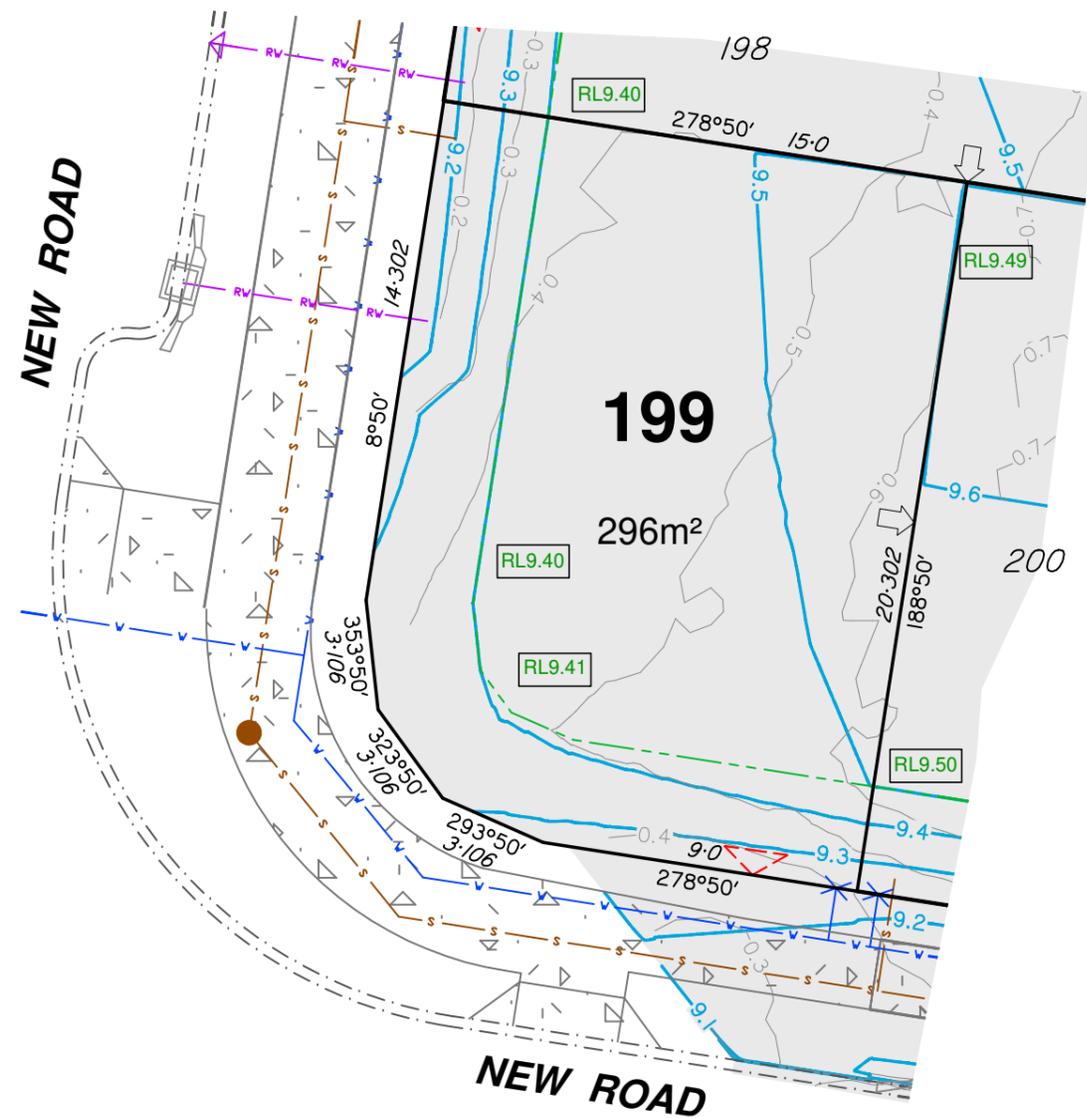
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-198 VERSION A

DISCLOSURE PLAN

For Proposed Lot 199
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Kerb Adapter
 - Water/Water Meter
 - RL57.32 Area to be Filled
 - RL9.40 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
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village
GREEN



HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-199 VERSION A

DISCLOSURE PLAN

For Proposed Lot 200
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)

- Notes:**
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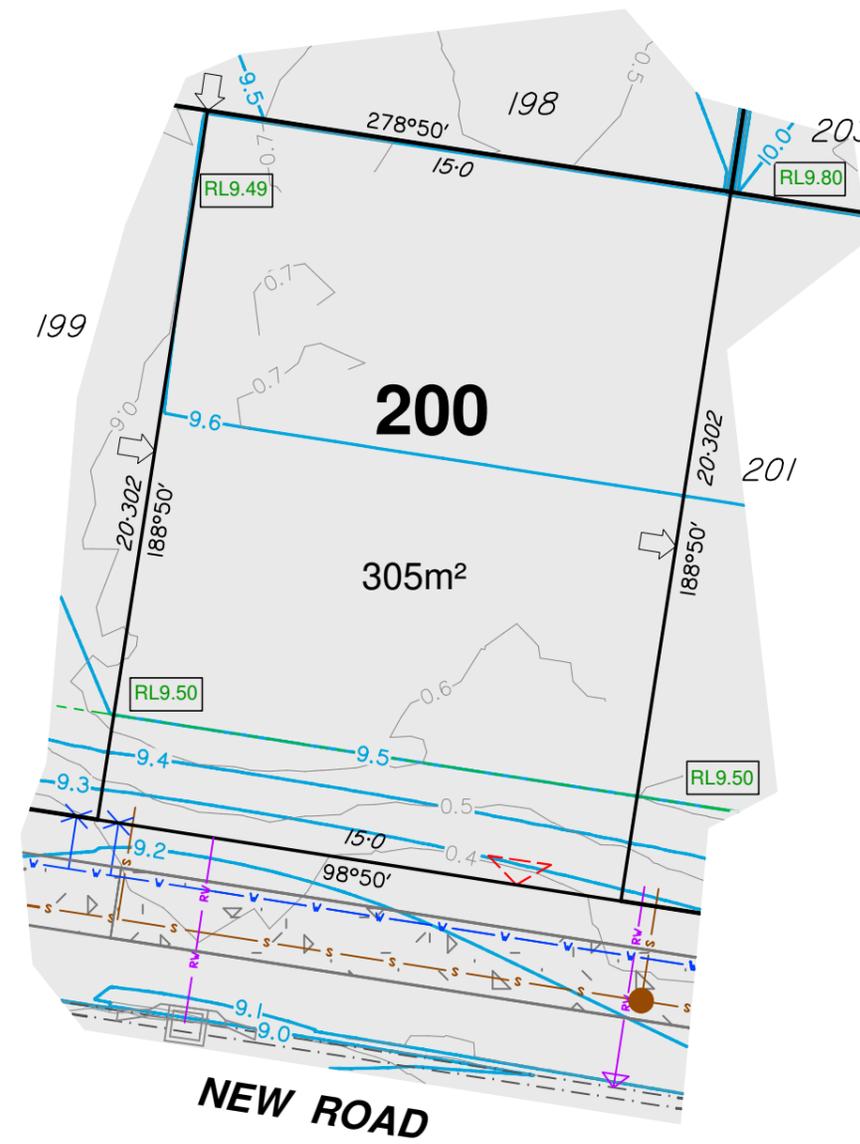
village
GREEN

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-200 VERSION A



DISCLOSURE PLAN

For Proposed Lot 201
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
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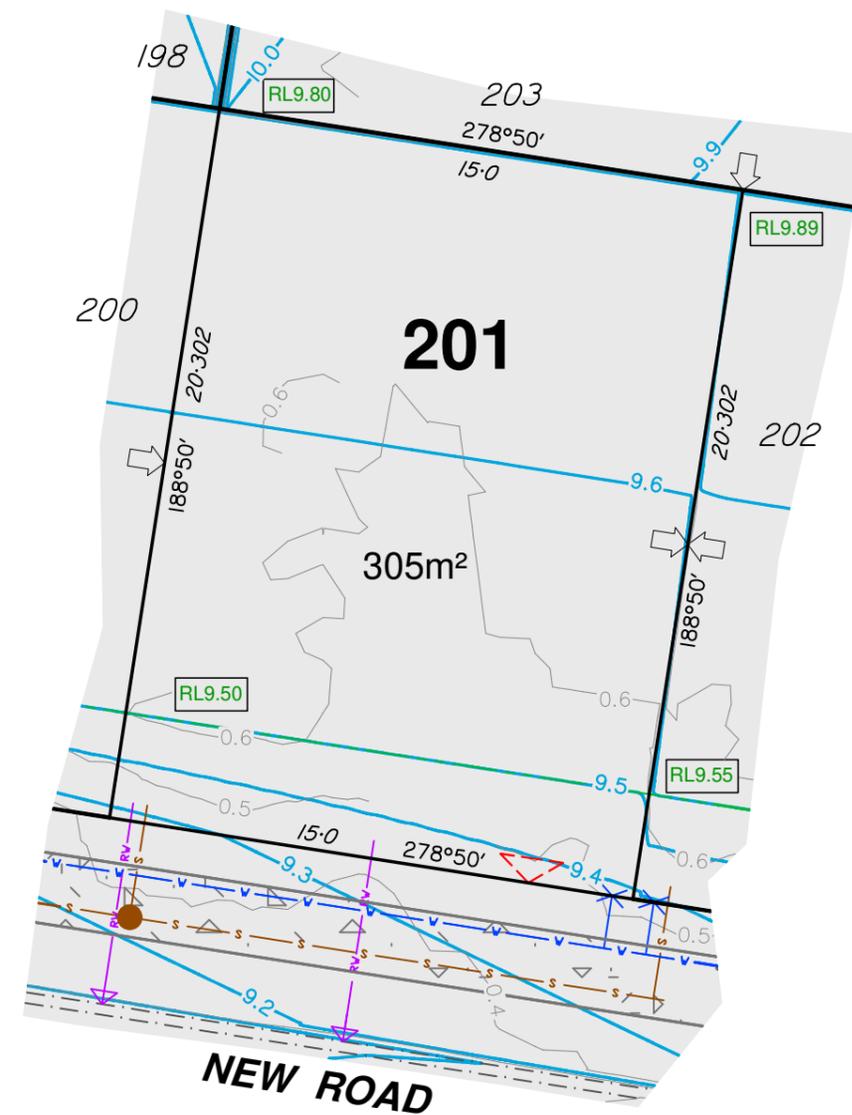
village
GREEN

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HORIZONTAL MERIDIAN
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LEVEL DATUM
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DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-201 VERSION A



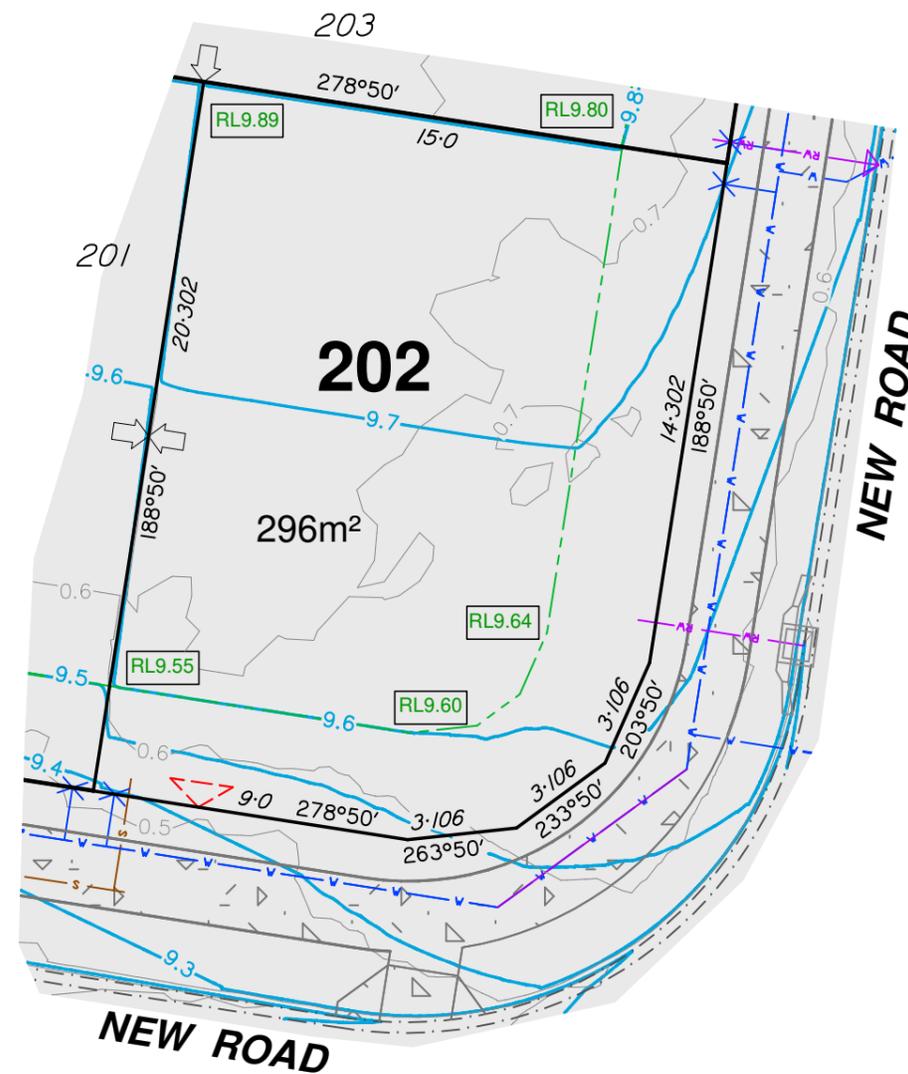
DISCLOSURE PLAN

For Proposed Lot 202
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



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village
GREEN



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-202 VERSION A

DISCLOSURE PLAN

For Proposed Lot 203
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



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HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
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DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-203 VERSION A

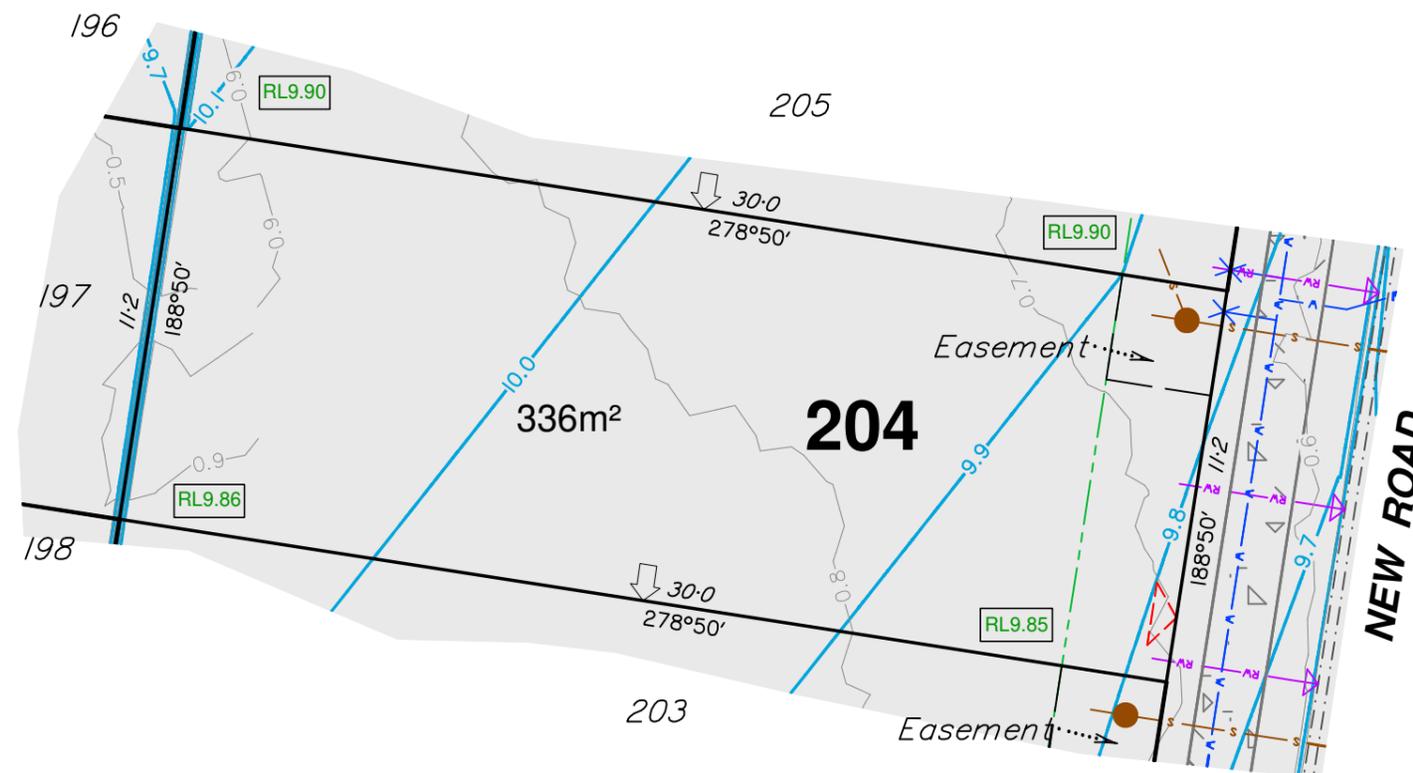
DISCLOSURE PLAN

For Proposed Lot 204
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	s s	Sewer/Sewer Manhole
	sv sv	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	rv rv	Roofwater/Roofwater Pit
		Kerb Adapter
	v v	Water/Water Meter
		Area to be Filled
	RL9.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
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village
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HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-204 VERSION A

DISCLOSURE PLAN

For Proposed Lot 205
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



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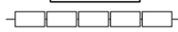
HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021
DRAWING NO. SS3787-6A-01-205
VERSION A

DISCLOSURE PLAN

For Proposed Lot 206
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - — — — — Easement Boundary
 - — — — — Kerb Line
 - — — — — Edge of Pad
 - s — s Sewer/Sewer Manhole
 - sv — sv Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v Water/Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
(Installed by Developer)

- Notes:**
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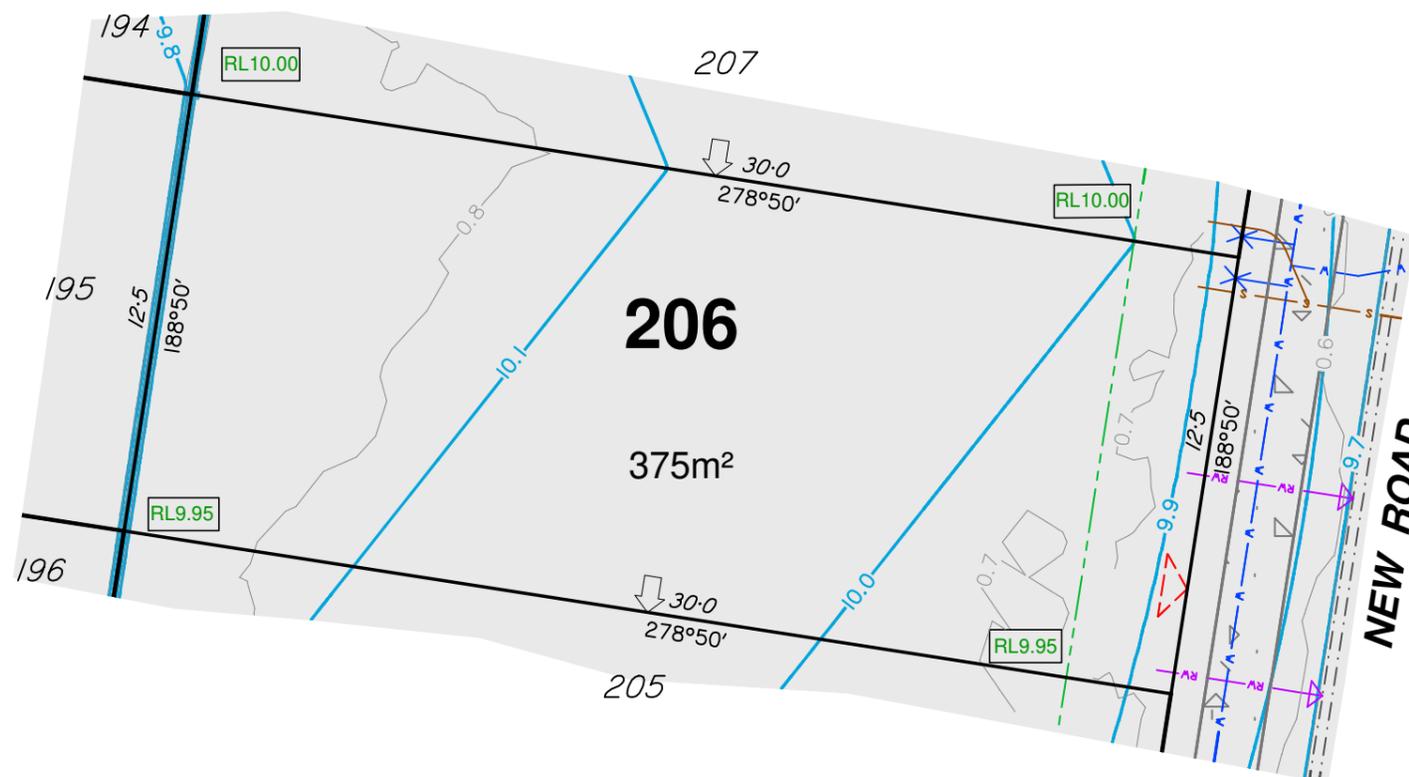
village
GREEN

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 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
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DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-206 VERSION A



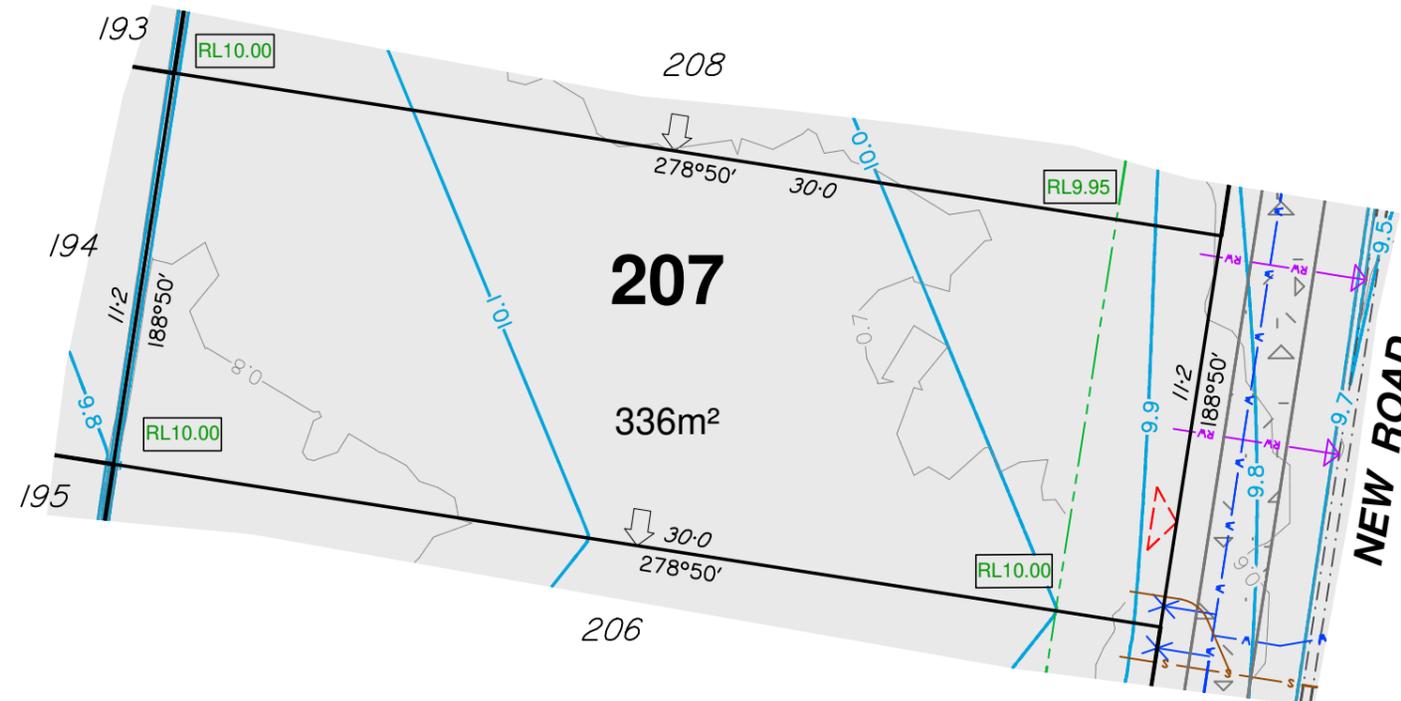
DISCLOSURE PLAN

For Proposed Lot 207
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
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village
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-207 VERSION A

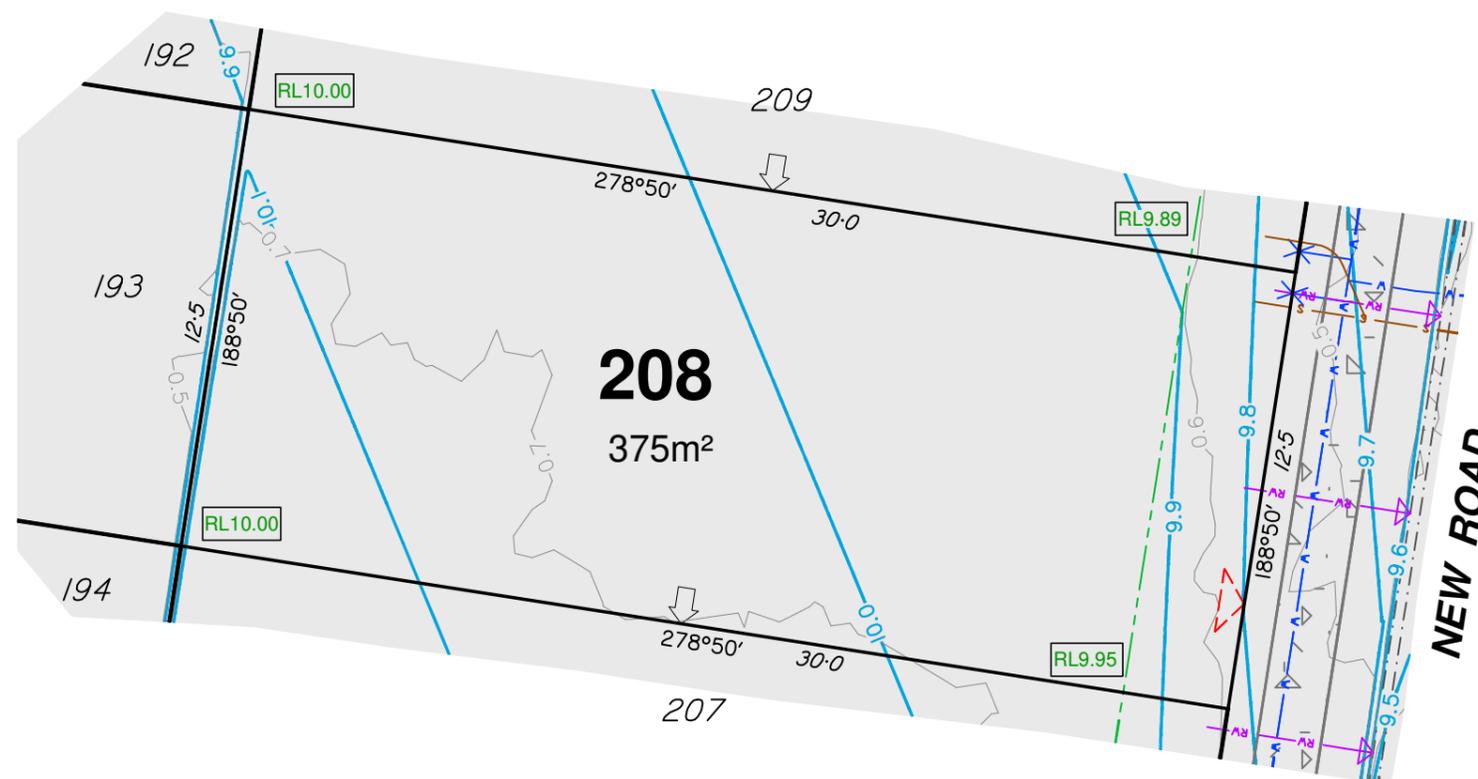
DISCLOSURE PLAN

For Proposed Lot 208
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



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village
GREEN

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-208 VERSION A

DISCLOSURE PLAN

For Proposed Lot 209
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	s s	Sewer/Sewer Manhole
	sv sv	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	rv rv	Roofwater/Roofwater Pit
		Kerb Adapter
	v v	Water/Water Meter
		Area to be Filled
	RL9.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)

- Notes:**
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village
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HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-209 VERSION A



DISCLOSURE PLAN

For Proposed Lot 210
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	s s	Sewer/Sewer Manhole
	sv sv	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	rv rv	Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



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village
GREEN

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-210 VERSION A

DISCLOSURE PLAN

For Proposed Lot 211
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)

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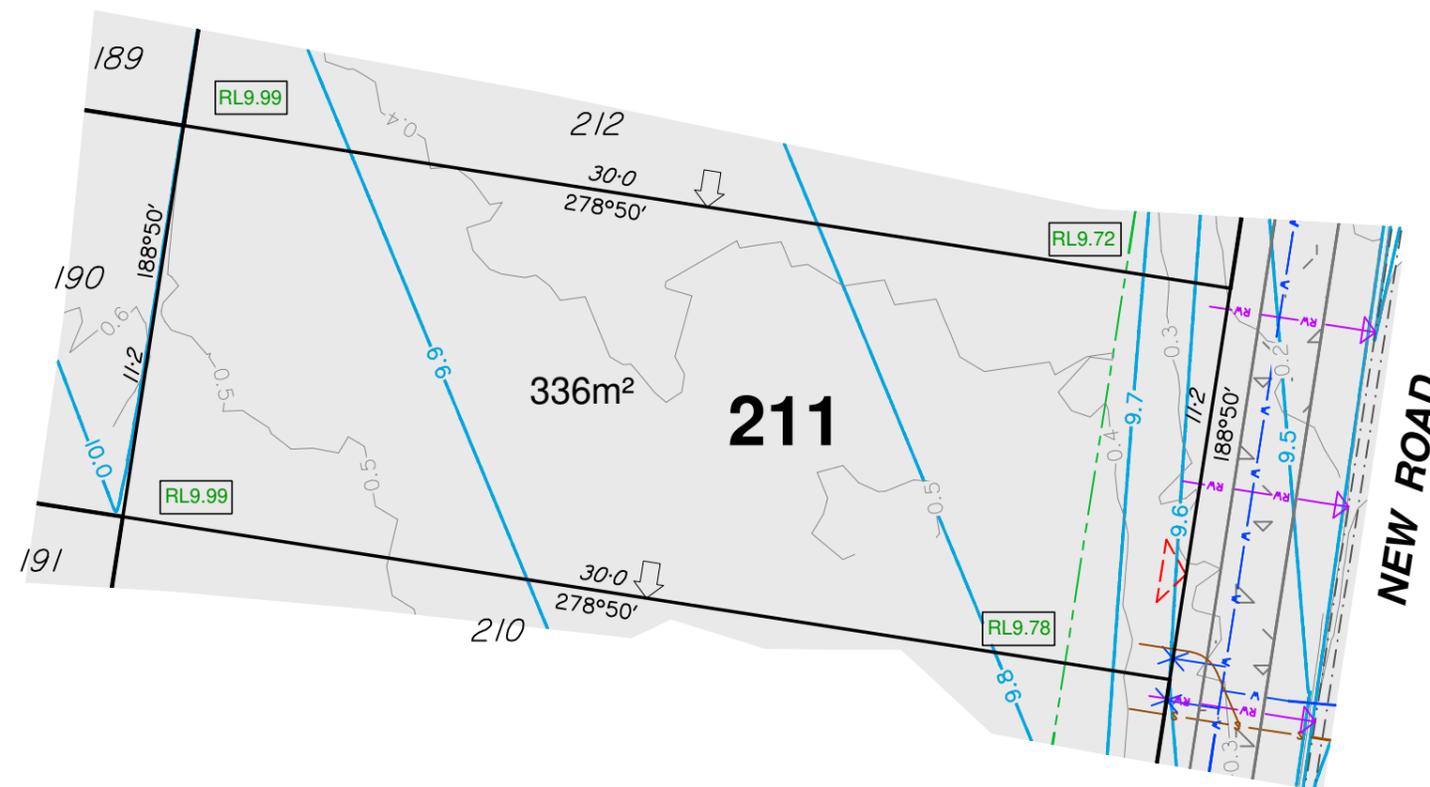
village
GREEN



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-211 VERSION A



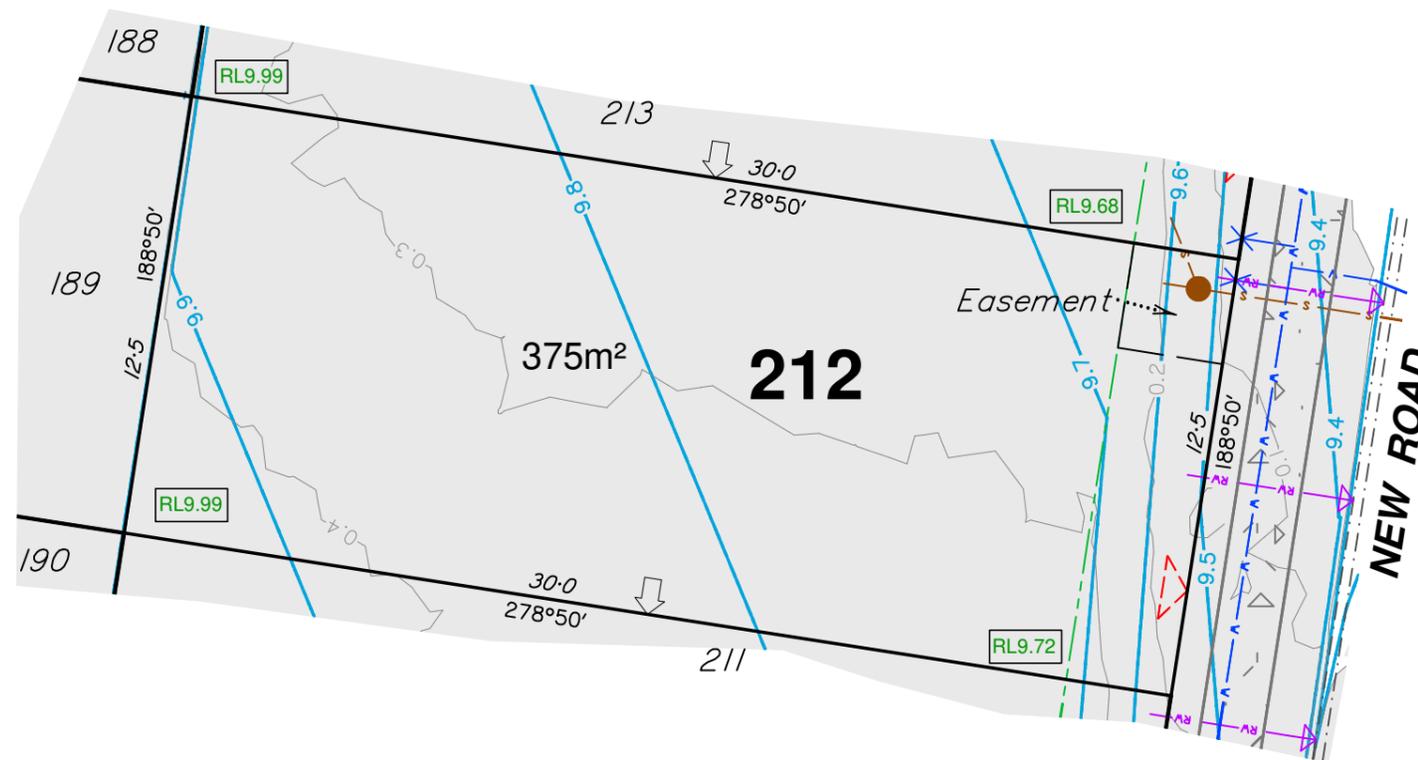
DISCLOSURE PLAN

For Proposed Lot 212
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



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village
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021
DRAWING NO. SS3787-6A-01-212
VERSION A

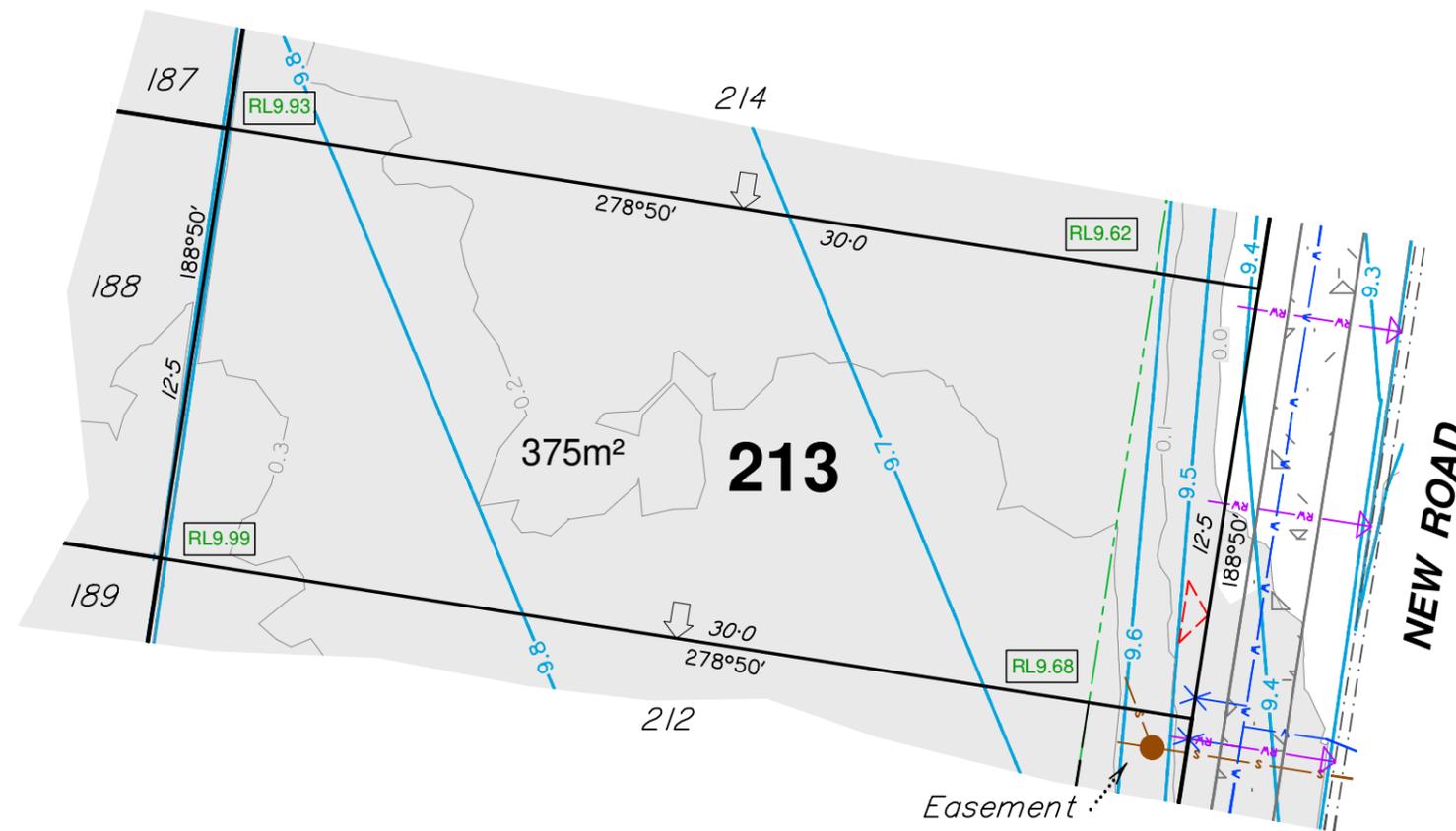
DISCLOSURE PLAN

For Proposed Lot 213
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



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village
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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-213 VERSION A

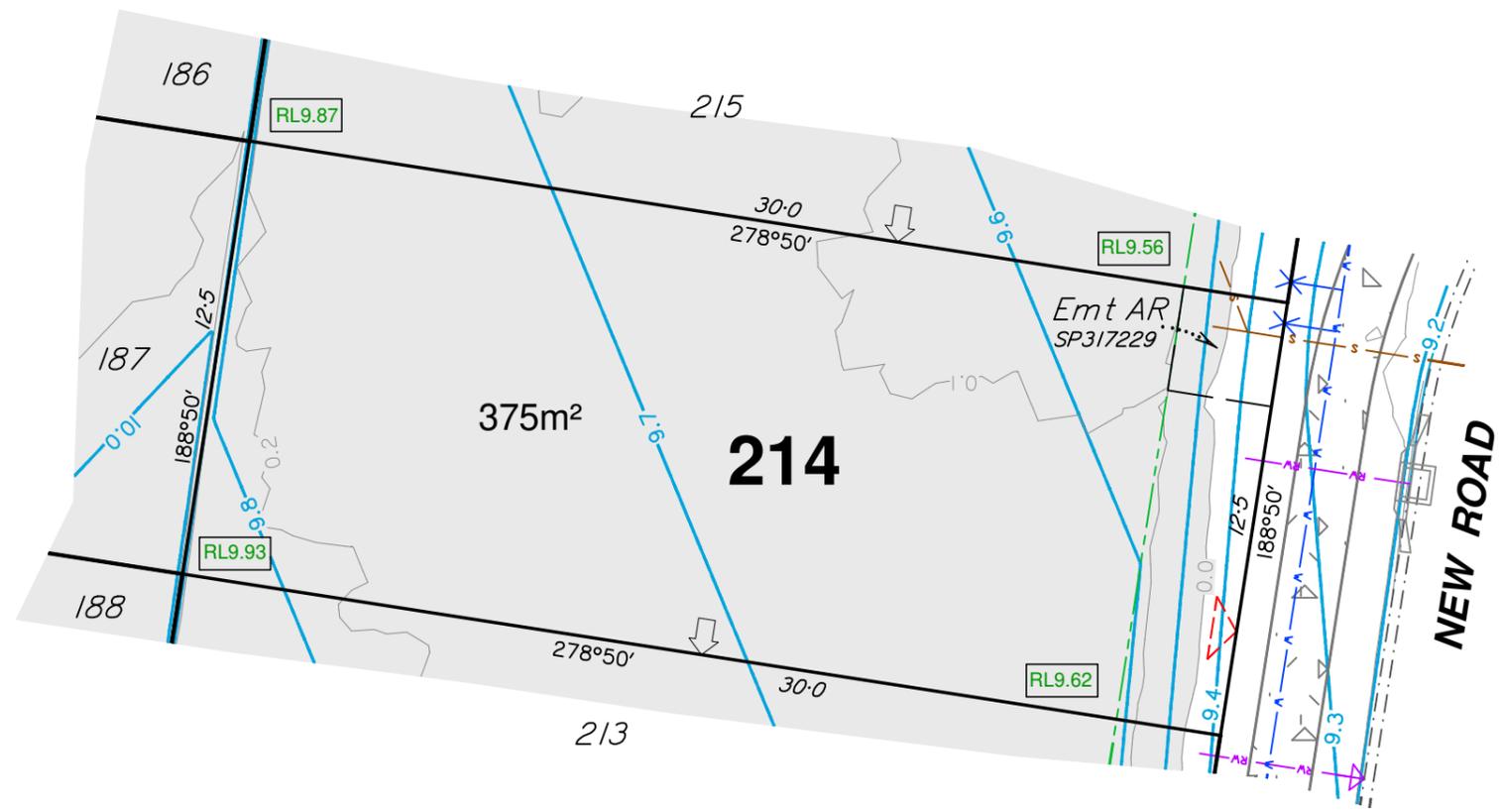
DISCLOSURE PLAN

For Proposed Lot 214
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL9.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-214 VERSION A

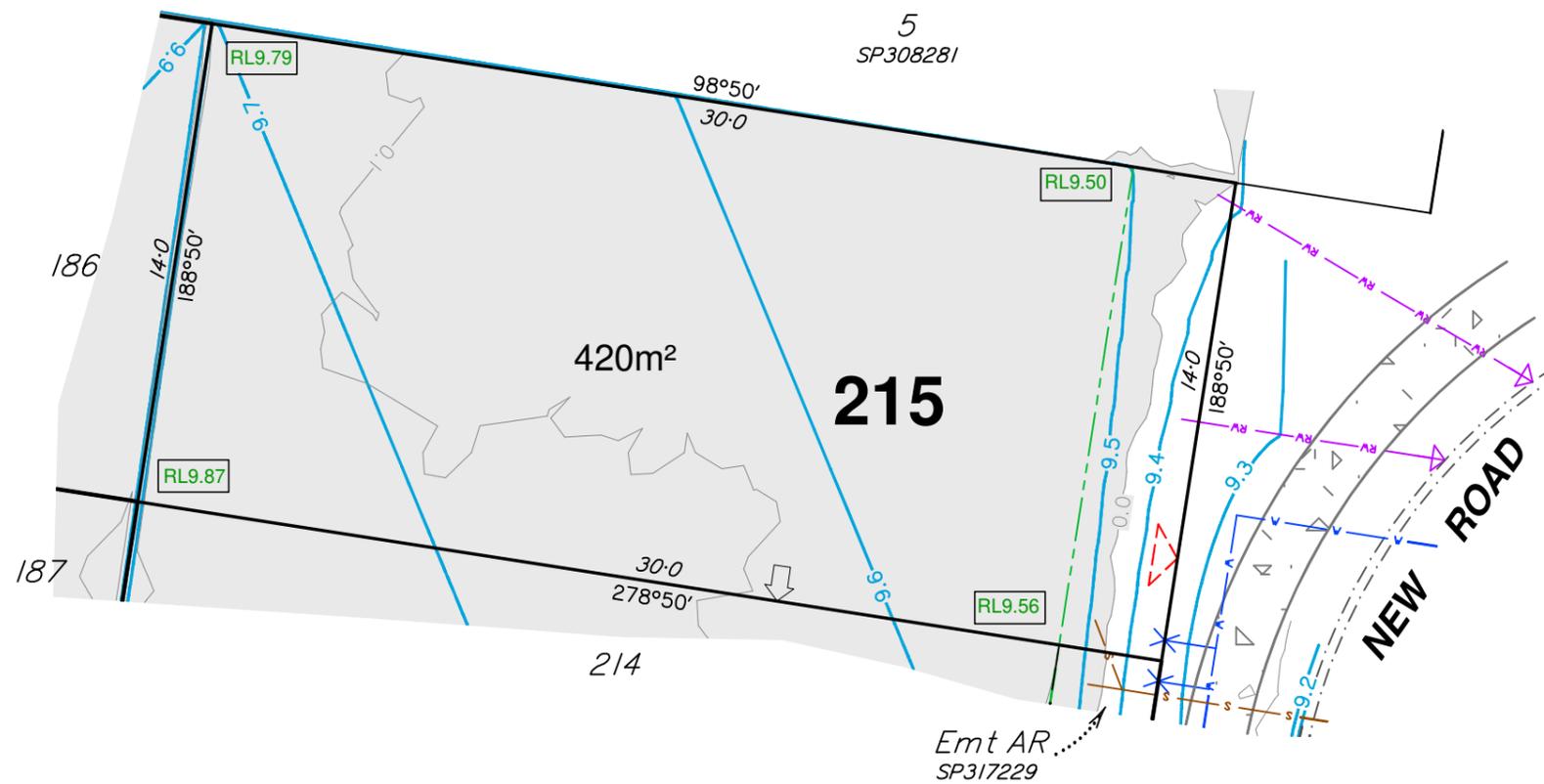
DISCLOSURE PLAN

For Proposed Lot 215
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



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village
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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LEVEL DATUM
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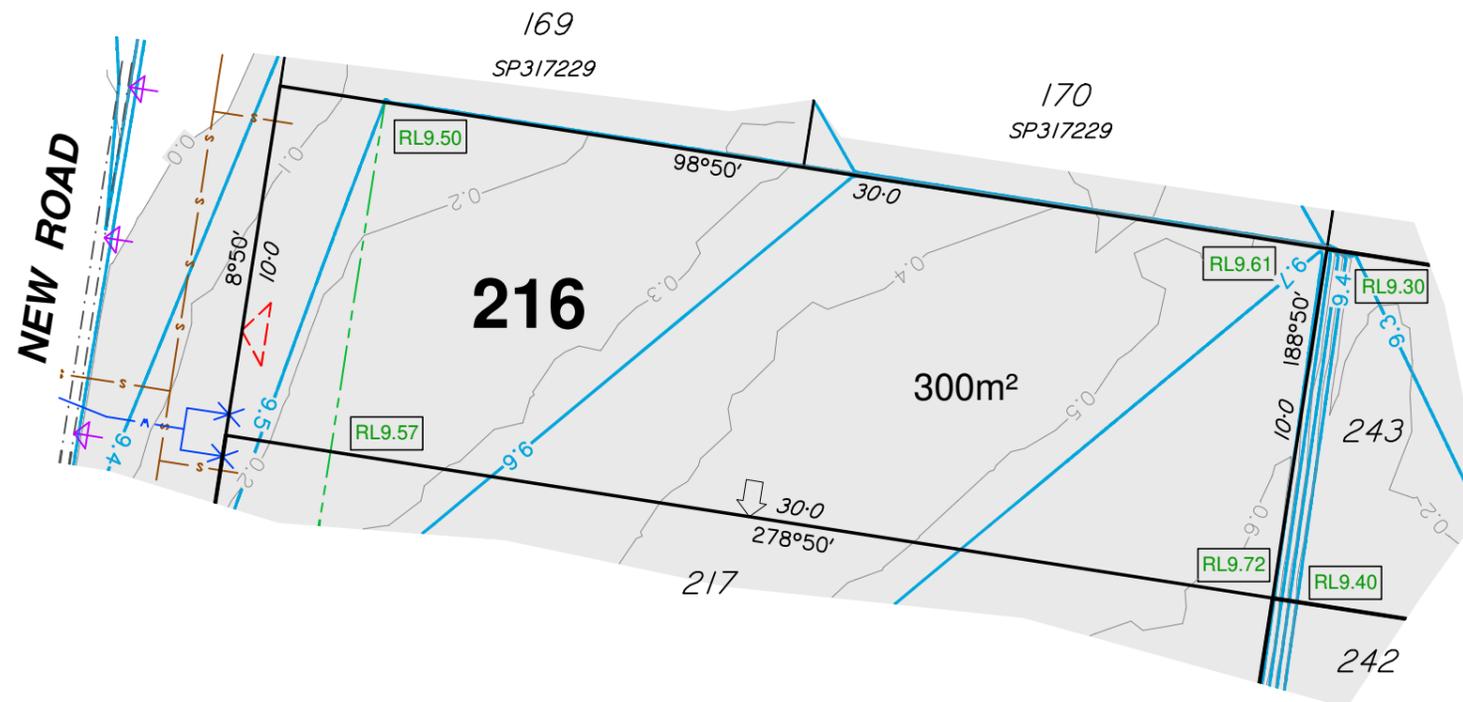
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-215 VERSION A

DISCLOSURE PLAN

For Proposed Lot 216
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s Sewer/Sewer Manhole
 - sv — sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v Water/Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)



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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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LEVEL DATUM
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DATE DRAWN 22-03-2021
DRAWING NO. SS3787-6A-01-216
VERSION A

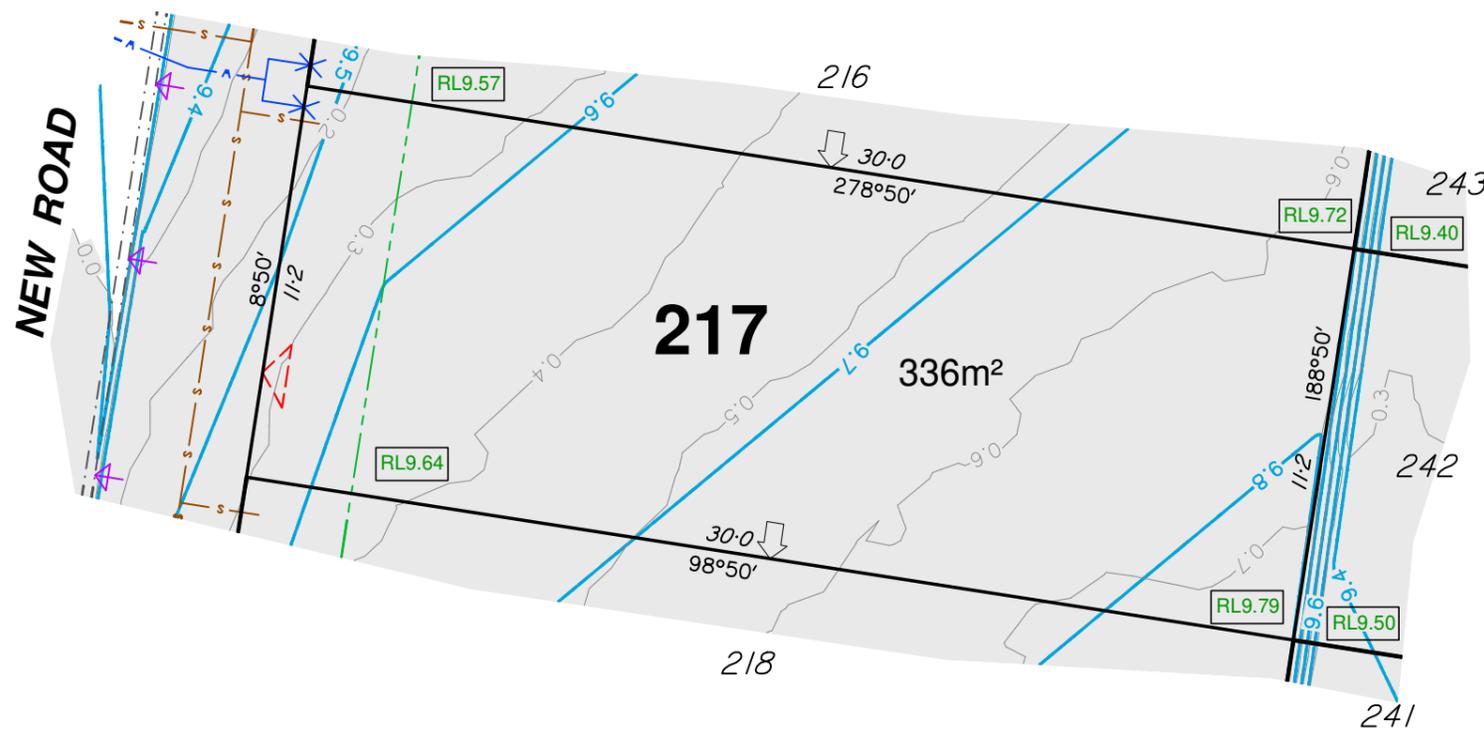
DISCLOSURE PLAN

For Proposed Lot 217
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
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village
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HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021
DRAWING NO. SS3787-6A-01-217
VERSION A

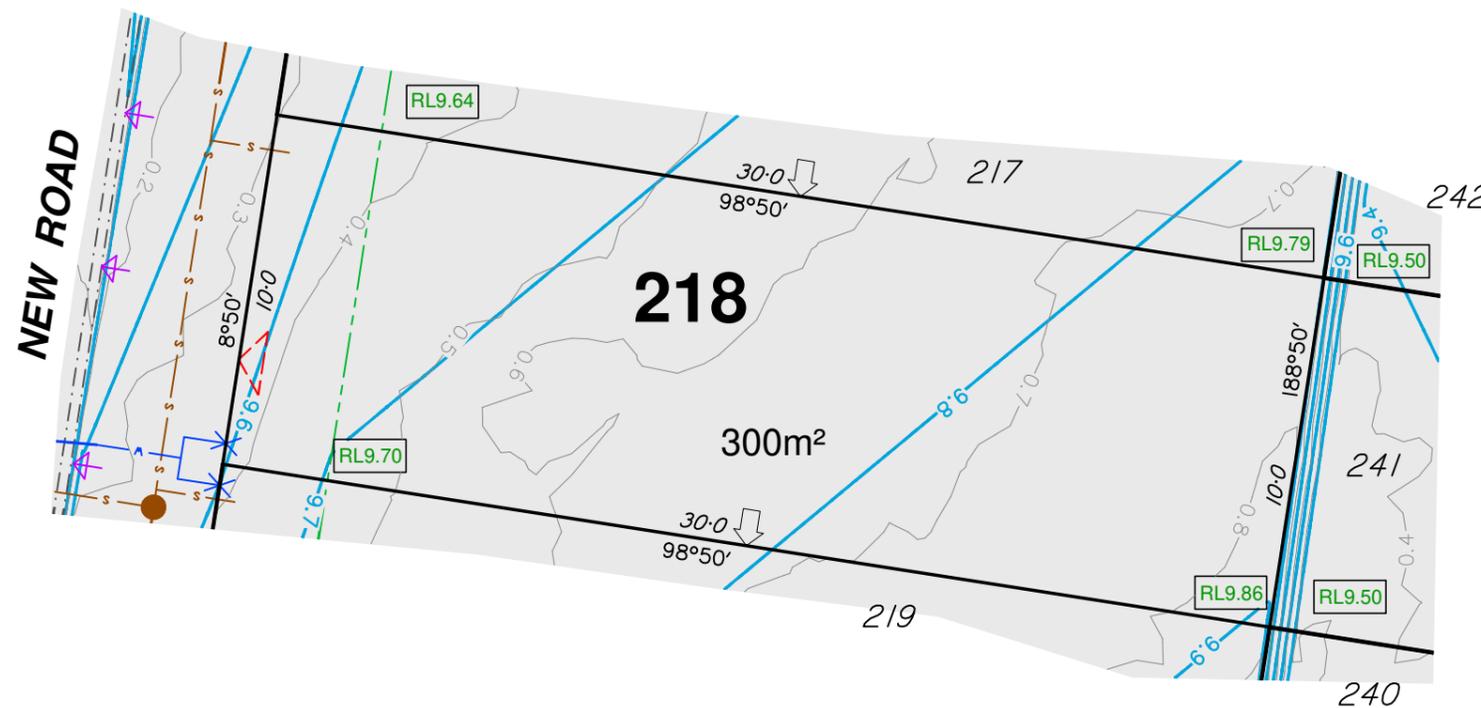
DISCLOSURE PLAN

For Proposed Lot 218
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
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village
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021
DRAWING NO. SS3787-6A-01-218
VERSION A

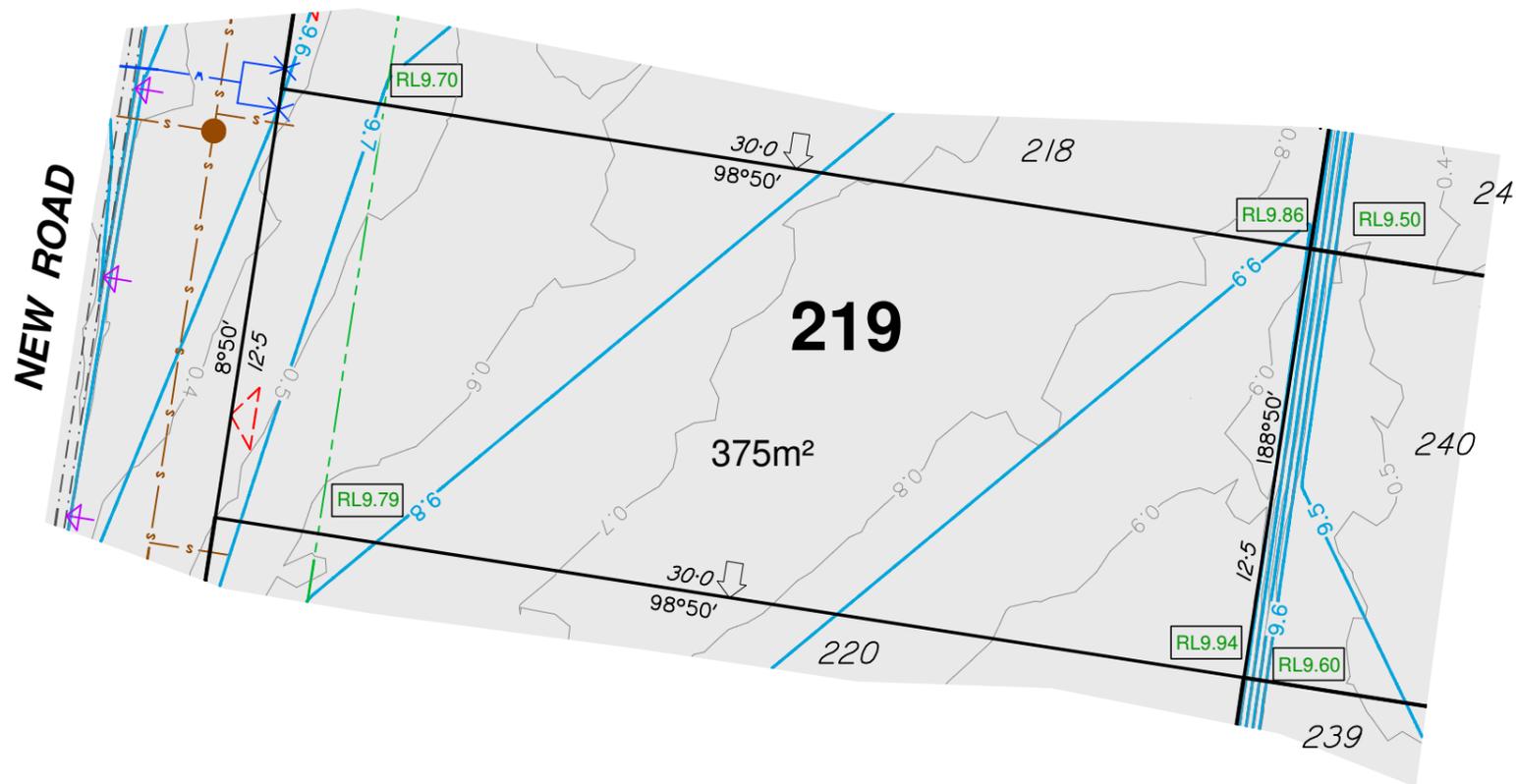
DISCLOSURE PLAN

For Proposed Lot 219
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-219 VERSION A

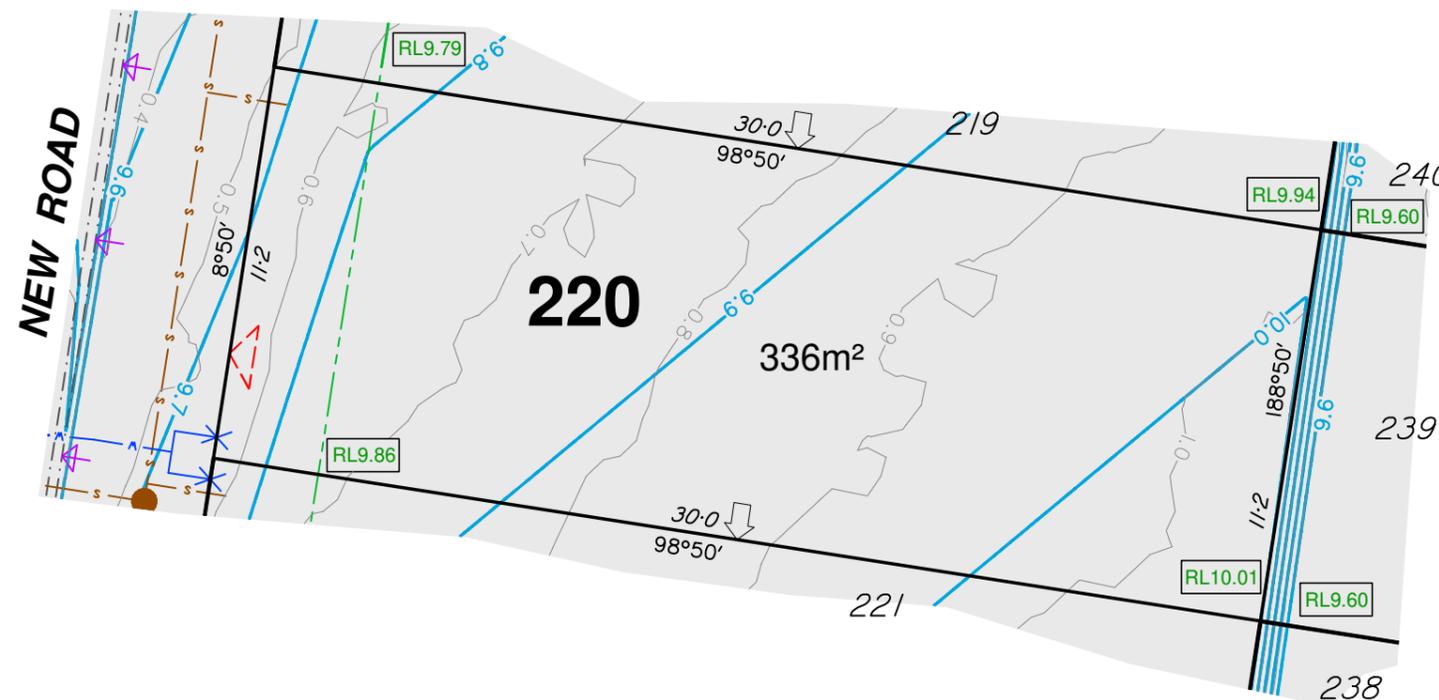
DISCLOSURE PLAN

For Proposed Lot 220
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
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village
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021
DRAWING NO. SS3787-6A-01-220
VERSION A

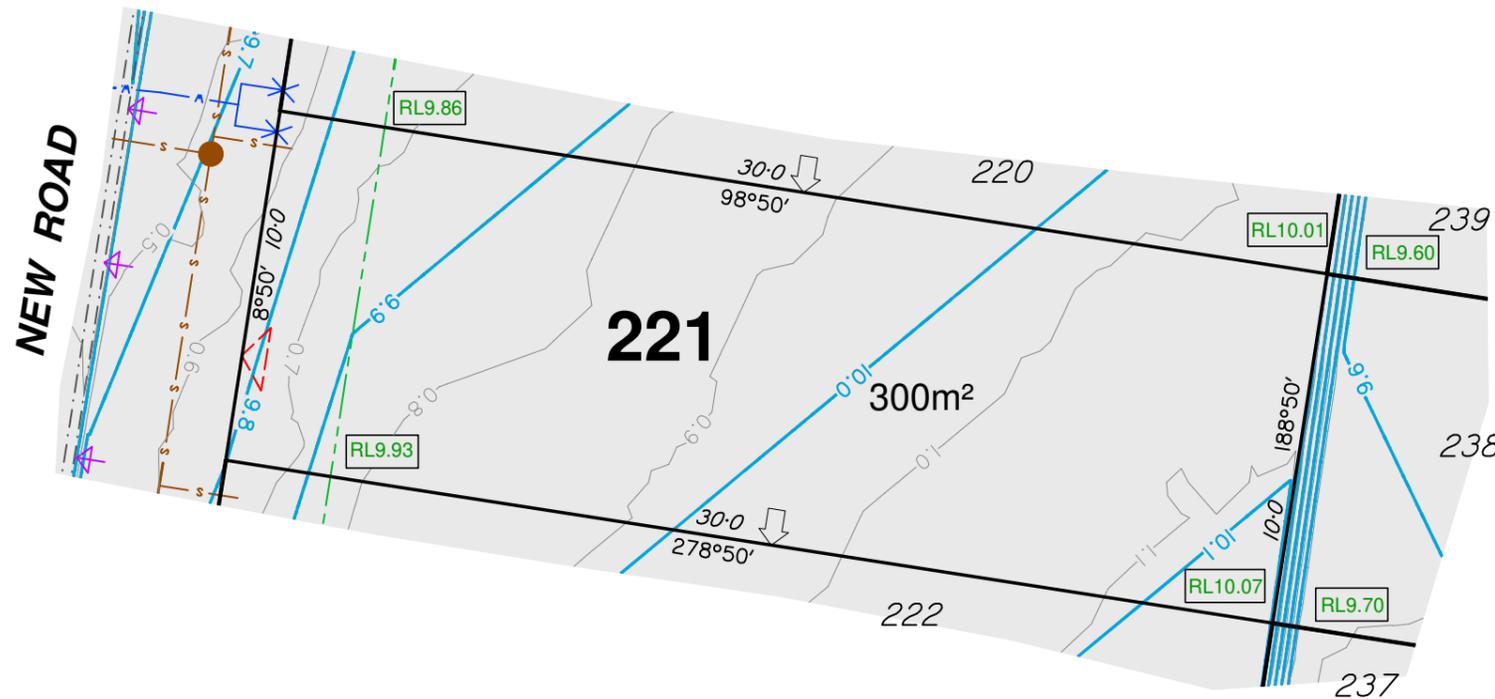
DISCLOSURE PLAN

For Proposed Lot 221
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



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village
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Planning Urban Design Landscape Environment Surveying

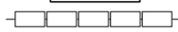
HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021
DRAWING NO. SS3787-6A-01-221
VERSION A

DISCLOSURE PLAN

For Proposed Lot 222
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - — — — — Easement Boundary
 - — — — — Kerb Line
 - — — — — Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — Water/Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
(Installed by Developer)

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village

GREEN



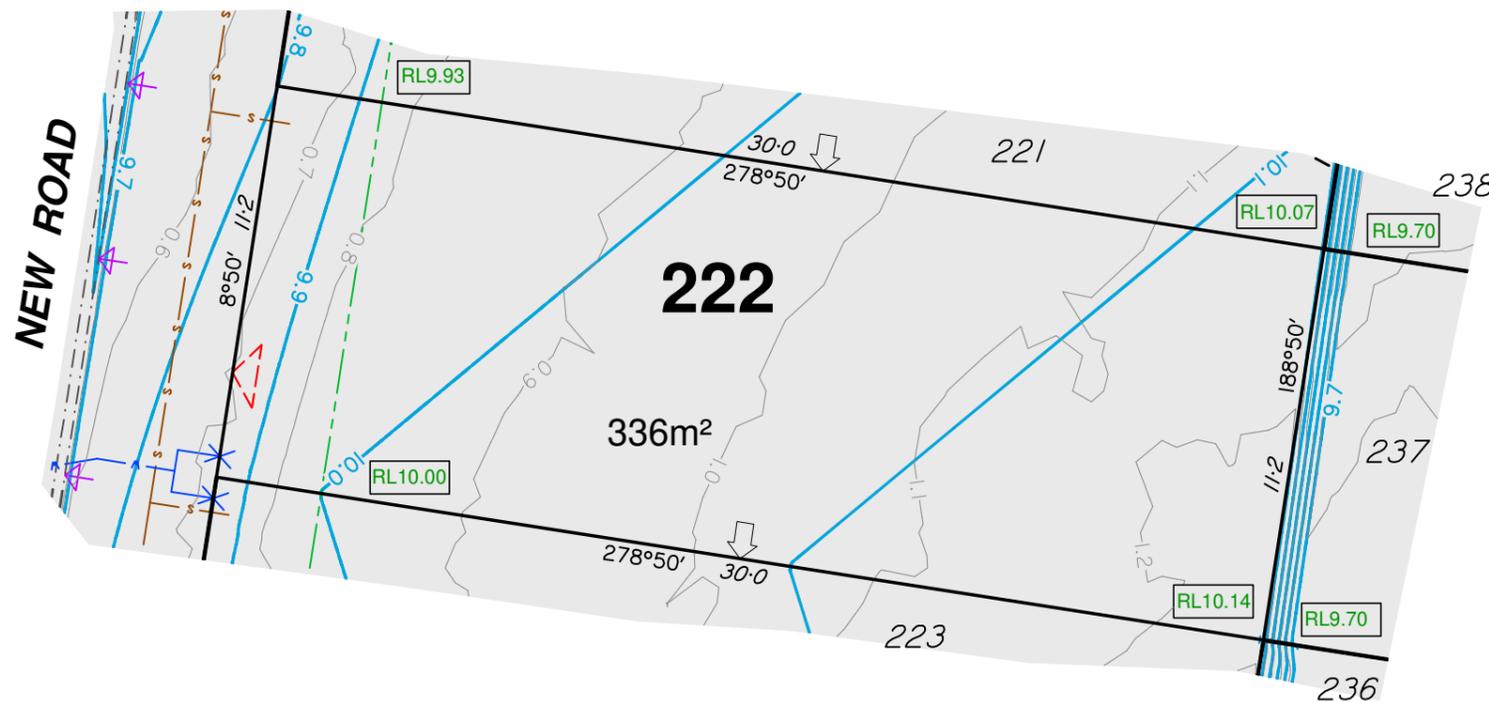
 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

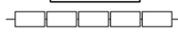
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-222 VERSION A

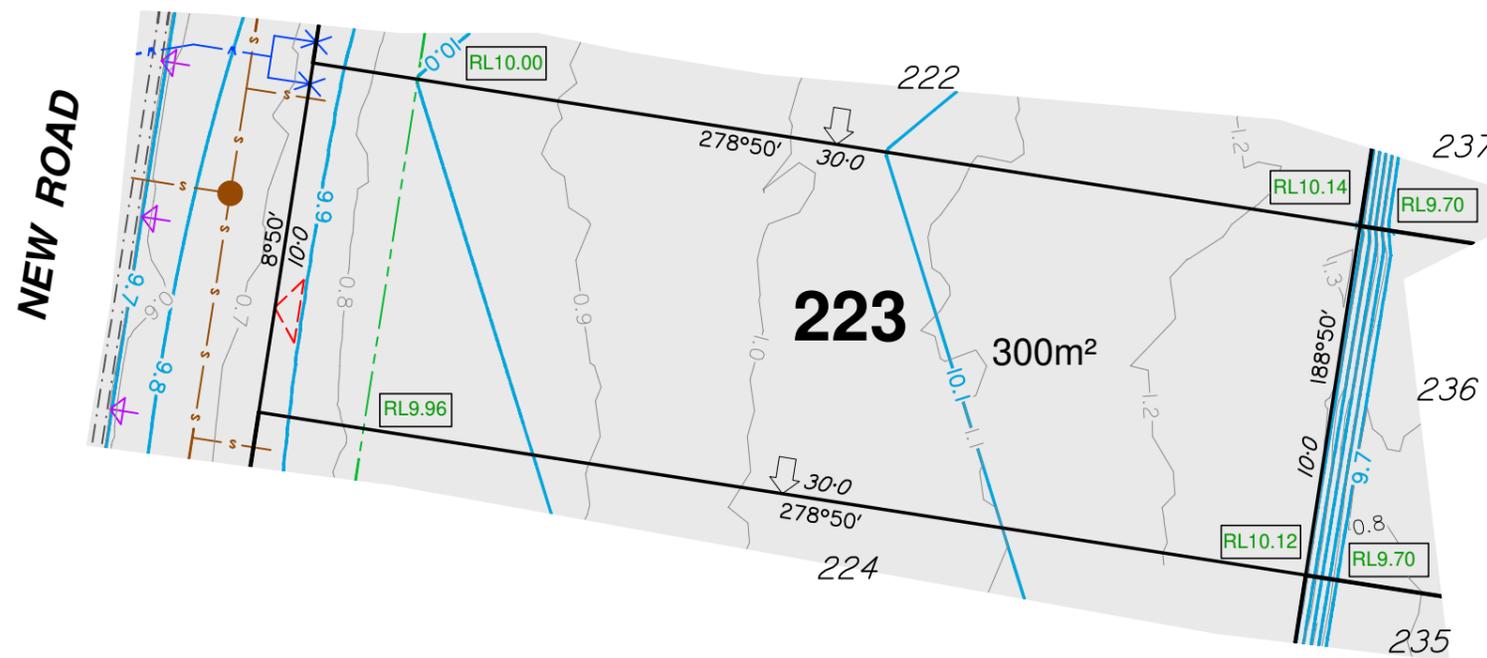


DISCLOSURE PLAN

For Proposed Lot 223
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - — — — — Easement Boundary
 - — — — — Kerb Line
 - — — — — Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Water/Water Meter
 -  Area to be Filled
 - RL57.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
(Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 15-02-2021.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village
GREEN

WOLTER
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-223 VERSION A

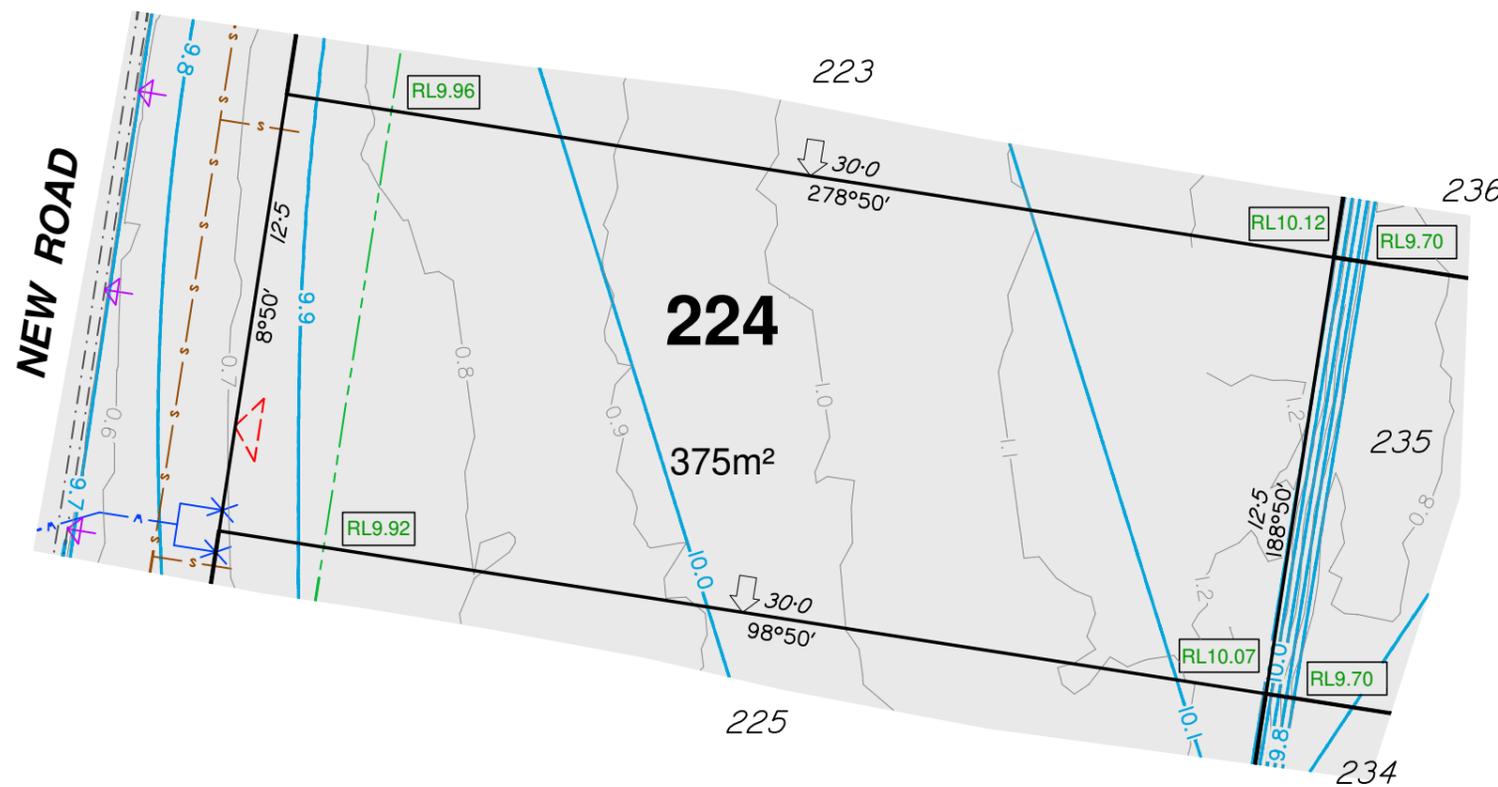
DISCLOSURE PLAN

For Proposed Lot 224
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
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village
GREEN

WOLTER
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-224 VERSION A

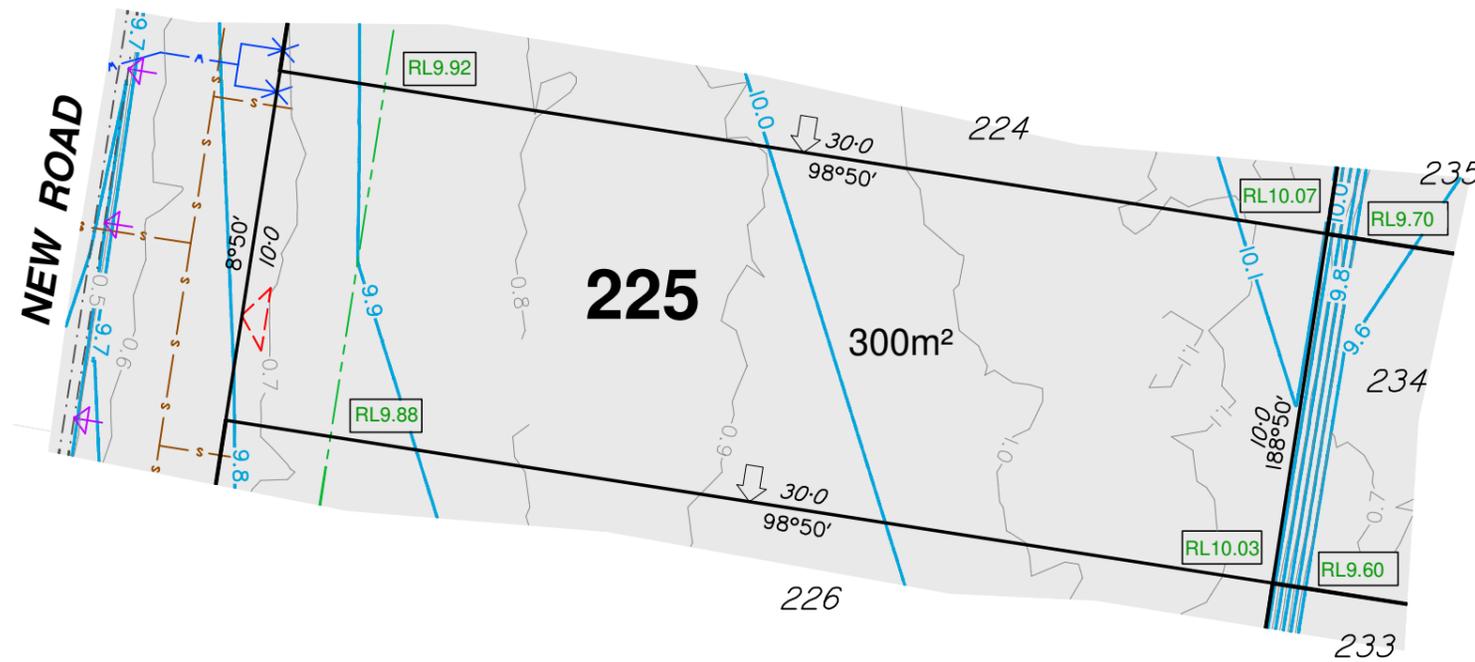
DISCLOSURE PLAN

For Proposed Lot 225
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	s s	Sewer/Sewer Manhole
	sv sv	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	rv rv	Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL9.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
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village
GREEN



Planning Urban Design Landscape Environment Surveying

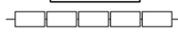
HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

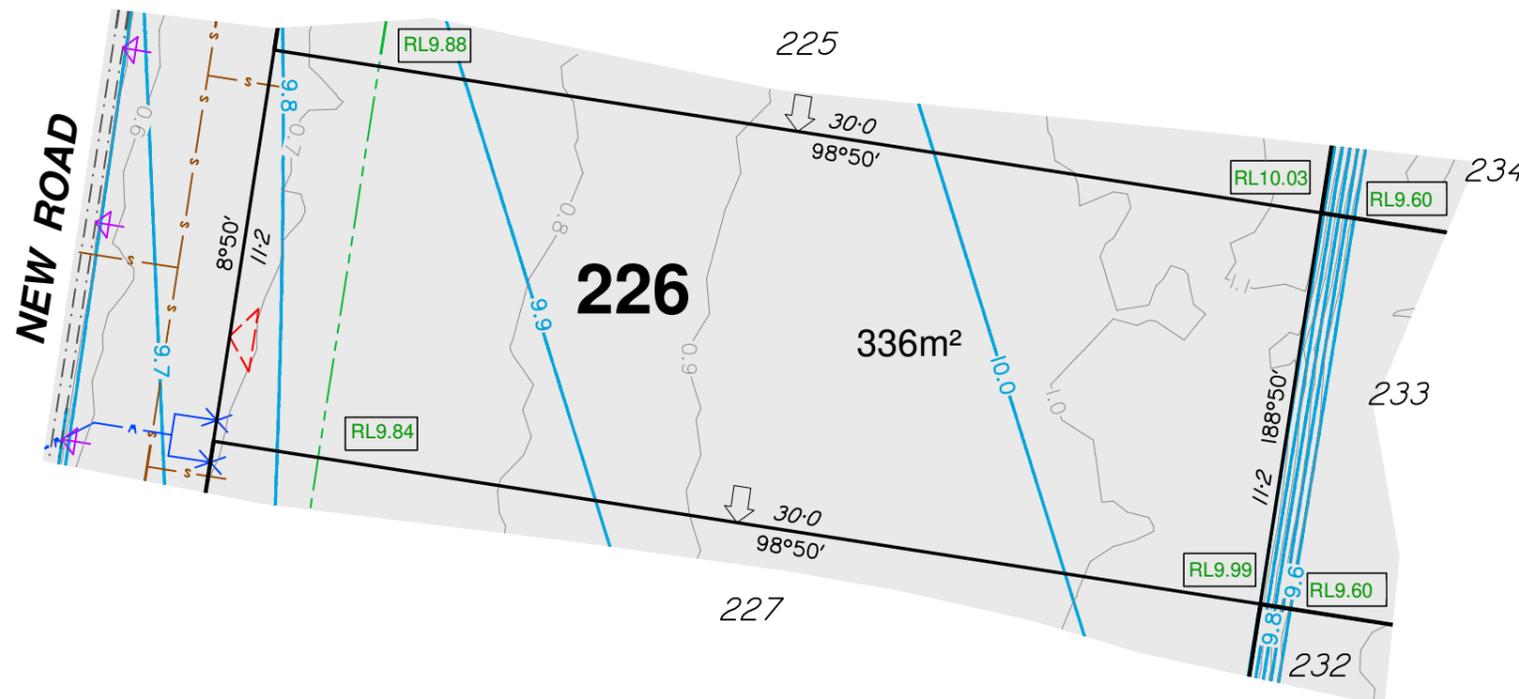
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-225 VERSION A

DISCLOSURE PLAN

For Proposed Lot 226
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - — — — — Easement Boundary
 - — — — — Kerb Line
 - — — — — Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Water/Water Meter
 -  Area to be Filled
 - RL9.84 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
(Installed by Developer)



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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

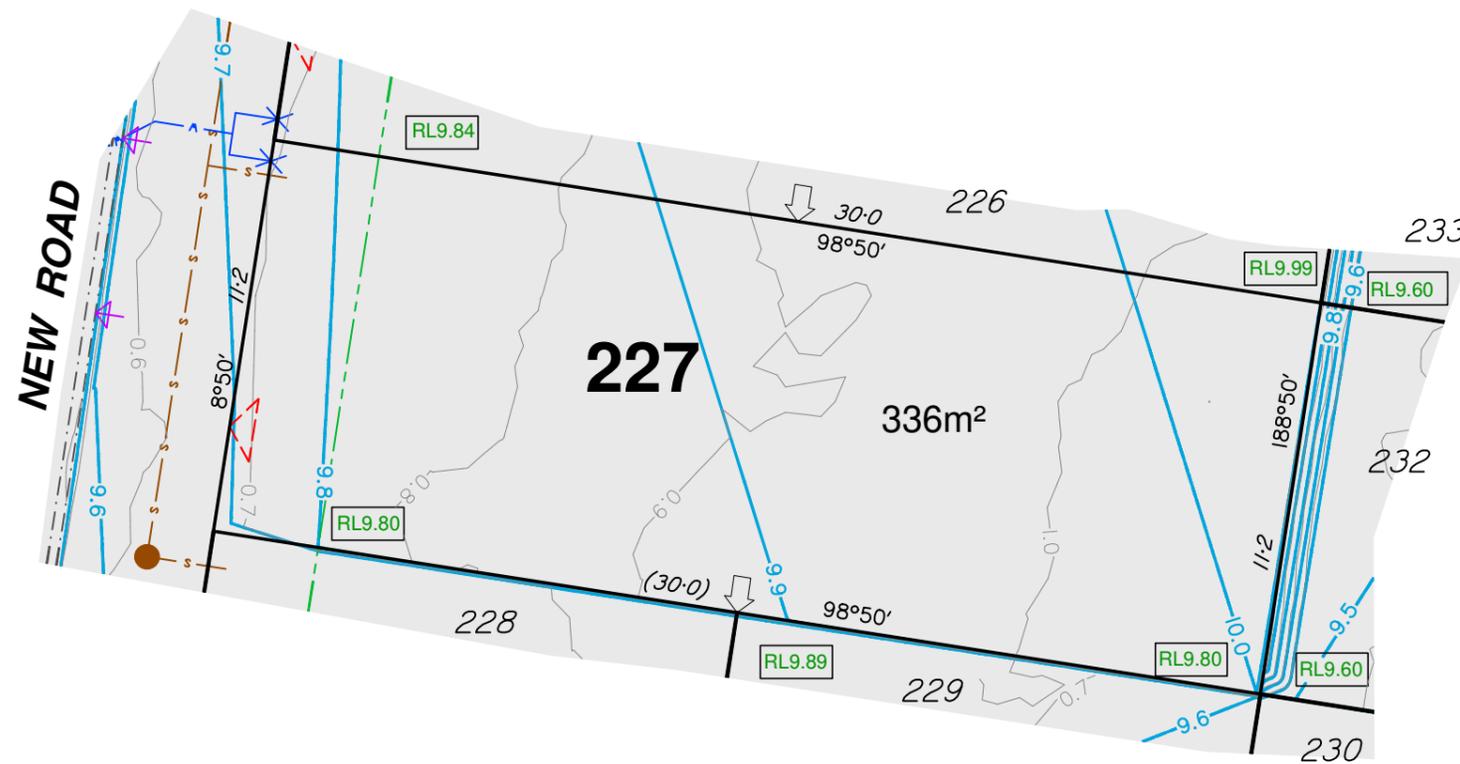
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-226 VERSION A

DISCLOSURE PLAN

For Proposed Lot 227
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - — — — — Easement Boundary
 - — — — — Kerb Line
 - — — — — Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v — Water/Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)



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village

GREEN



📐 Planning
🏡 Urban Design
🌿 Landscape
🌍 Environment
📏 Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

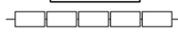
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DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-227 VERSION A

DISCLOSURE PLAN

For Proposed Lot 228
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - — — — — Easement Boundary
 - — — — — Kerb Line
 - — — — — Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — Water/Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
(Installed by Developer)

- Notes:**
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village

GREEN



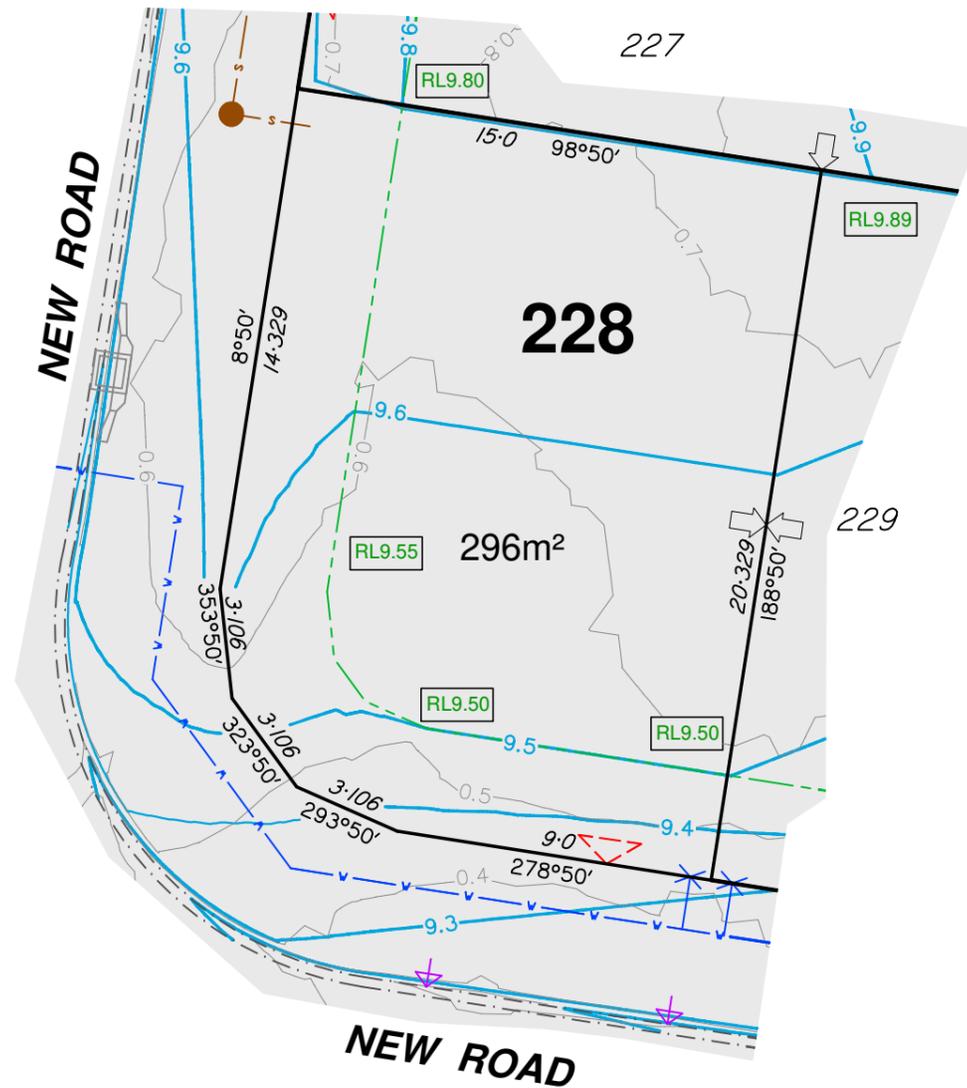
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.


 Scale 1:200 @A3

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-228 VERSION A



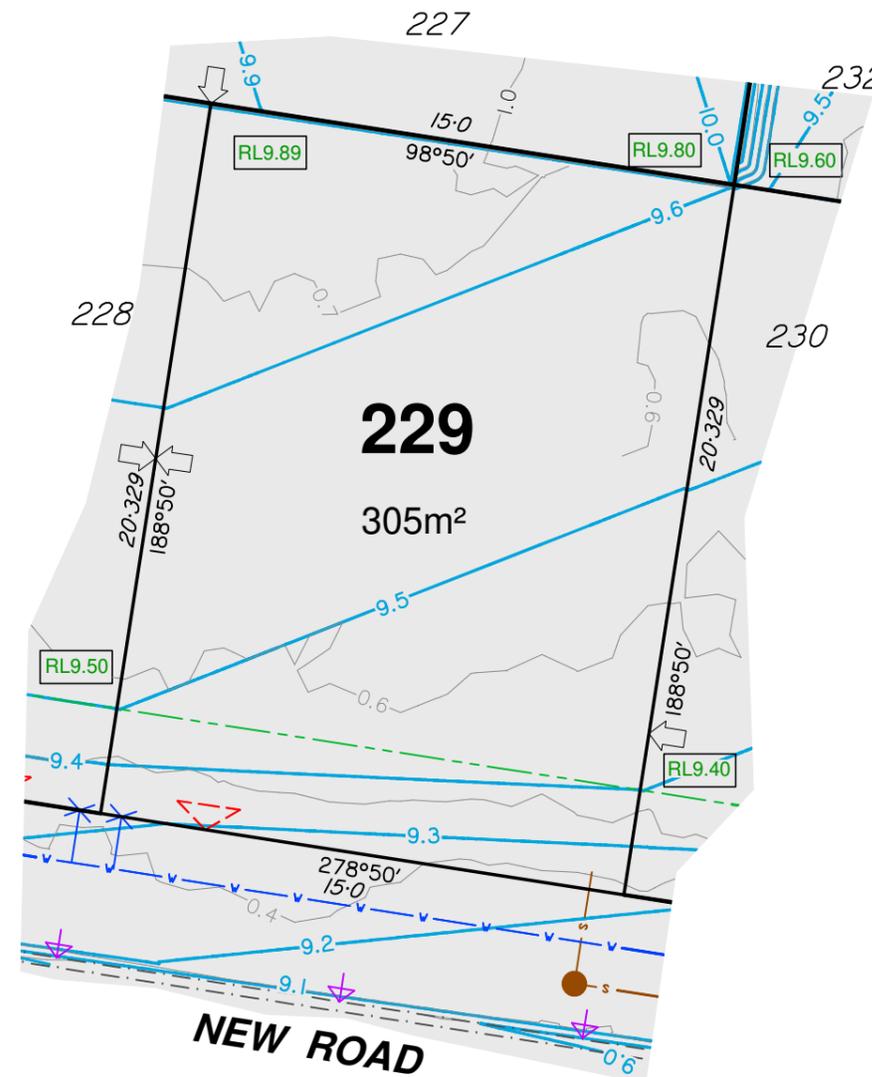
DISCLOSURE PLAN

For Proposed Lot 229
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
		Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
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village
GREEN



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

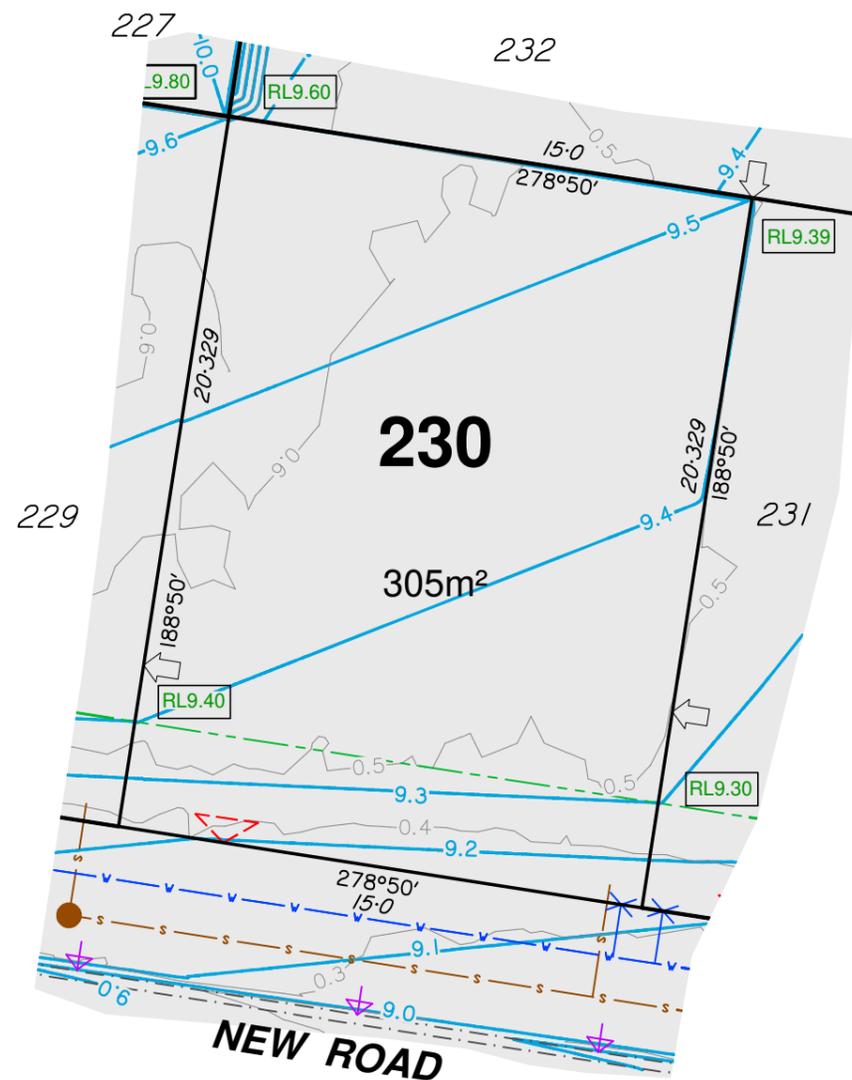
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-229 VERSION A

DISCLOSURE PLAN

For Proposed Lot 230
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — s Sewer/Sewer Manhole
 - sv — sv — sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — rv Roofwater/Roofwater Pit
 - Kerb Adapter
 - Water/Water Meter
 - RL57.32 Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
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village
GREEN



Planning Urban Design Landscape Environment Surveying

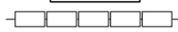
HORIZONTAL MERIDIAN MGA
LEVEL DATUM AHD.
Scale 1:200 @A3

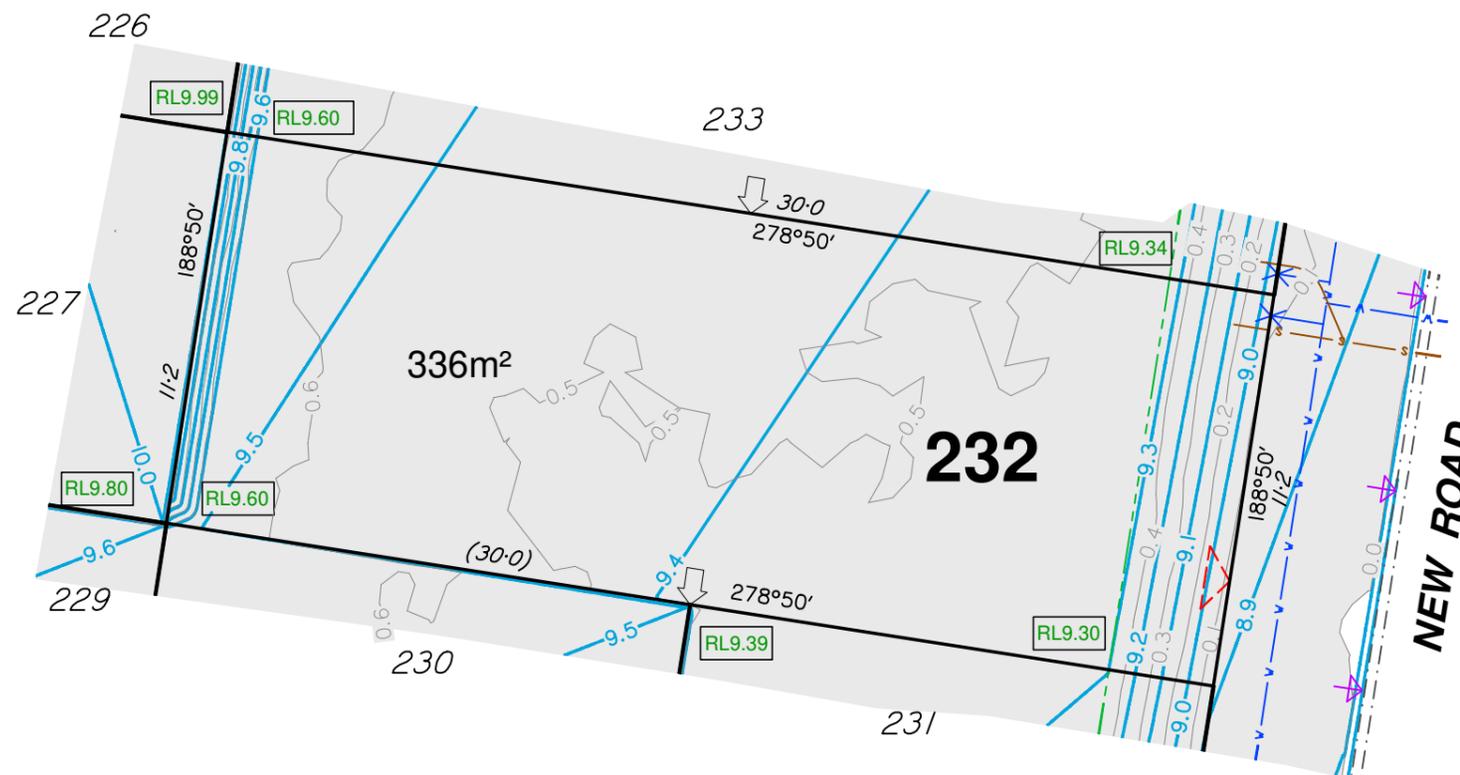
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-230 VERSION A

DISCLOSURE PLAN

For Proposed Lot 232
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - — — — — Easement Boundary
 - — — — — Kerb Line
 - — — — — Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — Water/Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
(Installed by Developer)



- Notes:**
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village
GREEN

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-232 VERSION A

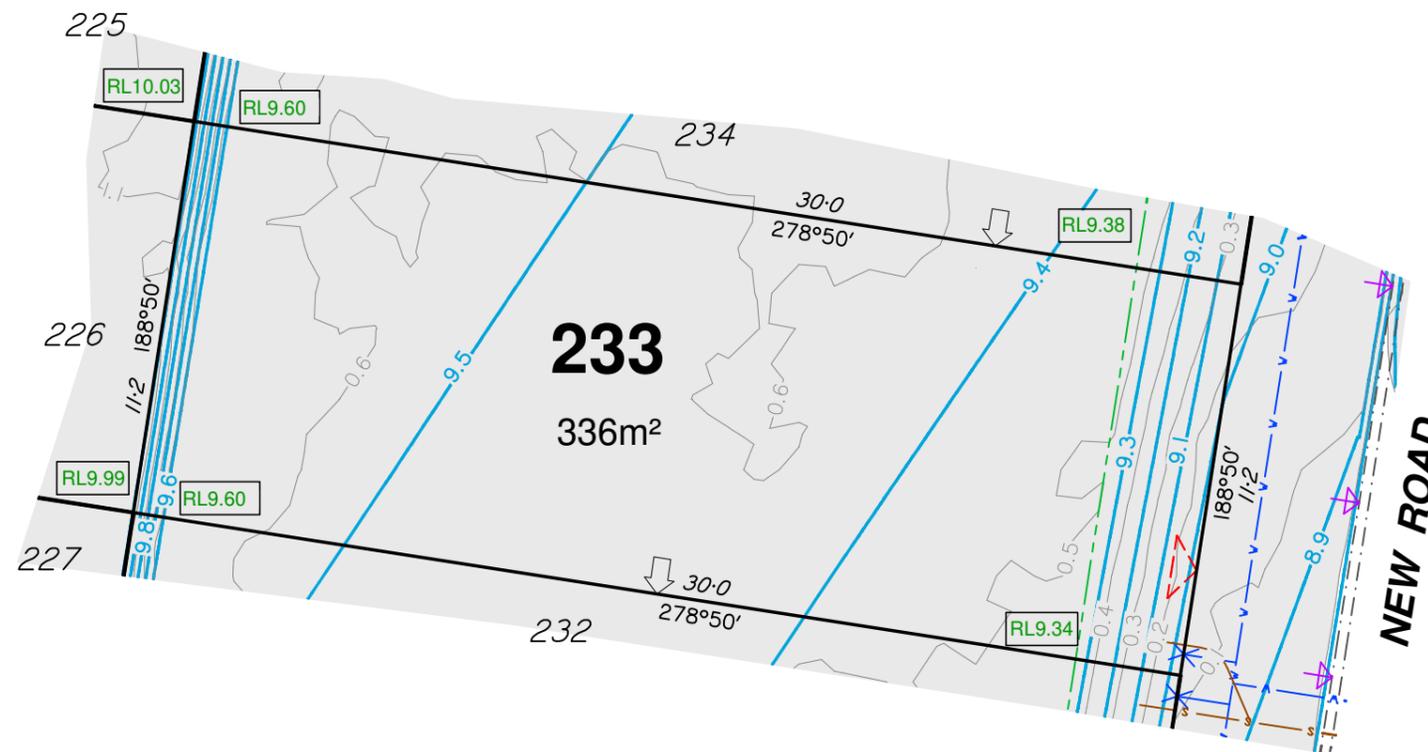
DISCLOSURE PLAN

For Proposed Lot 233
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
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village
GREEN



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-233 VERSION A

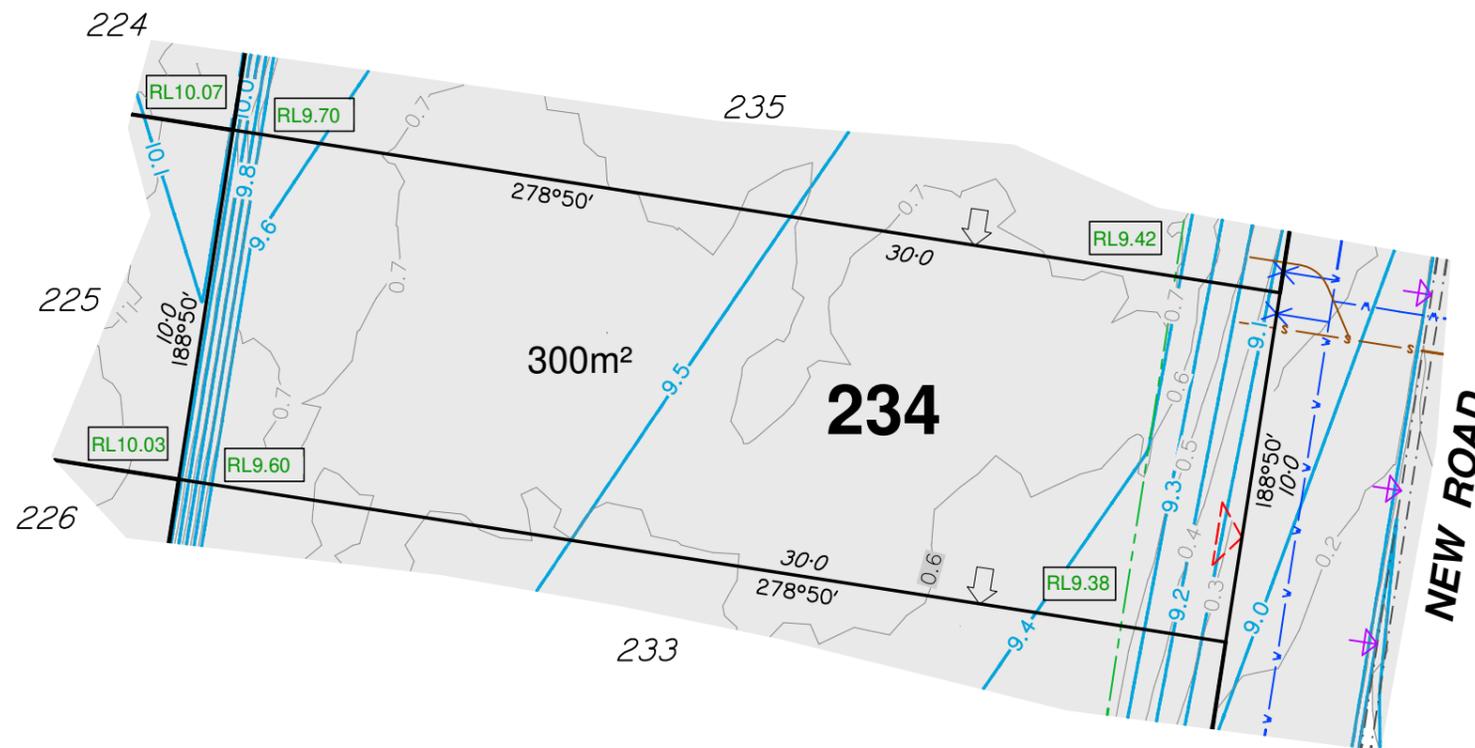
DISCLOSURE PLAN

For Proposed Lot 234
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	s s	Sewer/Sewer Manhole
	sv sv	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	rv rv	Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



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village
GREEN

WOLTER
consulting group

Planning Urban Design Landscape Environment Surveying

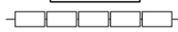
HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021
DRAWING NO. SS3787-6A-01-234
VERSION A

DISCLOSURE PLAN

For Proposed Lot 235
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - — — — — Easement Boundary
 - — — — — Kerb Line
 - — — — — Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Water/Water Meter
 -  Area to be Filled
 - RL57.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 15-02-2021.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village

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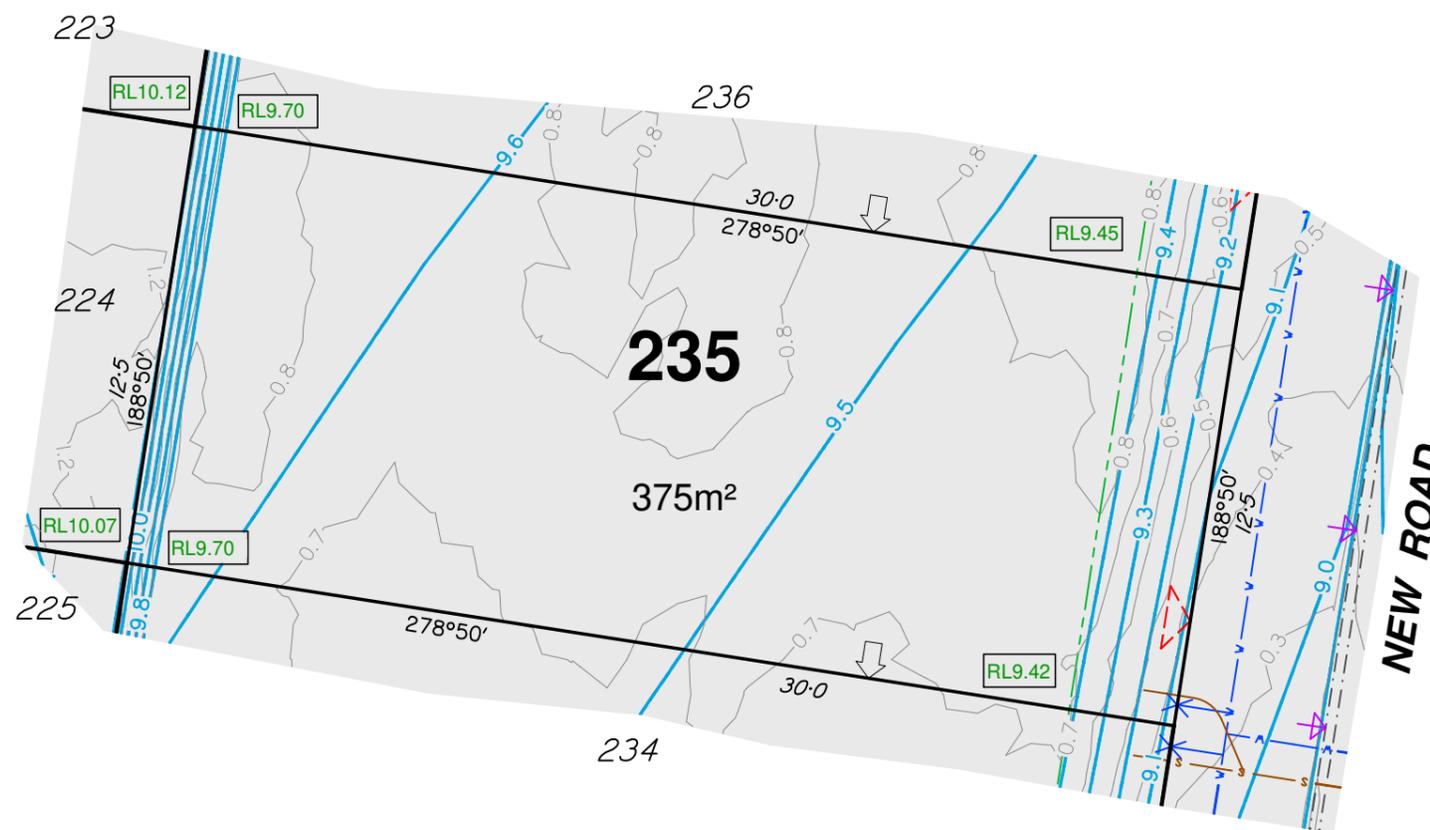
 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200  @A3

LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-235 VERSION A

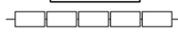


DISCLOSURE PLAN

For Proposed Lot 236
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- — — — — Kerb Line
- — — — — Edge of Pad
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- rv — rv — Roofwater/Roofwater Pit
-  Kerb Adapter
- v — v — Water/Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
-  Retaining Wall
- RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Acoustic Fence
(Installed by Developer)

Notes:

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village

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consulting group

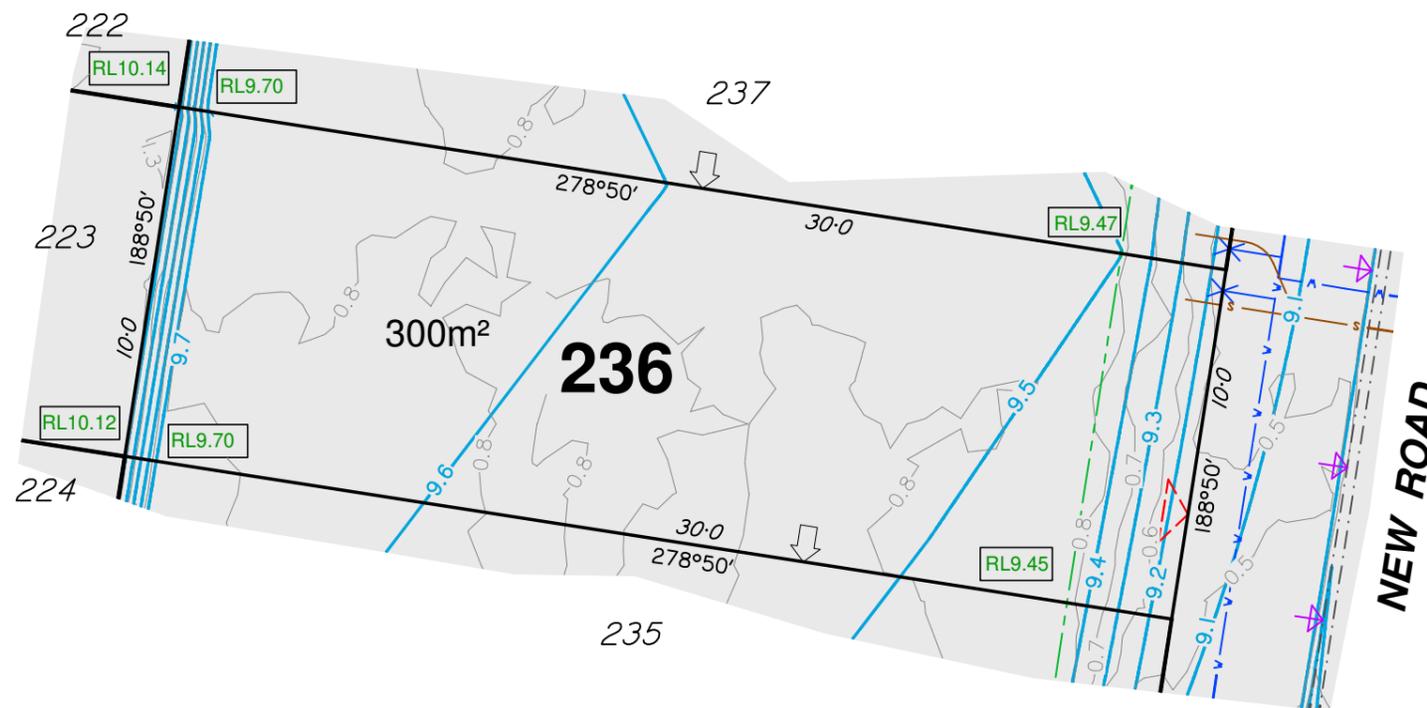
 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-236 VERSION A



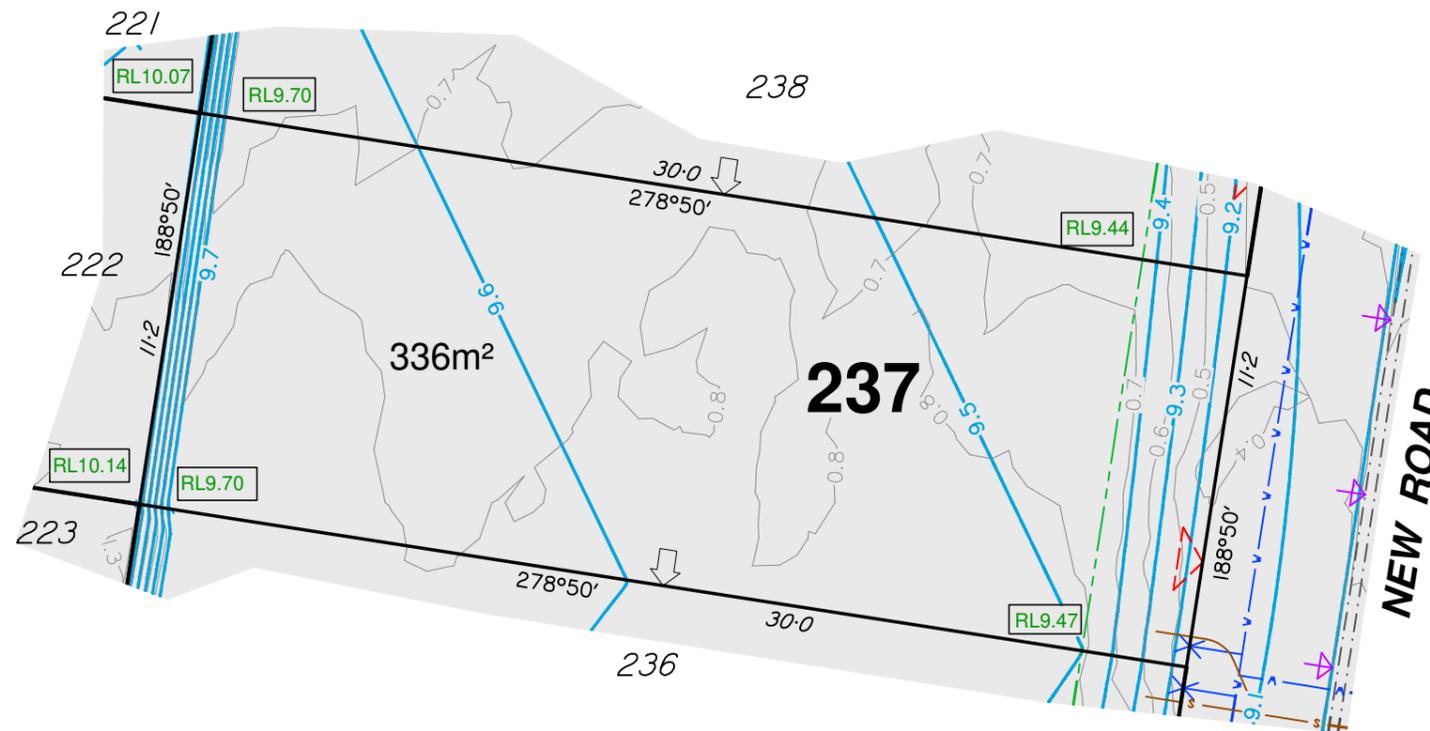
DISCLOSURE PLAN

For Proposed Lot 237
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	s s	Sewer/Sewer Manhole
	sv sv	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	rv rv	Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
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HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-237 VERSION A

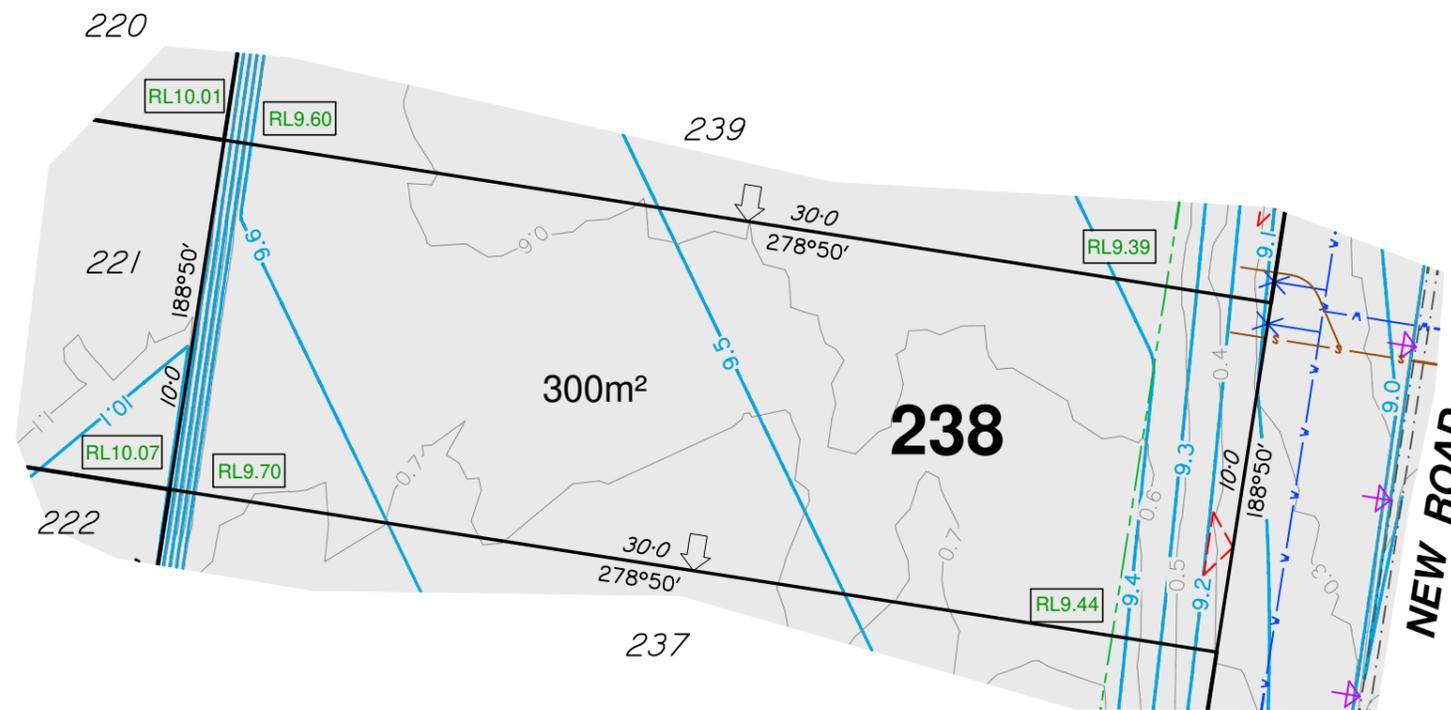
DISCLOSURE PLAN

For Proposed Lot 238
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	s	Sewer/Sewer Manhole
	sv	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	rv	Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



- Notes:**
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-238 VERSION A

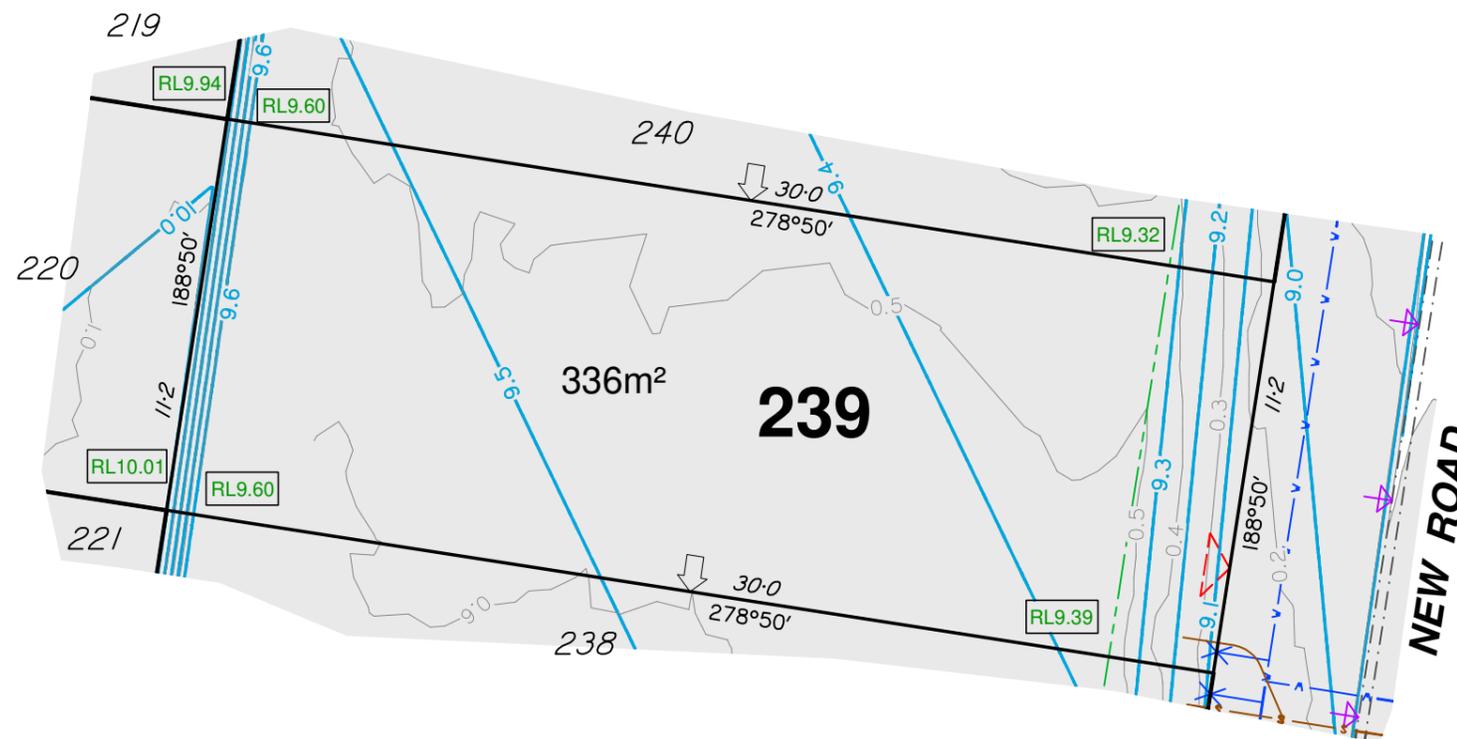
DISCLOSURE PLAN

For Proposed Lot 239
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



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HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

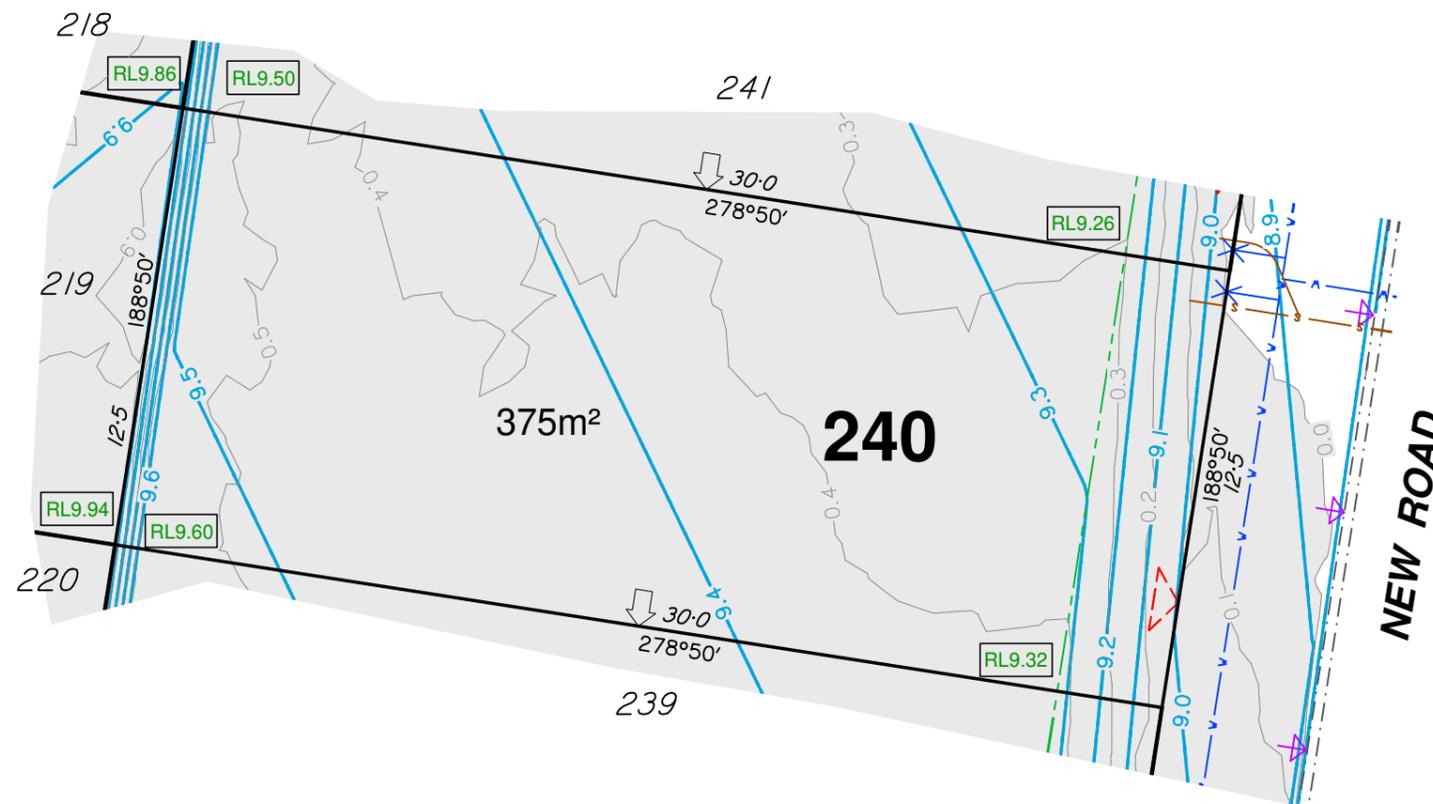
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-239 VERSION A

DISCLOSURE PLAN

For Proposed Lot 240
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — Water/Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - < Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)



- Notes:**
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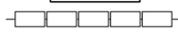
HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

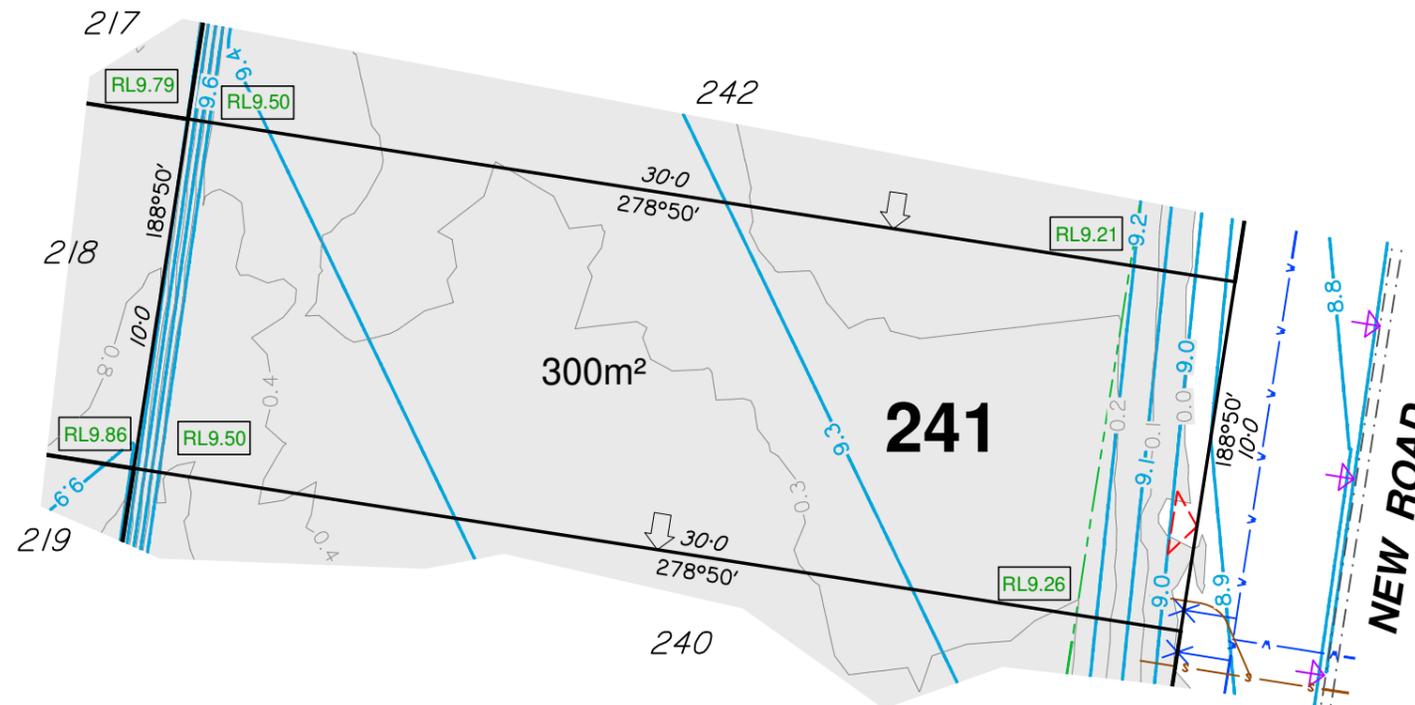
DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-240 VERSION A

DISCLOSURE PLAN

For Proposed Lot 241
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - — — — — Easement Boundary
 - — — — — Kerb Line
 - — — — — Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — Water/Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
(Installed by Developer)



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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-241 VERSION A

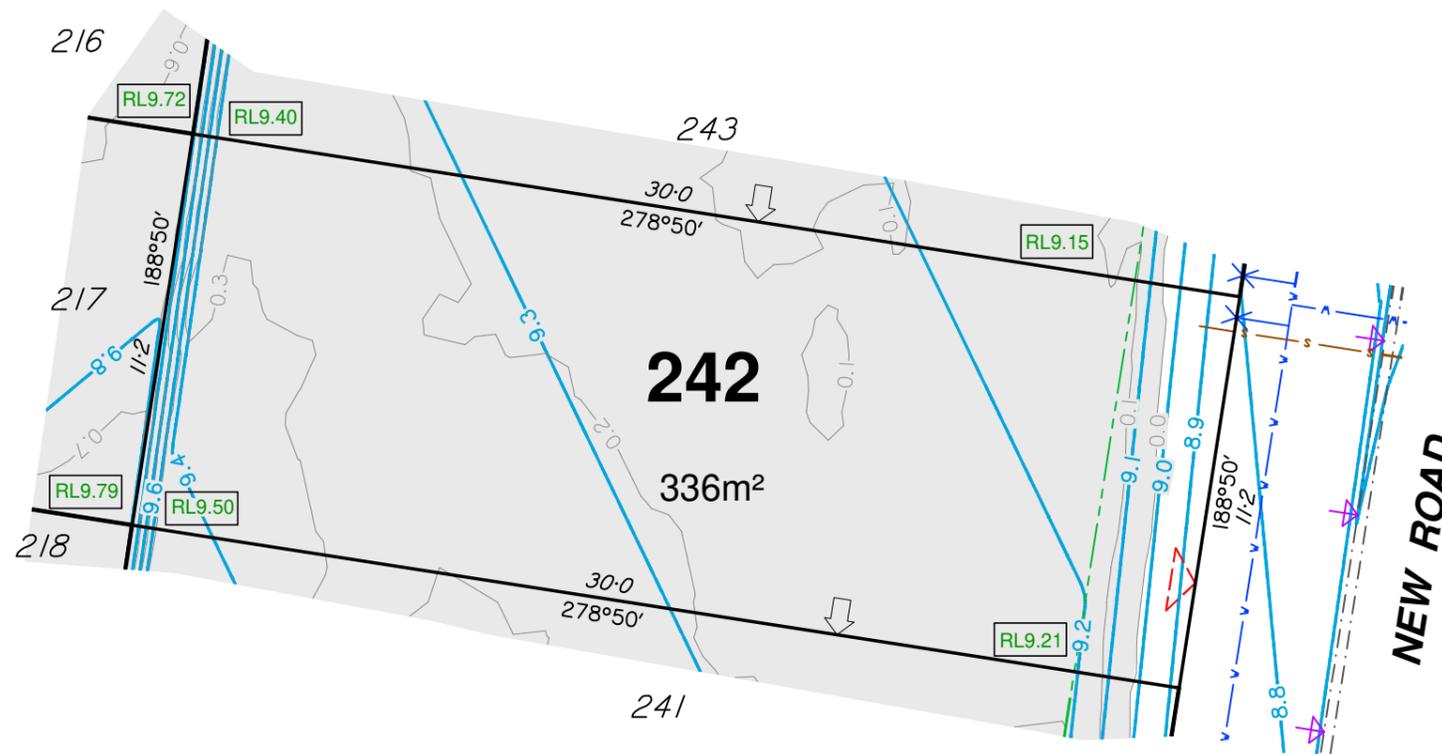
DISCLOSURE PLAN

For Proposed Lot 242
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	s s	Sewer/Sewer Manhole
	sv sv	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	rv rv	Roofwater/Roofwater Pit
		Kerb Adapter
		Water/Water Meter
		Area to be Filled
	RL9.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)



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HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-242 VERSION A

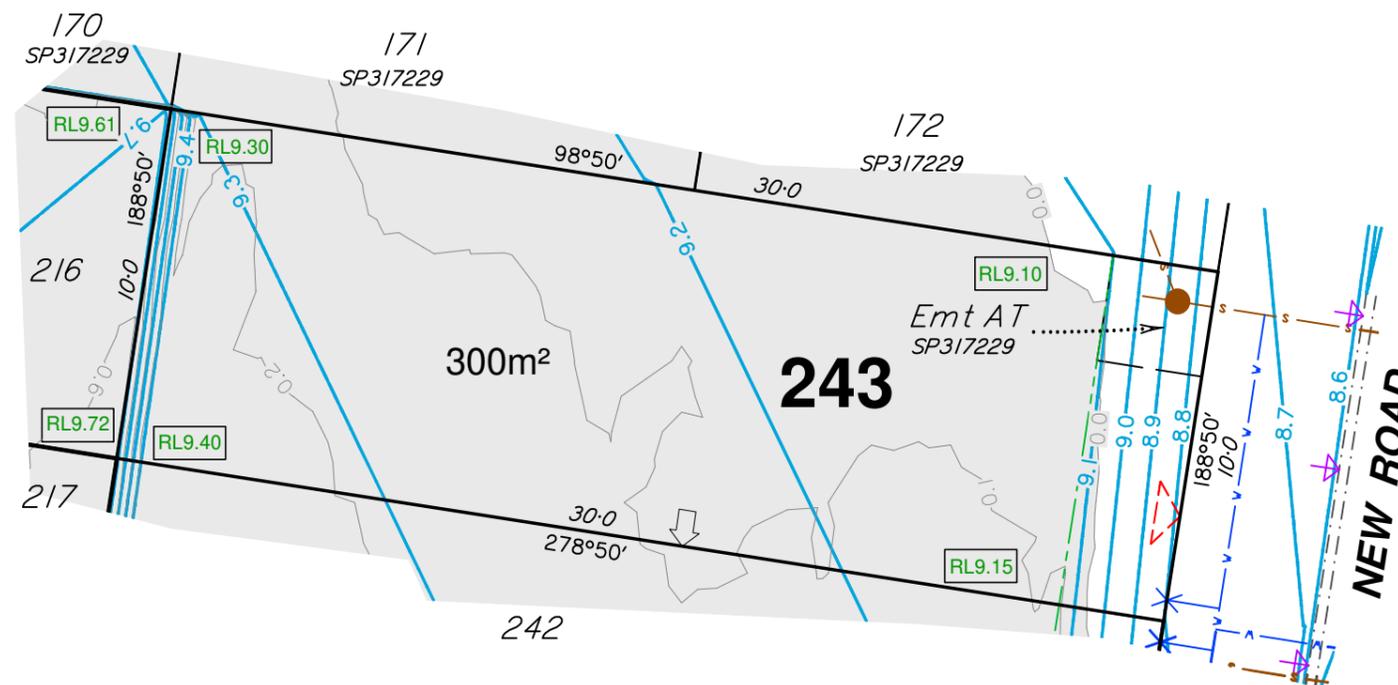
DISCLOSURE PLAN

For Proposed Lot 243
Village Green - Stage 6A

Currently Described As
RPD: Part of Lot 1000 on SP308282
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Acoustic Fence (Installed by Developer)



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village
GREEN

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 22-03-2021 DRAWING NO. SS3787-6A-01-243 VERSION A